



City of Charleston

## Board of Architectural Review-SMALL

December 12, 2019

DEPARTMENT OF PLANNING, PRESERVATION & SUSTAINABILITY

**Agenda Item 1:**

**Approval of minutes from the September 26, 2019 meeting**





**Agenda Item 2:**

**Approval of minutes from the October 10, 2019 meeting.**



**Agenda Item 3:**

**105 South Street- - TMS # 457-11-02-051**

**Requesting final approval for the demolition of the rear chimney.**

**Not Rated/ (Charlestowne) / c.1932 / Old and Historic District**



North view of Council Street streetscape. Location of 105 South Battery is shown by arrow.



South view of Council Street streetscape. 105 South Battery is shown by arrow, at corner of Council Street and South Battery.





East view of South Battery streetscape. 105 South Battery is shown by arrow, at corner of Council Street and South Battery.



West view of South Battery streetscape. 105 South Battery is shown by arrow.





View of streetscape looking South. North elevation of 105 South Battery, rear chimney not visible.



View of streetscape looking Southeast. Northwest view of 105 South Battery, rear chimney not visible.







Northeast elevation of 105 South Battery. Rear chimney is not visible.







View of rear chimney from Council Street looking East.





View of rear chimney from Council Street looking East. Same aspect of previous photo but approximately 20' further to the South.





View of chimney at roof valley located at the intersection of the South and West elevations.  
Photo taken standing at backyard fence.





Detailed view of chimney situated at roof valley. Streetscape view of chimney is obstructed by tree.



Detailed view of chimney situated at roof valley. Arrow depicts valley adjoining Northeast corner of chimney.





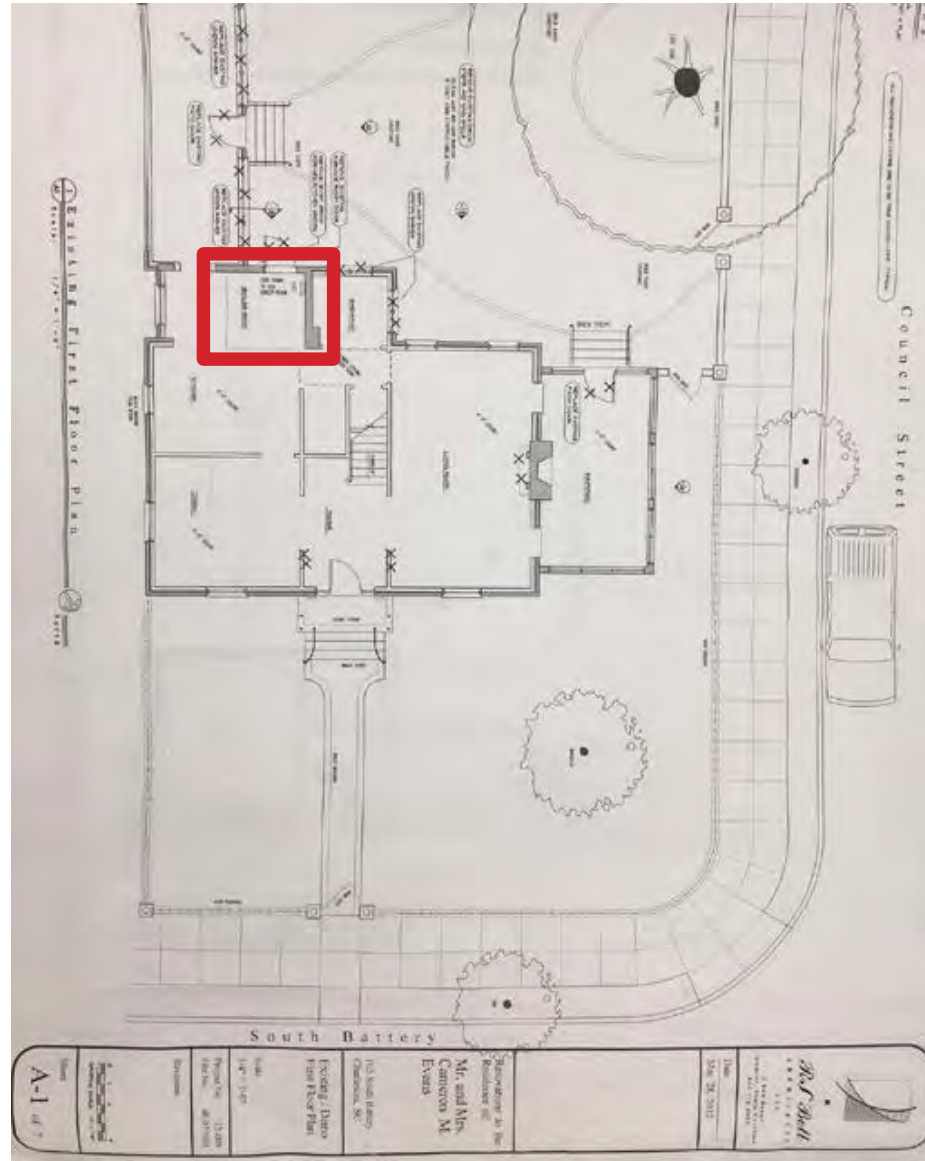


Chimney situated at valley.









Evidence of former Boiler Room as noted in 2012 renovation plan.







**Agenda Item 4:**

**145 Moultrie Street - - TMS # 460-02-04-010**

**Requesting after-the-fact approval for demolition of cement tile roof**

**Category 3 (Hampton Park Terrace) c.1935**

**Historic Materials Demo District**

145 Moultrie Street

2007



# June 2012





# August 2012





2015





2017





# MICHAEL H. HANGE, PE LLC

STRUCTURAL DESIGN AND CONSULTING

1133 Club Terrace  
Mount Pleasant, S.C. 29464  
Telephone: (843) 656-2548  
mh@mhpc.comcast.net

October 9, 2019

James Meadors  
145 Moultrie Street  
Charleston, South Carolina 29412

Subject: Structural Assessment – Roof Closure System  
145 Moultrie Street  
Charleston, South Carolina 29412

Mr. Meadors

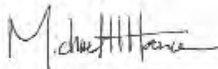
The purpose of the following letter is to provide a review of the existing roof framing and a recommendation regarding replacement of the existing roof closure system at the subject property. Per your request, a site inspection of the existing roof framing was performed. Visual observations were limited to the structural roof components in the attic area only. The existing main roof system at the subject property is constructed of a hip roof configuration that supports concrete tile roofing. Hip rafters and dormer framing extend a center ridge line and terminate at exterior walls. Modifications performed by the previous owner included the removal of ridge support and installation of intermediate knee walls in the attic space. Due to the weight of the existing concrete tile roofing and relocation of vertical support, deflection of hip rafter framing was evident. As part of renovations to the existing structure, it is our understanding the existing concrete tile roofing has been removed and a new roof closure system is to be installed.

#### Roof Closure System Recommendation:

Based on the modifications to the roof framing described above, the installation of slate or concrete tiles similar to the existing roofing is not recommended due to the heavier loads introduced by these systems. Based on the roof framing observed, the new roof closure system should be limited to copper or asphalt shingle roofing only.

I appreciate the opportunity to provide you with this letter and if I can answer any questions or provide any additional services, please contact my office.

Respectfully yours,



Michael H. Hange, PE  
Michael H. Hange PE LLC



ULTRA-PREMIUM COLLECTION



Quality You Can  
Trust... From  
North America's  
Largest Roofing  
Manufacturer!

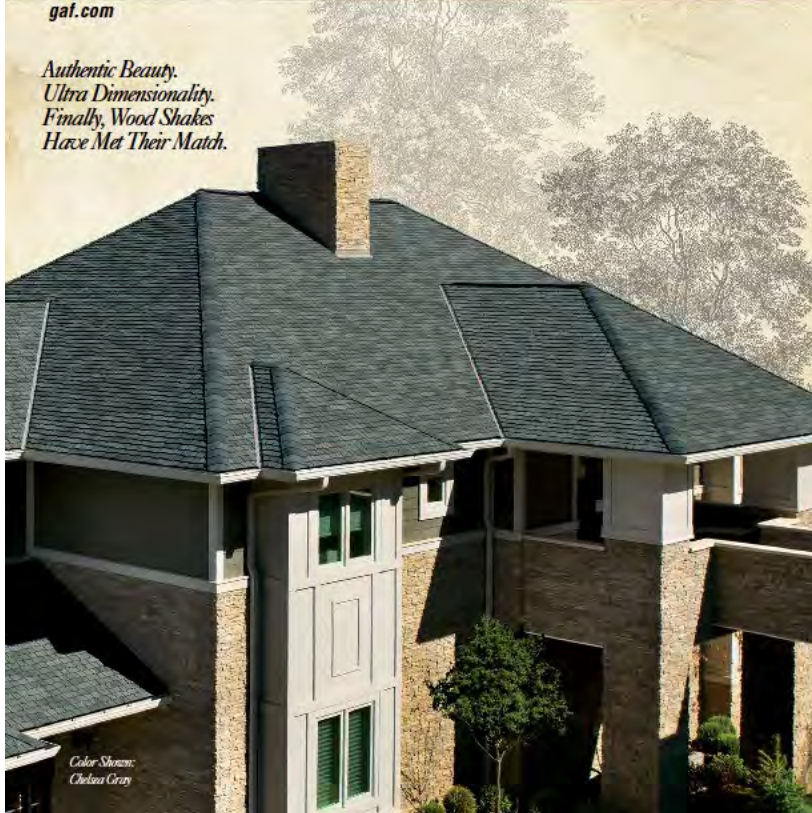
# Glenwood<sup>®</sup>

LIFETIME Designer SHINGLES

The Most Authentic Wood Shake-Look Shingles You Can Buy

[gaf.com](http://gaf.com)

*Authentic Beauty.  
Ultra Dimensionality.  
Finally, Wood Shakes  
Have Met Their Match.*



*Color Shown:  
Chelsea Gray*



*The beauty of wood. Until now, no shingle has  
ever truly captured the essence of this noble material.  
Only the innovation of the Glenwood® Shingle —  
the thickest triple-layer asphalt shingle in existence  
today — has finally broken the mold. Crafted with  
the finest attention to detail, this striking shingle  
distinguishes like no other — with the unparalleled  
look of genuine hand-cut wood shakes. Embodying  
all the character, charm, and aesthetic appeal.*







*Authentic beauty. You know it when you see it.*



**Glenwood® Lifetime Designer Shingles Offer You These Unique Benefits:**

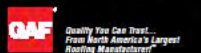
- **Ultra Thick...** Industry-leading ultra-thick triple-layer construction provides maximum dimensionality, resulting in a truly realistic wood-shake look.
- **Beautiful Design...** Artisan-crafted shingle tabs give your home a dimensional look unmatched by typical shingles.
- **Affordable Luxury...** Only a fraction of the cost of traditional wood shakes.
- **Custom Color Palette...** Specially formulated color palette is designed to accentuate the shingle's natural wood-shake look.
- **High Performance...** Designed with Advanced Protection® Shingle Technology, which reduces the use of natural resources while providing excellent protection for your home (visit [gal.com/aps](http://gal.com/aps) to learn more).
- **StainGuard® Protection...** Helps ensure the beauty of your roof against unsightly blue-green algae¹.
- **Highest Roofing Fire Rating...** Unlike natural, uncoated wood shakes, Glenwood® Shingles carry a U. Class A fire rating.
- **Stays in Place...** Dura Grip™ Adhesive seals each shingle tightly and reduces the risk of shingle blow-off. Shingles warranted to withstand winds up to 130 mph (209 km/h)².
- **The Ultimate Peace Of Mind...** Lifetime Ltd. transferable warranty with Smart Choice® Protection (non-pierced material and installation labor coverage) for the first ten years³.
- **Perfect Finishing Touch...** For the best look, use Timberline® Premium Ridge Cap Shingles with StainGuard® protection or Ridgloss® Premium Ridge Cap Shingles⁴.



<sup>1</sup> See GAF Shingle & Accessory Ltd. Warranty for complete coverage and restrictions.  
<sup>2</sup> This wind speed coverage requires special installation; see GAF Shingle & Accessory Ltd. Warranty for details.  
<sup>3</sup> See GAF Shingle & Accessory Ltd. Warranty for complete coverage and restrictions. The warranty is limited to the length of coverage provided by the GAF Shingle & Accessory Ltd. Warranty and extends to any of the original (individual owners) of a single family detached residence (or the named owner) in each subsequent year of the property where the shingles are installed. For warranty conditions for meeting the above criteria, Lifetime coverage is not applicable.  
<sup>4</sup> Note: To meet Timberline® Shingles on roofs with slopes of 2:12, GAFco. will void the applicable warranty. Timberline® Shingles should be installed on roofs with slopes of 3:12 to 4:12 require special installation in order to qualify for warranty coverage. Please visit [gal.com](http://gal.com).

<sup>5</sup> These products are not available in all areas. See [www.gaf.com](http://www.gaf.com) for availability for details.

Note: It is difficult to reproduce the color clarity and actual color tones of these products. Before selecting your color, please ask to see several full size shingles.



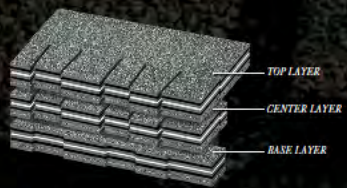
# You *will* believe your eyes.

*When it came to creating the industry's most authentic wood shake-look shingle, we knew we had to deliver nothing less than all the remarkable, natural beauty of genuine hand-split wood shakes. But we didn't stop there. Not only did we ensure that this innovative shingle would provide all the top performance you'd expect — we also enhanced its dimensionality.*

*We're proud to say that no other triple-layer asphalt shingle matches the thickness of our premium Glenwood® Shingles. You can see the difference for yourself; there's simply no comparison. For the ultimate in depth and dimension for your roof — and the most realistic wood-shake look that a shingle can provide — you need search no further.*

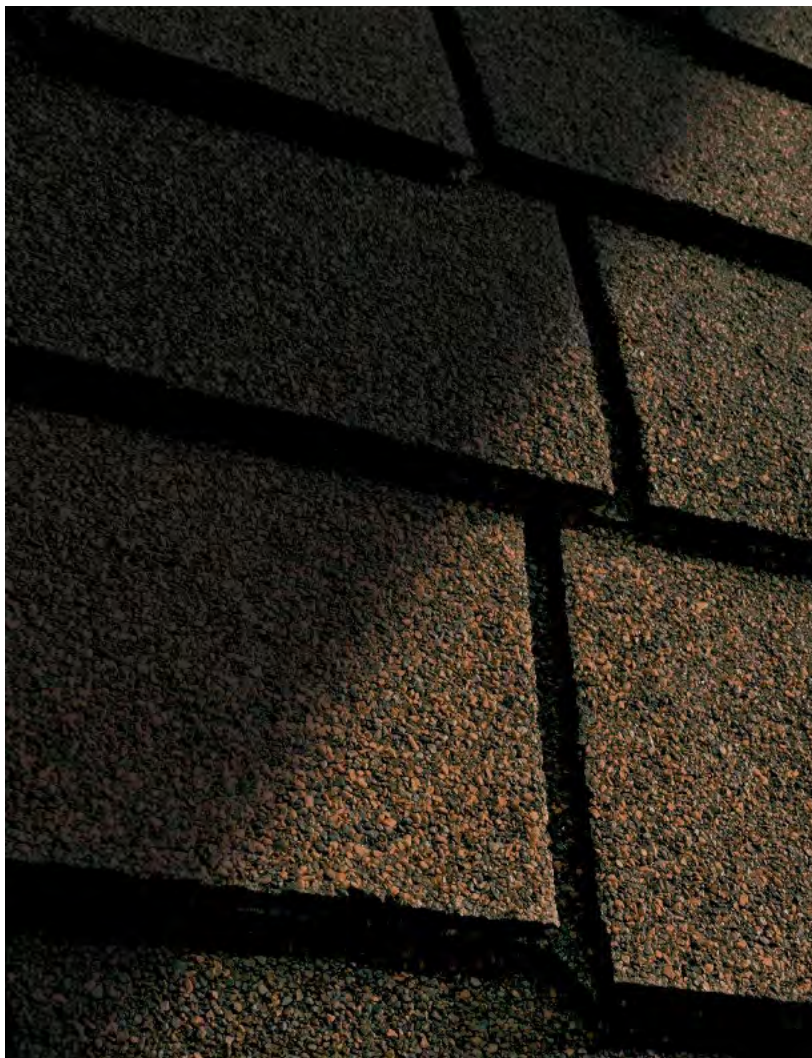
*Glenwood™ Shingles. A bold, beautiful departure from the rest.*

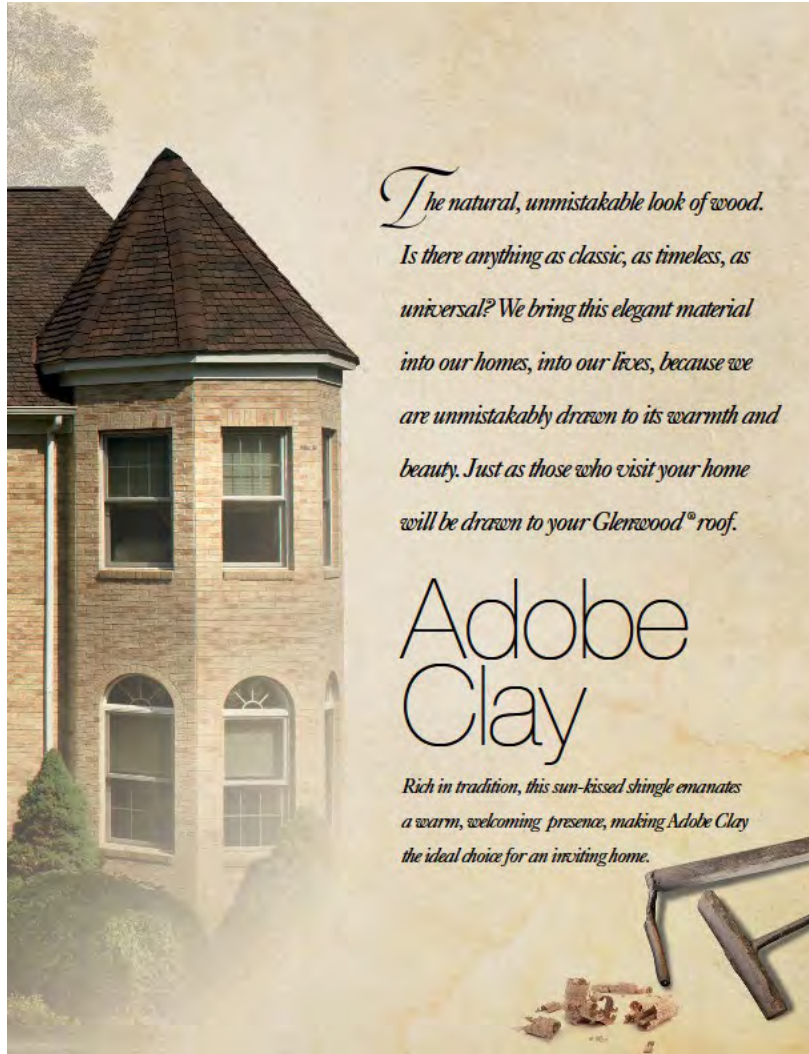
### The Triple-Layer Design Of A Glenwood® Shingle



Note: It is difficult to reproduce the color clarity and actual color tones of these products. Before selecting your color, please ask to see several full size shingles.







*The natural, unmistakable look of wood.  
Is there anything as classic, as timeless, as  
universal? We bring this elegant material  
into our homes, into our lives, because we  
are unmistakably drawn to its warmth and  
beauty. Just as those who visit your home  
will be drawn to your Glenwood® roof.*

## Adobe Clay

*Rich in tradition, this sun-kissed shingle emanates  
a warm, welcoming presence, making Adobe Clay  
the ideal choice for an inviting home.*



Quality You Can Trust... From North America's Largest Roofing Manufacturer\*

[gaf.com](http://gaf.com)

## More Than Just Coverage On Your Shingles! Get **Automatic Lifetime Protection** On Your Entire GAF Roofing System!\*

When you install any GAF Lifetime Shingle and at least 3 qualifying GAF accessories, you'll automatically get:

- A Lifetime Ltd. warranty on your shingles and all qualifying GAF accessories!\*
- Non-prorated coverage for the first 10 years!\*

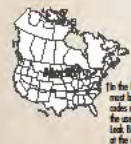
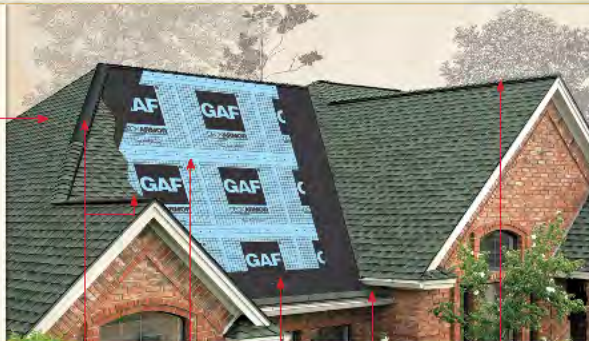


### LIFETIME SHINGLES

GAF offers you many great Lifetime Shingle choices, including Timberline® Shingles with Advanced Protection® Shingle Technology. They're the #1-selling shingles in North America!

Advanced Protection® Shingle Technology provides excellent protection for your home while reducing the use of precious natural resources. That's better for your home—and better for the environment!

To learn more about why Advanced Protection® Shingles are your best choice, visit [gaf.com/aps](http://gaf.com/aps).



In the Northeast, most building codes require the use of leak barrier at the eaves.

#### **Cobra® Attic Ventilation**

Helps remove excess heat and moisture from your attic to promote energy efficiency in your home and help extend the life of your roof.

#### **Roof Deck Protection**

Provides an exceptionally strong layer of protection against wind-driven rain; some even allow moisture to escape from your attic. Also, lies flatter for a better-looking roof.

#### **Leak Barrier**

Provides exceptional protection against leaks caused by roof settling and extreme weather. Ideal upgrade at all vulnerable areas (including at the eaves in the North!).

#### **Starter Strip Shingles**

Saves time, eliminates waste, and reduces the risk of blow-off, and may even help qualify for upgraded wind warranty coverage (see GAF Shingle & Accessory Ltd. Warranty\* for details).

#### **Ridge Cap Shingles**

Enhances the beauty of your home while guarding against leaks at the hips and ridges.



The GAF Shingle & Accessory Ltd. Warranty is available on select residential roofs. The warranty is limited to 100 years. It is not a contract. It is subject to the terms and conditions of the warranty. For more information, visit [gaf.com/warranty](http://gaf.com/warranty). \*See terms of warranty for details. The warranty is void if you do not follow the instructions on the product label.



The GAF Lifetime Roofing System has earned the prestigious GreenSource GreenSource Gold, which means that GAF's products are made with 100% recycled content. For more information, visit [gaf.com/green](http://gaf.com/green).

SALES OFFICES:  
NORTHEAST 717-862-8222    CENTRAL 620-726-1580    SOUTHEAST 813-825-8880    SOUTHWEST 972-851-0200    WEST 800-446-9230    CANADA 855-452-8055    WORLD WIDE 973-629-3000

©2016 GAF 3/16 #912 | 1 Campus Drive, Parsippany, NJ 07054 | RESGN100 | 298439-0116





## Glenwood® Shingles

No other triple-layer asphalt  
shingle matches its thickness!



Glenwood  
LIFETIME Designer SHINGLES

Note: Do not install Glenwood Shingles on roofs with slopes of 3:12, as they will void the applicable warranty. Glenwood Shingles installed on roofs with slopes of 3:12 to 4:12 require special installation practices for warranty coverage. Please visit [gaf.com](http://gaf.com).

### Glenwood® Ultra- Premium Lifetime Designer Shingles Offer You These Great Benefits:

#### Ultra Thick

Industry-leading ultra-thick triple-layer construction provides maximum dimensionality, resulting in a truly realistic wood-shake look.

#### Beautiful Design

Artisan-crafted shingle tabs give your home a dimensional look unmatched by typical shingles.

#### Affordable Luxury

Only a fraction of the cost of traditional wood shakes.

#### Custom Color Palette

Specially formulated color palette is designed to accentuate the shingle's natural wood-shake look.

#### Highest Roofing Fire Rating

Unlike natural, untreated wood shakes, Glenwood® Shingles are UL Listed to ANSI/UL 790 Class A — the highest roofing fire rating possible.

#### High Performance

Designed with Advanced Protection® Shingle Technology, which reduces the use of natural resources while providing excellent protection for your home (visit [gaf.com/APS/](http://gaf.com/APS/) to learn more).

#### Stays in Place

Dura Grip™ Adhesive seals each shingle tightly and reduces the risk of shingle blow-off. Shingles warranted to withstand winds up to 130 mph (209 km/h)!<sup>1</sup>

#### StainGuard® Protection

Helps ensure the beauty of your roof against unsightly blue-green algae.<sup>2</sup>

#### The Ultimate Peace of Mind

Lifetime Ltd. transferable warranty with Smart Choice® Protection (non-prorated material and installation labor coverage) for the first 20 years.<sup>3</sup>

#### Perfect Finishing Touch

For the best look, use TimberTex® Premium Ridge Cap Shingles or Ridglass® Premium Ridge Cap Shingles.<sup>4</sup>

<sup>1</sup>This wind speed coverage requires special installation. See GAF Shingle & Accessory Ltd. Warranty for details.

<sup>2</sup>StainGuard® Protection applies only to shingles with StainGuard®-finished packages. See GAF Shingle & Accessory Ltd. Warranty for complete coverage and restrictions.

<sup>3</sup>See GAF Shingle & Accessory Ltd. Warranty for complete coverage and restrictions. The word "Lifetime" refers to the highest coverage provided by the GAF Shingle & Accessory Ltd. Warranty and means as long as the original individual owner(s) of a single-family detached residence (or the second owner(s) in certain circumstances) owns the property where the shingles are installed. For owners/contractors not meeting the above criteria, Lifetime coverage is not applicable.

<sup>4</sup>These products are not available in all areas. See [www.gaf.com/ridgecapavailability](http://www.gaf.com/ridgecapavailability) for details.

## Colors & Availability

Regional Availability  
Northeast, Southeast, Southwest,  
West, and Central Areas



### Applicable Standards & Protocols

- UL Listed to ANSI/UL 790 Class A
- Miami-Dade County Product Control approved
- State of Florida approved
- UL 997 modified to 110 mph
- Meets ASTM D7158, Class H
- Meets ASTM D3161, Class F
- Meets ASTM D3018, Type 1
- Meets ASTM D3462<sup>1</sup>
- ICC-ES Evaluation Reports ESR-1475 and ESR-3267
- Texas Department of Insurance listed
- CSA A123.5<sup>2</sup>

### Product/System Specifics<sup>3</sup>

- Fiberglass Asphalt Construction
- Dimensions (approx.): 12 1/4" x 36 5/16" (311 x 922 mm)
- Exposure: 4 1/2" (114 mm)
- Bundles/Squares: 90
- Pieces/Squares: 90
- StainGuard® Protection: Yes<sup>4</sup>
- Hip/Ridge: TimberTex®, Ridgloss®
- Starter: WeatherBlocker™

### Installation

Do not install Glenwood® Shingles on roofs with slopes of 2:12; doing so will void the applicable warranty. Glenwood® Shingles installed on roofs with slopes of 3:12 to 4:12 require special installation in order to qualify for warranty coverage. Please visit [gaf.com](http://gaf.com).

Detailed installation instructions are provided on the inside of each bundle wrapper of Glenwood® Shingles. Installation instructions may also be obtained at [gaf.com](http://gaf.com).

<sup>1</sup> Periodically tested by independent and internal labs to assure compliance with ASTM D3462 at time of manufacture.

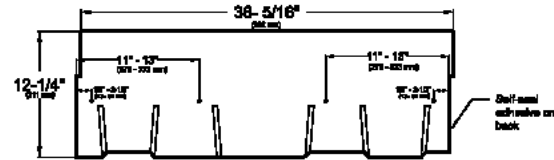
<sup>2</sup> Refer to listing for full details. Classmate only.

<sup>3</sup> Refer to complete product literature for details.

<sup>4</sup> StainGuard® Protection applies only to shingles with StainGuard®-treated packaging. See GAF Shingle & Accessory Kit Warranty for complete coverage and restrictions.

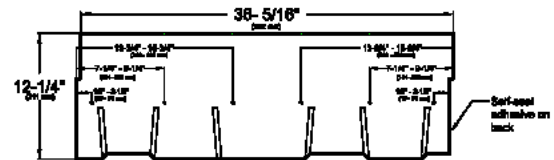
<sup>5</sup> Make: It is difficult to reproduce the color clarity and actual color blends of these products. Before selecting your color, please ask to see several full-size shingles.

These shingles MUST be nailed a nominal 5-1/2" (140 mm) from bottom of the long tube as shown. Nails must not be exposed.



STANDARD NAILING PATTERN - four nails per shingle

NOTE: Shingles shown in drawings are one of 8 different design patterns that will be found in this package.



ENHANCED NAILING PATTERN - six nails per shingle\*  
\* required by some local code or used required for enhanced wind coverage on certain products. See Unified warranty for details.

 <small>www.gaf.com</small> 1 Campus Drive Parsippany, NJ 07654	BOARD SERIES <b>GLENWOOD SERIES</b>		<b>SHINGLE NAIL PLACEMENT DETAIL</b>	DETAIL NUMBER <b>03</b>
	REVISION DATE 10-01-16	SCALE N.T.S		

**SHINGLE**

**INSTALLATION**

Start at either rake and lay in either direction. Trim  $\frac{1}{8}$ " (3.2 mm) of material from rake edge.

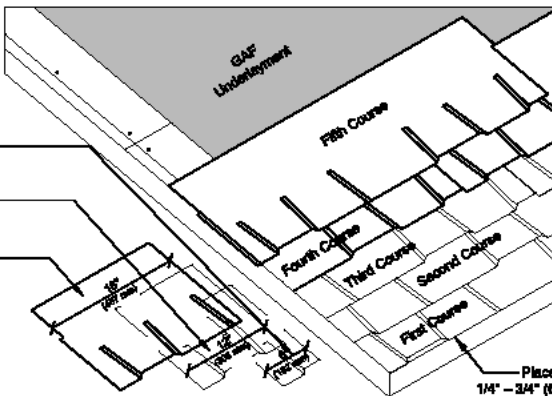
**First Course:**  
Start with full shingle

**Second Course:**  
Trim 10" (254mm) off first shingle

**Third Course:**  
Trim 20" (509mm) off first shingle

**Fourth Course:**  
Trim 30" (762mm) off first shingle


**Remaining Courses:**  
Repeat the 1st - 4th course instructions on the remaining courses, starting the fifth course with a full shingle.

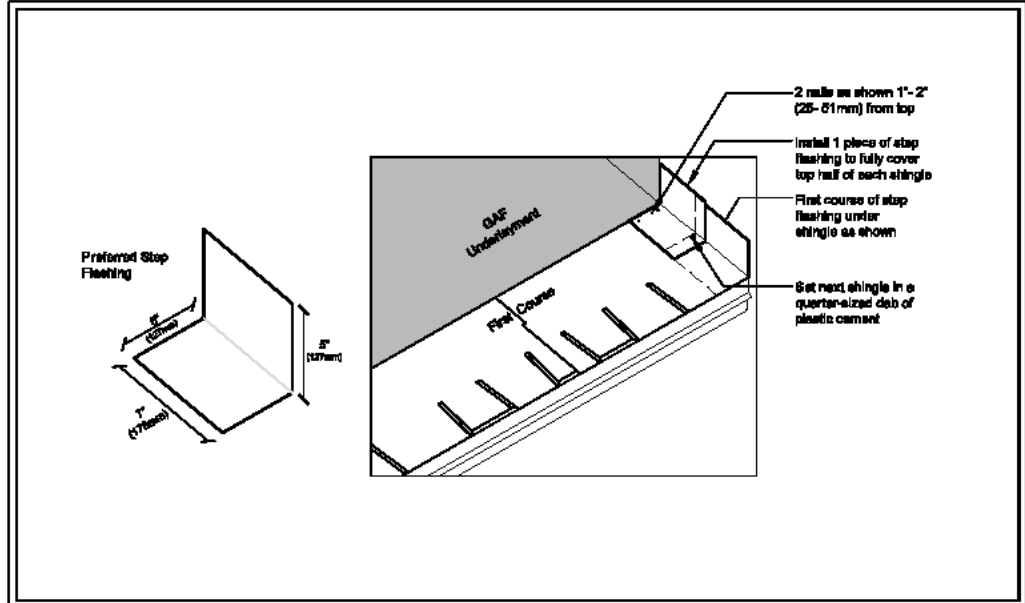



**NOTES:**

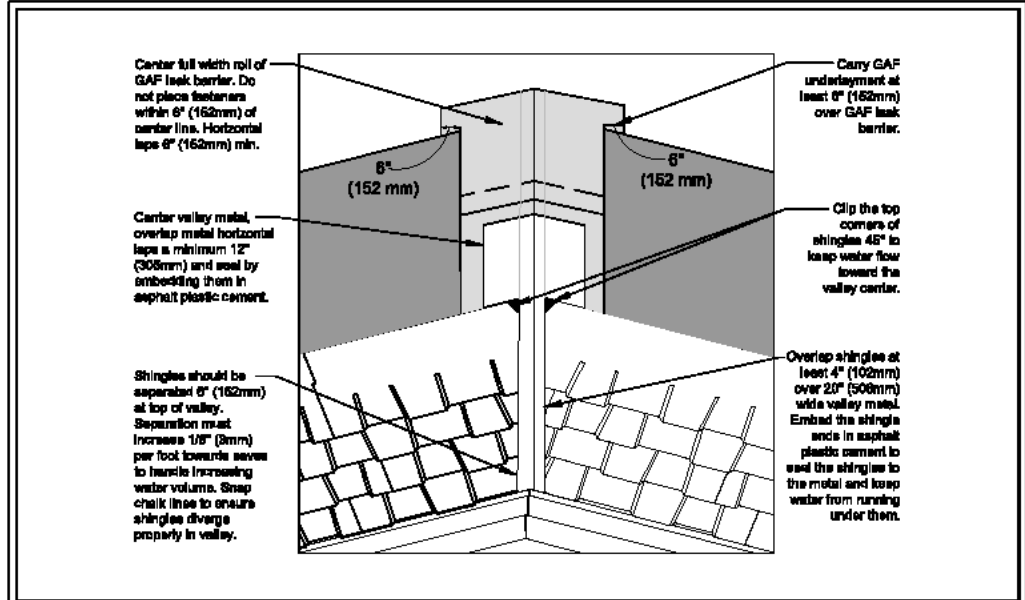
- 1. Continue each course with whole shingles.
- 2. Strike a chalk line about every 8 courses to check parallel alignment with eaves.


Place first course of shingles  $1\frac{1}{4}$ " -  $2\frac{1}{4}$ " (8-18mm) over eave and rake edges, covering starter course overhang, to provide drip edge.

 <small>www.gaf.com 1 Carnegie Drive Parkway, NJ 07654</small>	<b>BOARD SERIES</b> <b>GLENWOOD SERIES</b>		<b>SHINGLE INSTALLATION DETAIL</b>	<b>DETAIL NUMBER</b> <b>04</b>
	<b>REVISION DATE</b> 10-01-16	<b>SCALE</b> N.T.S.		<b>DETAIL NUMBER</b> SS-GWD



 <small>www.gaf.com 1 Campus Drive Parsippany, NJ 07704</small>	<small>SHINGLES SERIES</small> <b>GLENWOOD SERIES</b>		<b>STEP FLASHING DETAIL</b>	<small>DETAIL NUMBER</small> <b>05</b>
	<small>REVISION DATE</small> 10-01-16	<small>SCALE</small> N.T.S		



 <small>www.gaf.com</small> 1 Corporate Drive Parsippany, NJ 07754	<small>BOARD SERIES</small> <b>GLENWOOD SERIES</b>		<b>OPEN VALLEY DETAIL</b>	<b>09</b>
	<small>REVISION DATE</small> 10-01-16	<small>SCALE</small> N.T.S.		



**Agenda Item 5:**

**40 Gibbes Street - - TMS # 457-11-04-131**

**Requesting an appeal of staff denial of roof materials.**

**Not Surveyed/ (Charlestowne) / c. 1927 / Old and Historic District**













































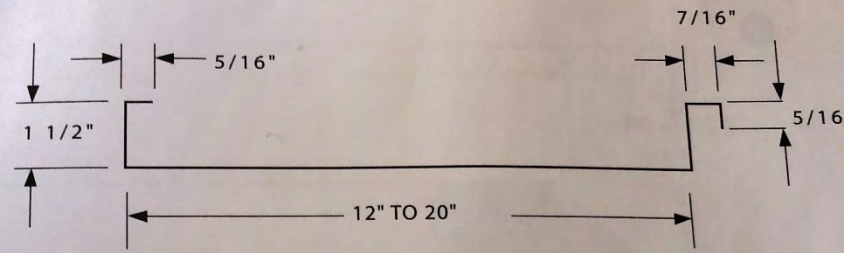




- water-tight, integral design
- Available in 1" or 1 1/2" profile
  - Can be formed using 22/24 gauge steel, 16 oz copper, and .032 aluminum
  - Radius profile available

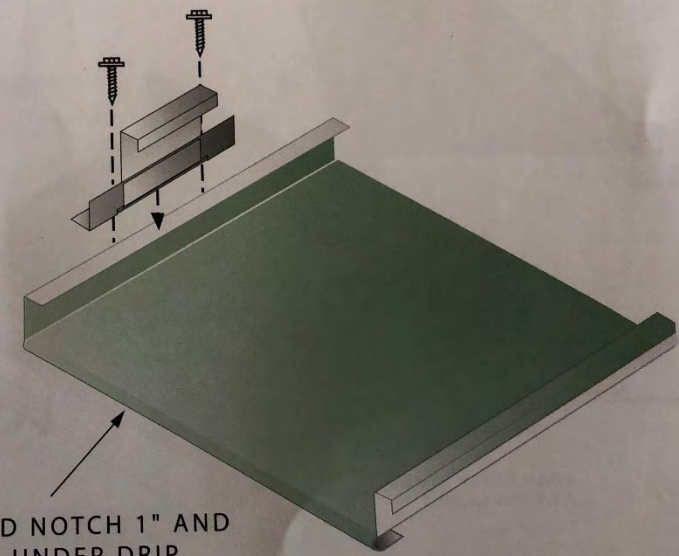
WITH STRESS RIBS

1



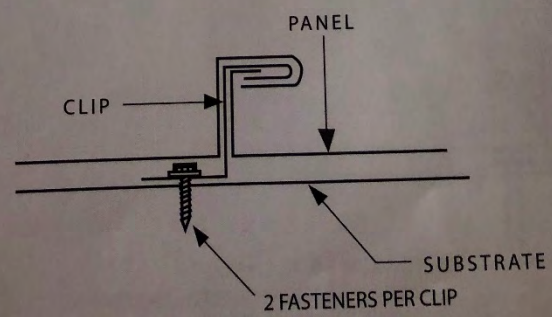
2

*16" width*



FIELD NOTCH 1" AND HEM UNDER DRIP

3







Agenda Item 6:

147 Spring Street- - TMS # 457-11-04-131

Requesting conceptual approval for the construction of a rear dependency.

New Construction / (Cannonborough/Elliottborough) / c. 1890 / Old City District

**DEFERRED BY APPLICANT**



Agenda Item 7:

35 Barre Street- - TMS # 457-03-03-042

Requesting final approval to elevate building above flood, change exterior material from brick to cementitious siding, and relocate.

Not Rated / (Harleston Village) / c. 1968 / Old and Historic District





**Agenda Item 8:**

**540 King Street - - TMS # 460-08-04-062**

**Request preliminary approval for new construction of  
a 3-story mixed-use structure.**

**New Construction / (Cannonborough/Elliottborough)  
Old and Historic District**





**Agenda Item 9:**

**94 Spring Street - - TMS # 460-08-03-183**

**Requesting final approval of a two-story mixed-use building.**

**New Construction / Cannonborough/Elliottborough  
Old and Historic District**



































**Agenda Item 10:**

**2 Judith Street - - TMS # 459-09-03-132**

**Request conceptual approval for new construction  
of a rear dependency.**

**Category 4/(Mazyck-Wraggborough)/c.1905/Old City District**



CURRENT JUDITH STREET VIEW



CURRENT AMERICA STREET VIEW



ZONING MAP EXCERPT

RENOVATION OF A DUPLEX + NEW ADDITION AT  
**2 JUDITH STREET**  
 CHARLESTON, SOUTH CAROLINA

TMS #: 459-09-03-132  
 ZONING DISTRICT: DR-2F  
 GOVERNING CODE: IRC 2015  
 FLOOD ZONE: 'AE(13)', FFE @ 11.3' AMSL

**DRAWING SCHEDULE:**

- A-001 TITLE + DRAWING SCHEDULE
- A-002 CONTEXT PHOTOS
- A-003 EXISTING CONDITIONS PHOTOS
- A-004 EXISTING CONDITIONS PHOTOS
- A-005 HISTORIC IMAGES + SANBORN MAPS
- A-006 EXISTING SITE PLAN
- A-007 SITE PLANS (PREVIOUS + PROPOSED)
- A-101 FIRST FLOOR PLANS (PREVIOUS + PROPOSED)
- A-102 SECOND FLOOR PLANS (PREVIOUS + PROPOSED)
- A-103 ROOF PLANS (EXISTING)
- A-104 ROOF PLANS (PREVIOUS + CURRENT)
- A-200a EXTERIOR ELEVATIONS (EXISTING)
- A-200b EXTERIOR ELEVATIONS (EXISTING)
- A-201 EAST ELEVATIONS (PREVIOUS + PROPOSED)
- A-202 NORTH & SOUTH ELEVATIONS (PREVIOUS + PROPOSED)
- A-203 WEST ELEVATIONS (PREVIOUS + PROPOSED)
- A-301 3D STUDIES
- A-302 ILLUSTRATION OF SUBORDINATE SCALE



AERIAL VIEW



HOUSING DESIGN MATTERS  
 11512 LAKE MEAD AVENUE  
 SUITE 102  
 JACKSONVILLE, FL 32256  
 TELEPHONE 904-572-1505

DERYL L. PATTERSON

SC LIC. No. 5885



**2 JUDITH STREET**  
 MODIFICATIONS TO DUPLEX RESIDENCE  
 AND NEW ADDITION

11/14/2019 SUBMITTAL  
 NOT VALID UNLESS WET  
 SIGNATURE AND RAISED SEAL

TITLE +  
 DRAWING  
 SCHEDULE

A-001





PROPERTY ADJACENT TO 2 JUDITH ON JUDITH STREET



PROPERTIES ON OPPOSITE SIDE OF JUDITH STREET



PROPERTIES ON OPPOSITE SIDE OF AMERICA STREET



PROPERTIES ADJACENT TO 2 JUDITH ON AMERICA STREET



**HOUSING  
DESIGN  
MATTERS**

HOUSING DESIGN MATTERS  
11512 LAKE MEAD AVENUE  
SUITE 102  
JACKSONVILLE, FL 32256  
TELEPHONE 904-372-1505

DERYL L. PATTERSON

SC LIC. No. 5885



**2 JUDITH STREET**  
MODIFICATIONS TO DUPLEX RESIDENCE  
AND NEW ADDITION

11/14/2019 SUBMITTAL  
NOT VALID UNLESS WET  
SIGNATURE AND RAISED SEAL.


CONTEXT  
PHOTOS

A-002





VIEW OF SOUTH + EAST ELEVATIONS FROM CORNER OF JUDITH AND AMERICA



VIEW OF EAST + NORTH ELEVATIONS FROM AMERICA



VIEW OF NORTH ELEVATION FROM REAR YARD



VIEW OF WEST ELEVATION FROM JUDITH



**HOUSING  
DESIGN  
MATTERS**

HOUSING DESIGN MATTERS  
11512 LAKE MEAD AVENUE  
SUITE 102  
JACKSONVILLE, FL 32256  
TELEPHONE 904-372-1505

DERYL L. PATTERSON

SC LIC. No. 5885



**2 JUDITH STREET**  
MODIFICATIONS TO DUPLEX RESIDENCE  
AND NEW ADDITION

11/14/2019 SUBMITTAL  
NOT VALID UNLESS WET  
SIGNATURE AND RAISED SEAL

PHOTOS  
(EXISTING  
CONDITIONS)

A-003





VIEW OF REAR LOT FROM AMERICA



VIEW OF REAR LOT FROM HOUSE



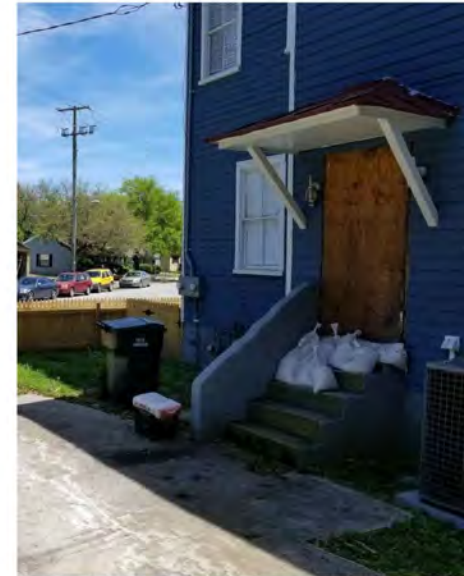
VIEW OF NORTH WEST CORNER ELEVATION



VIEW OF WEST SIDE ELEVATION FROM JUDITH STREET



VIEW OF SOUTH WEST CORNER ELEVATION



VIEW OF NORTH ELEVATION COVERED STAIRS



**HOUSING  
DESIGN  
MATTERS**

HOUSING DESIGN MATTERS  
11912 LAKE MEAD AVENUE  
SUITE 102  
JACKSONVILLE, FL 32256  
TELEPHONE 904-372-1505

DERYL L. PATTERSON

SC LIC. No. 5885



**2 JUDITH STREET**  
MODIFICATIONS TO DUPLEX RESIDENCE  
AND NEW ADDITION

11/14/2019 SUBMITTAL  
NOT VALID UNLESS WET  
SIGNATURE AND RAISED SEAL

PHOTOS  
(EXISTING  
CONDITIONS)

**A-004**





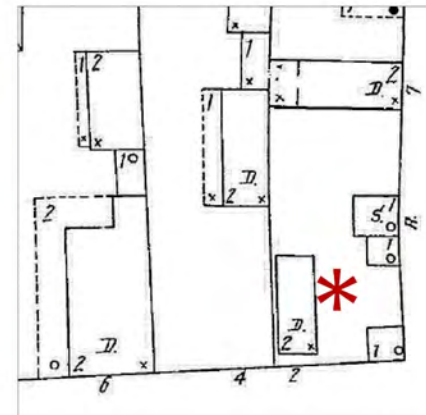
BAR FILE PHOTO (1991)



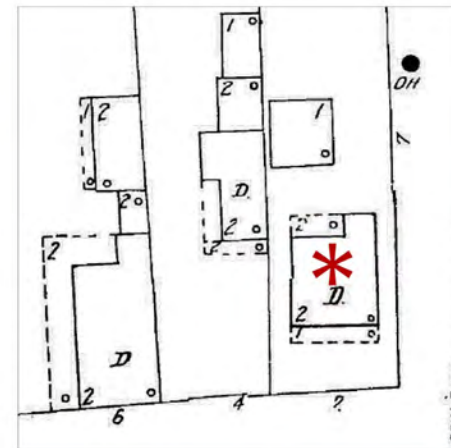
SURVEY CARD PHOTO (1985)



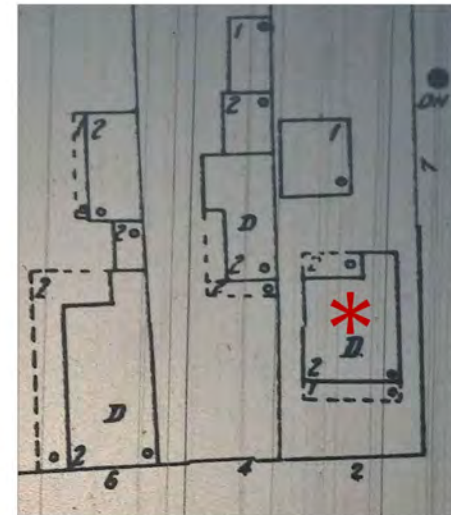
BAR FILE PHOTO (1991)



SANBORN MAP EXCERPT (1902)



SANBORN MAP EXCERPT (1944)



SANBORN MAP EXCERPT (1973)



**HOUSING  
DESIGN  
MATTERS**

HOUSING DESIGN MATTERS  
11512 LAKE MEAD AVENUE  
SUITE 102  
JACKSONVILLE, FL 32256  
TELEPHONE 904-372-1500

DERYL L. PATTERSON

SC LIC. No. 5885

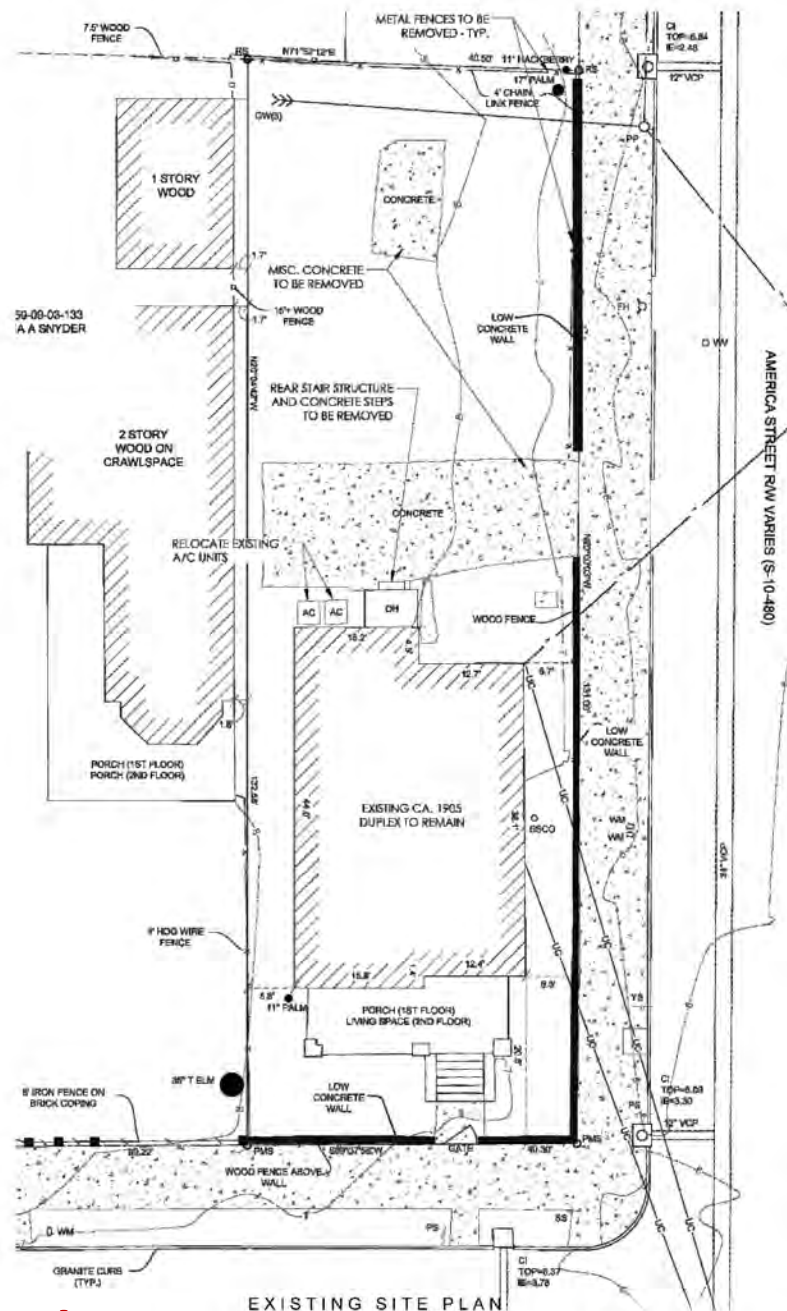


**2 JUDITH STREET**  
MODIFICATIONS TO DUPLEX RESIDENCE  
AND NEW ADDITION

11.14.2019 SUBMITTAL  
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SIGNATURE AND RAISED SEAL.

HISTORIC  
IMAGES +  
SANBORNS

A-005



# Existing Site Plan

**EXISTING SITE PLAN**  
 1/8" = 1'-0" (1/16" IF HALF-SIZED)  
 TOTAL FOOTPRINT, incl. porches/steps/hvac - 1581 SF  
 LOT SF: 5323 SF  
 EXISTING LOT COVERAGE: = 30%



**HOUSING  
DESIGN  
MATTERS**

HOUSING DESIGN MATTERS  
 11517 LAKE MEAD AVENUE  
 SUITE 102  
 JACKSONVILLE, FL 32256  
 TELEPHONE 384-3731 1505

DERYL L. PATTERSON

S.D. L.I.C. No. 5088



**2 JUDITH STREET**  
 MODIFICATIONS TO DUPLEX RESIDENCE  
 AND NEW ADDITION

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 SIGNATURE AND RAISED SEAL

\_\_\_\_\_

EXISTING  
SITE LAYOUT

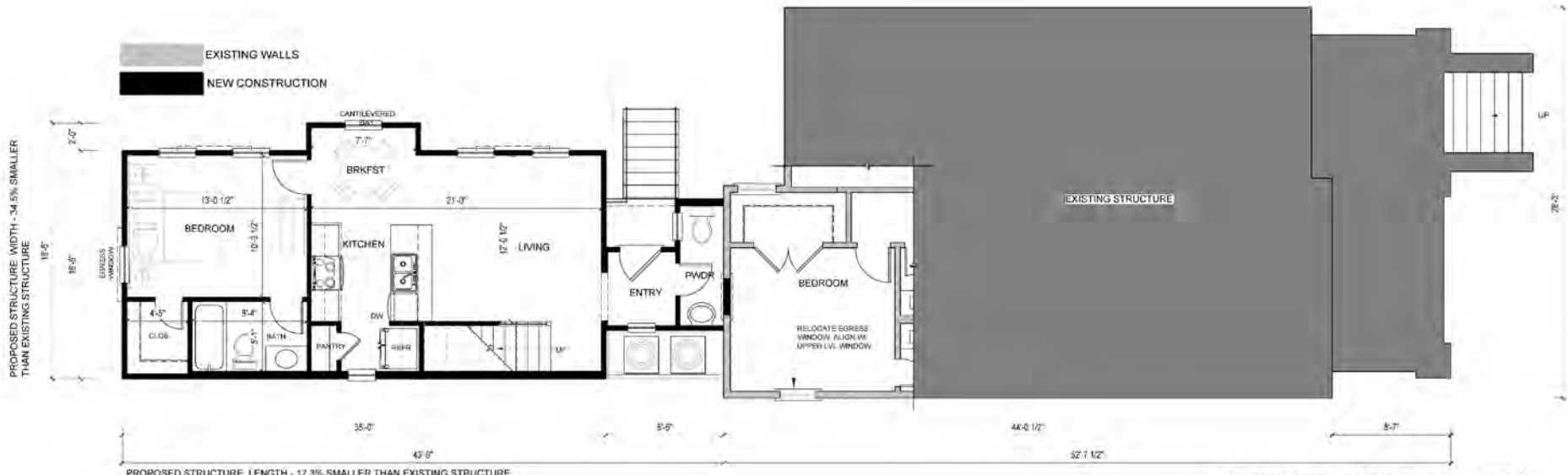
A-006











PROPOSED STRUCTURE WIDTH - 34.5% SMALLER THAN EXISTING STRUCTURE

PROPOSED STRUCTURE LENGTH - 17.3% SMALLER THAN EXISTING STRUCTURE

## Previous First Floor Plan

PREVIOUS FIRST FLOOR PLAN

1/4" = 1'-0" (1/8" IF HALF-SIZED)  
(Submitted 7.25.19)

EXISTING HOME AND PROPOSED CARRIAGE HOME COMPARISON TABLE			
	EXISTING	CARRIAGE	% SUBORDINATE
BUILDING HEIGHTS	37'-7"	25'-3"	24%
BUILDING LENGTHS	52'-7"	43'-6"	24%
BUILDING WIDTHS	28'-3"	16'-6"	42%
SOFT UNDER ROOF	2786	1202	57%

EXISTING WALLS  
NEW CONSTRUCTION

PROPOSED CARRIAGE AREA

MAIN FLOOR	641
UPPER FLOOR	543
SUBTOTAL	1184
ENTRY	18
TOTAL	1202

PROPOSED STRUCTURE WIDTH - 42% SMALLER THAN EXISTING STRUCTURE

PROPOSED STRUCTURE LENGTH - 24% SMALLER THAN EXISTING STRUCTURE

## Proposed First Floor Plan

PROPOSED FIRST FLOOR PLAN

1/4" = 1'-0" (1/8" IF HALF-SIZED)



**HOUSING DESIGN MATTERS**

HOUSING DESIGN MATTERS  
11412 LAKE HEAD AVENUE  
SUITE 102  
JACKSONVILLE, FL 32256  
TELEPHONE: 904.323.1940

DERYL L. PATTERSON

SC LID No. 5995



**2 JUDITH STREET**  
 MODIFICATIONS TO DUPLEX RESIDENCE  
 AND NEW ADDITION

12/12/2019 SUBMITTAL  
NOT VALID UNLESS WET  
SIGNATURE AND RASSED SEAL

PREVIOUS &  
PROPOSED  
FIRST LEVEL  
FLOOR PLANS

A-101



**HOUSING DESIGN MATTERS**

HOUSING DESIGN MATTERS  
11612 LAKE HEAD AVENUE  
SUITE 102  
JACKSONVILLE, FL 32256  
TELEPHONE: 904.323.1900

DERYL L. PATTERSON

SC LID No. 5995



**2 JUDITH STREET**  
MODIFICATIONS TO DUPLEX RESIDENCE  
AND NEW ADDITION

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SIGNATURE AND RASSED SEAL

PREVIOUS &  
PROPOSED  
FIRST LEVEL  
FLOOR PLANS

A-101



**PREVIOUS FIRST FLOOR PLAN**  
1/4" = 1'-0" (1/8" IF HALF-SIZED)  
(Submitted 7.25.19)

EXISTING HOME AND PROPOSED CARRIAGE HOME COMPARISON TABLE			
	EXISTING	CARRIAGE	% SUBORDINATE
BUILDING HEIGHTS	32'-7"	25'-3"	24%
BUILDING LENGTHS	52'-7"	43'-6"	24%
BUILDING WIDTHS	28'-3"	16'-6"	42%
SQFT UNDER ROOF	2786	1202	57%



**PROPOSED FIRST FLOOR PLAN**  
1/4" = 1'-0" (1/8" IF HALF-SIZED)

PROPOSED STRUCTURE WIDTH - 34.5% SMALLER THAN EXISTING STRUCTURE

PROPOSED STRUCTURE WIDTH - 42% SMALLER THAN EXISTING STRUCTURE

PROPOSED STRUCTURE LENGTH - 24% SMALLER THAN EXISTING STRUCTURE



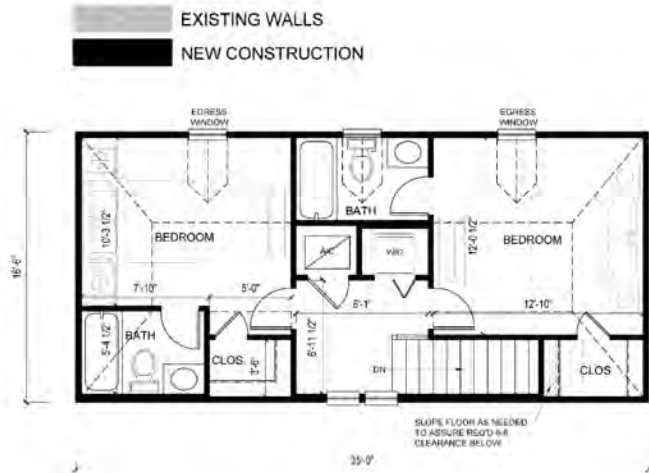


**Previous Second Floor Plan**



PREVIOUS SECOND FLOOR PLAN

1/4" = 1'-0" (1/8" IF HALF-SIZED)  
(Submitted 7.25.19)



**Proposed Second Floor Plan**



PROPOSED SECOND FLOOR PLAN

1/4" = 1'-0" (1/8" IF HALF-SIZED)



HOUSING  
DESIGN  
MATTERS

HOUSING DESIGN MATTERS  
11512 LANE MEAD AVENUE  
SUITE 102  
JACKSONVILLE, FL 32256  
TELEPHONE 384.512.1503

DERYLL L. PATTERSON

SC LIC. No. 3988



2 JUDITH STREET  
MODIFICATIONS TO DUPLEX RESIDENCE  
AND NEW ADDITION

11.14.20 IS SUBMITTAL  
NOT VALID UNLESS WET  
SIGNATURE AND RAISED SEAL

PREVIOUS &  
PROPOSED  
SECOND  
LEVEL FLOOR  
PLANS

A-102





HOUSING  
DESIGN  
MATTERS

HOUSING DESIGN MATTERS  
11517 LAKE MEAD AVENUE  
SUITE 102  
JACKSONVILLE, FL 32256  
TELEPHONE: 904.321.1900

DERYL L. PATTERSON

SC LIC. No. 5995

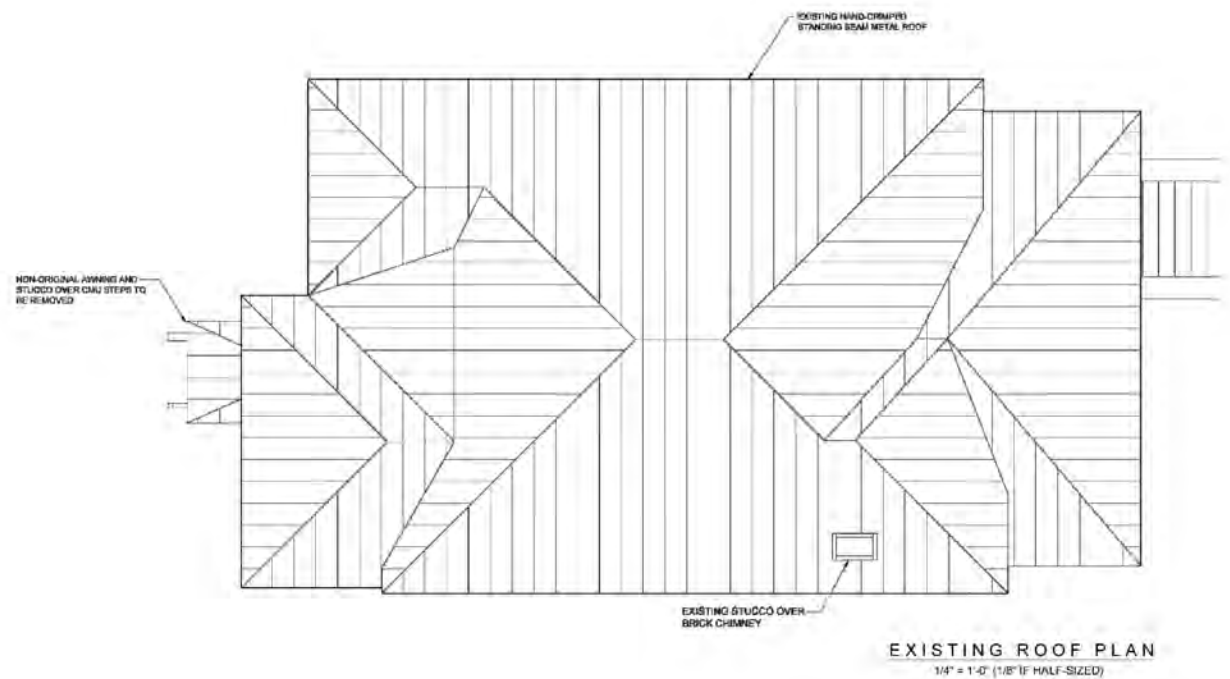


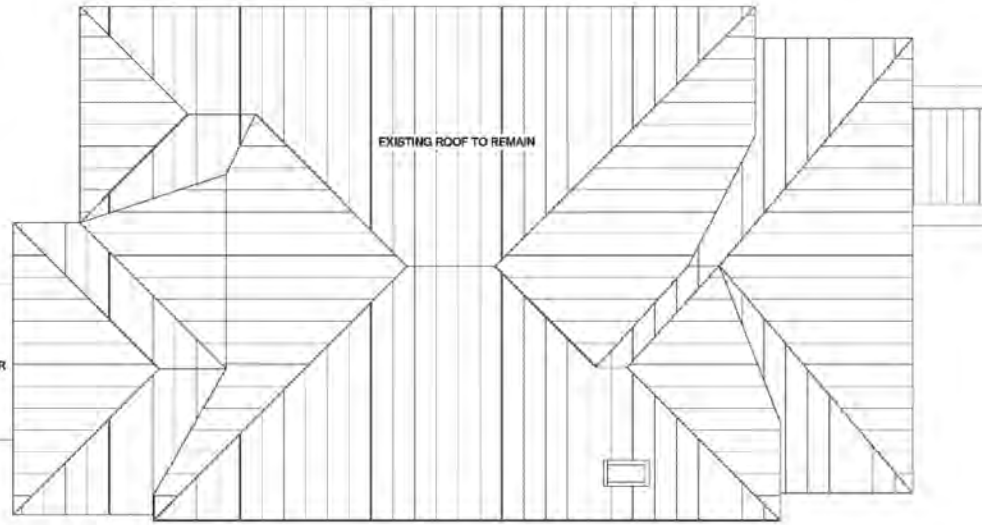
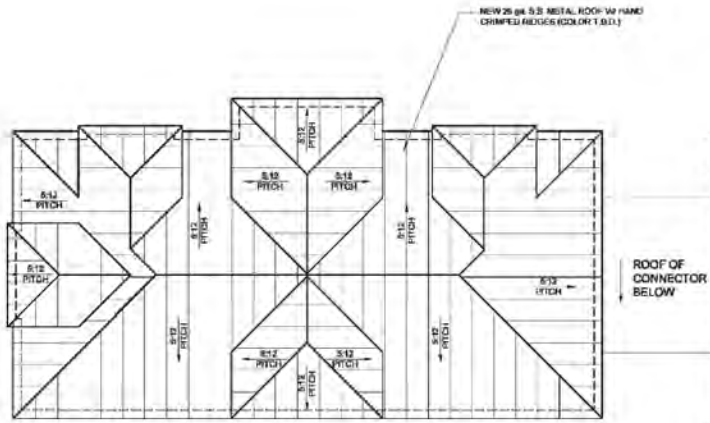
2 JUDITH STREET  
MODIFICATIONS TO DUPLEX RESIDENCE  
AND NEW ADDITION

12/12/2019 SUBMITAL  
NOT VALID UNLESS WET  
SIGNATURE AND HARBED SEAL


EXISTING  
ROOF PLAN

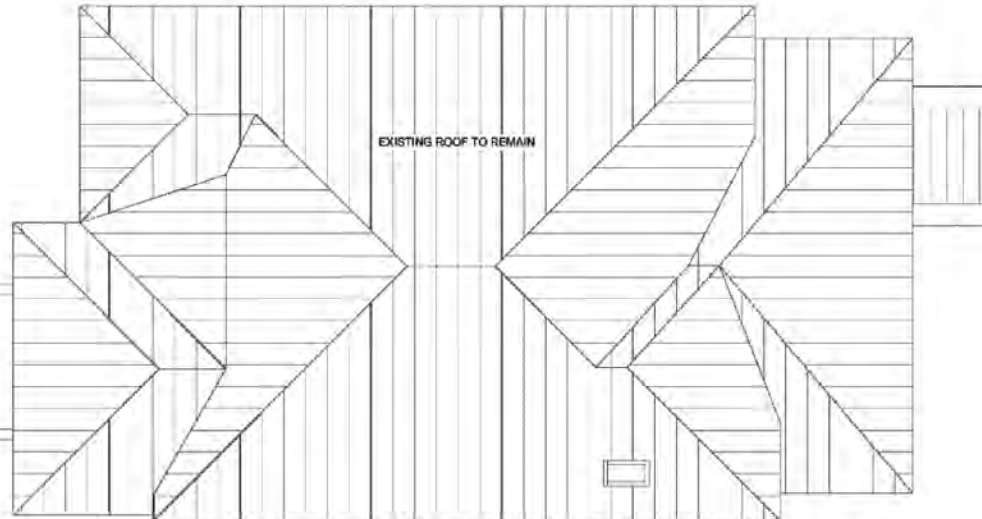
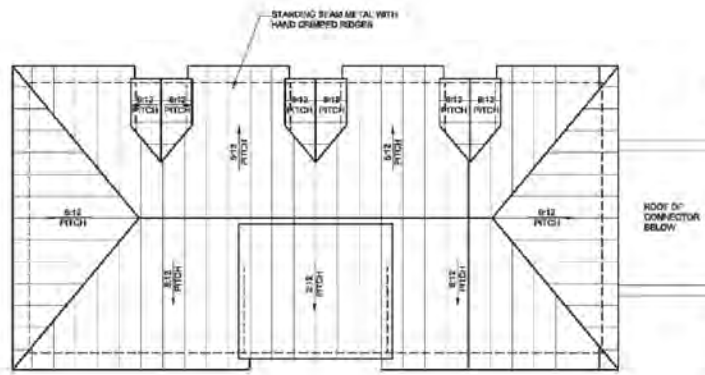
A-103





**Previous Roof Plan**

**PREVIOUS ROOF PLAN**  
 1/4" = 1'-0" (1/8" IF HALF-SIZED)  
 (Submitted 7.25.19)



**Proposed Roof Plan**

**PROPOSED ROOF PLAN**  
 1/4" = 1'-0" (1/8" IF HALF-SIZED)



**HOUSING  
 DESIGN  
 MATTERS**

HOUSING DESIGN MATTERS  
 11412 LANE HEAD AVENUE  
 SUITE 102  
 JACKSONVILLE, FL 32256  
 TELEPHONE: 904.321.1900

DERYL L. PATTERSON

SC LIC. No. 5985



**2 JUDITH STREET**  
 MODIFICATIONS TO DUPLEX RESIDENCE  
 AND NEW ADDITION

12/12/2019 SUBMITTAL  
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 SIGNATURE AND RASSED SEAL

**PREVIOUS &  
 PROPOSED  
 ROOF PLANS**

**A-104**



HOUSING  
DESIGN  
MATTERS

HOUSING DESIGN MATTERS  
11513 LAKE MEAD AVENUE  
SUITE 102  
JACKSONVILLE, FL 32256  
TELEPHONE: 904.323.1940

DERYL L. PATTERSON

SC LIC. No. 5985



2 JUDITH STREET  
MODIFICATIONS TO DUPLEX RESIDENCE  
AND NEW ADDITION

11.14.2019 SUBMITTAL  
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SIGNATURE AND RAISED SEAL.

EXISTING  
EXTERIOR  
ELEVATIONS

A-200a



EXISTING SOUTH ELEVATION  
NO ADDITIONAL CHANGES REQUIRED  
1/4" = 1'-0" (1/8" IF HALF-SIZED)



EXISTING EAST SIDE ELEVATION  
1/4" = 1'-0" (1/8" IF HALF-SIZED)



**HOUSING  
DESIGN  
MATTERS**

HOUSING DESIGN MATTERS  
11513 LAKE MEAD AVENUE  
SUITE 102  
JACKSONVILLE, FL 32256  
TELEPHONE: 904.321.1940

DERYL L. PATTERSON

SC LIC. No. 5985



**2 JUDITH STREET**  
MODIFICATIONS TO DUPLEX RESIDENCE  
AND NEW ADDITION

11.14.2019 SUBMITAL  
NOT VALID UNLESS WET  
SIGNATURE AND RAISED SEAL

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

EXISTING  
EXTERIOR  
ELEVATIONS

A-200b



**EXISTING NORTH (Rear) ELEVATION**  
1/4" = 1'-0" (1/8" IF HALF-SIZED)



**EXISTING WEST SIDE ELEVATION**  
1/4" = 1'-0" (1/8" IF HALF-SIZED)





HOUSING DESIGN MATTERS

HOUSING DESIGN MATTERS  
11513 LAKE MEAD AVENUE  
SUITE 102  
JACKSONVILLE, FL 32256  
TELEPHONE: 321.321.1940

DERYL L. PATTERSON

SC LIC No. 5985



2 JUDITH STREET  
MODIFICATIONS TO DUPLEX RESIDENCE  
AND NEW ADDITION

12/12/2019 SUBMITAL  
NOT VALID UNLESS WET  
SIGNATURE AND RABBED SEAL

PREVIOUS &  
PROPOSED  
EXTERIOR  
ELEVATIONS

A-201



**Previous East Side Elevation**

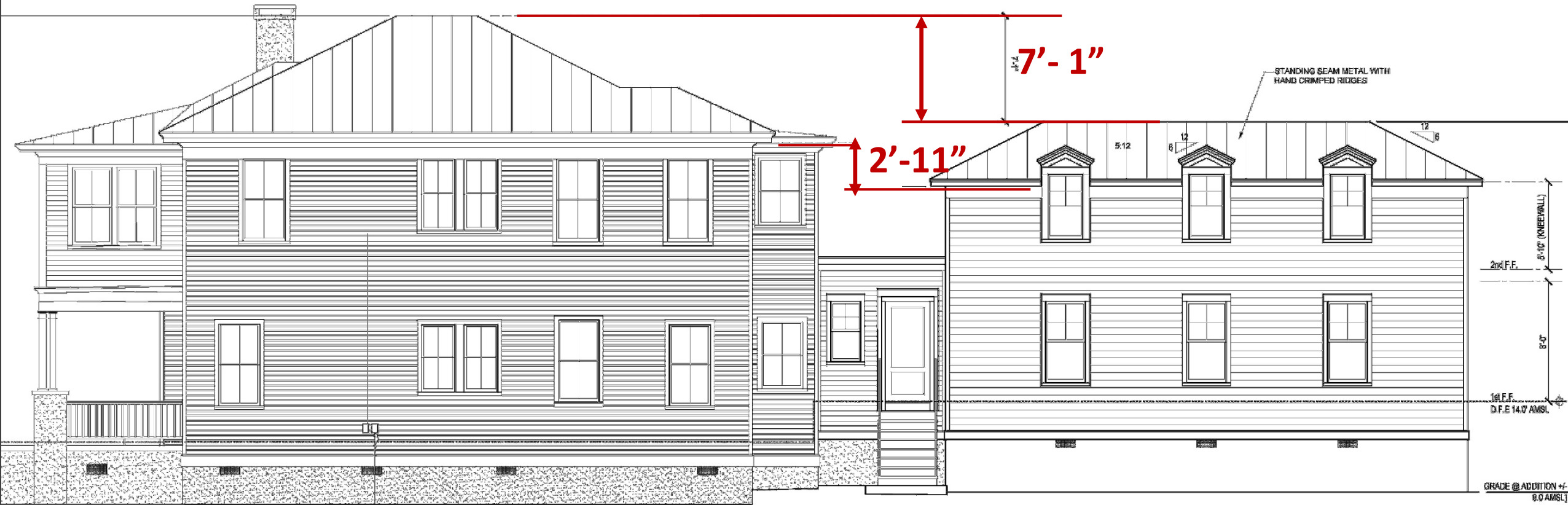
PREVIOUS EAST SIDE ELEVATION  
1/4" = 1'-0" (1/8" IF HALF-SIZED)  
(Submitted 7.25.19)



**Proposed East Side Elevation**

PROPOSED EAST SIDE ELEVATION  
1/4" = 1'-0" (1/8" IF HALF-SIZED)

# Subordinate in Height, Scale and Mass



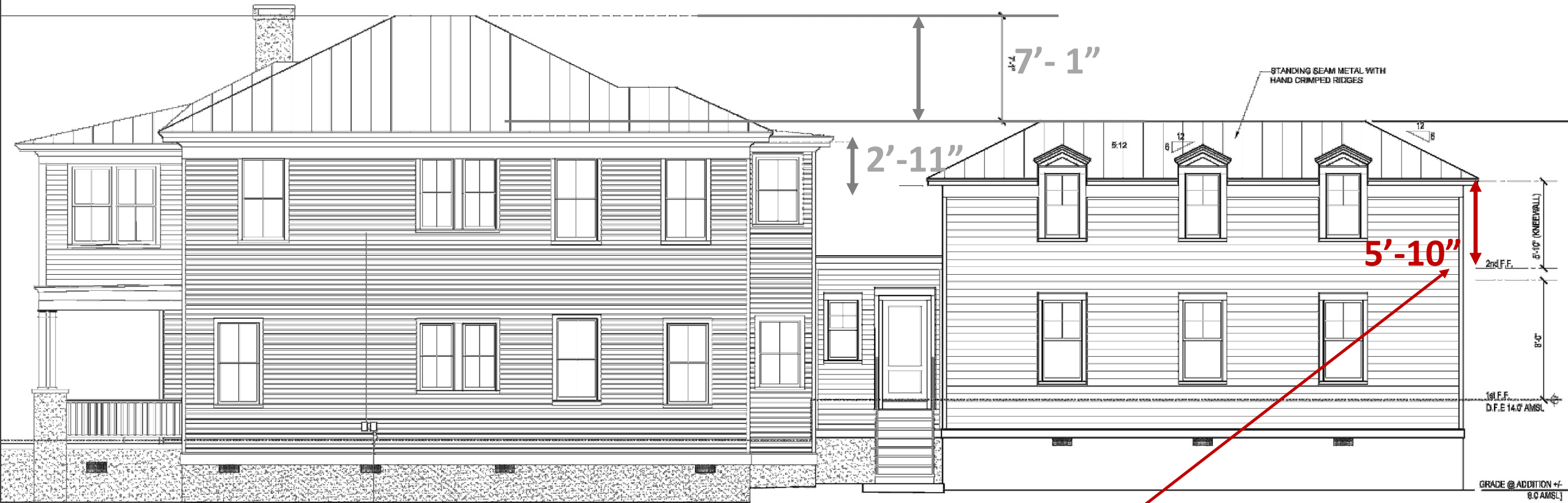
**Ridge lowered 1'-6 ¼"** from previous submission

**Eave dropped 8 ½"** from previous submission

Second floor plate height is 5'-10"

Ridge of addition slightly just higher than eave of main house

# Subordinate in Height, Scale and Mass



Ridge lowered  $1'-6 \frac{1}{4}''$  from previous submission

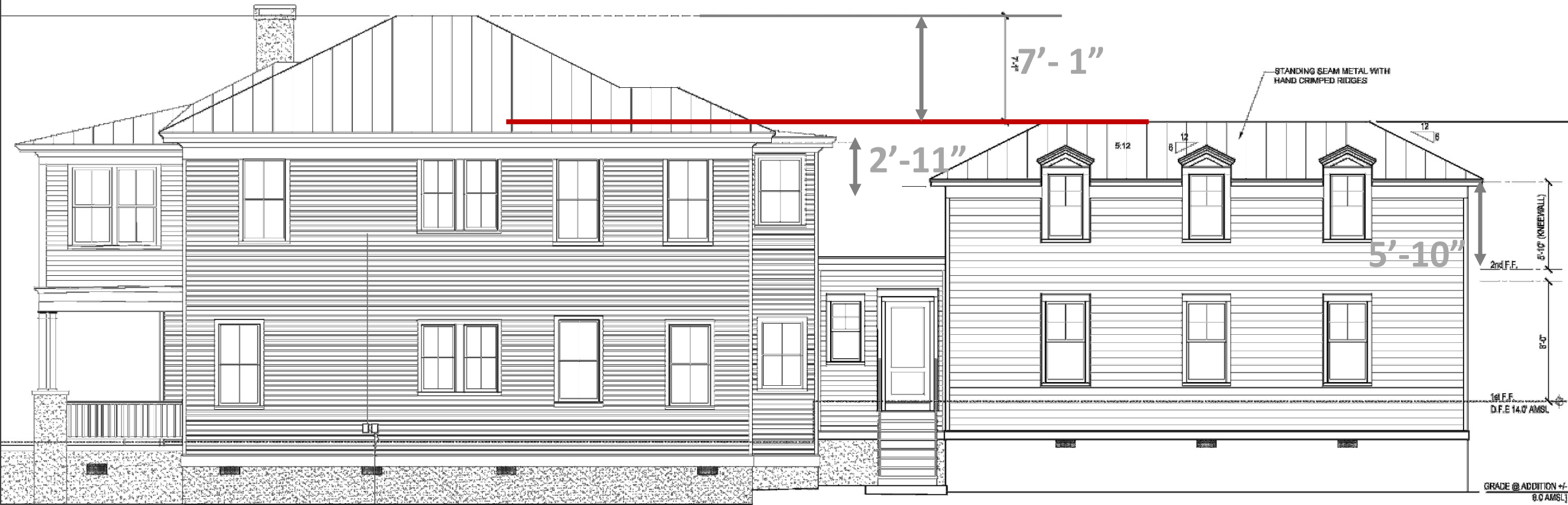
Eave dropped  $8 \frac{1}{2}''$  from previous submission

**Second floor plate height is  $5'-10''$**

Ridge of addition slightly just higher than eave of main house



# Subordinate in Height, Scale and Mass



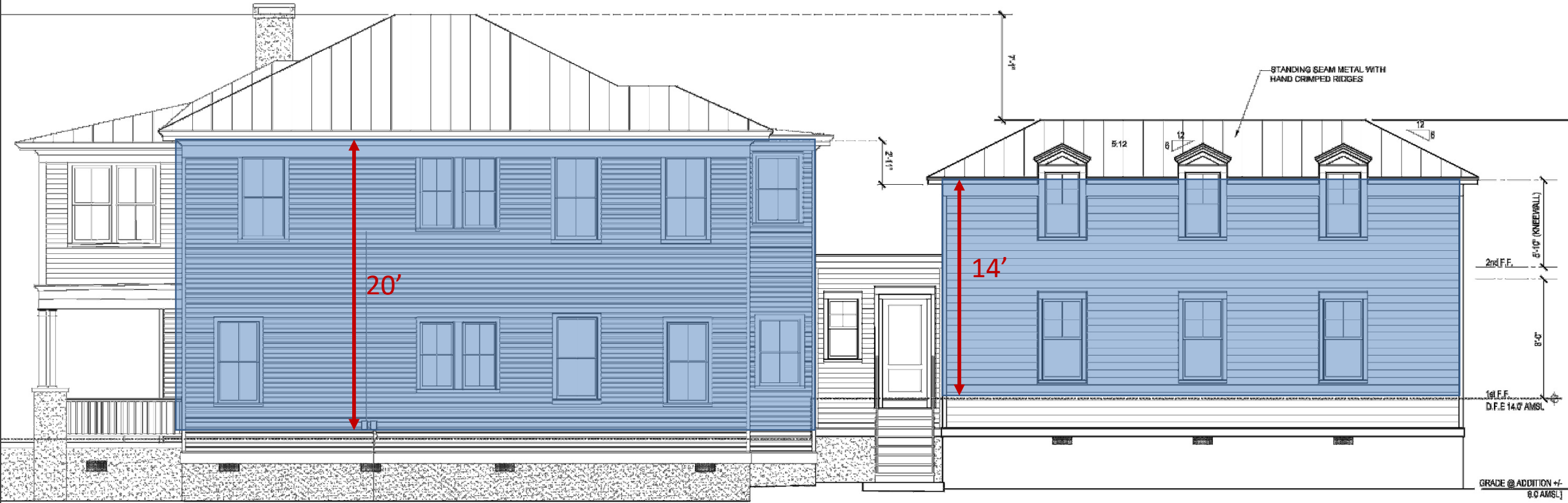
Ridge lowered 1'-6 ¼" from previous submission

Eave dropped 8 ½" from previous submission

Second floor plate height is 5'-10"

**Ridge of addition just slightly higher than eave of main house**

# One and a Half Story Addition



PROPOSED EAST SIDE ELEVATION

1/4" = 1'-0" (1/8" IF HALF-SIZED)

$$20' \times .75 = 15'$$

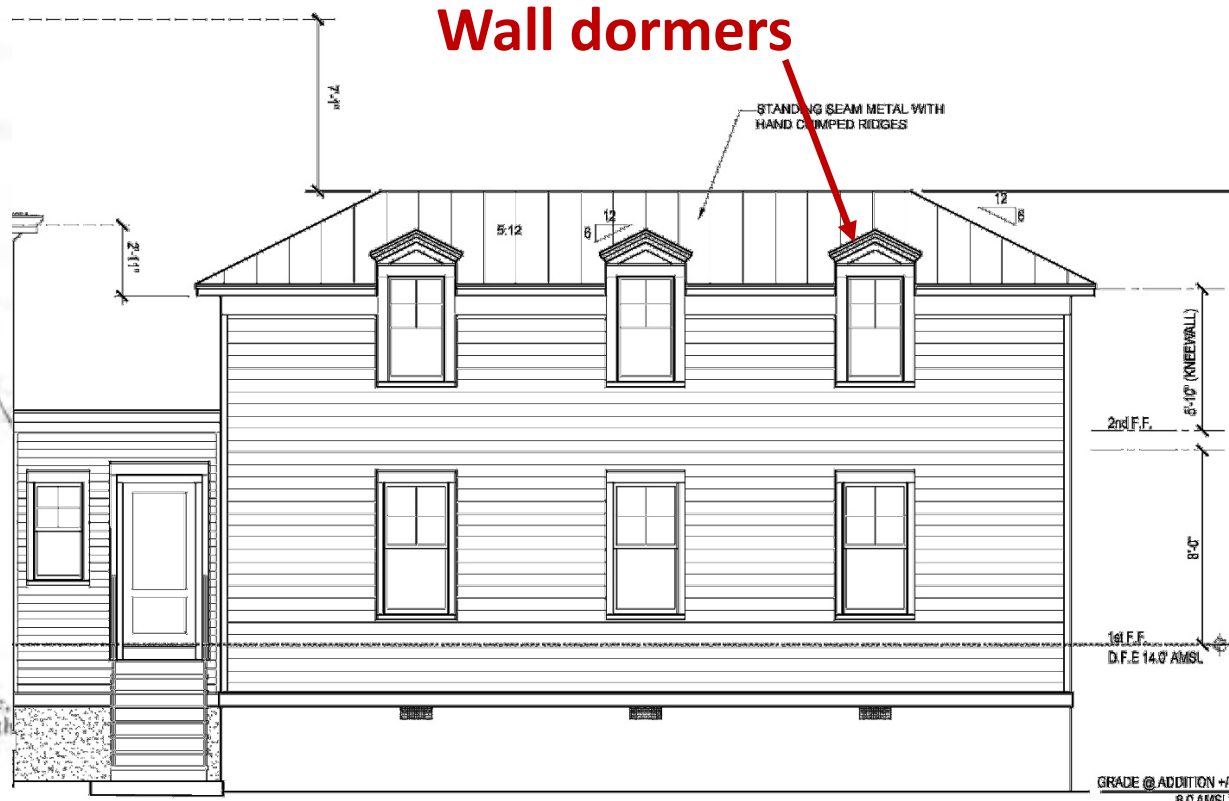
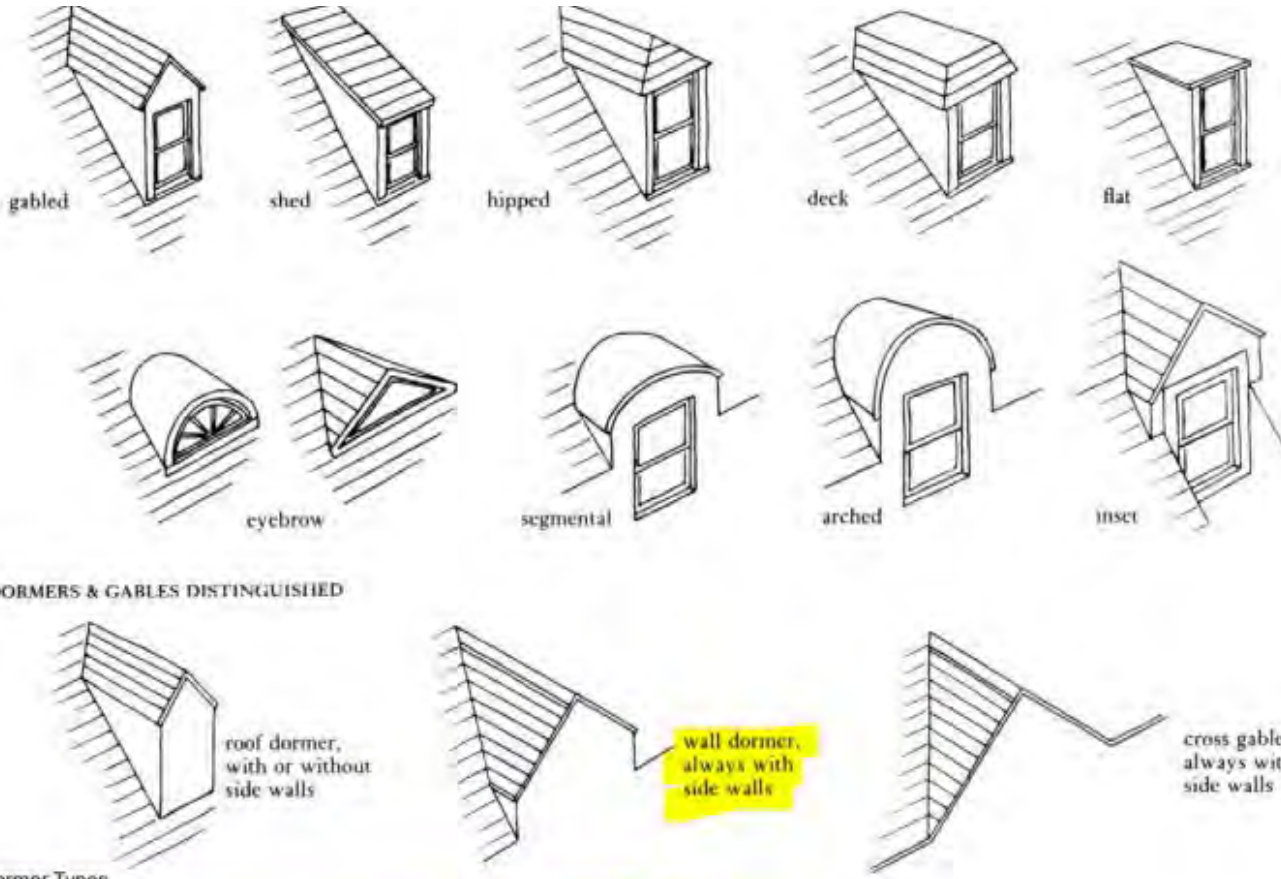
# Subordinate in Detail and Design



**Simpler three bay window pattern, building form & roof design. Windows of the addition are smaller and utilize a 4 over 1 window lites to differentiate them from original house.**



# Dormer Windows Key to 2<sup>nd</sup> Floor Livability



ELEVATION  
(NOT TO SCALE)

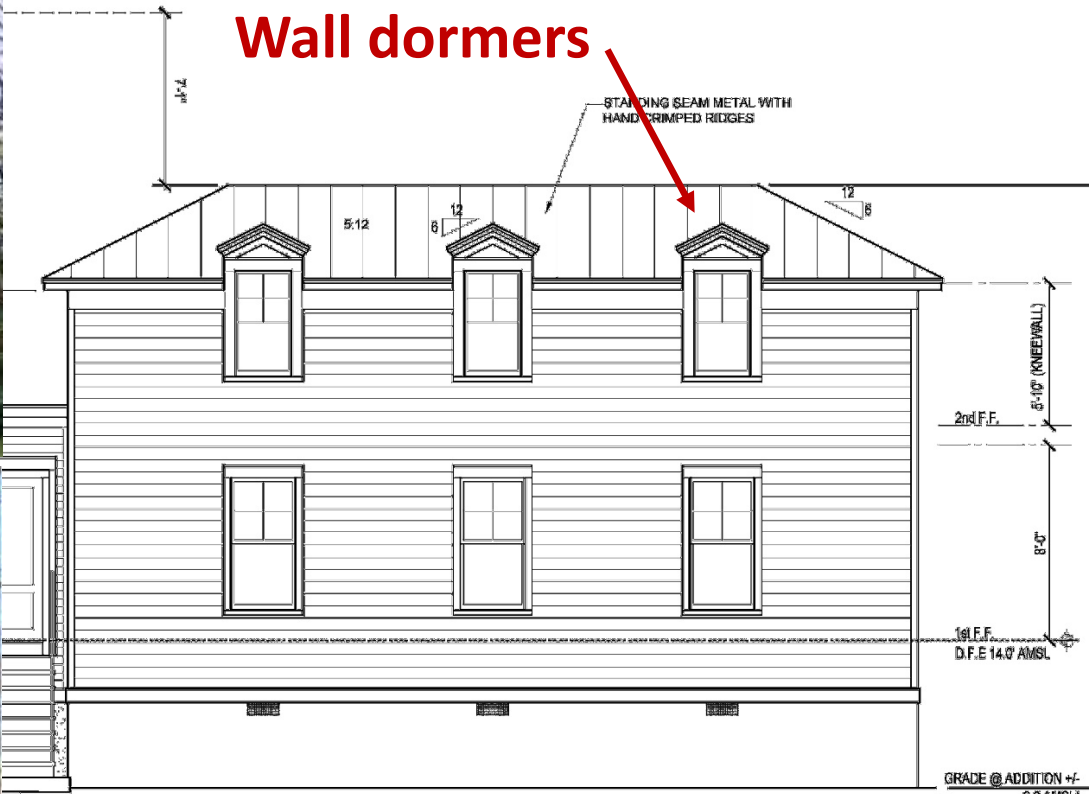
DORMERS & GABLES DISTINGUISHED

Dormer Types

Image Credit: Page 44, A Field Guide to American Houses, Virginia & Lee McAlister, 1984

Wall dormers as defined by: A Field Guide to American Houses

# Historical Precedent for Wall Dormers



TION



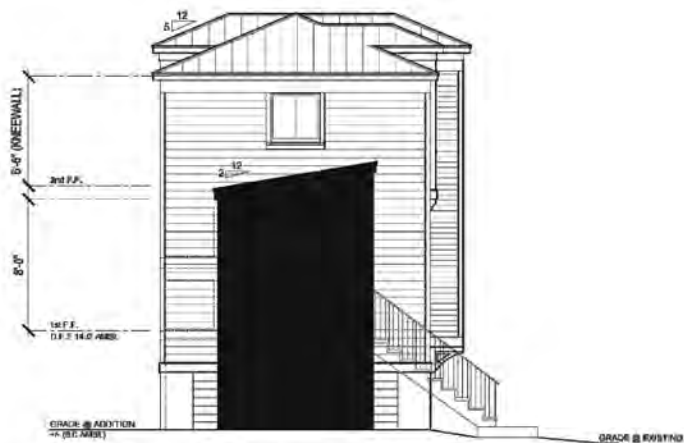
PREVIOUS NORTH ELEVATION  
1/4" = 1'-0" (1/8" IF HALF-SIZED)  
(Submitted 7.25.19)

## Previous North Elevation

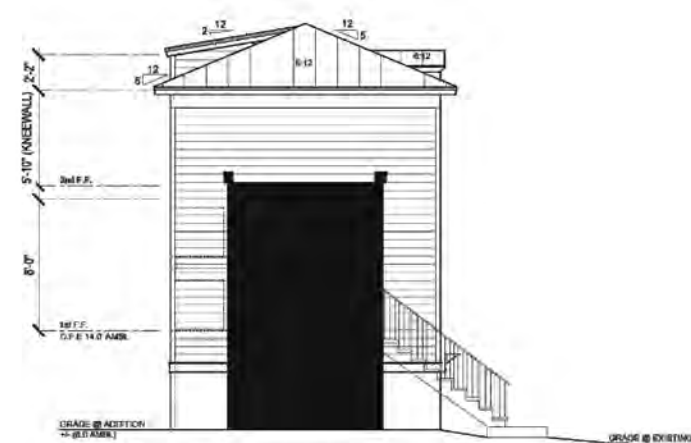


PROPOSED NORTH ELEVATION  
1/4" = 1'-0" (1/8" IF HALF-SIZED)

## Proposed North Elevation



## Previous South Elevation



## Proposed South Elevation



HOUSING  
DESIGN  
MATTERS

HOUSING DESIGN MATTERS  
11413 LAKE MEAD AVENUE  
SUITE 102  
JACKSONVILLE, FL 32256  
TELEPHONE: 904.321.1940

DERYL L. PATTERSON

SC LID No. 5985



2 JUDITH STREET  
MODIFICATIONS TO DUPLEX RESIDENCE  
AND NEW ADDITION

12.12.2019 SUBMITAL  
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SIGNATURE AND RAISED SEAL.

PREVIOUS &  
PROPOSED  
EXTERIOR  
ELEVATIONS

A-202





HOUSING DESIGN MATTERS

HOUSING DESIGN MATTERS  
11517 LAKE MEAD AVENUE  
SUITE 102  
JACKSONVILLE, FL 32254  
TELEPHONE: 904.372.1500

DERYL L. PATTERSON

SC LID No. 5995



2 JUDITH STREET  
MODIFICATIONS TO DUPLEX RESIDENCE  
AND NEW ADDITION

12-12-2019 SUBMITTAL  
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SIGNATURE AND RASSED SEAL

PREVIOUS &  
PROPOSED  
EXTERIOR  
ELEVATIONS

A-203

GUTTERS/DOWNSPOUTS NOT SHOWN FOR CLARITY -  
CONTRACTOR TO COORDINATE WITH INSTALLER AND  
SUBMIT PROPOSED CONFIGURATION FOR  
REVIEW/APPROVAL PRIOR TO INSTALLATION



# Previous West Elevation

PREVIOUS WEST SIDE ELEVATION

1/4" = 1'-0" (1/8" IF HALF-SIZED)  
(Submitted 7.25.19)



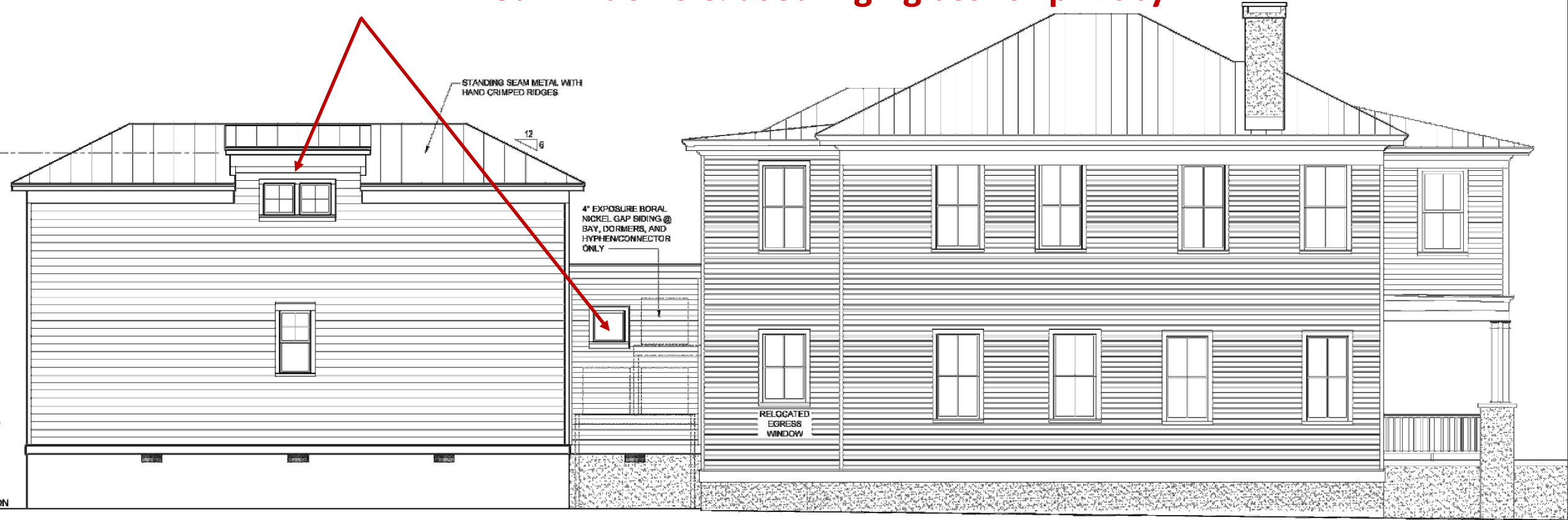
# Proposed West Elevation

PROPOSED WEST SIDE ELEVATION

1/4" = 1'-0" (1/8" IF HALF-SIZED)

# Being a Good Neighbor

Minimized windows & used high glass for privacy



**PROPOSED WEST SIDE ELEVATION**

1/4" = 1'-0" (1/8" IF HALF-SIZED)



JUDITH STREET VIEW



AERIAL VIEW CORNER OF JUDITH STREET AND AMERICA STREET



AMERICA STREET VIEW



HOUSING  
DESIGN  
MATTERS

HOUSING DESIGN MATTERS  
11512 LAKE MEAD AVENUE  
SUITE 102  
JACKSONVILLE, FL 32256  
TELEPHONE: 904-372-1505

DERYL L. PATTERSON

SC LIC. No. 5995



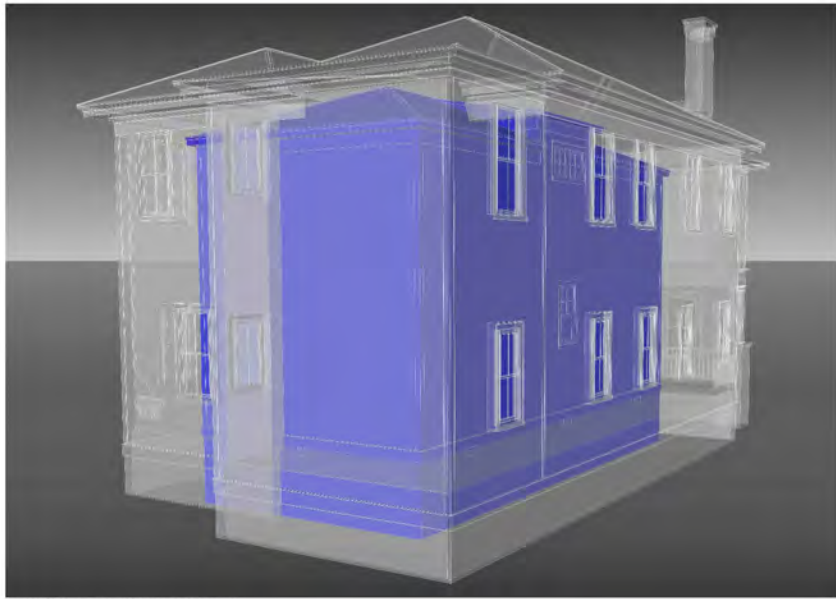
2 JUDITH STREET  
MODIFICATIONS TO DUPLEX RESIDENCE  
AND NEW ADDITION

12-12-2019 SUBMITAL  
NOT VALID UNLESS WET  
SIGNATURE AND RAISED SEAL

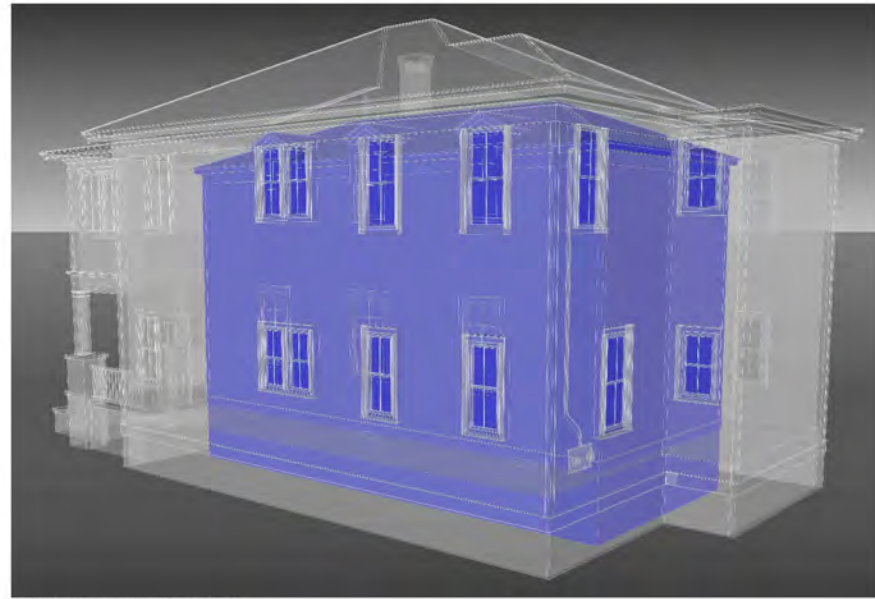
CURRENT  
3D VIEWS

A-301



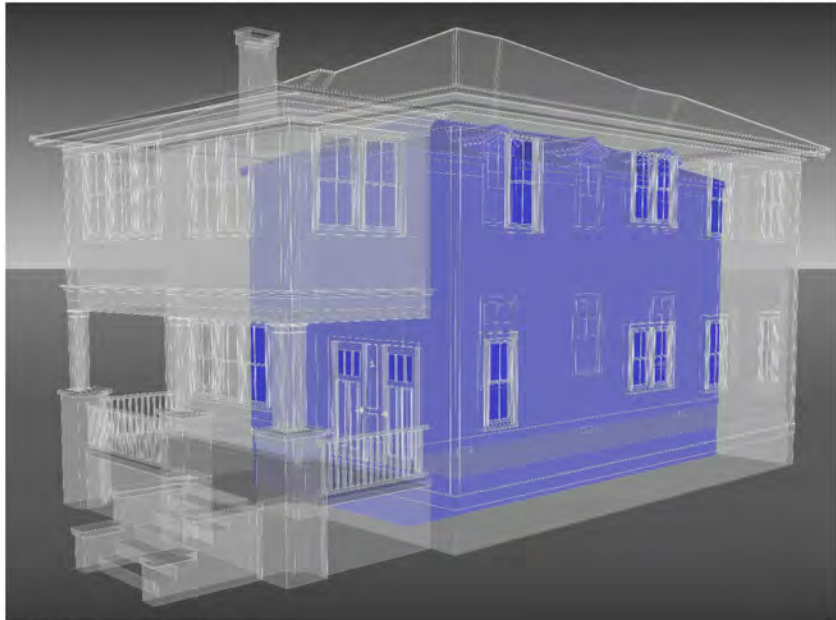


NORTH WEST CORNER ELEVATION

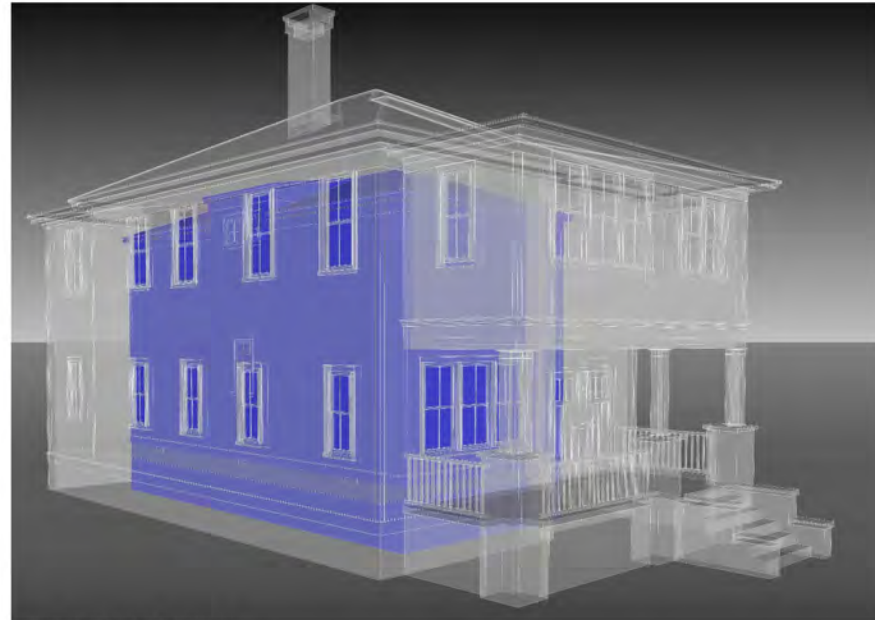


NORTH EAST CORNER ELEVATION

ADDITION FITS WITHIN ORIGINAL HOUSE WITHOUT CONTACTING FRONT, SIDES, REAR WALL AND ROOF



SOUTH EAST CORNER ELEVATION



SOUTH WEST CORNER ELEVATION



HOUSING  
DESIGN  
MATTERS

HOUSING DESIGN MATTERS  
11512 LAKE MEAD AVENUE  
SUITE 102  
JACKSONVILLE, FL 32256  
TELEPHONE: 904-372-1500

DERYL L. PATTERSON

SC LIC. No. 5985



2 JUDITH STREET  
MODIFICATIONS TO DUPLEX RESIDENCE  
AND NEW ADDITION

12.12.2019 SUBMITAL  
NOT VALID UNLESS WET  
SIGNATURE AND RAISED SEAL.

ILLUSTRATION  
OF  
SUBORDINATE  
SCALE

A-302







**APPLICANT  
PRESENTATION**



**Agenda Item 11:**

**103 Ashley Avenue – TMS # 457-03-01-065**

**Requesting conceptual approval for new construction of a rear dependency.**

**Category 4 / Harleston Village / circa 1905 / Old City District**



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Note: These drawings are strictly representations of the existing conditions of the structure and are the result of on site investigations of accessible areas. All dimensions and scaled elements noted herein are for reference only and should be verified by all individuals utilizing these documents for any other purpose.

McNulty Residence | 103 Ashley Ave, Charleston SC 29401

eefava architects, etc., inc. | 54 Broad Street | Charleston, South Carolina 29401 | 843.723.5099 | eefava.com



#### SHEET LIST

A000	Cover
A001	Survey
A002	Sanborn Maps and Existing Photos
A100	Existing and Proposed Site Plan
A101	Existing and Proposed Floor Plans
A102	Existing and Proposed Roof Plans
A201	Existing and Proposed Building Context Elevations
A202	Existing and Proposed Building Context Elevations
A211	Proposed Building Elevations
A212	Existing Building Elevations
A501	3D Perspectives

Conceptual B.A.R.  
McNulty | 103 Ashley Ave



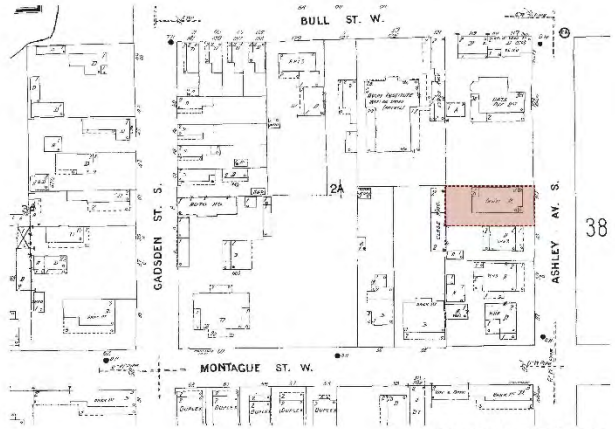
12.02.2019

SUBMITTING FOR DISCHARGE  
12.2019 ASSETING

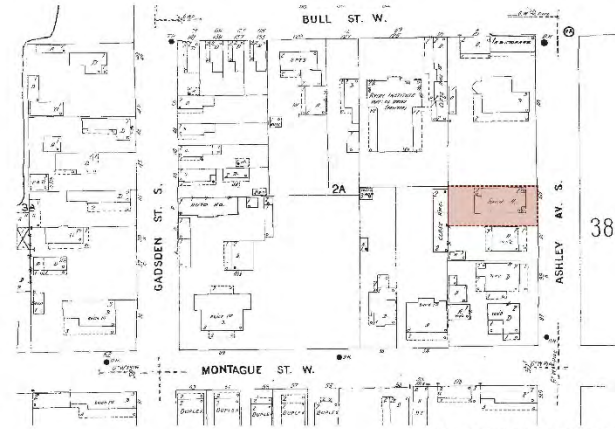




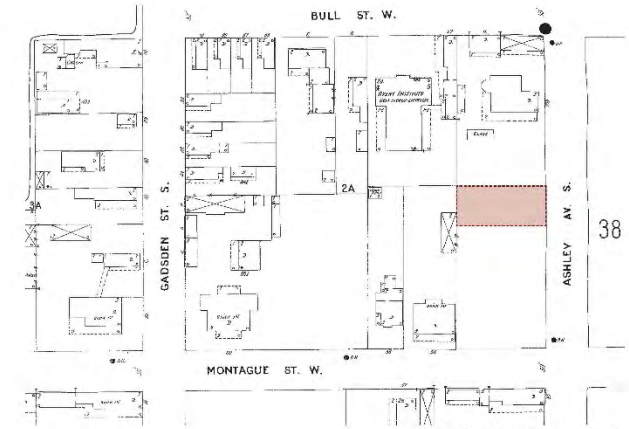
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1951 SANBORN MAP



1944 SANBORN MAP

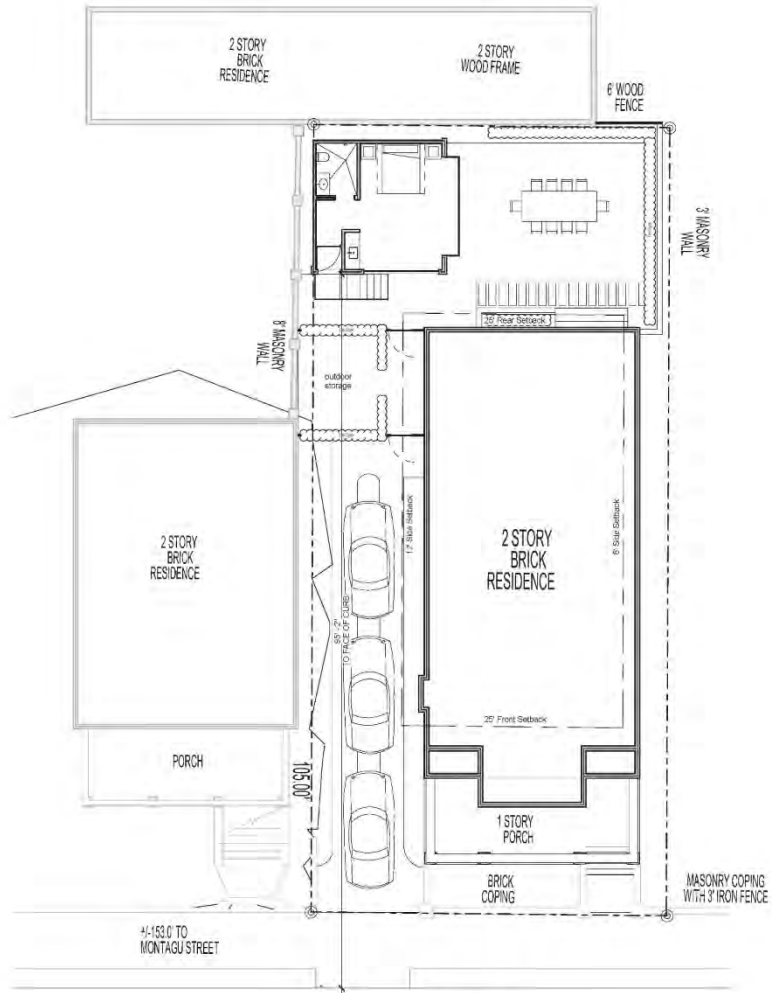


1902 SANBORN MAP

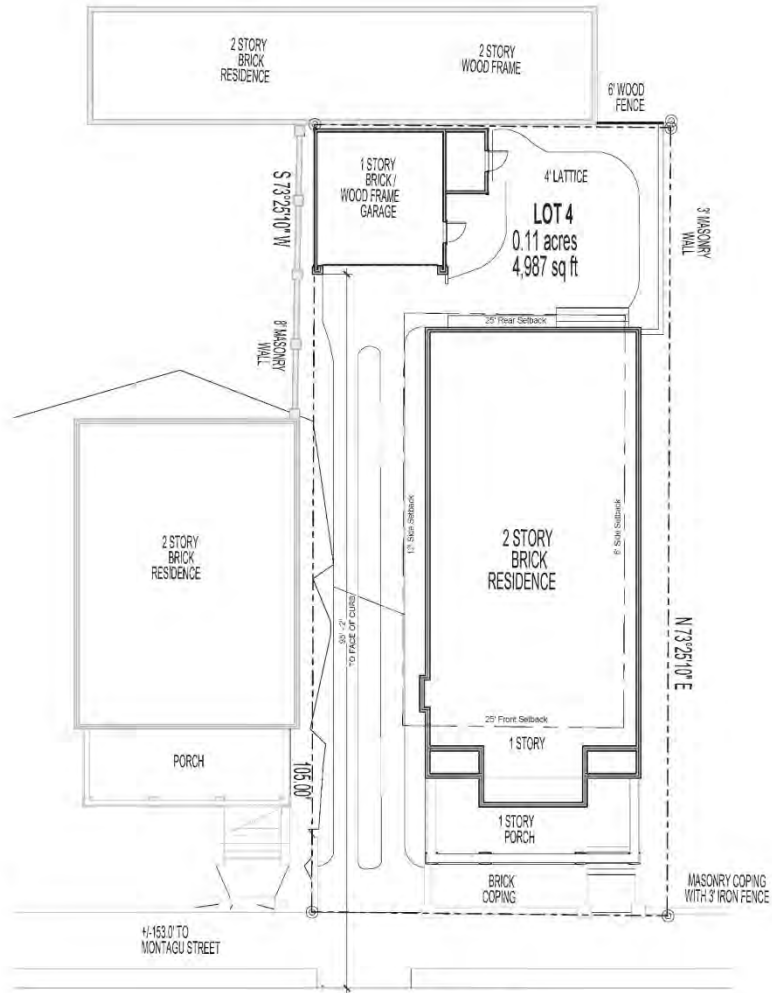


EXISTING SITE PHOTOS

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FACE OF CURB  
ADDRESS IS No. 103  
**ASHLEY AVENUE (50' R/W)**  
3  
A100  
Conceptual Site Plan  
SCALE: 1/8" = 1'-0"



FACE OF CURB  
ADDRESS IS No. 103  
**ASHLEY AVENUE (50' R/W)**  
1  
A100  
Existing Site Plan  
SCALE: 1/8" = 1'-0"

STR

Minimum Lot Size: 6,000 SF  
Actual Lot Size: 4,987 SF  
Allowable Lot Occupancy

Lot Size: 4,987 SF  
Total allowable building coverage: 2,493 SF (50%)

Existing Lot Occupancy

Existing Main House: 2,063 SF  
Existing Garage: 382 SF  
Total existing building coverage: 2,445 SF (49%)

Proposed Lot Occupancy | **REDUCED**

Proposed Main House: 2,063 SF  
Proposed Garage: 355 SF  
Total proposed building coverage: 2,418 SF (48%)

Required Setbacks

Setback	Existing
FRONT (East)	10'-0"
REAR (West)	25'-0"
SIDE (North)	2'-0"
SIDE (South)	12'-0"

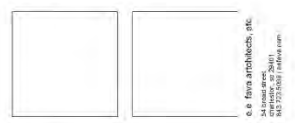
Accessory Setbacks

Setback	Existing
FRONT (East)	0'-0"
REAR (West)	0'-0"
SIDE (North)	3'-0"
SIDE (South)	3'-0"

Proposed Accessory Setbacks

Setback	Proposed
FRONT (East)	0'-0"
REAR (West)	2'-0"
SIDE (North)	2'-0"
SIDE (South)	9'-0"

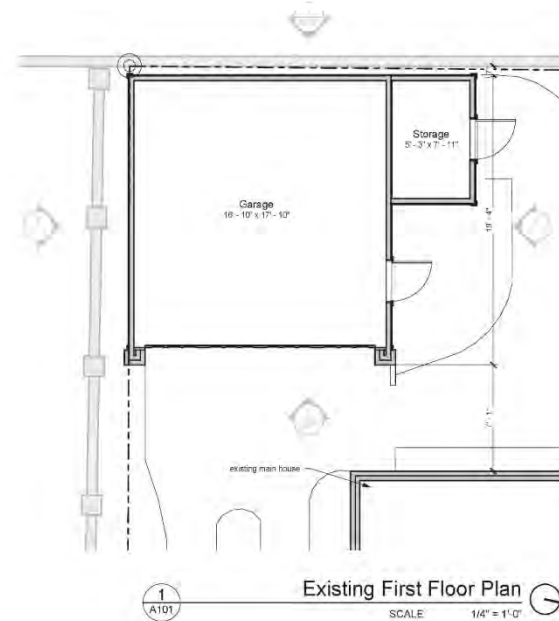
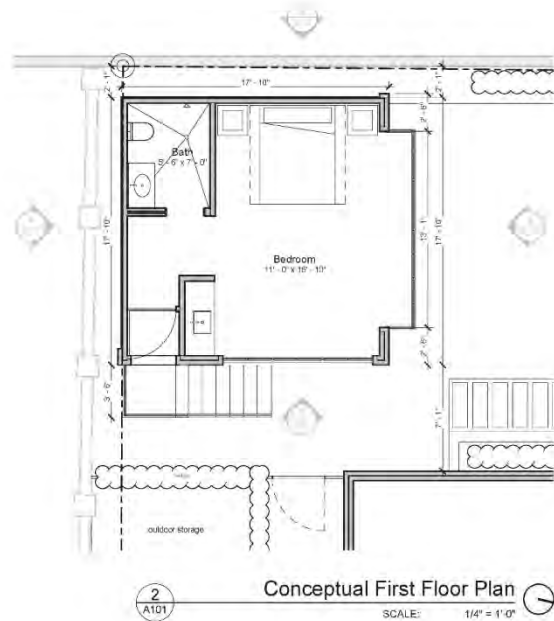
Allowable Building Height  
35' / 2.5 Stories



Revisions		
No.	Description	Date



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- General Notes**
- Contractor shall maintain a neat & orderly construction site at all times and shall not allow the unnecessary accumulation of construction debris. Contractor's hours, access, staging area, compactor, and portable w.c. location to be coordinated with and approved by Owner prior to commencement of work.
  - The building shall remain secure and weather tight at all times.
  - Contractor shall be responsible for securing all required permits and approvals necessary to initiate and complete specified work. All demolition and construction shall be in accordance with current applicable building codes and local regulation, including but not limited to, Dune Island Architectural Review Board and the City of Charleston's Zoning, Design Review, and Building Inspection Department.
  - Contractor shall notify Architects immediately of any problems/complications due to unforeseen conditions revealed during site work & construction.
  - Contractor shall notify Architect, Engineer and Owner immediately should demolition work reveal any additional "hazard" materials or substances that have not been previously removed. Architect waives all responsibility and liability for any work required, disposed, and/or completed with hazardous materials or substances.
  - The design adequacy & safety of all temporary supports, bracing, & shoring is the sole responsibility of the Contractor.
  - All dimensions must be verified by contractor prior to commencement of work, including fabrication of forms and/or architectural components. All future and architectural component sizes should be verified with Architect prior to purchase.
  - Contractor shall verify with Architect and Engineer all structural, mechanical, electrical, and plumbing conditions requiring Engineer's/Consultant's approval. Contractor shall coordinate and verify all HVAC, Plumbing, and Electrical equipment fabric specifications and locations with Architect and Engineer prior to commencement of work.
  - Contractor shall secure verification & approval in writing from the Owner for any requested change orders prior to commencing work associated with a change order.
  - Contractor shall provide documentation that structure is protected by an owner approved chemical termiticide treatment which shall include soil treatment and/or field applied wood treatment. The concentration, rate of application, and method of treatment of chemical termiticide shall be in strict accordance with the termiticide label, legally permissible regulations and standards. The Owner, Engineer, and Architect waives all responsibility & liability for Contractor's failure to follow the associated plans, specification notes, & design they copy or for problems which arise from others failure to obtain/verify the Owner's / Engineer's / Architect's guidance with respect to any non-residences, venous omissions, ambiguities, or conflicts which are alleged.

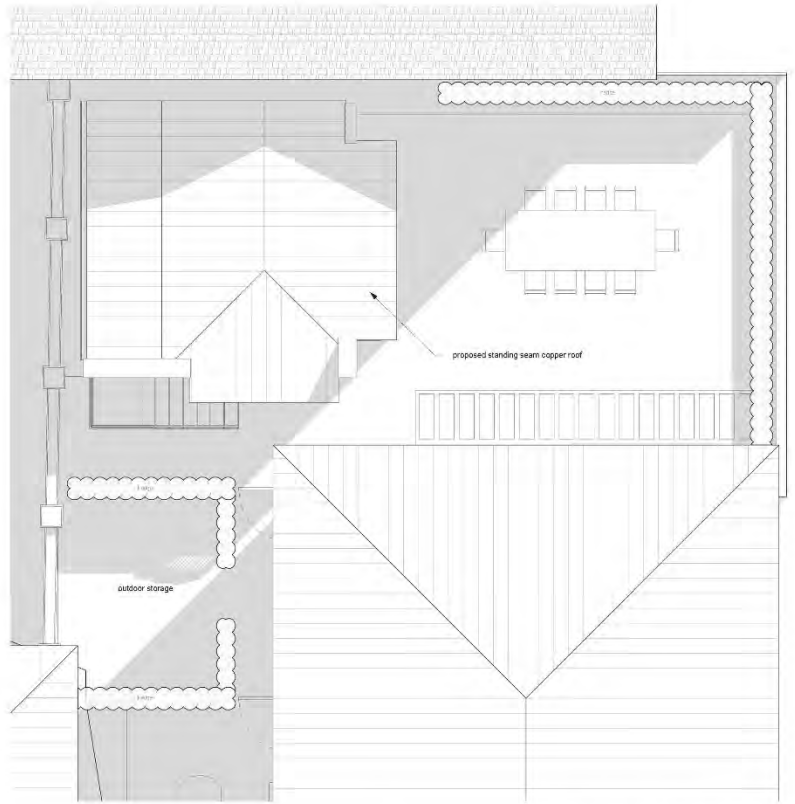
Revisions		
No.	Description	Date

12.02.2019

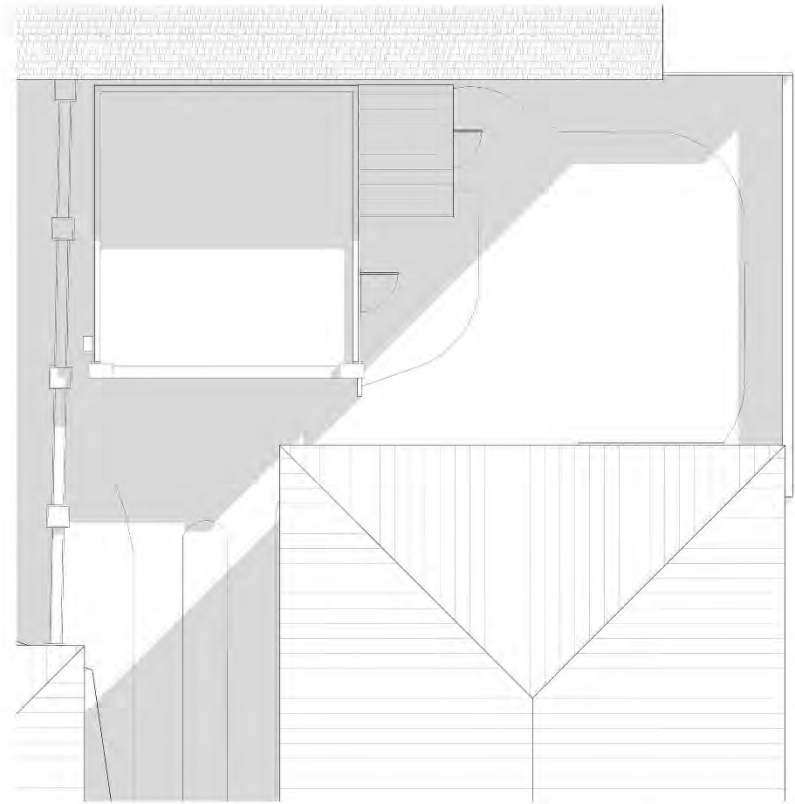
e. e. fava architects, etc.  
54 Broad Street, Charleston, SC 29401  
843.723.5099 | eefava.com

**Existing and Proposed Plans**  
**e. A101**

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3  
 A102  
**Conceptual Roof Plan**  
 SCALE: 1/4" = 1'-0"

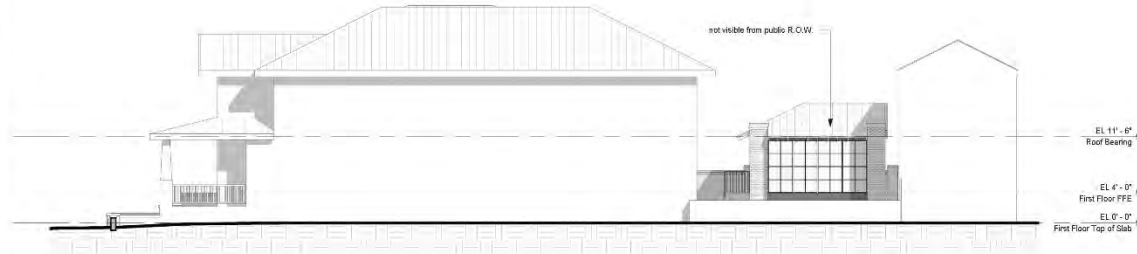


1  
 A102  
**Existing Roof Plan**  
 SCALE: 1/4" = 1'-0"

Revisions		
No.	Description	Date

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 54 BROAD STREET  
 CHARLESTON, SOUTH CAROLINA 29401  
 843.723.5099 | eefava.com

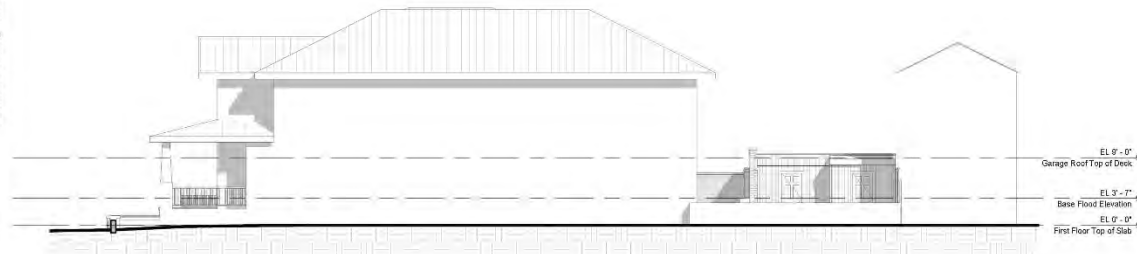
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4 Conceptual North Context Elevation  
SCALE: 1/8" = 1'-0"



3 Conceptual Front Context Elevation  
SCALE: 1/8" = 1'-0"



2 Existing North Context Elevation  
SCALE: 1/8" = 1'-0"



1 Existing Front Context Elevation  
SCALE: 1/8" = 1'-0"

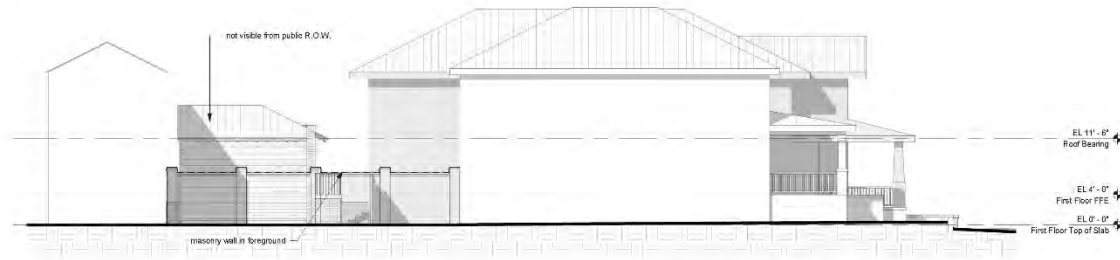
e.e. efava architects, etc.  
24 BROAD STREET, 2ND FLOOR  
CHARLESTON, SOUTH CAROLINA 29401  
843.723.5099 | eefava.com

Revisions		
No.	Description	Date

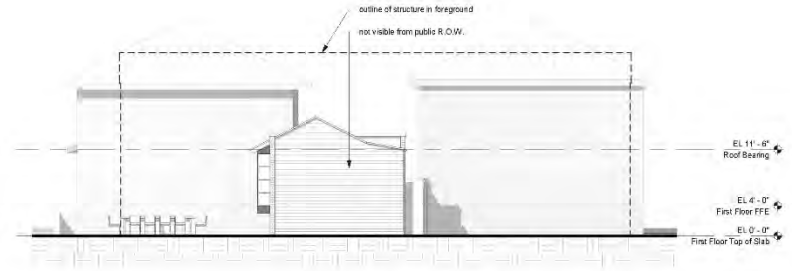
12.02.2019



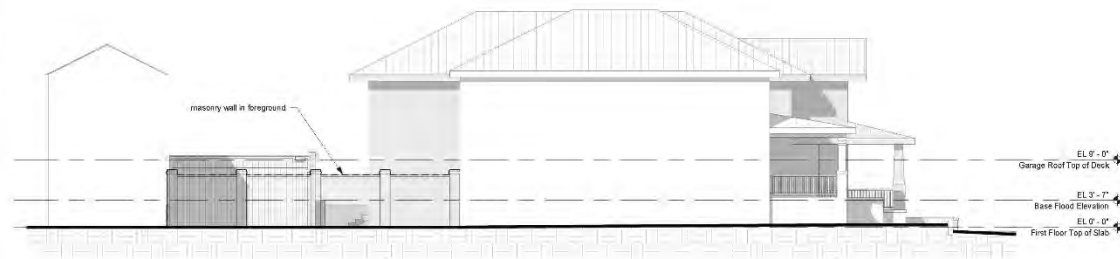
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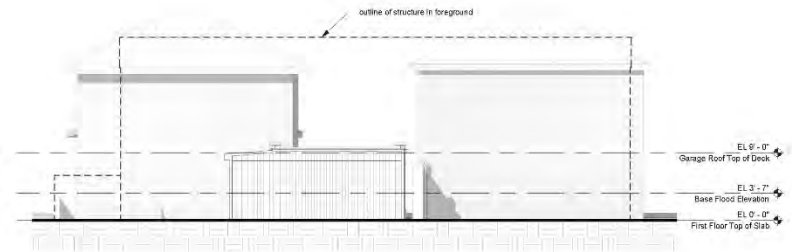
4 Conceptual South Context Elev.  
SCALE: 1/8" = 1'-0"



3 Conceptual Rear Context Elevation  
SCALE: 1/8" = 1'-0"



2 Existing South Context Elevation  
SCALE: 1/8" = 1'-0"



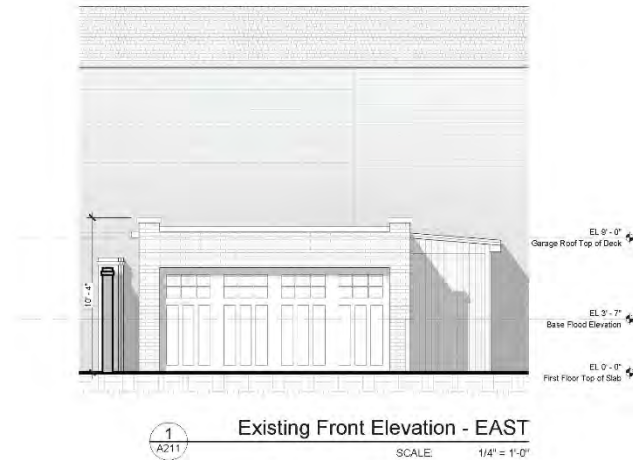
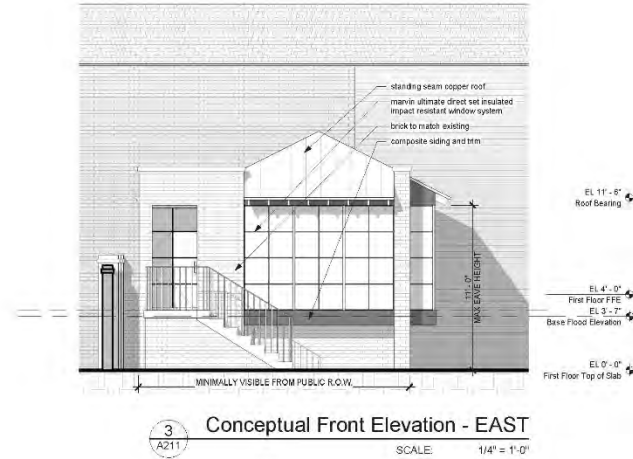
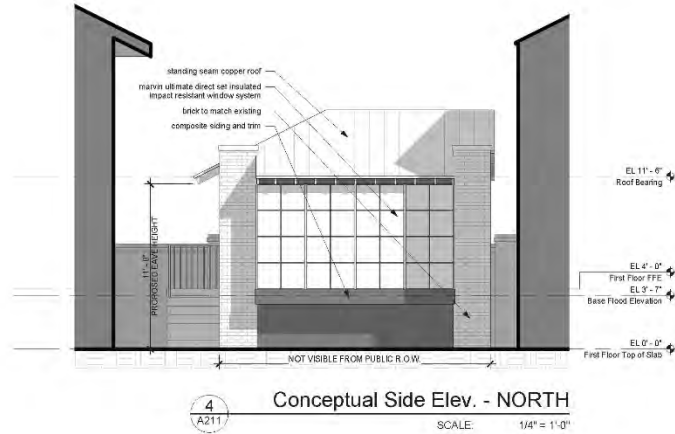
1 Existing Rear Context Elevation  
SCALE: 1/8" = 1'-0"


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12.02.2019

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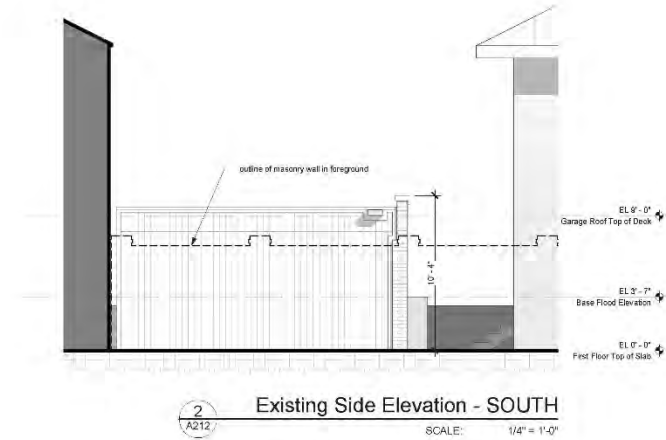
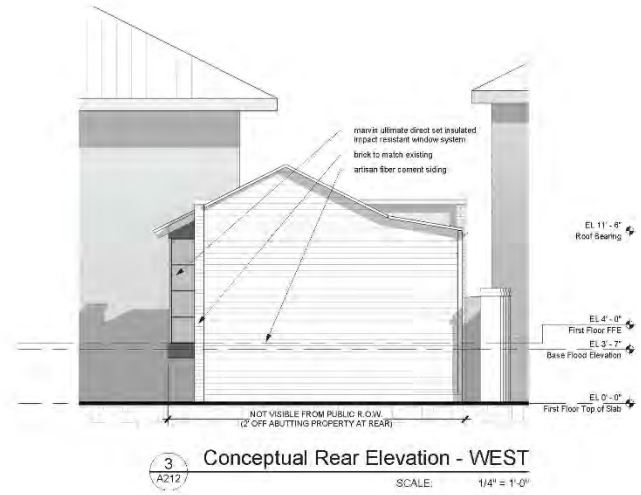
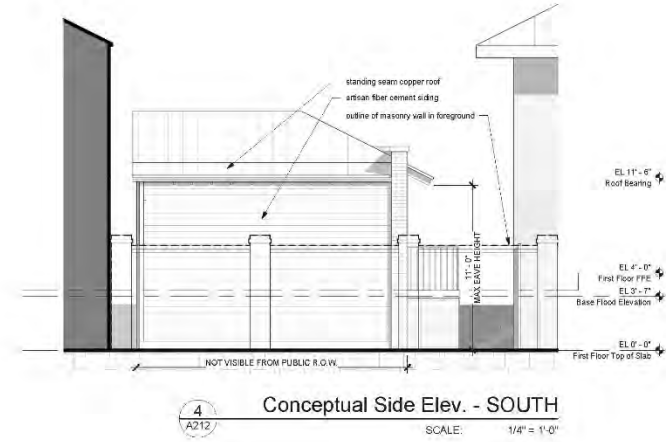


Revisions		
No.	Description	Date

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12.02.2019

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3  
A501

Conceptual 3D Perspective

NOT VISIBLE FROM PUBLIC RIGHT OF WAY SCALE:

VIEW FROM EXISTING DRIVE - PROPOSED  
HEDGES REMOVED FOR CLARITY



1  
A501

Conceptual Street View

SCALE:





**Agenda Item 12:**

**40 Hasell Street**

**Requesting conceptual approval for a 1<sup>st</sup> floor piazza enclosure with steel windows, and modifications to an existing 2<sup>nd</sup> floor piazza enclosure.**

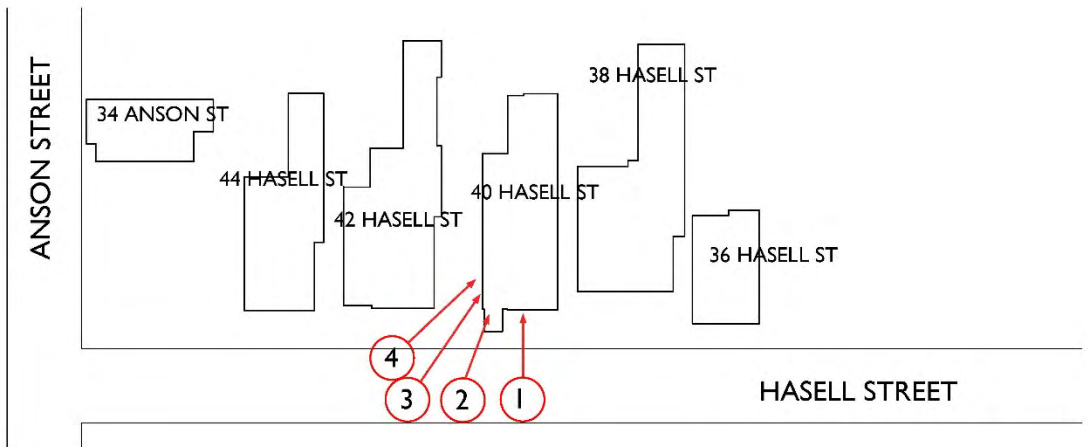
**Category 3/ Ansonborough / circa 1840 / Old and Historic District**



# BIASCOECHEA & CRUZ RESIDENCE

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C1	EXTERIOR VIEWS
C2	EXTERIOR VIEWS
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S2	PROPOSED SITE PLAN
S3	SITE LOCATION
S4	STREETSCAPE
S5	STREETSCAPE
S6	SANBORN MAPS
S7	SANBORN MAPS AND SITE PLAN
S8	HISTORIC CARD
S9	HISTORIC DOCUMENTATION
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X1.1	EXISTING FIRST FLOOR PLAN
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X1.3	EXISTING THIRD FLOOR PLAN
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A2.6	PROPOSED SECTION F AND G
A3.1	TYPICAL WALL ELEVATION, WALL SECTION AND STAIR SECTION
A4.1	DOOR AND WINDOW SCHEDULES
A4.2	DOOR AND WINDOW DETAILS
X2.0	EXISTING EXTERIOR IMAGES
X2.1	EXISTING EXTERIOR IMAGES
X2.2	EXISTING EXTERIOR IMAGES
X2.3	EXISTING EXTERIOR IMAGES
X2.4	EXISTING EXTERIOR IMAGES
X2.5	EXISTING EXTERIOR IMAGES



STREET CONTEXT PLAN

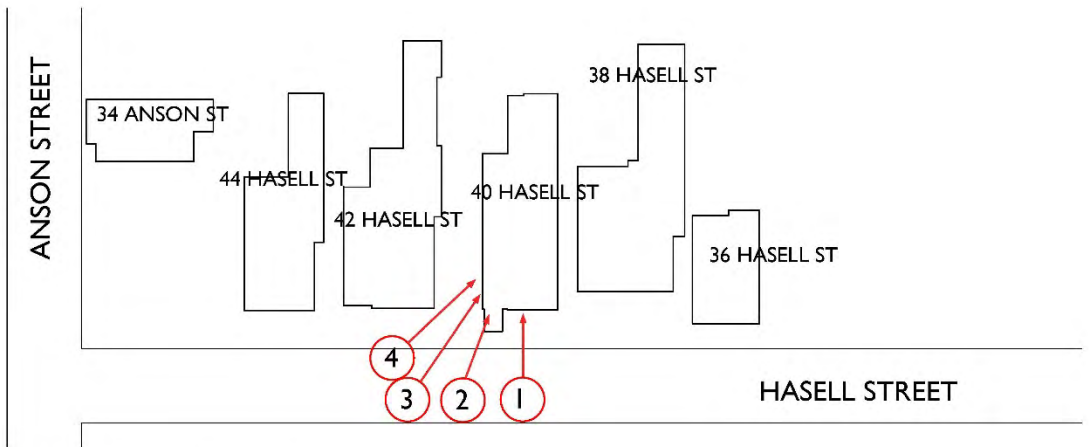


1



2





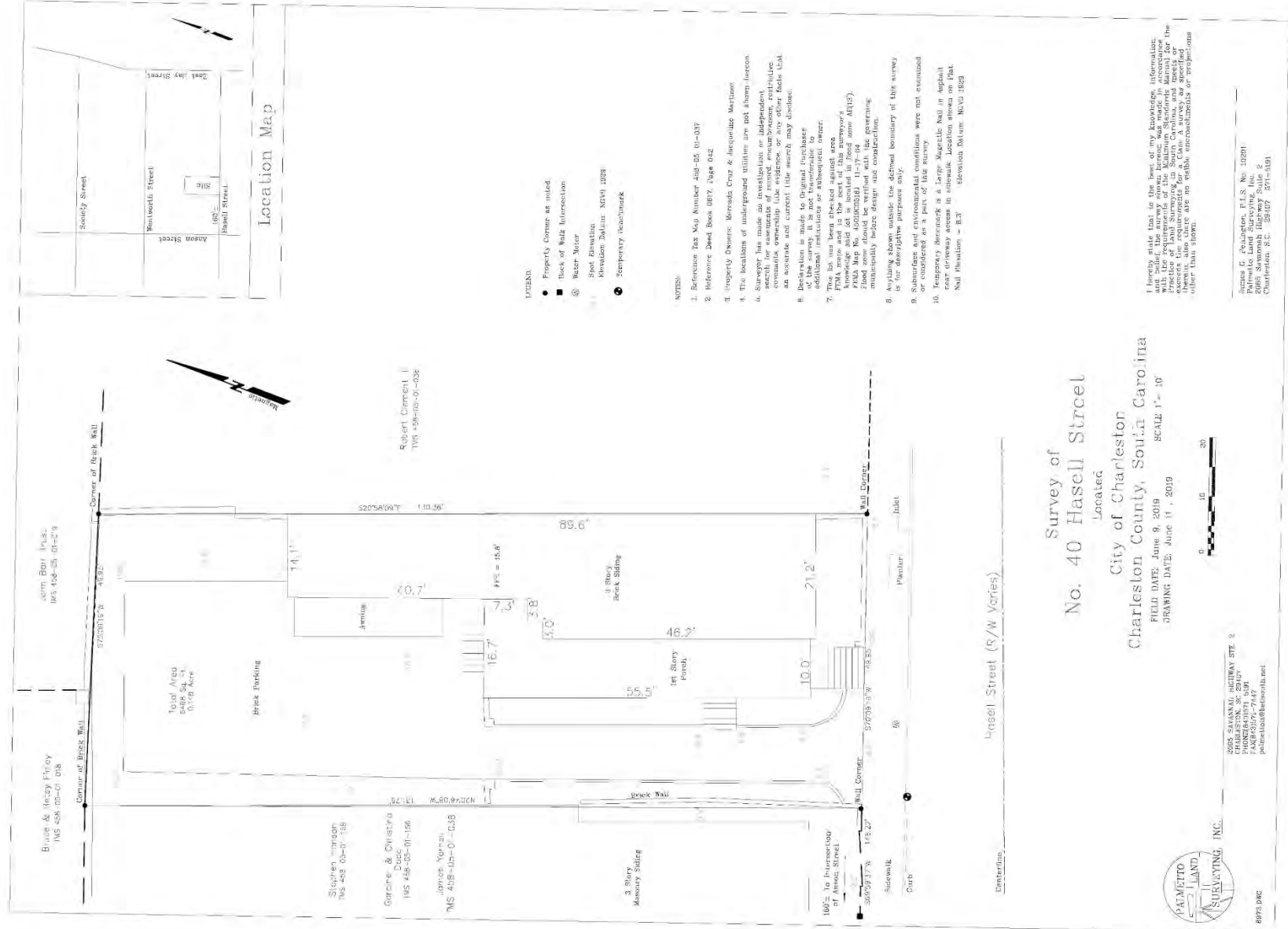
STREET CONTEXT PLAN



3



4



- LEGEND:**
- Property Corner as noted
  - Back of Walk Intersection
  - ⊗ Water Meter
  - Spot Elevation: Rowland Datum MVD 1928
  - ⊙ Temporary benchmark

- NOTES:**
1. Reference Tax Map Number 499-05 01-037
  2. Reference Deed Book 087, Page 042
  3. Property Owners: Mercedes Cruz & Jacqueline Martinez
  4. The locations of underground utilities are not shown herein.
  5. Surveyor has made an investigation of independent search for easements of record, encroachments, restrictive covenants, easements, utility easements, or any other facts that an accurate and correct title search may disclose.
  6. Records for this parcel title search may disclose additional institutions or subsequent owner.
  7. This lot has been checked against area knowledge and is not shown as a survey.
  8. PMS Map No. 4500620284, 11-17-04 (same A103)
  9. This lot has been checked against area knowledge and is not shown as a survey.
  10. Knowledge and is not shown as a survey.
  11. PMS Map No. 4500620284, 11-17-04 (same A103)
  12. This lot has been checked against area knowledge and is not shown as a survey.
  13. Knowledge and is not shown as a survey.
  14. PMS Map No. 4500620284, 11-17-04 (same A103)
  15. This lot has been checked against area knowledge and is not shown as a survey.
  16. Knowledge and is not shown as a survey.
  17. PMS Map No. 4500620284, 11-17-04 (same A103)
  18. This lot has been checked against area knowledge and is not shown as a survey.
  19. Knowledge and is not shown as a survey.
  20. PMS Map No. 4500620284, 11-17-04 (same A103)

Survey of  
**No. 40 Hasell Street**  
Located  
City of Charleston, South Carolina

FIELD DATE: June 9, 2019  
DRAWING DATE: June 11, 2019



DAVE SWANNY  
REGISTERED SURVEYOR SITE 2  
CHARLESTON, SC 29405  
PHONE: 704.991.0041  
PALMETTO@PALMETTOINC.COM

APP: DRC

Bruce & Betsy Finley  
TMS 458-05-01-018

John Barr Trust  
TMS 458-05-01-019

Stephen Hanson  
TMS 458-05-01-158

Gardner & Christina  
Dodd  
TMS 458-05-01-156

James Yarnell  
TMS 458-05-01-038

Total Area  
6488 Sq. Ft.  
0.148 Acre

Brick Parking

Sidewalk  
Curb

Hasell Street (R/W Varies)

EXISTING SITE PLAN

scale 1/8"=1'-0"

10 feet 5 0

Bruce & Betsy Finley  
TMS 458-05-01-018

John Barr Trust  
TMS 458-05-01-019

Stephen Hanson  
TMS 458-05-01-158

Gardner & Christina  
Dodd  
TMS 458-05-01-156

James Yarnell  
TMS 458-05-01-038

Total Area  
6488 Sq. Ft.  
0.148 Acre

Brick Parking

AREA OF NEW WORK

Sidewalk  
Curb

Hasell Street (R/W Varies)

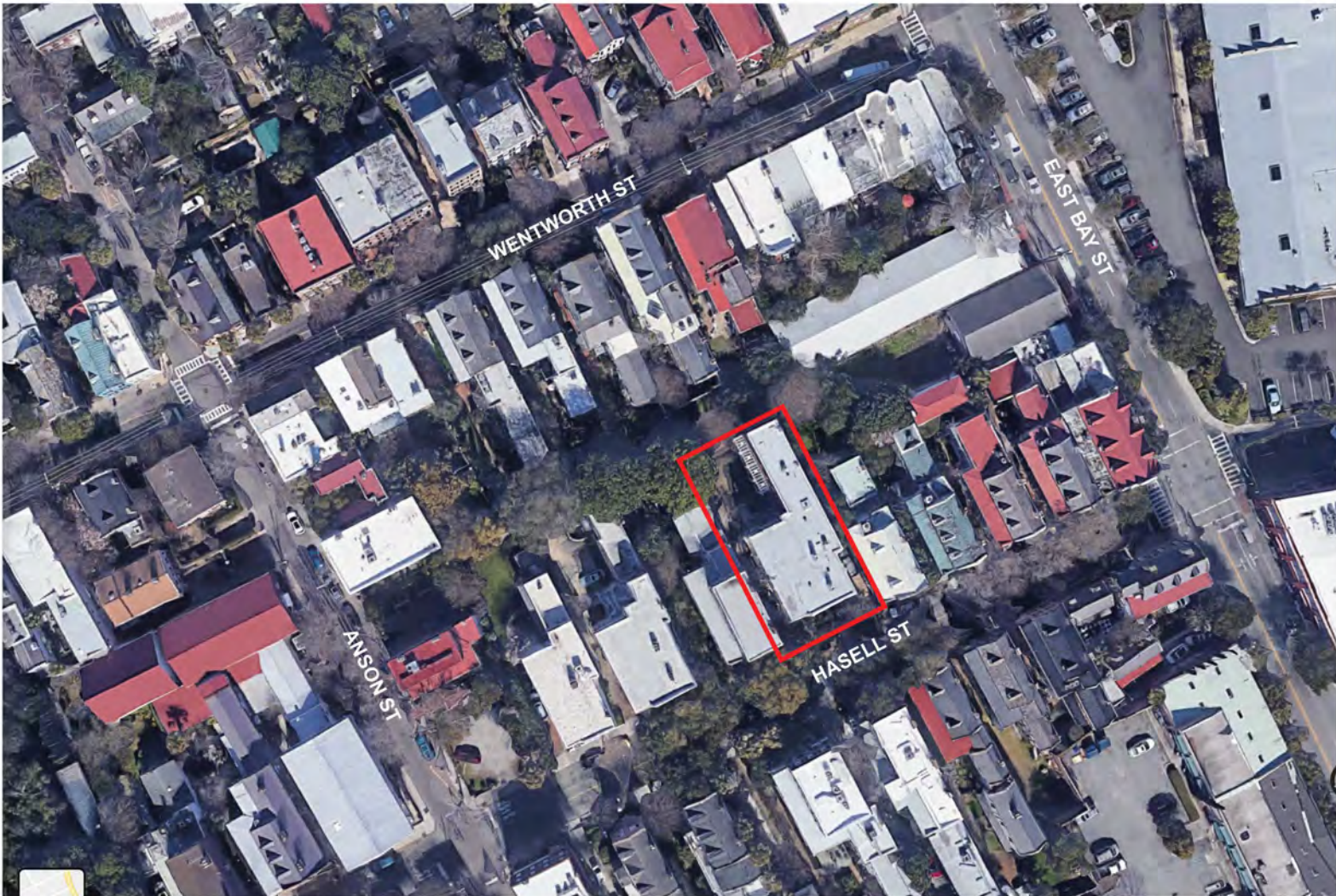
PROPOSED SITE PLAN

scale 1/8"=1'-0"

10 feet 5 0











27 HASELL



29 HASELL



31 HASELL



33 HASELL



35 HASELL



37 HASELL



41 HASELL



43 HASELL



45 HASELL



34 ANSON



44 HASELL



42 HASELL



40 HASELL



38 HASELL



36 HASELL



34 HASELL



32 HASELL

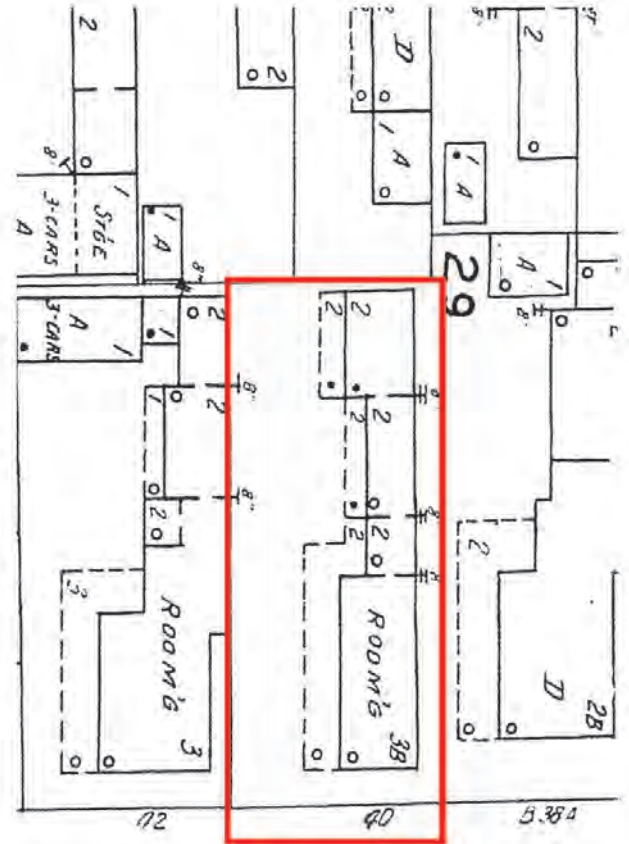
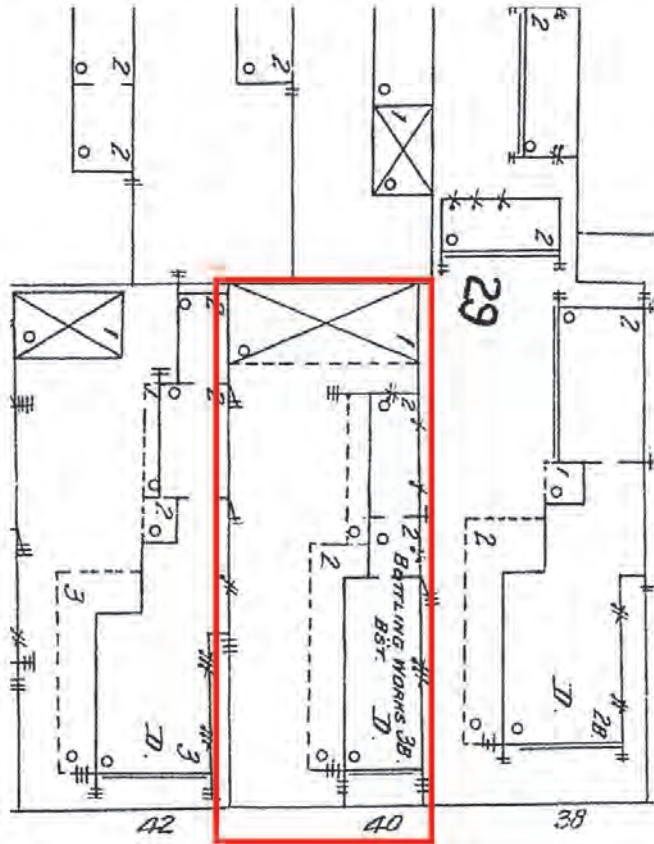
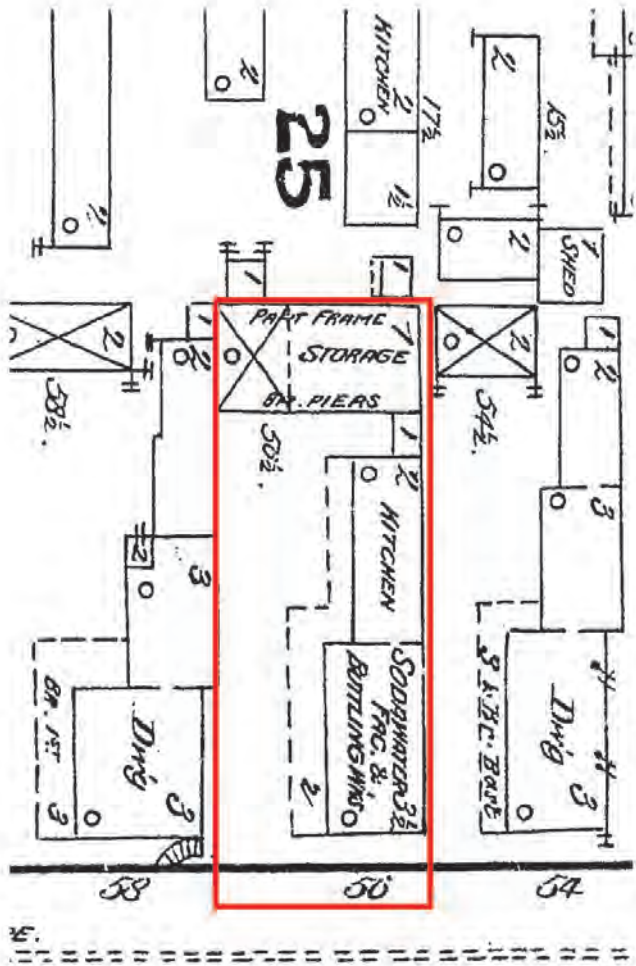


30 HASELL



28 HASELL









CVF Buildings -- 40 Hasell St

From: Scrapbooks of Charleston, SC Architectural Inventory  
1973

**OWNERSHIP RECORD**  
 Present Owner .....  
 Mailing Address .....  
 Original Owner .....  
 Assessor Map 4581-5-1-1-132 .....  
 Approximate Lot Size 50 x 130 .....  
 or ..... Acres .....  
 Property Currently Zoned .....  
 Assessment: Land .....  
 Improvements .....  
 TOTAL .....  
 Physical Condition: Good Fair Poor  
 Structure .....  
 Grounds .....  
 Neighborhood .....

**PHYSICAL DESCRIPTION**  
 Facade Material Brick .....  
 Foundation Flat .....  
 Roof Form Flat .....  
 Porch or Veranda 1 Height 3 .....  
 Building Height in stories .....  
 Roof Dormers .....  
 Chimneys ..... Where .....  
 Facade Emphasis .....  
 Window Sash: 1st ..... 2nd ..... 3rd .....  
 Entrance: Fan ..... Lintel ..... Trans .....  
 Sidelights ..... undecorated .....

**INTERIOR DETAILS**  
 Mantels ..... Overmantels .....  
 Staircase ..... Wainscoting .....  
 Interior Doors of Period .....  
 Door and Window Frames .....  
 Other Panelling .....  
 Ceiling Cornices .....  
 Chair Rails ..... Base Molds .....  
 Wallcoverings of Period .....  
 Hardware .....  
 Ceiling medallions .....  
 Original Floors .....  
 Other .....  
 Significant Outbuildings .....  
 Landscaping .....

CHARLESTON, SOUTH CAROLINA <sup>3</sup>  
 ARCHITECTURAL INVENTORY FORM UJOM  
 Address 40 Hasell St .....  
 Area .....  
 Architect/Builder .....  
 Date of Construction .....  
 Source of Date .....  
 Architectural Style .....  
 Present Use .....  
 Original Use .....  
 Incidence in Area .....  
 Importance to its neighborhood:  
 Great ..... Moderate ..... Minor .....  
 Accessible to the Public .....  
 Historic Notes: .....  
 Architectural Significance  
 National ..... Valuable to City .....  
 Valuable ..... Notable ..... Worthy of  
 Mention ..... Other .....  
 Significance of Interiors .....  
 Significance of Landscaping .....  
 Historic Significance .....  
 Representation in Other Surveys W.C.A. .....  
 This is Charleston (page .....)  
 National Register .....



**HISTORIC CHARLESTON FOUNDATION  
 HURRICANE HUGO DAMAGE ASSESSMENT FORM**

Date of Survey: 11/21/81  
 Survey Team: .....  
 Members: Anson 2

Video: Reel/Frame .....  
 Camera: .....  
 Slides: [ ] .....  
 B. & W.: [ ] .....

Name of Property: (if any) .....  
 Street Address: 40 Hasell  
 Tax Map Number: 458-5-1-37  
 Current Owner: .....

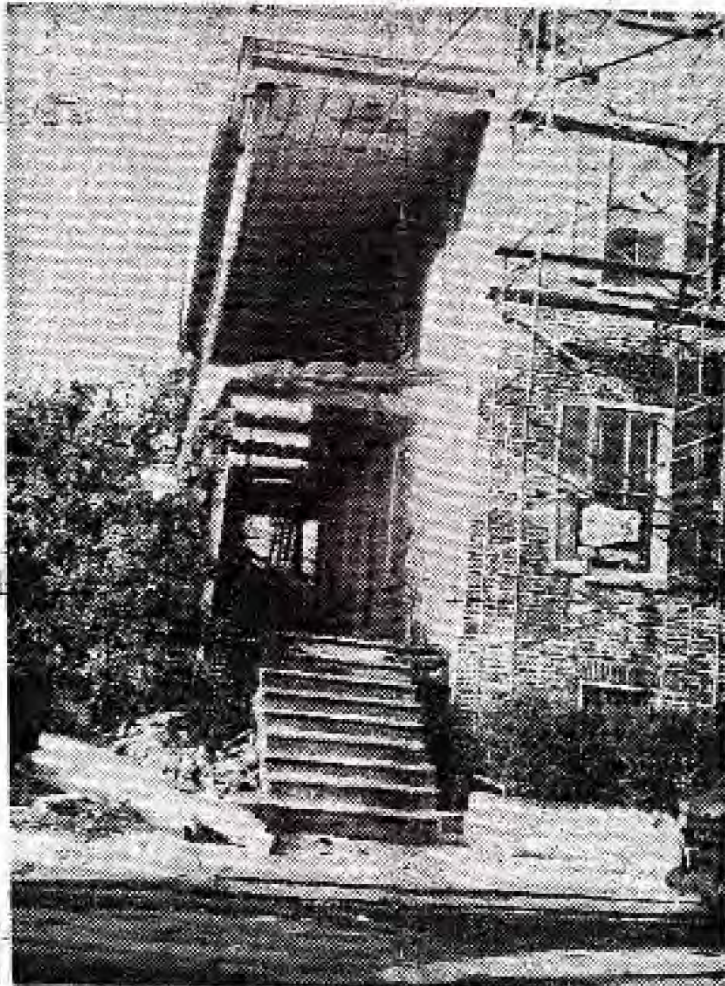
**DESCRIPTION**

Principal Building  Dependency [ ] Other [ ]  
 No. of Stories: Basement [ ] 1 [ ] 2 [ ] 3 [ ] 4 [ ]  
 Attic or Half Story [ ]

**Material:**  
 Structure: Brick  Wood Frame [ ] Stone [ ] Metal [ ]  
 Other [ ]:  
 Surface Covering: Stucco [ ] Wood Siding [ ] Other [ ]:  
 Roof Covering: Slate [ ] Metal [ ] Tile [ ] Asphalt [ ]  
 Other [ ]: Flat built up  
 Piazza: Foundation: Brick  Stone [ ] Wood [ ]  
 Other [ ]:  
 Main Piazza: Brick  Wood  Other [ ]  
 Roof Covering (if different from main building):  
 Chimneys: Brick  Brick & Stucco [ ] Stone [ ] Other [ ]

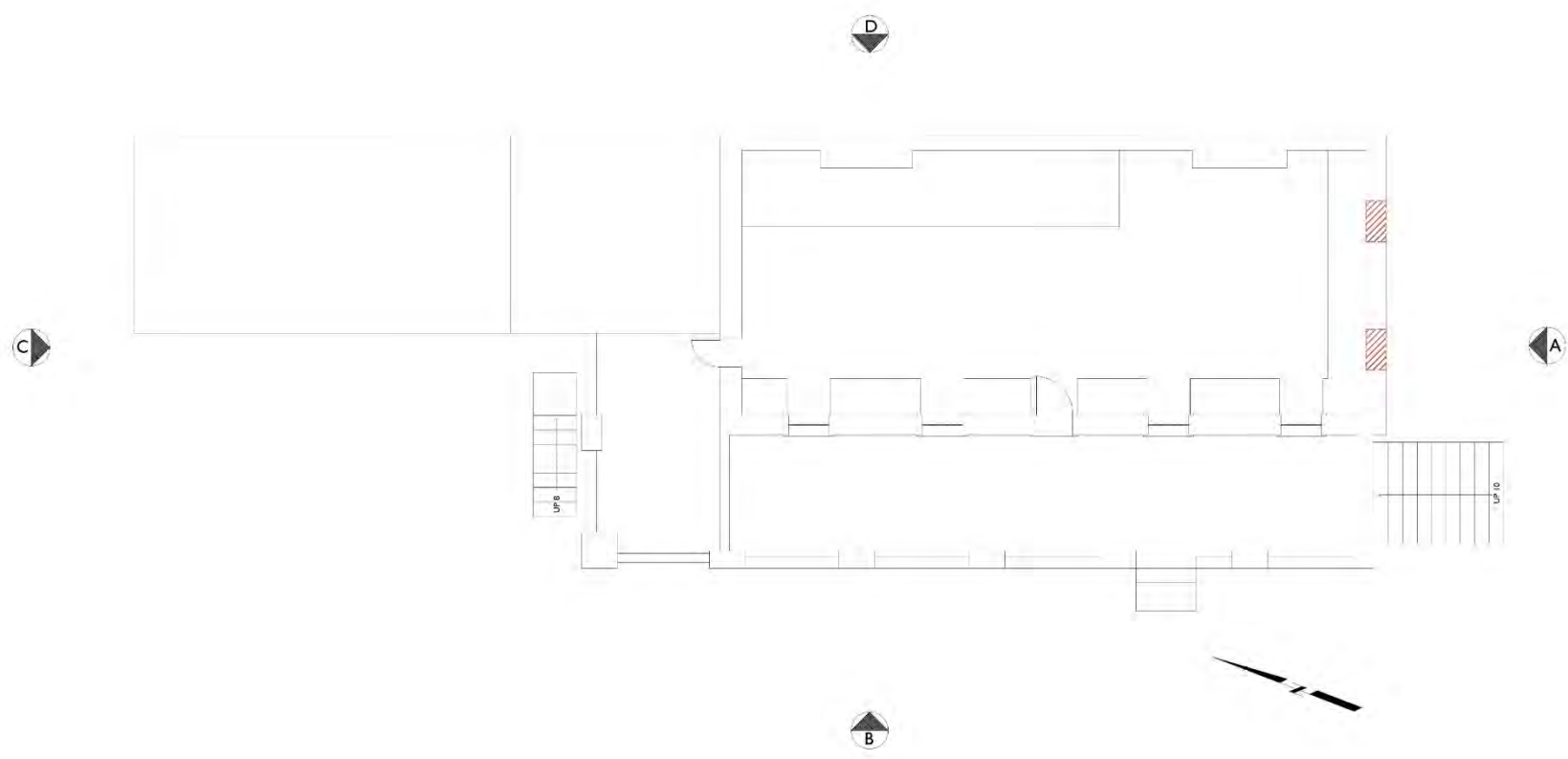
Comments: .....





40 Hasell St. Before Restoration





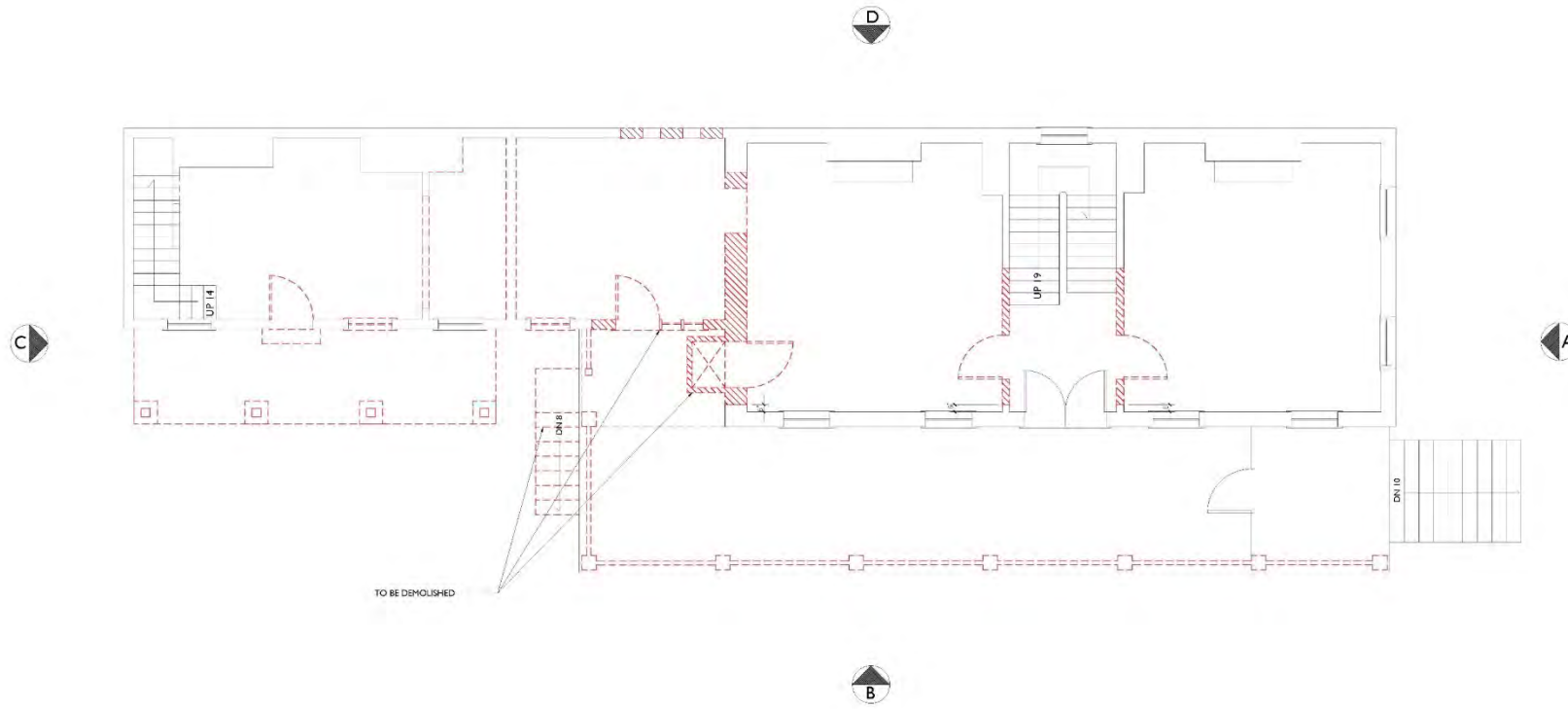
EXISTING FOUNDATION PLAN

scale 1/4"=1'-0"

 TO BE REMOVED






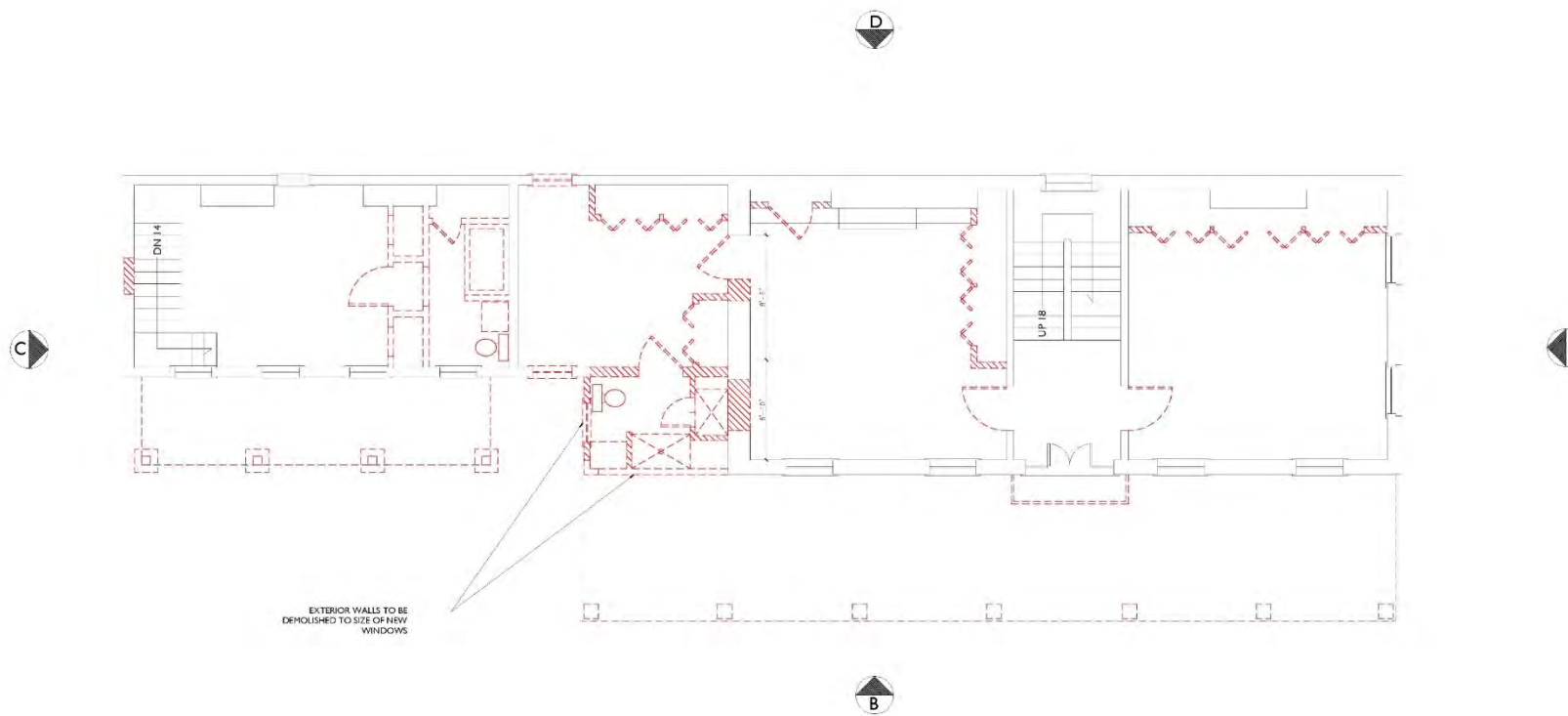


**EXISTING FIRST FLOOR PLAN**

scale 1/4"=1'-0"

 TO BE REMOVED






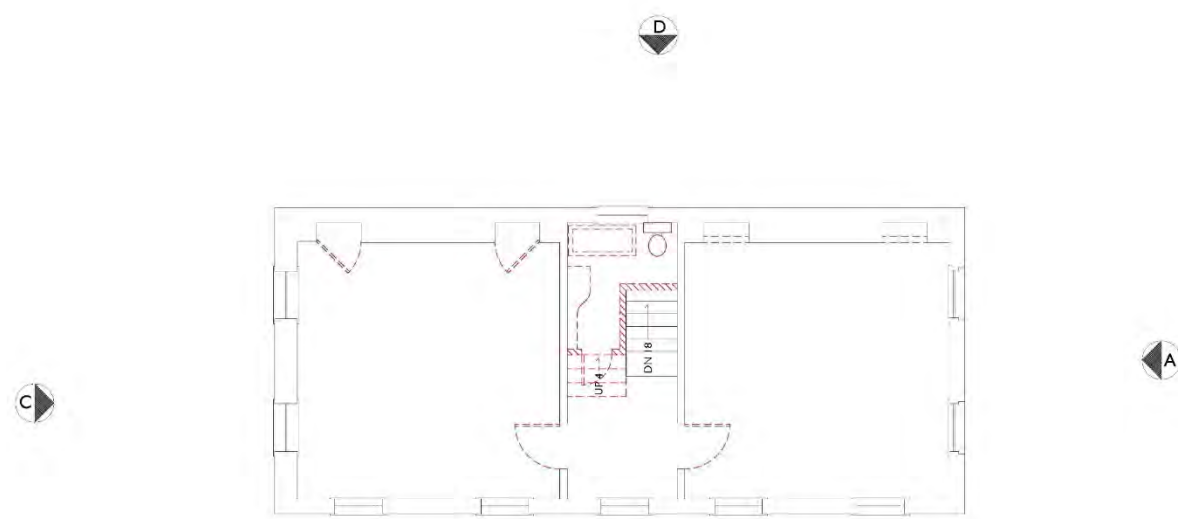
EXTERIOR WALLS TO BE  
 DEMOLISHED TO SIZE OF NEW  
 WINDOWS

**EXISTING SECOND FLOOR PLAN**

scale 1/4"=1'-0"

 TO BE REMOVED



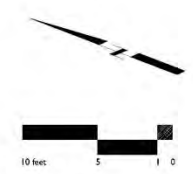


NO EXTERIOR CHANGES TO BE MADE TO THIRD FLOOR

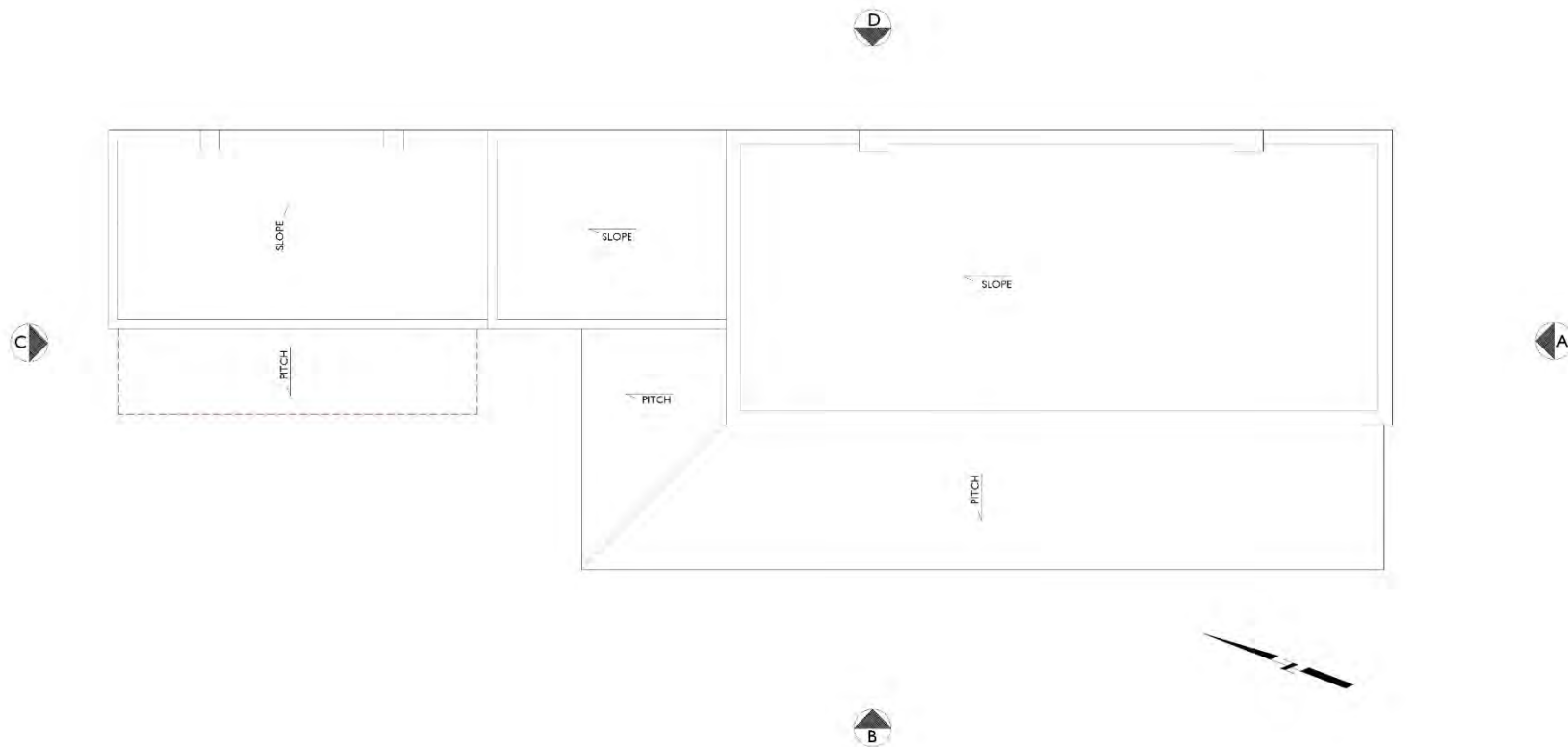
**EXISTING THIRD FLOOR PLAN**

scale 1/4"=1'-0"

 TO BE REMOVED





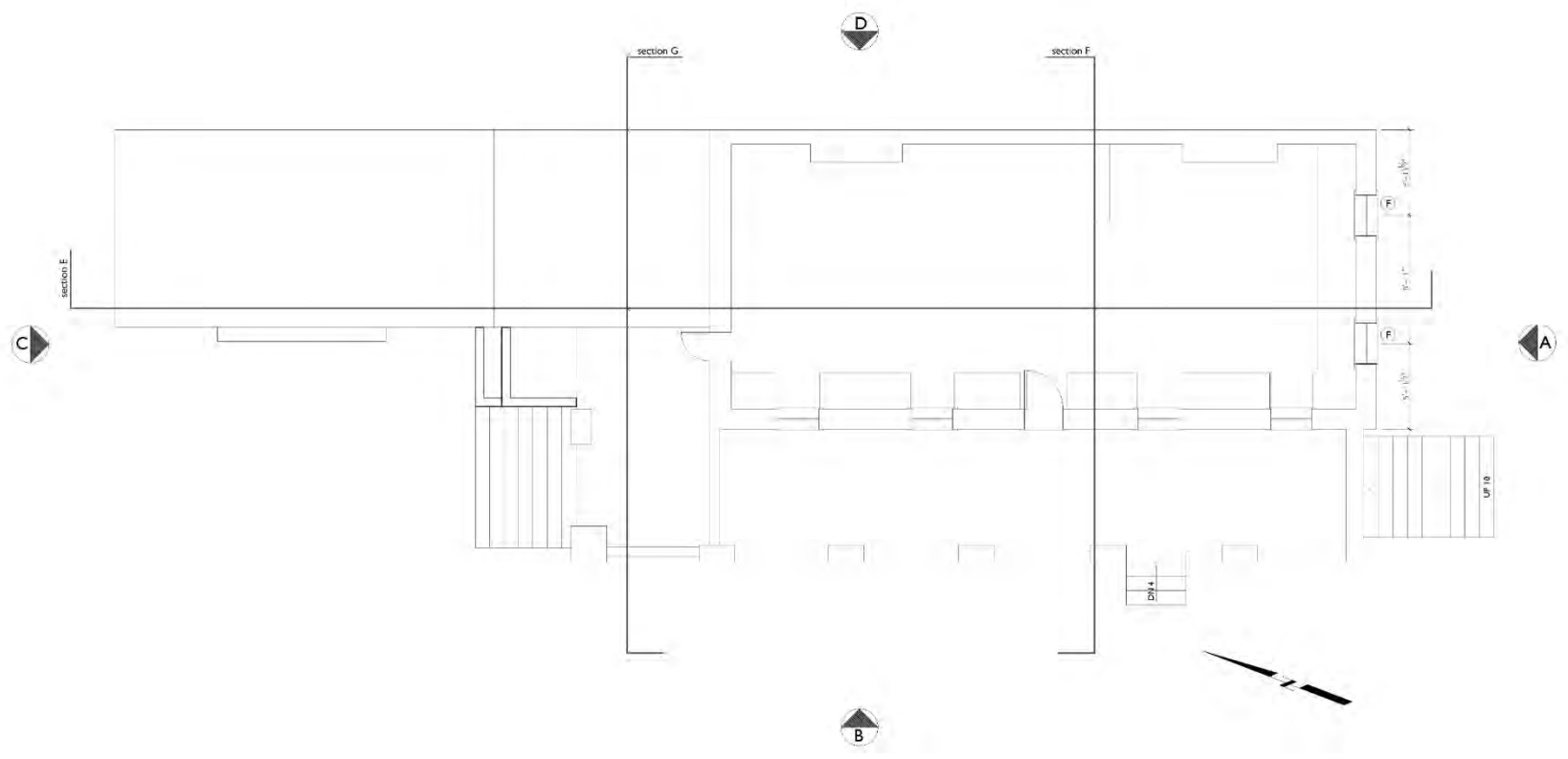


**EXISTING ROOF PLAN**

scale 1/4"=1'-0"

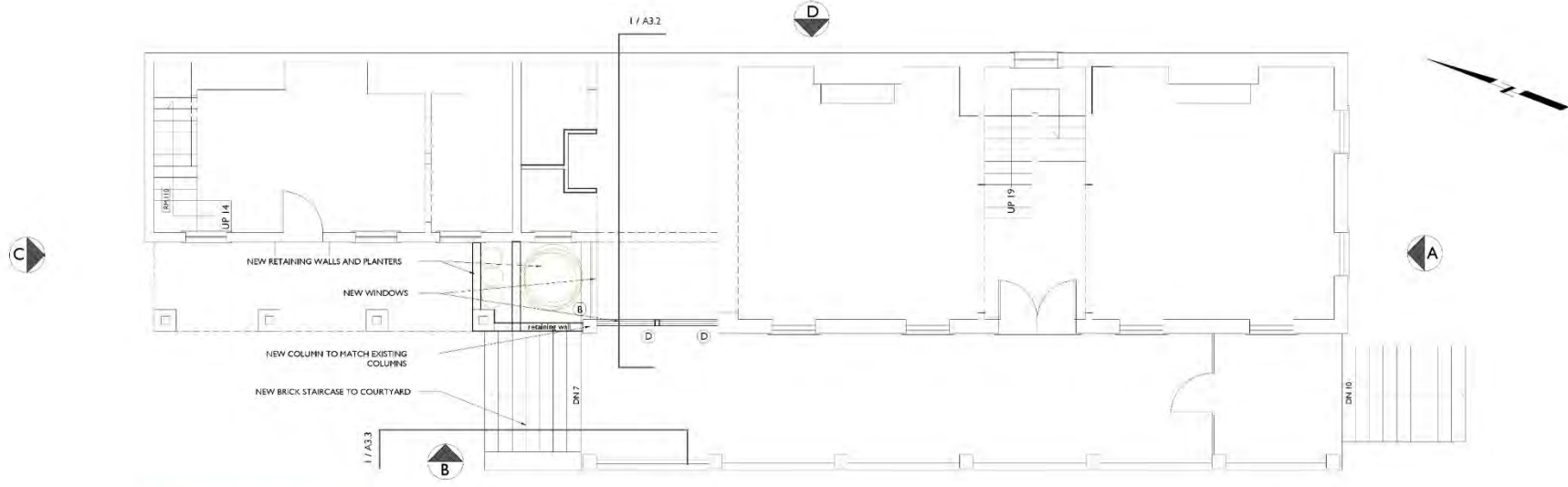
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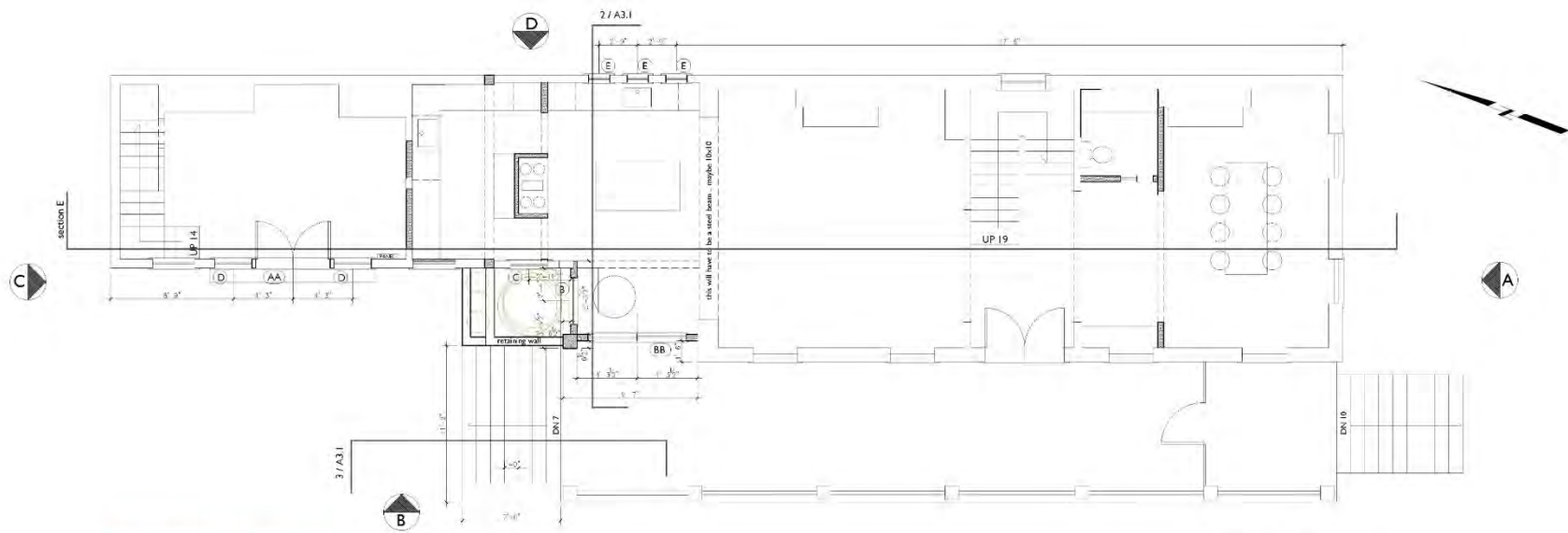
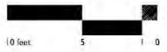
PROPOSED FOUNDATION PLAN  
scale 1/4"=1'-0"





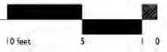
**PREVIOUS BAR 08.15.19 FIRST FLOOR PLAN**

scale 1/4"=1'-0" NEW 2x4 FRAMING  
HEATED : 3,376 SF NEW 2x6 FRAMING

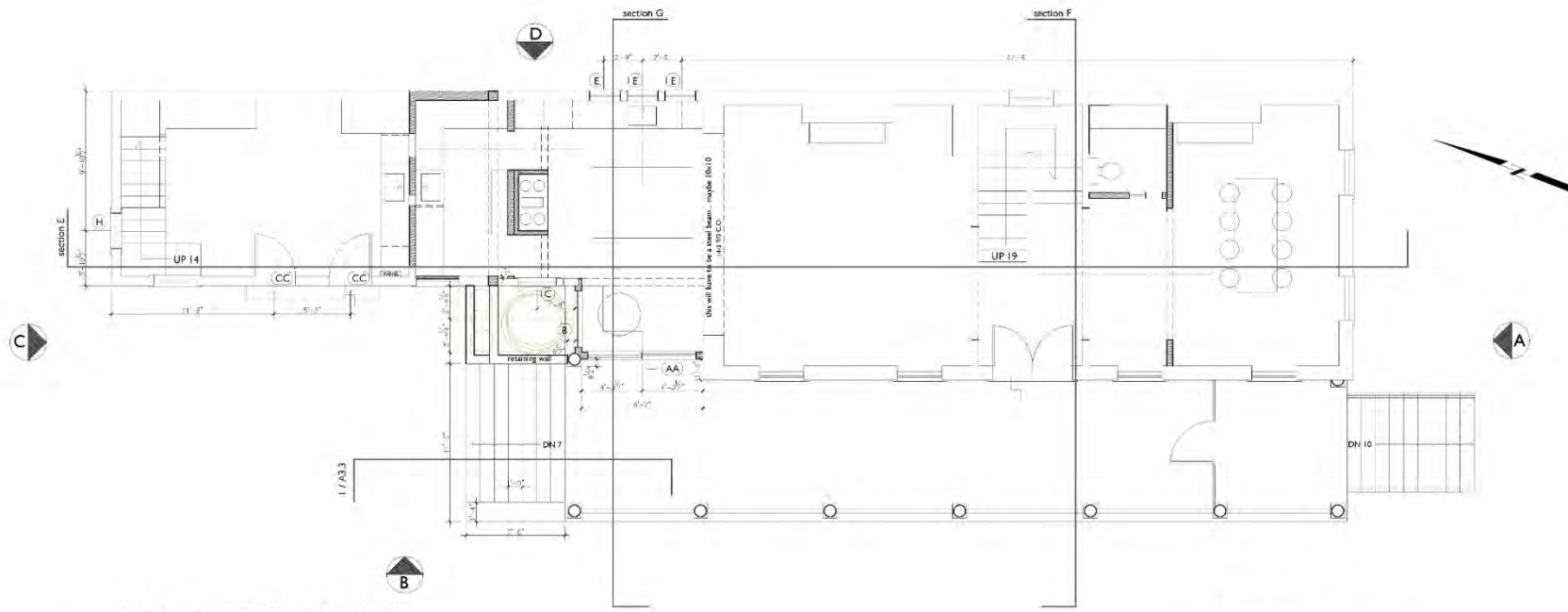


**PREVIOUS BAR 09.12.19 FIRST FLOOR PLAN**



scale 1/4"=1'-0" NEW 2x4 FRAMING  
HEATED : 3,376 SF NEW 2x6 FRAMING

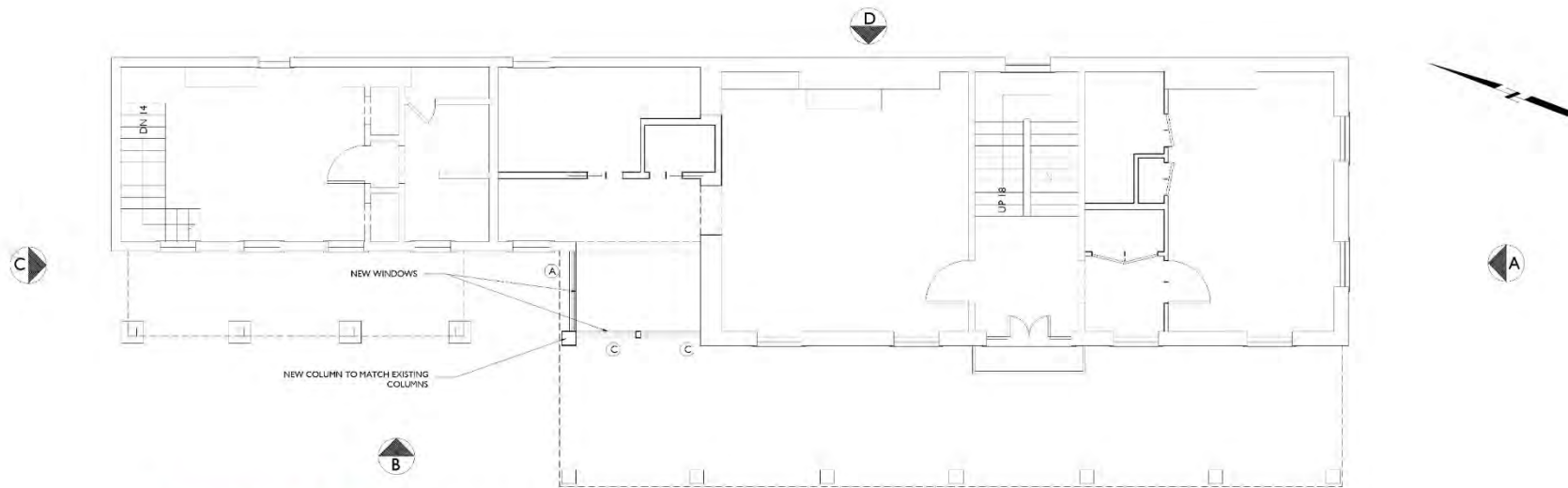







**PROPOSED FIRST FLOOR PLAN**  
 scale 1/4"=1'-0"  
 HEATED : 3,376 SF

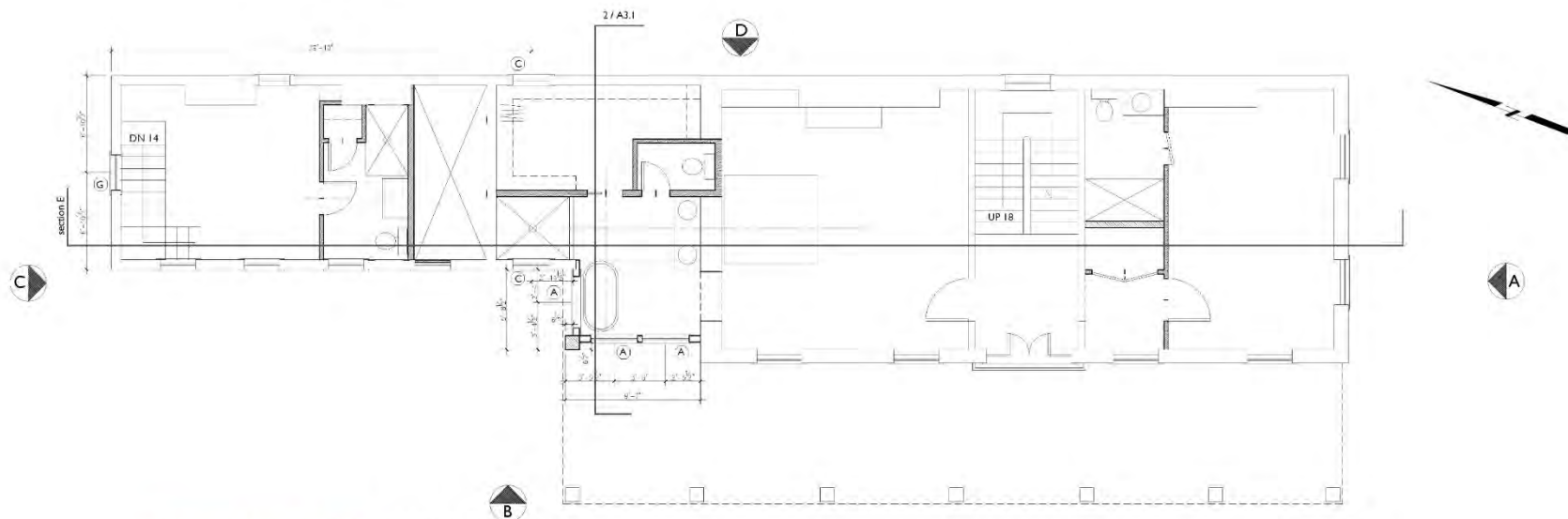
	NEW 2x4 FRAMING
	NEW 2x6 FRAMING



**PREVIOUS BAR 08.15.19 SECOND FLOOR PLAN**



scale 1/4"=1'-0"

-  NEW 2x4 FRAMING
-  NEW 2x6 FRAMING

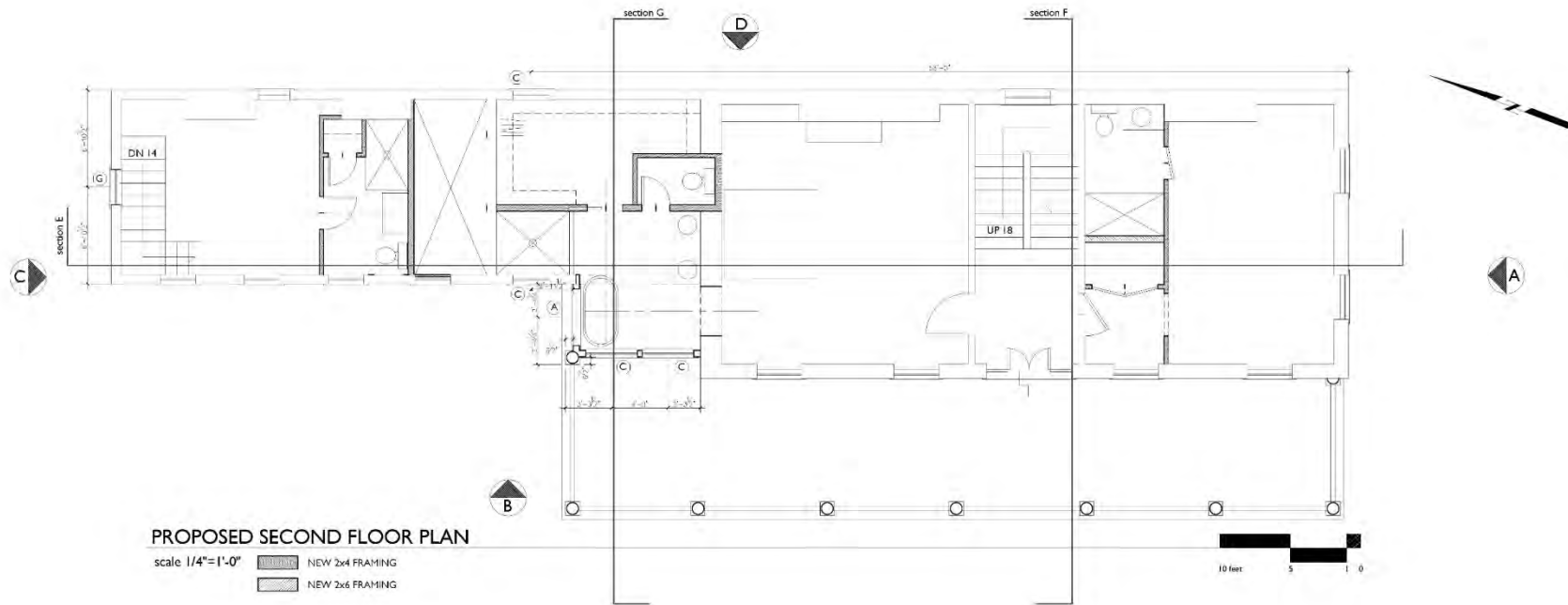


**PREVIOUS BAR 09.12.19 SECOND FLOOR PLAN**

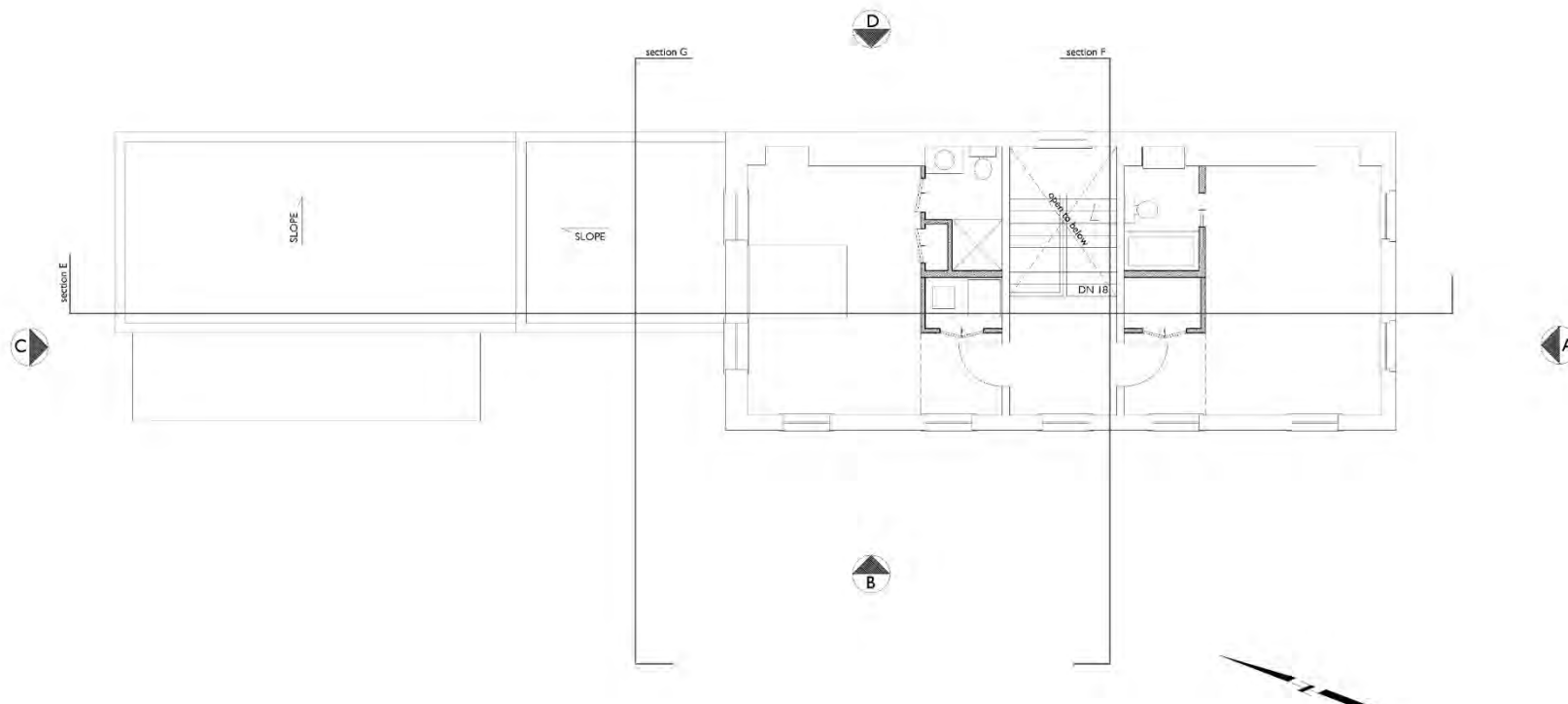
scale 1/4"=1'-0"

-  NEW 2x4 FRAMING
-  NEW 2x6 FRAMING







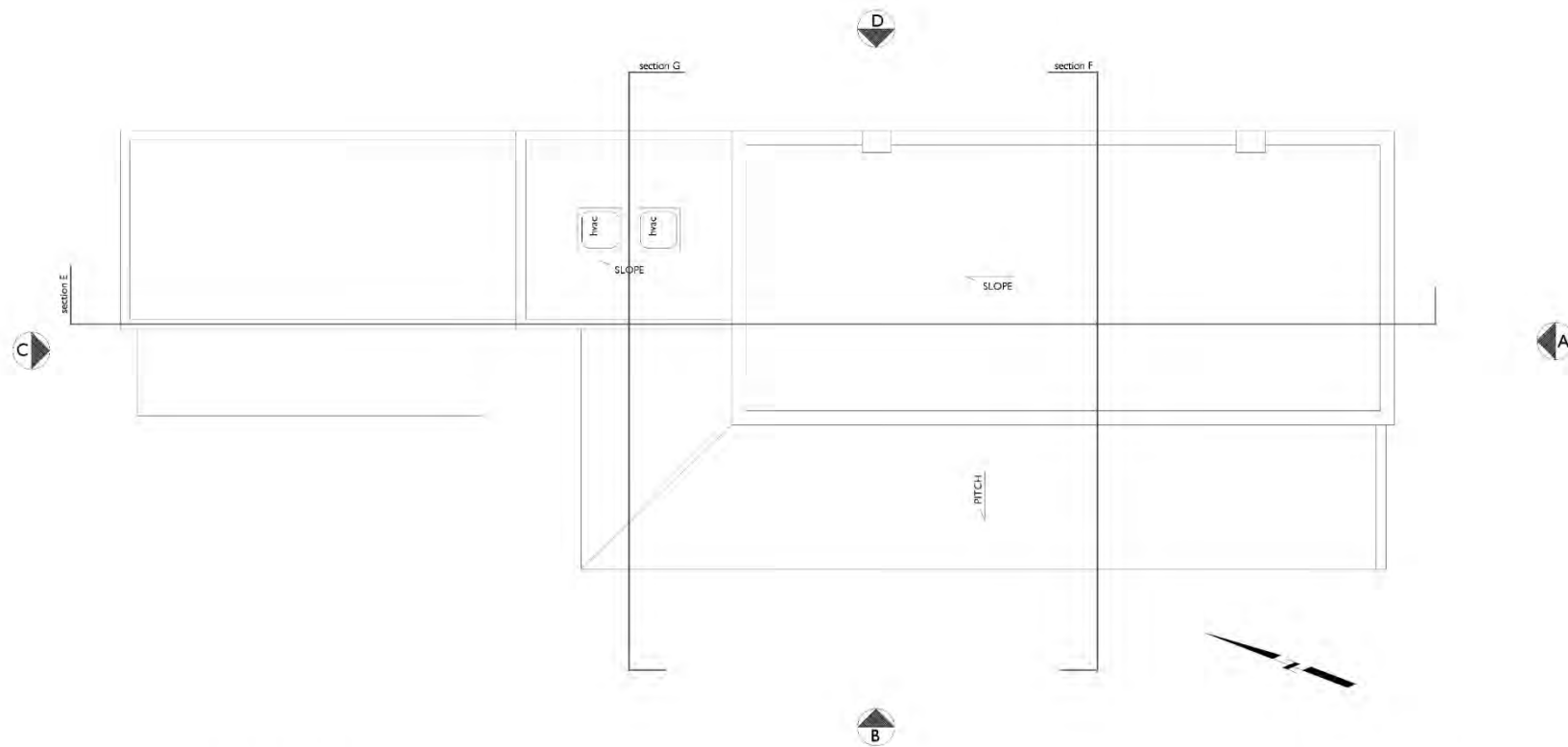


**PROPOSED THIRD FLOOR PLAN**

scale 1/4"=1'-0"

-  NEW 2x4 FRAMING
-  NEW 2x6 FRAMING





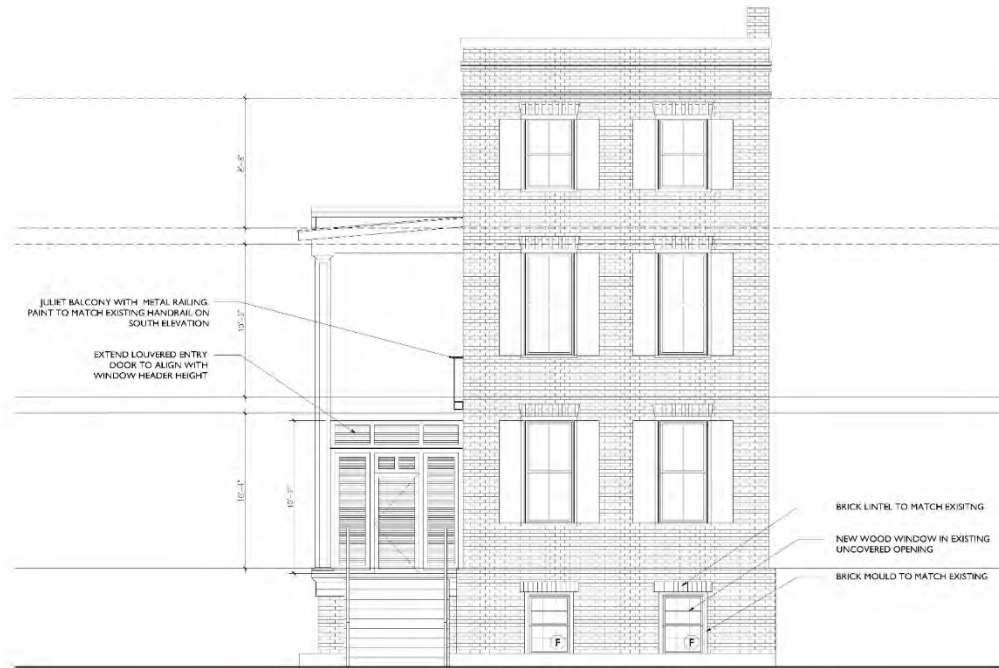
PROPOSED ROOF PLAN  
 scale 1/4"=1'-0"





PREVIOUS BAR 08.15.19 SOUTH ELEVATION

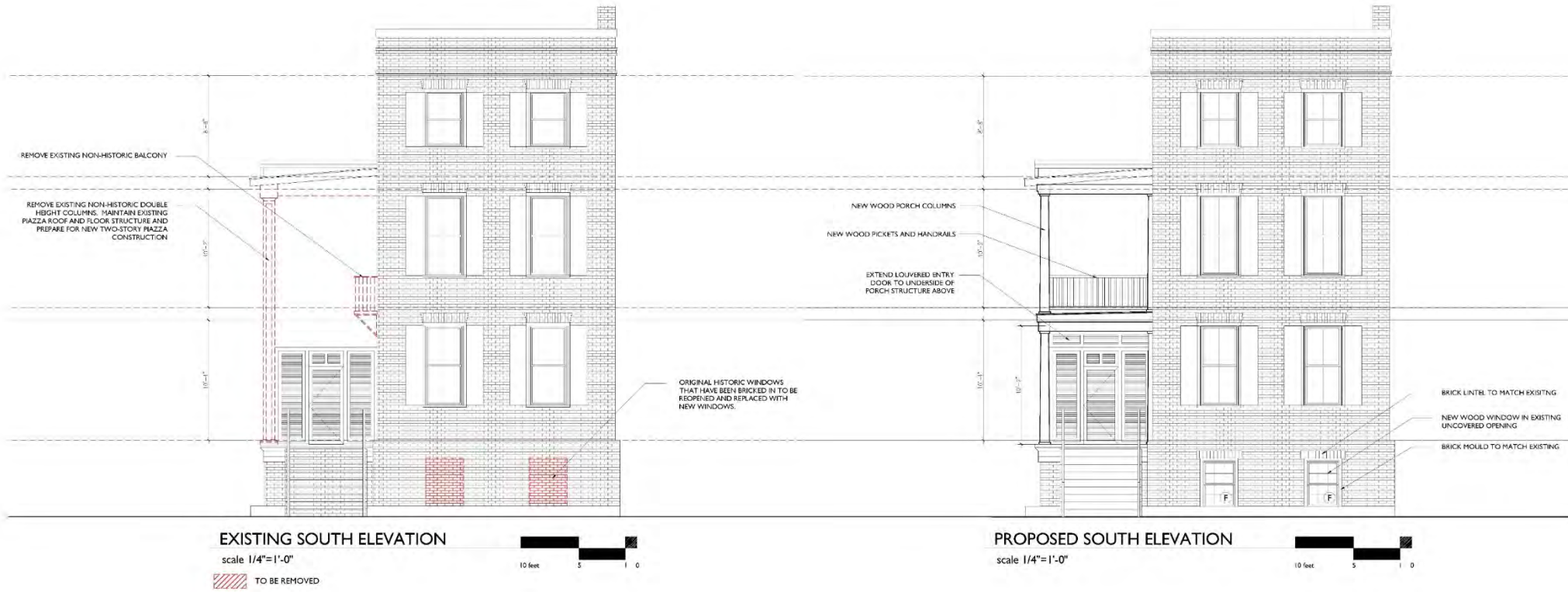
scale 1/4"=1'-0"



PREVIOUS BAR 09.12.19 SOUTH ELEVATION

scale 1/4"=1'-0"









**PREVIOUS BAR 08.15.19 WEST ELEVATION**  
 scale 3/16"=1'-0"



**PREVIOUS BAR 09.12.19 WEST ELEVATION**  
 scale 3/16"=1'-0"




EXISTING GUEST HOUSE PORCH PULLING AWAY FROM STRUCTURE



EXISTING WEST ELEVATION

scale 1/4"=1'-0"

 TO BE REMOVED

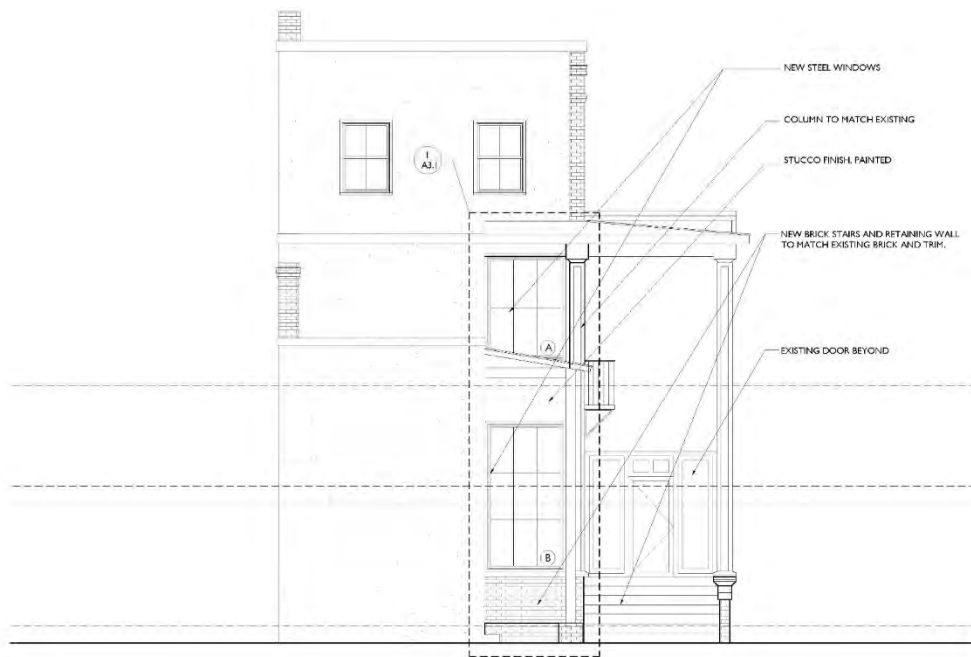




**PROPOSED WEST ELEVATION**  
 scale 1/4"=1'-0"

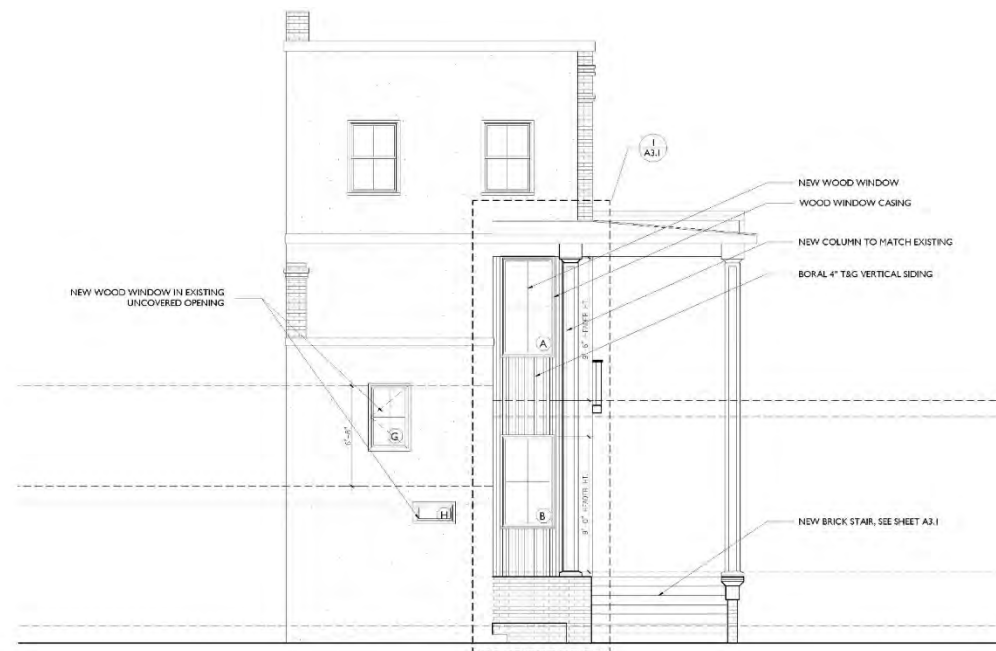






**PREVIOUS BAR 08.15.19 NORTH ELEVATION**

scale 1/4"=1'-0"

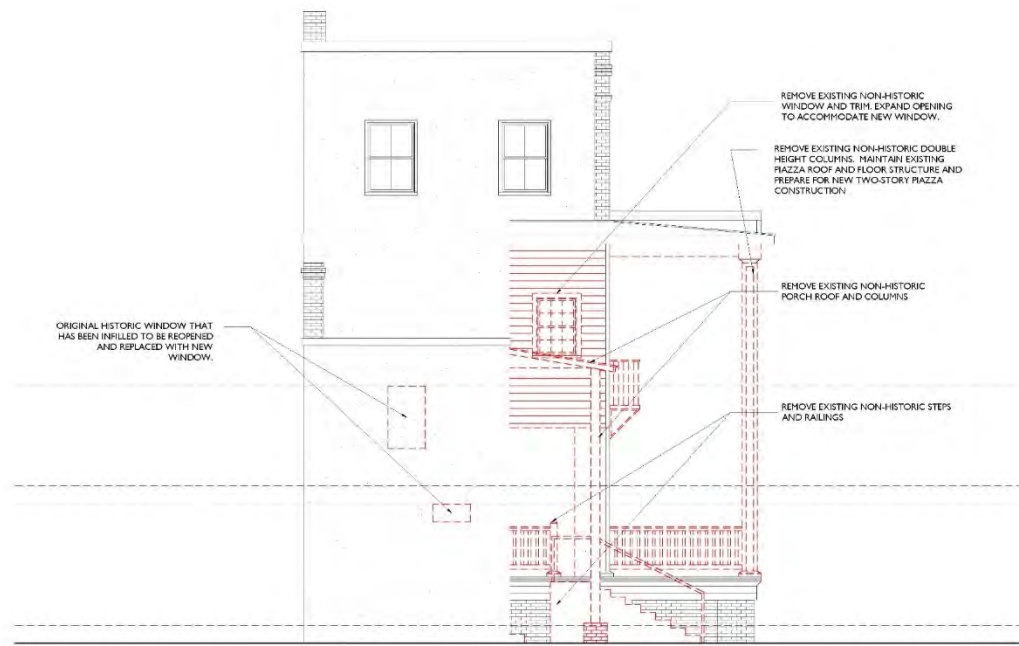


**PREVIOUS BAR 09.12.19 NORTH ELEVATION**

scale 1/4"=1'-0"




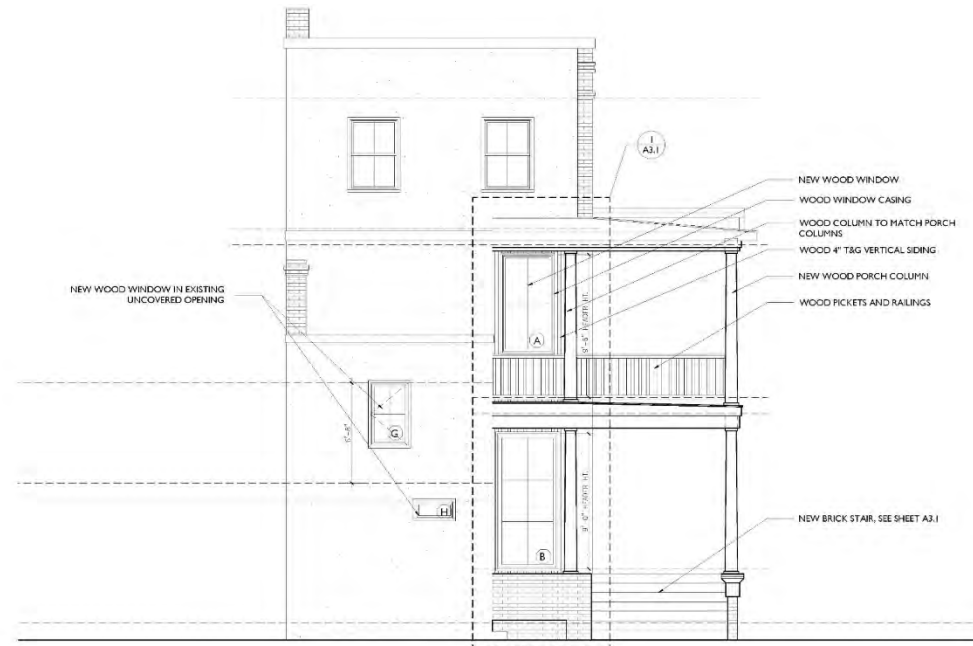




**EXISTING NORTH ELEVATION**

scale 1/4"=1'-0"

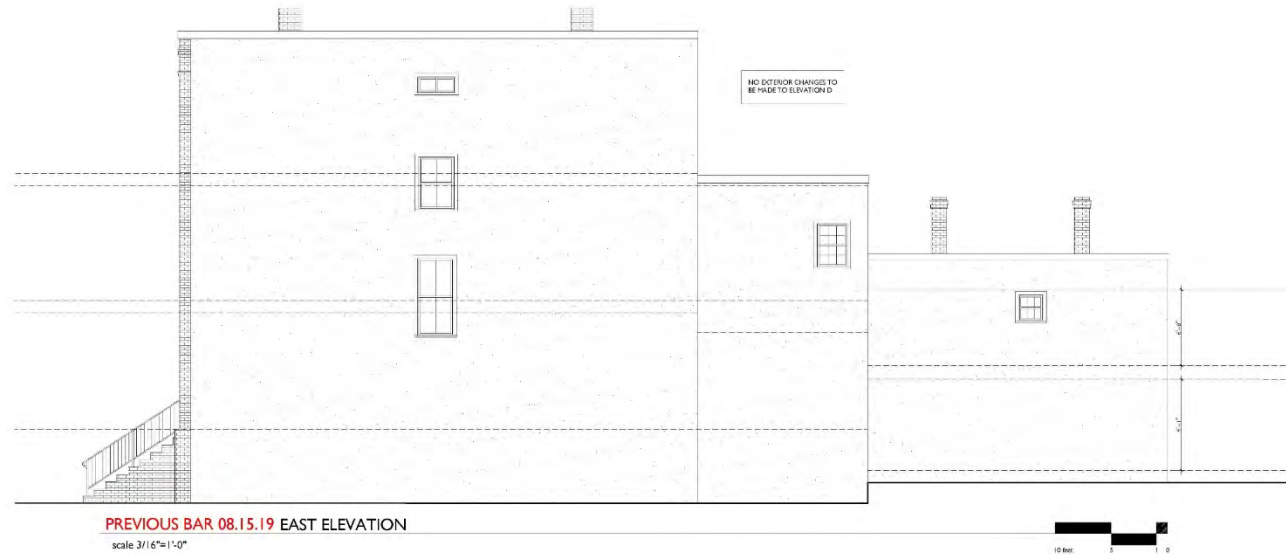
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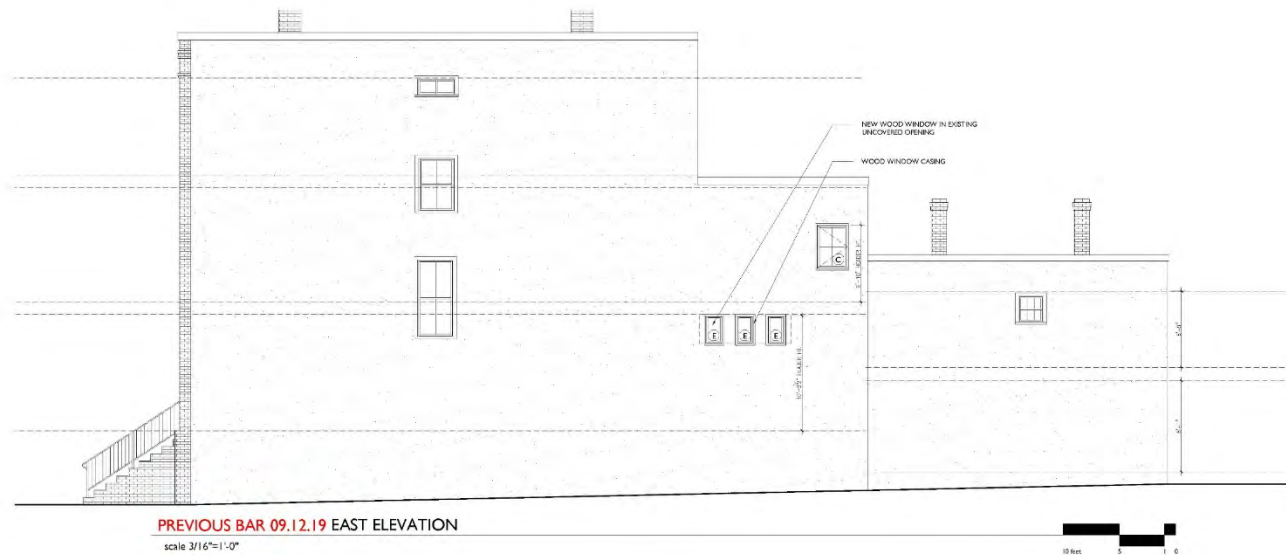
**PROPOSED NORTH ELEVATION**

scale 1/4"=1'-0"

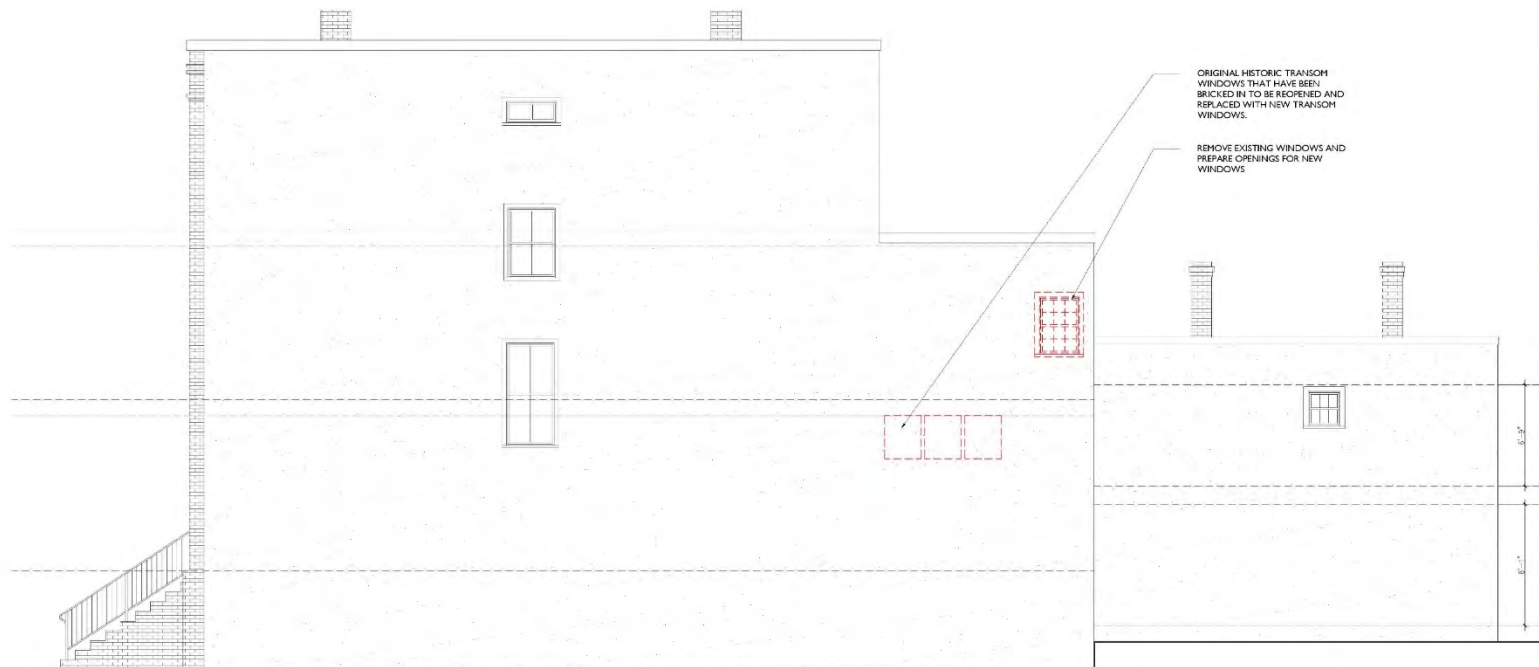




PREVIOUS BAR 08.15.19 EAST ELEVATION  
 scale 3/16"=1'-0"




PREVIOUS BAR 09.12.19 EAST ELEVATION  
 scale 3/16"=1'-0"



**EXISTING EAST ELEVATION**

scale 1/4"=1'-0"

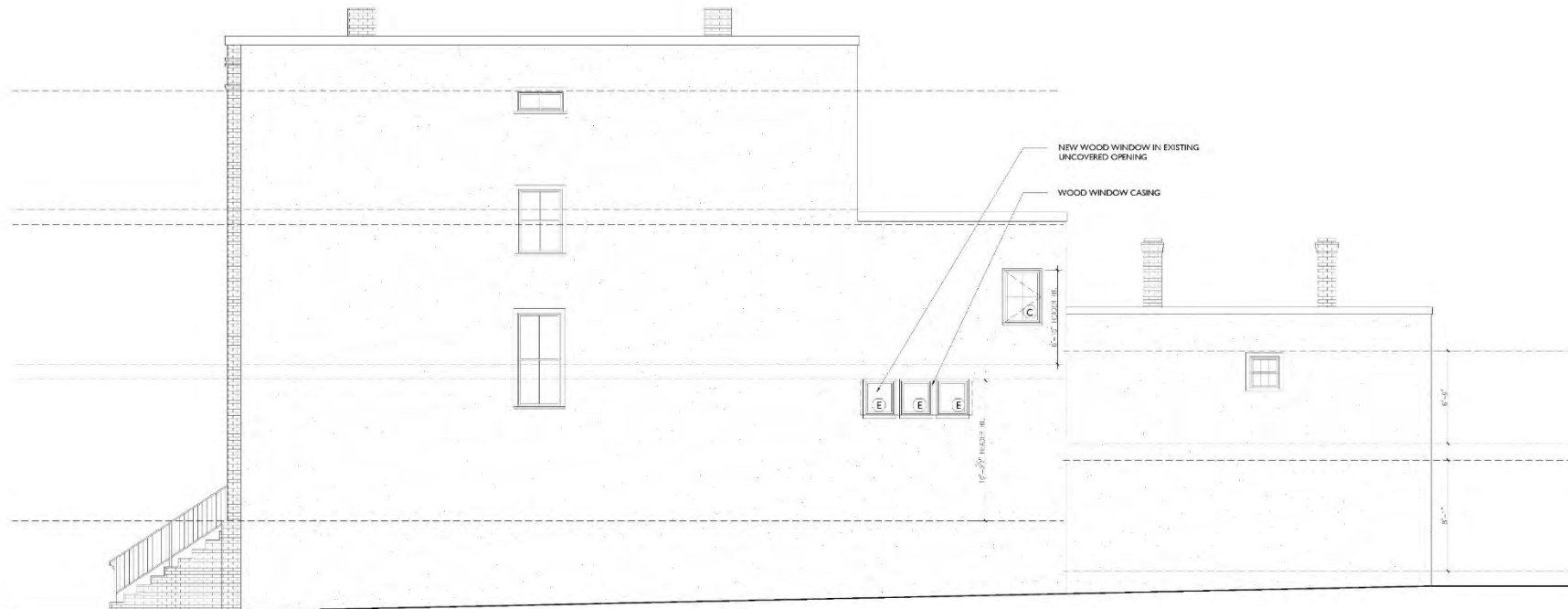
 TO BE REMOVED



EXTERIOR EVIDENCE OF ORIGINAL TRANSOM WINDOWS



INTERIOR EVIDENCE OF ORIGINAL TRANSOM WINDOWS



PROPOSED EAST ELEVATION

scale 1/4"=1'-0"



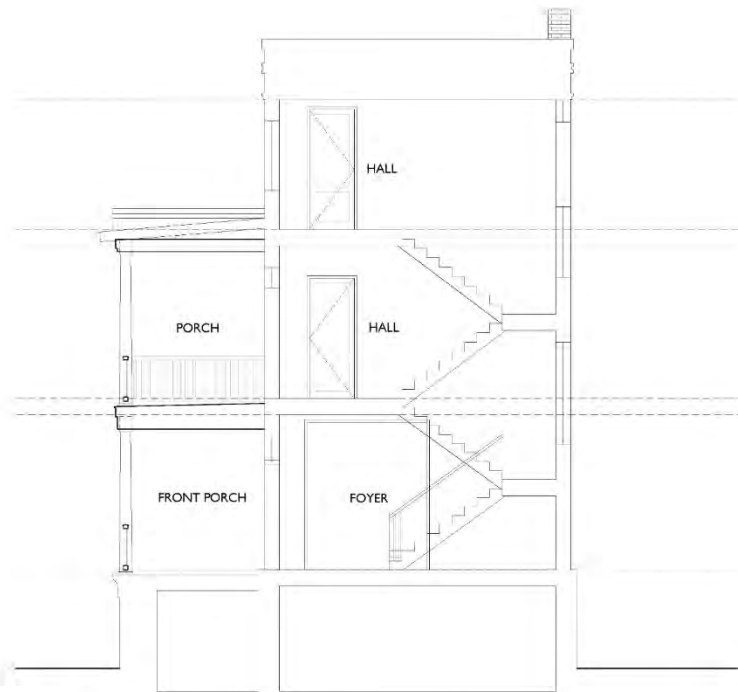




**PROPOSED SECTION E**

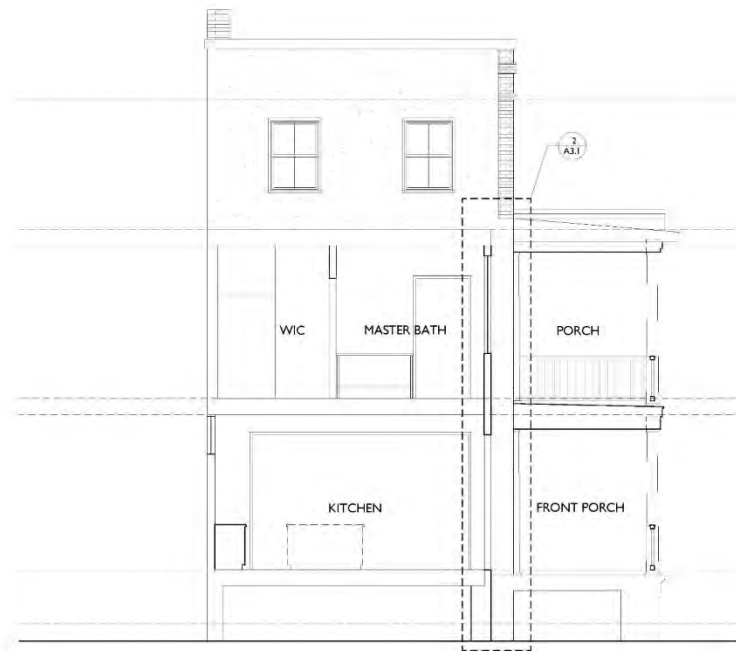
scale 1/4"=1'-0"





PROPOSED SECTION F

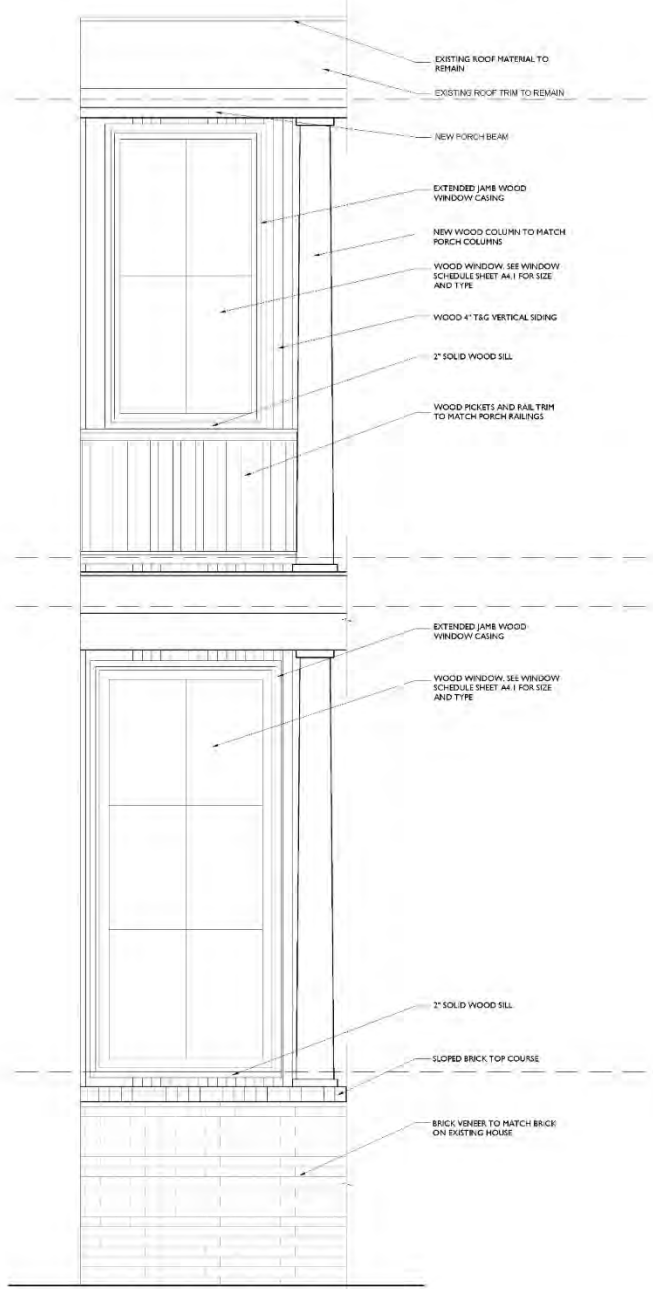
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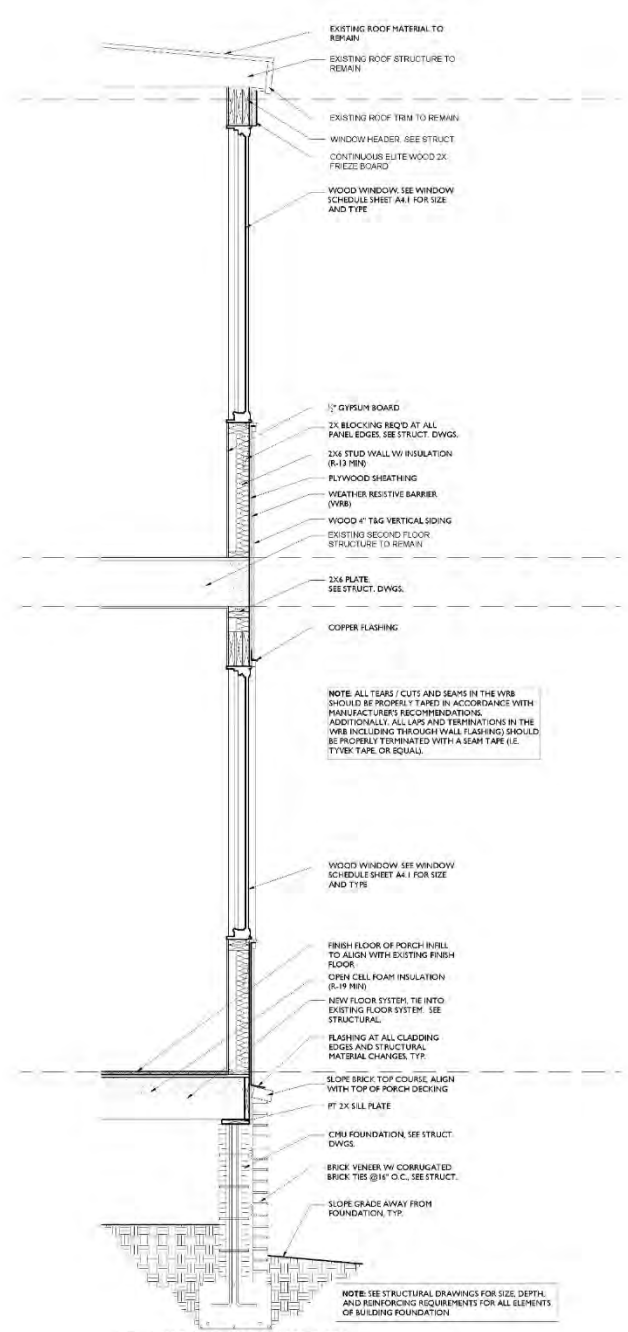
PROPOSED SECTION G

scale 1/4"=1'-0"

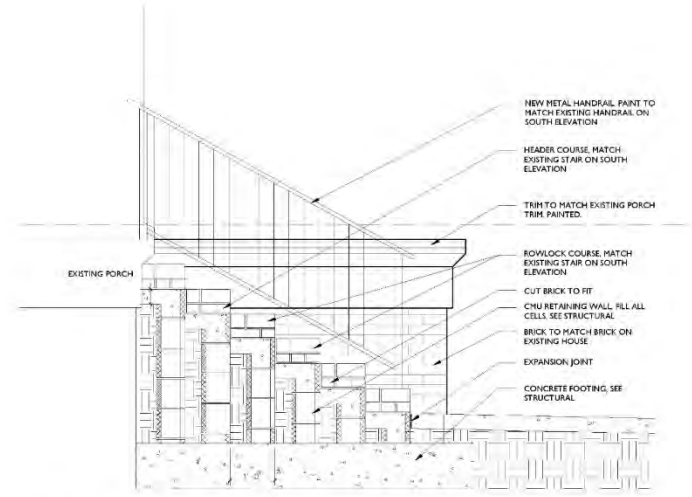




1 TYP. WALL ELEVATION  
A3.1 SCALE: 3/4" = 1'-0"



2 TYP. WALL SECTION  
A3.1 SCALE: 3/4" = 1'-0"

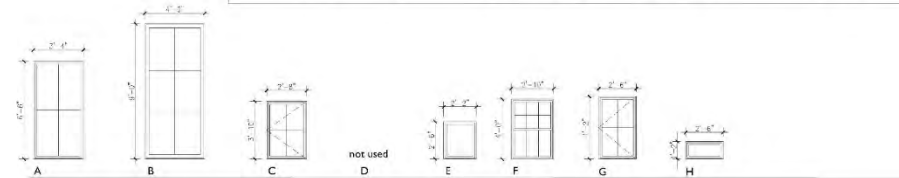


3 REAR STAIR SECTION  
A3.1 SCALE: 3/4" = 1'-0"



MARVIN ULTIMATE WOOD WINDOWS AND DOORS WITH 5 / 8" MUNTINGS

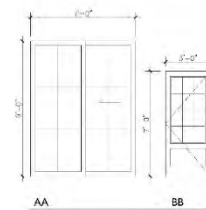
NOTE: ALL WINDOWS AND DOORS TO BE DP50 AND IMPACT RATED GLASS



WINDOWS

	WIDTH	HEIGHT	TYPE	LITES	ROUGH OPENING	NOTES
A	3/4	6/6	FIXED	4	-	-
B	4/0	9/0	FIXED	4	-	-
C	2/8	3/10	CASEMENT	4	-	NEW WINDOW TO FIT EXISTING OPENING, SEE ELEVATION FOR HANDING
D	not used	-	-	-	-	-
E	2/2	2/6	FIXED	-	-	NEW WINDOW TO FIT EXISTING OPENING, TRANSOM
F	2/10	4/0	DH	-	-	NEW WINDOW TO FIT EXISTING OPENING
G	2/6	4/2	CASEMENT	4	-	NEW WINDOW TO FIT EXISTING OPENING, SEE ELEVATION FOR HANDING
H	2/6	1/2	FIXED	-	-	NEW WINDOW TO FIT EXISTING OPENING

NOTE: G.C. TO VERIFY ALL WINDOW WIDTH AND HEIGHTS PRIOR TO ORDERING



EXTERIOR DOORS

	WIDTH	HEIGHT	TYPE	LITES	ROUGH OPENING	NOTES
AA	(2) 3/8	9/0	SLIDER	6	-	
BB	3/0	7/0	HINGE	12	-	

NOTE: G.C. TO VERIFY ALL WINDOW WIDTH AND HEIGHTS PRIOR TO ORDERING

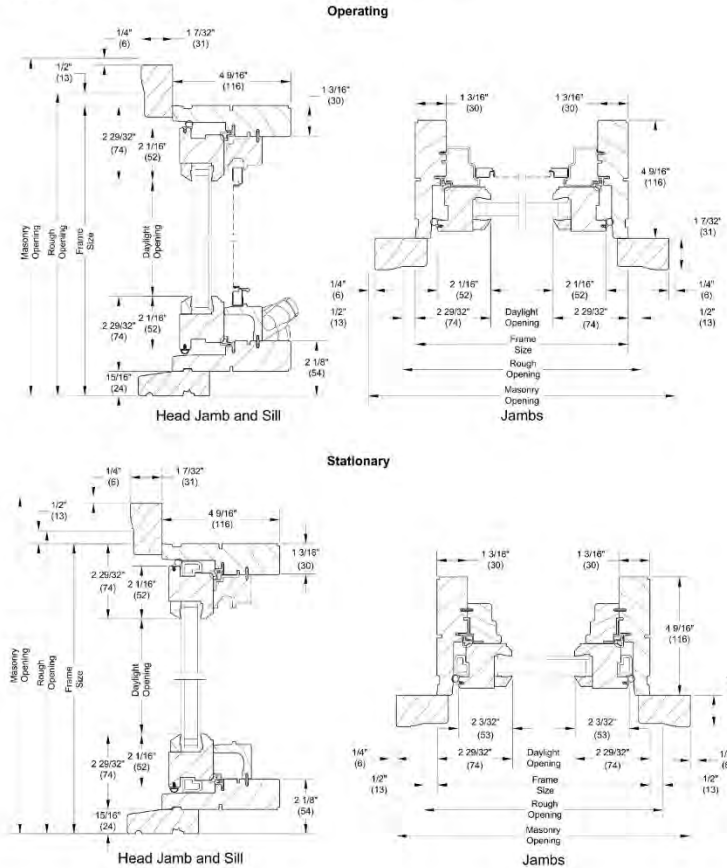




Ultimate Wood Casement, Awning and Picture

Section Details: Operating and Stationary / Picture - 3/4" (19) IG

Scale: 3" = 1' 0"



Ver 2019.3 2019-06-23

UWCA UWCANF-32

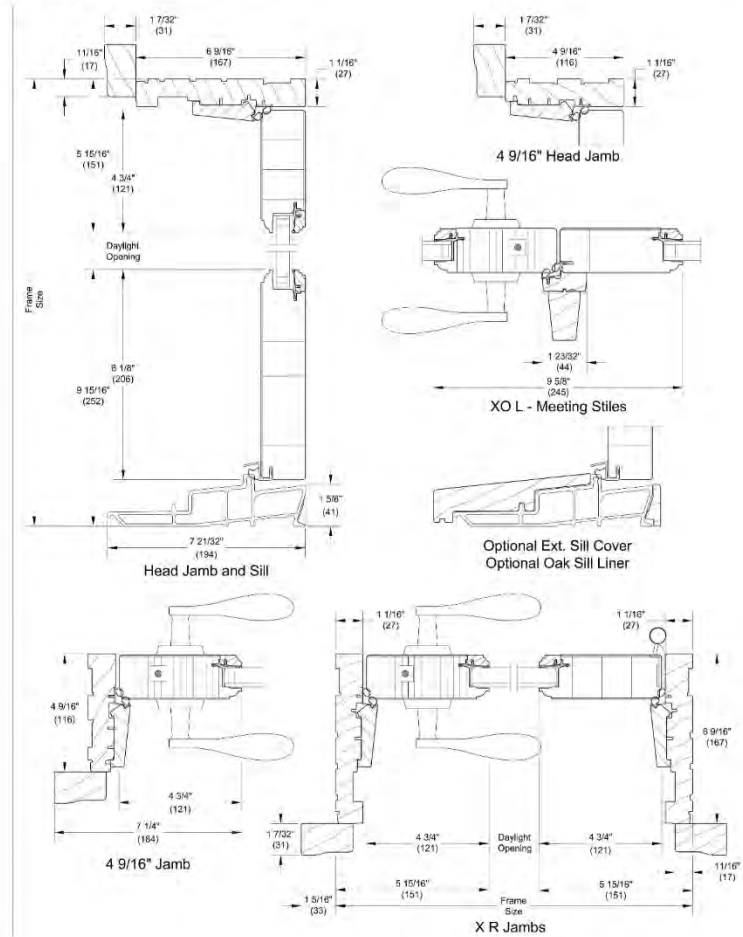
19972255  
Marvin Architectural Detail Manual



Ultimate Wood Swinging French Doors

Inswing Section Details: Operating

Scale: 3" = 1' 0"



Ver 2019.3 2019-07-29

UWIFD UWOFD-12

19972255  
Marvin Signature Collection  
Architectural Detail Manual

























## Agenda Item 13:

13 Legare Street

Requesting conceptual approval for alterations including the replacement of windows and doors; the modification of entry door, and balconies; the reconstruction of chimney; addition of copper roof and gutters/downspouts; alteration of the rear shed; reconfiguration of hardscaping and landscaping.

Not Rated / Charlestowne / c1970 / Old and Historic District

13 LEGARE STREET  
CONCEPTUAL BAR  
MEETING 12-12-19

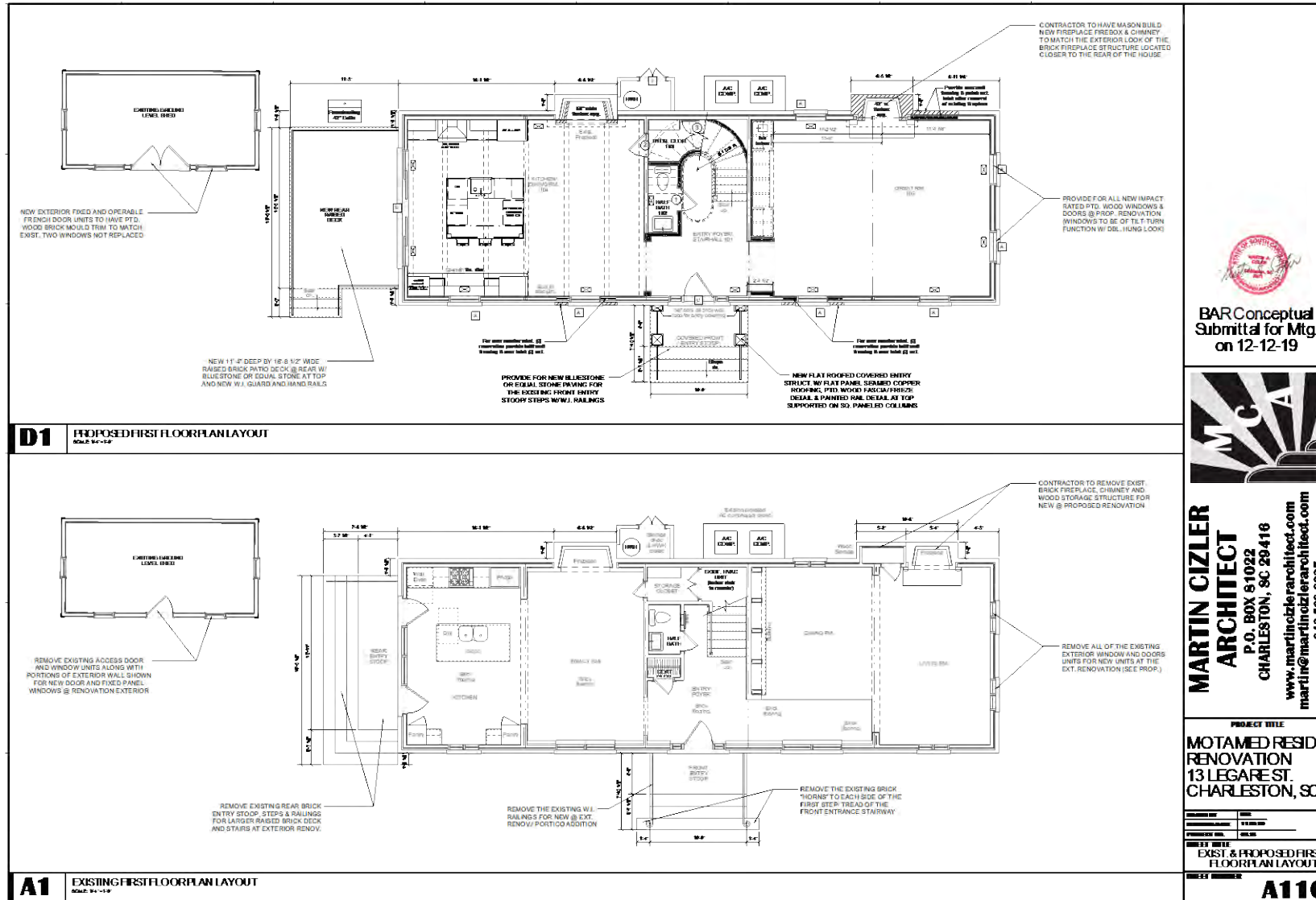
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# Existing and Proposed 1<sup>st</sup> floor Plans



BAR Conceptual  
 Submittal for Mtg.  
 on 12-12-19

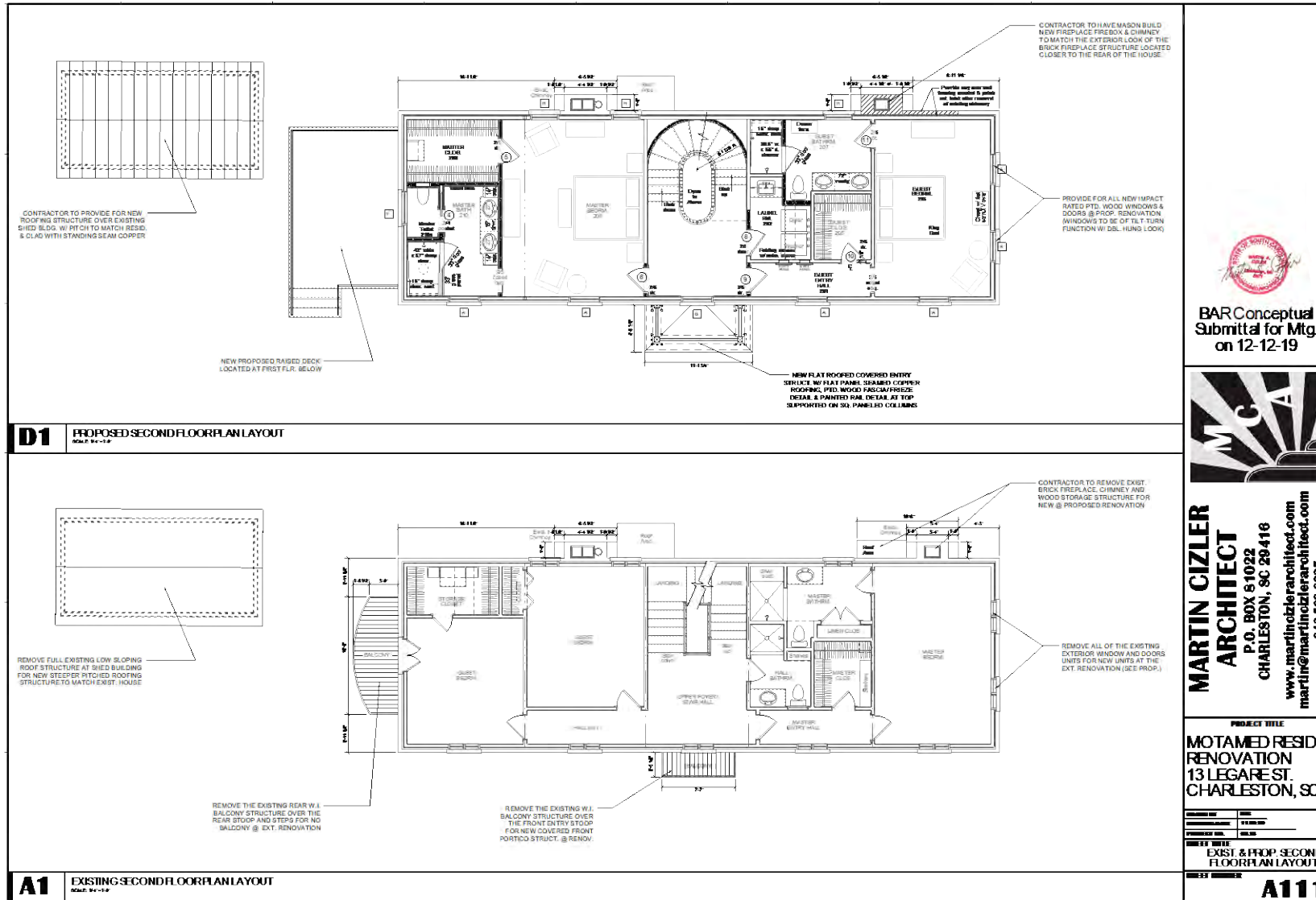


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[martin@martincizlerarchitect.com](mailto:martin@martincizlerarchitect.com)  
 843-568-8027

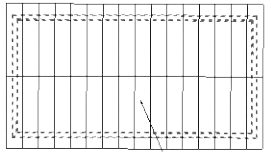
PROJECT TITLE  
**MOTAMED RESID.  
 RENOVATION**  
 13 LEGARE ST.  
 CHARLESTON, SC

DATE: 12-12-19  
 DRAWING NO.: 100  
 SHEET NO.: 100  
 SHEET TITLE  
**EXIST. & PROPOSED FIRST  
 FLOOR PLAN LAYOUTS**  
 SHEET NUMBER  
**A110**

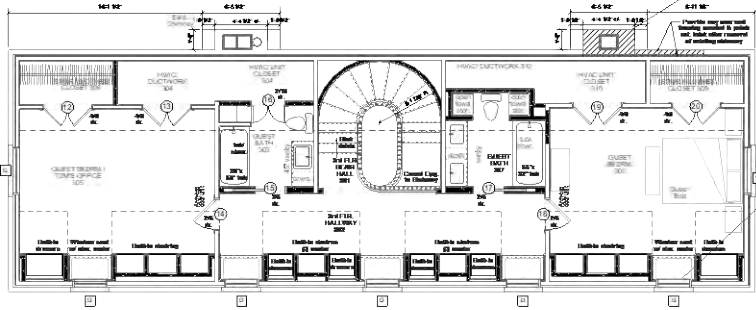
# Existing and Proposed 2<sup>nd</sup> floor Plans



# Existing and Proposed 3<sup>rd</sup> floor Plans



CONTRACTOR TO PROVIDE FOR NEW ROOFING STRUCTURE OVER EXISTING SHED BLDG. W/ RT CH TO MATCH RESID. & CLAD WITH STANDING SEAM COPPER

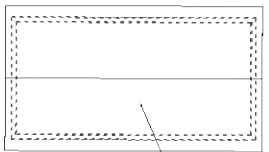


CONTRACTOR TO HAVE MASON BUILD NEW FIREPLACE FIREBOX & CHIMNEY TO MATCH THE EXTERIOR LOOK OF THE BRICK FIREPLACE STRUCTURE LOCATED CLOSER TO THE REAR OF THE HOUSE

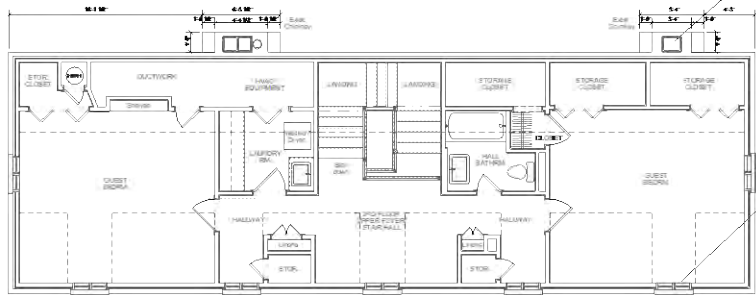
PROVIDE FOR ALL NEW IMPACT RATED PTD. WOOD WINDOWS & DOORS @ PROP. RENOVATION WINDOWS TO BE OF TILT-TURN FUNCTION W/ DOUBLE HUNG LOOK

CONTRACTOR TO REMOVE EXIST. BRICK FIREPLACE, CHIMNEY AND WOOD STORAGE STRUCTURE FOR NEW @ PROPOSED RENOVATION

**D1** PROPOSED THIRD FLOOR PLAN LAYOUT  
Scale: 1/4" = 1'-0"




REMOVE FULL EXISTING LOW SLOPING ROOF STRUCTURE AT SHED BUILDING FOR NEW STEEPER PITCHED ROOFING STRUCTURE TO MATCH EXIST. HOUSE




REMOVE ALL OF THE EXISTING EXTERIOR WINDOW AND DOORS UNITS FOR NEW UNITS AT THE EXT. RENOVATION (SEE PROP.)

**A1** EXISTING THIRD FLOOR PLAN LAYOUT  
Scale: 1/4" = 1'-0"



**BAR Conceptual Submittal for Mtg. on 12-12-19**



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[martin@martincizlerarchitect.com](mailto:martin@martincizlerarchitect.com)  
843-568-8027

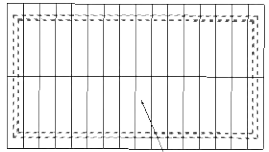
PROJECT TITLE  
**MOTAMED RESID. RENOVATION**  
13 LEGARE ST.  
CHARLESTON, SC

DATE	NO.

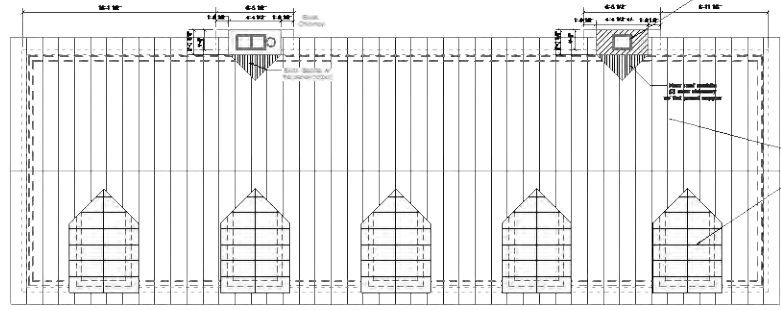
THIS IS NOT AN OFFICIAL ARCHITECTURAL DRAWING  
**EXIST. & PROPOSED THIRD FLOOR PLAN LAYOUTS**  
 SHEET NUMBER **A112**



# Existing and Proposed Roof Plans




CONTRACTOR TO PROVIDE FOR NEW ROOFING STRUCTURE OVER EXISTING SHED BLDG. W/ RITCH TO MATCH RESID. & CLAD WITH STANDING SEAM COPPER



CONTRACTOR TO HAVE MASON BUILD NEW FIREPLACE FIREBOX & CHIMNEY TO MATCH THE EXTERIOR LOOK OF THE BRICK FIREPLACE STRUCTURE LOCATED CLOSER TO THE REAR OF THE HOUSE

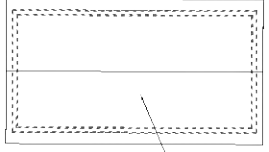
PROVIDE FOR NEW STANDING SEAM COPPER ROOF ADDED TO THE EXISTING ROOF STRUCTURE AT THE PROP. EXT. RENOVATION



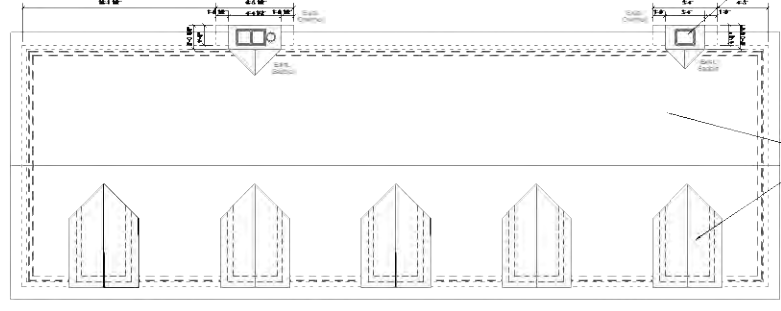
**BAR Conceptual  
Submittal for Mtg.  
on 12-12-19**

---

**D1** PROPOSED ROOF PLAN LAYOUT  
SCALE: 1/4" = 1'-0"




REMOVE FULL EXISTING LOW SLOPING ROOF STRUCTURE AT SHED BUILDING FOR NEW STEEPER RITCHED ROOFING STRUCTURE TO MATCH EXIST. HOUSE



CONTRACTOR TO REMOVE EXIST. BRICK FIREPLACE CHIMNEY AND WOOD STORAGE STRUCTURE FOR NEW @ PROPOSED RENOVATION

REMOVE ALL OF THE EXISTING ASPHALT ROOFING SHINGLES @ THE MAIN RESIDENCE ROOF FOR NEW ROOF @ RENOVATION



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[martin@martincizlerarchitect.com](mailto:martin@martincizlerarchitect.com)  
843-568-8027

PROJECT TITLE  
**MOTAMED RESID.  
RENOVATION  
13 LEGARE ST.  
CHARLESTON, SC**

DATE:	12/12/19
SCALE:	AS SHOWN
PROJECT NO.:	19-001
DESIGNER:	MCA
CHECKED BY:	MCA
DATE:	12/12/19

**EXISTING & PROPOSED  
ROOF PLAN LAYOUTS**

**A113**

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**A1** EXISTING ROOF PLAN LAYOUT  
SCALE: 1/4" = 1'-0"



# Existing & Prop. East & West Elevations.

<p><b>D1 PROPOSED WEST FACING EXTERIOR ELEVATION</b> SCALE: 3/4"=1'-0"</p> <p>NEW 11'-4" DEEP BY 16'-0 1/2" WIDE RAISED BRICK PATIO DECK @ REAR W/ BLUESTONE OR EQUAL STONE AT TOP AND NEW W/1" GUARD AND HAND RAILS</p> <p>EXTERIOR BRICK VENEER FACADE TO BE LIME WASHED AS PART OF RENOVATION</p> <p>PROVIDE FOR NEW EXTERIOR LIGHTING FIXTURES @ RENOV.</p> <p>PROVIDE FOR NEW LEFT SLIDE DOOR UNIT @ EXT. RENOVATION</p> <p>NEW STANDING SEAM COPPER ROOF ADDED TO EXISTING RESIDENCE</p> <p>REMOVE EXISTING PTD. ALUM. GUTTERS AND DOWNSPOUTS &amp; REPLACE WITH COPPER, TYP.</p> <p>PROVIDE FOR ALL NEW IMPACT RATED PTD. WOOD WINDOWS &amp; DOORS @ PROP. RENOVATION (WINDOWS TO BE OF TILT TURN FUNCTION W/ DEL. HUNG LOOK)</p> <p>NEW PTD. WOOD LOUVERED SHUTTERS @ 2ND FLR. WINDS.</p> <p>NEW FLAT ROOFED COVERED ENTRY STRUCT. W/ FLAT PANEL SEAMED COPPER ROOFING, PTD. WOOD FASCI. FRIEZE DETAILS &amp; PAINTED RAIL DETAIL AT TOP SUPPORTED ON SQ. PANELED COLUMNS</p> <p>NEW PTD. WOOD PINNED SHUTTERS @ 1ST FLR. WINDS.</p> <p>PROVIDE FOR NEW BLUESTONE OR EQUAL STONE RAILINGS FOR THE EXISTING FRONT ENTRY STAIR @ STAIRS W/ W/1" RAILINGS</p> <p>NEW ARCHED BRICK CHIMNEY CAP DETAIL TOWARDS THE STREET SIDE OF THE HOUSE TO MATCH EXISTING BRICK CHIMNEY CAP DETAILING</p> <p>EXTERIOR BRICK VENEER FACADE TO BE LIME WASHED AS PART OF RENOVATION</p> <p>CONTRACTOR TO HAVE MASON BUILD NEW FIRE PLACE &amp; CHIMNEY TO MATCH THE EXTERIOR LOOK OF THE BRICK FIRE PLACE STRUCTURE LOCATED CLOSER TO THE REAR OF THE HOUSE</p>	<p><b>D4 PROPOSED EAST FACING EXTERIOR ELEVATION</b> SCALE: 3/4"=1'-0"</p> <p>REMOVE EXIST. ARCHED BRICK CHIMNEY CAP DETAIL AS PART OF CHIMNEY DEMO</p> <p>REMOVE ALL OF THE EXISTING ASPHALT ROOFING SHINGLES @ THE MAIN RESIDENCE ROOF FOR NEW ROOF @ RENOVATION</p> <p>REMOVE EXISTING PTD. ALUM. GUTTERS AND DOWNSPOUTS &amp; REPLACE WITH COPPER, TYP.</p> <p>REMOVE ALL OF THE EXISTING EXTERIOR WINDOW AND DOOR UNITS FOR NEW UNITS AT THE EXT. RENOVATION (SEE PROP.)</p> <p>REMOVE THE EXISTING REAR W/1 BALCONY STRUCTURE OVER THE REAR STOOP AND STAIRS @ NO BALCONY @ EXT. RENOVATION</p> <p>REMOVE THE EXISTING W/1 BALCONY STRUCTURE OVER THE FRONT ENTRY STOOP FOR NEW COVERED FRONT PORTICO STRUCT. @ RENOV.</p> <p>REMOVE THE EXISTING W/1 RAILINGS FOR NEW @ EXT. RENOV. PORTICO ADDITION</p> <p>REMOVE THE EXISTING BRICK "HORNS" TO EACH SIDE OF THE FRONT ENTRY STAIRWAY</p> <p>REMOVE EXIST. EXT. LIGHTING FIXTURES FOR NEW @ RENOV.</p> <p>REMOVE EXISTING REAR BRICK ENTRY STOOP, STEPS &amp; RAILINGS FOR LARGER RAISED BRICK DECK AND STAIRS AT EXT. RENOV.</p> <p>CONTRACTOR TO REMOVE EXIST BRICK FIRE PLACE, CHIMNEY AND WOOD STORAGE STRUCTURE FOR NEW @ PROPOSED RENOVATION</p>	<p><b>BAR Conceptual</b> Submittal for Mtg. on 12-12-19</p>
<p><b>A1 EXISTING WEST FACING EXTERIOR ELEVATION</b> SCALE: 3/4"=1'-0"</p> <p>REMOVE EXISTING REAR BRICK ENTRY STOOP, STEPS &amp; RAILINGS FOR LARGER RAISED BRICK DECK AND STAIRS AT EXT. RENOV.</p>	<p><b>A4 EXISTING EAST FACING EXTERIOR ELEVATION</b> SCALE: 3/4"=1'-0"</p>	<p><b>MARTIN CIZLER ARCHITECT</b> P.O. BOX 81022 CHARLESTON, SC 29416 www.martincizlerarchitect.com martin@martincizlerarchitect.com 848-568-6027</p> <p>PROJECT TITLE <b>MOTAMED RESID. RENOVATION</b> 13 LEGARE ST. CHARLESTON, SC</p> <p>EXISTING &amp; PROPOSED EXTERIOR ELEVATIONS</p> <p><b>A202</b></p>



# Existing and Proposed North Elevations.

**BAR Conceptual  
Submission for Mtg.  
on 12-12-19**

**MARTIN CIZLER  
ARCHITECT**  
P.O. BOX 81022  
CHARLESTON, SC 29416  
[www.martincizlerarchitect.com](http://www.martincizlerarchitect.com)  
[martin@martincizlerarchitect.com](mailto:martin@martincizlerarchitect.com)  
843-568-6027

PROJECT TITLE  
**MOTAMED RESID.  
RENOVATION  
13 LEGARE ST.  
CHARLESTON, SC**

DATE  
**EXISTING & PROPOSED  
EXTERIOR ELEVATIONS**








PROJECT NUMBER  
**A203**

**D1 PROPOSED NORTH FACING EXTERIOR ELEVATION**  
Scale: 3/4" = 1'-0"

**A1 EXISTING NORTH FACING EXTERIOR ELEVATION**  
Scale: 3/4" = 1'-0"



# Photos of House & Neighborhood

 <p>11 LEGARE STREET</p>	 <p>13 LEGARE STREET</p>	 <p>15 LEGARE STREET</p>	 <p>BAR Conceptual Submittal for Mtg. on 12-12-19</p>
<p><b>D1</b> PHOTO COLLAGE OF EAST FACING STREETSCAPE WITH 13 LEGARE STREET AT THE CENTER <small>SCALE: 1/8"</small></p>			
			<p><b>MARTIN CIZLER ARCHITECT</b> P.O. BOX 81022 CHARLESTON, SC 29416 <a href="http://www.martincizlerarchitect.com">www.martincizlerarchitect.com</a> martinc@martincizlerarchitect.com 843-565-6027</p> <p>PROJECT TITLE MOTAMED RESID. RENOVATION 13 LEGARE ST. CHARLESTON, SC</p> <p>DESIGNED BY: MCA DRAWING DATE: 11.19.19 PROJECT NO: 19-01</p> <p>SCALE: 1/8" = 1'-0" PHOTOS OF EXISTING HOUSE &amp; NEIGHBORHOOD SHEET NUMBER</p>
<p><b>A1</b> WEST FACADE OF 8 LEGARE ACROSS THE STREET FROM 13 LEGARE <small>SCALE: 1/8"</small></p>	<p><b>A4</b> NORTH FACADE OF 11 LEGARE ALONG DRIVEWAY OF 13 LEGARE <small>SCALE: 1/8"</small></p>	<p><b>A6</b> NORTH WESTERN END OF 11 LEGARE ALONG DRIVEWAY <small>SCALE: 1/8"</small></p>	<p><b>A204</b></p>



# Photos of House & Neighborhood

			<p>BAR Conceptual Submittal for Mtg. on 12-12-19</p>
<p><b>D1</b> NORTHWEST CORNER OF 11 LEGARE ALONG DRIVEWAY SIDE <small>SCALE: 1/8"</small></p>	<p><b>D4</b> WEST FACADE OF 11 LEGARE ALONG DRIVEWAY OUT TO GIBBS ST <small>SCALE: 1/8"</small></p>	<p><b>D6</b> NORTH FACADE OF 9 LEGARE ACROSS DRIVE OUT TO GIBBS ST <small>SCALE: 1/8"</small></p>	
			<p><b>MARTIN CIZLER ARCHITECT</b> P.O. BOX 81022 CHARLESTON, SC 29416 <a href="http://www.martincizlerarchitect.com">www.martincizlerarchitect.com</a> <a href="mailto:martin@martincizlerarchitect.com">martin@martincizlerarchitect.com</a> 843-568-6027</p> <p>PROJECT TITLE MOTAMED RESID. RENOVATION 13 LEGARE ST. CHARLESTON, SC</p> <p>DATE: 11/20/19 SCALE: 1/8"</p> <p>PHOTOS OF EXISTING HOUSE &amp; NEIGHBORHOOD</p> <p><b>A205</b></p>
<p><b>A1</b> EAST FACE OF 9 GIBBS ST AT REAR YARD &amp; SOUTH FACE OF SHED <small>SCALE: 1/8"</small></p>	<p><b>A4</b> SOUTH &amp; EAST FACADE OF SHED AT REAR YARD OF 13 LEGARE <small>SCALE: 1/8"</small></p>	<p><b>A6</b> EAST FACE OF SHED W/ 9 GIBBS ST &amp; 15 LEGARE ST BEHIND <small>SCALE: 1/8"</small></p>	<p><b>A205</b></p>



# Photos of House & Neighborhood

			<p>BAR Conceptual Submittal for Mtg. on 12-12-19</p>
<p><b>D1</b> SOUTH FACADE OF 13 LEGARE ST. AS VIEWED FROM THE DRIVEWAY <small>SCALE: 1/8" = 1'-0"</small></p>	<p><b>D4</b> EAST FACADE OF 13 LEGARE ST. FACING LEGARE ST. <small>SCALE: 1/8" = 1'-0"</small></p>	<p><b>D6</b> EAST &amp; PARTIAL NORTH FACADES OF 13 LEGARE ST. VIEWED FROM ST. <small>SCALE: 1/8" = 1'-0"</small></p>	
			<p><b>MARTIN CIZLER ARCHITECT</b> P.O. BOX 81022 CHARLESTON, SC 29416 <a href="http://www.martincizlerarchitect.com">www.martincizlerarchitect.com</a> <a href="mailto:martin@martincizlerarchitect.com">martin@martincizlerarchitect.com</a> 843-568-6027</p> <p>PROJECT TITLE MOTAMED RESID. RENOVATION 13 LEGARE ST. CHARLESTON, SC</p> <p>DESIGNED BY: MCA DRAWING DATE: 11/19/19 PROJECT NO.: 1819 SHEET NO.: 1819-01 PHOTOS OF EXISTING HOUSE &amp; NEIGHBORHOOD</p>
<p><b>A1</b> NORTH &amp; PARTIAL WEST FACADES OF 13 LEGARE ST. VIEWED FROM YARD <small>SCALE: 1/8" = 1'-0"</small></p>	<p><b>A4</b> WEST FACADE OF 13 LEGARE ST. FACING REAR YARD <small>SCALE: 1/8" = 1'-0"</small></p>	<p><b>A6</b> SOUTH FACADE OF 13 LEGARE ST. AS VIEWED FROM THE REAR YARD <small>SCALE: 1/8" = 1'-0"</small></p>	<p><b>A206</b></p>



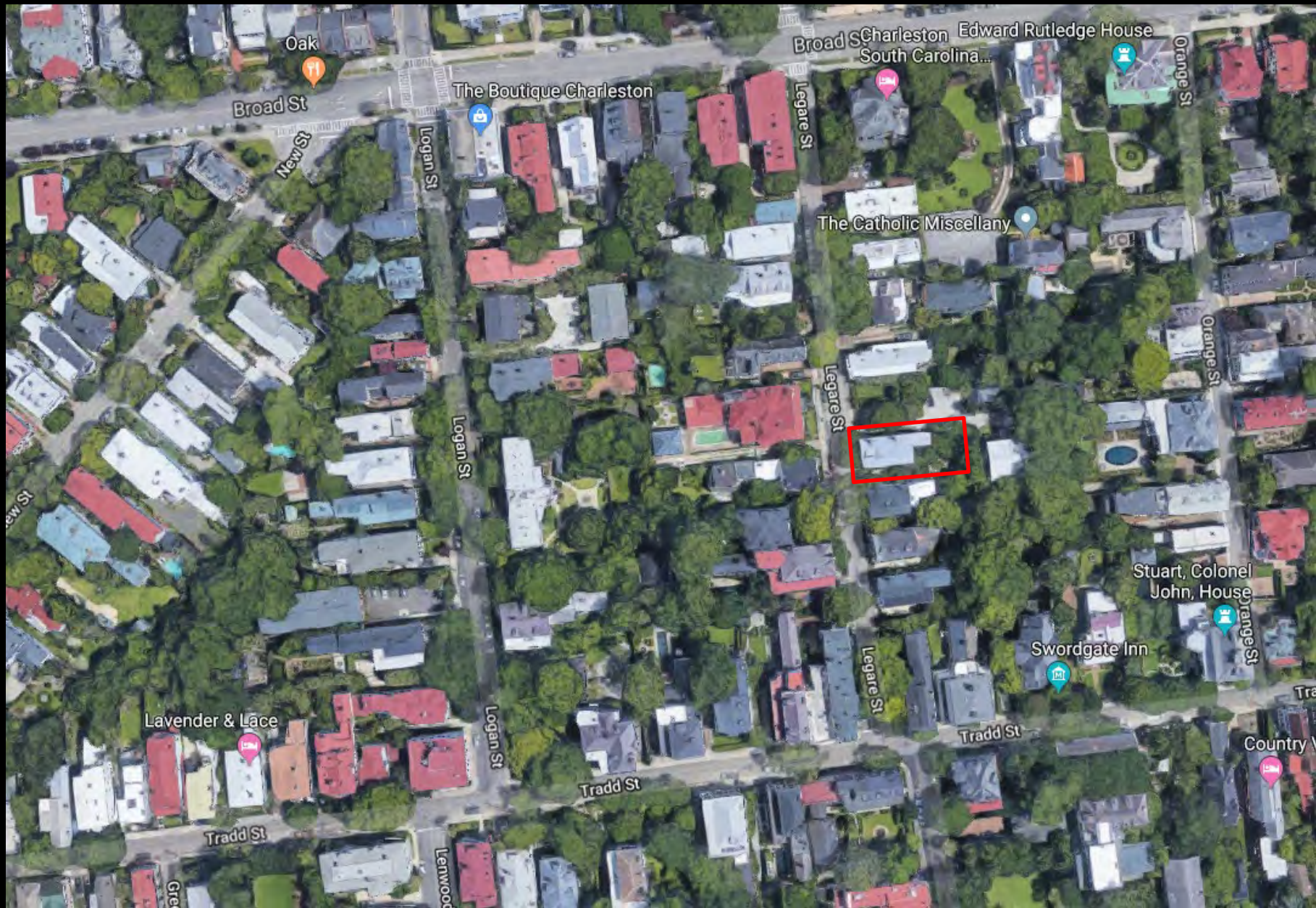


## Agenda Item 14:

44 Legare Street - - TMS # 457-12-04-093

Request conceptual approval for the extending the gable roofline over rear addition, extending piazza under addition, screening first floor piazza addition, and enclosing second floor piazza addition.

Category 3 / (Charlestowne) / c.1865 / Old and Historic District



CONTEXT





EXISTING SITE PHOTOS





EXISTING SITE PHOTOS





CONTEXT PHOTOS



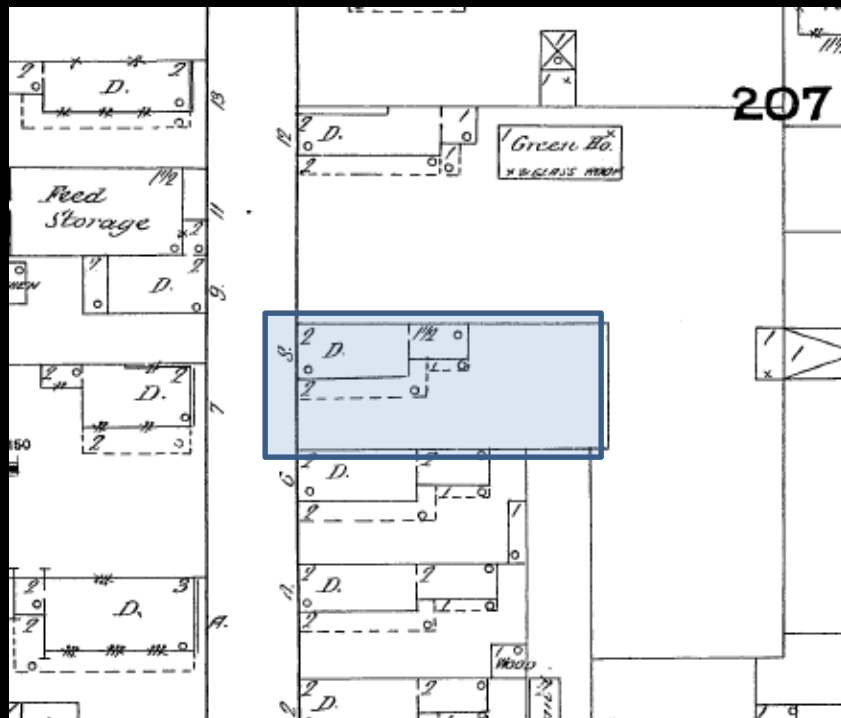


CONTEXT PHOTOS

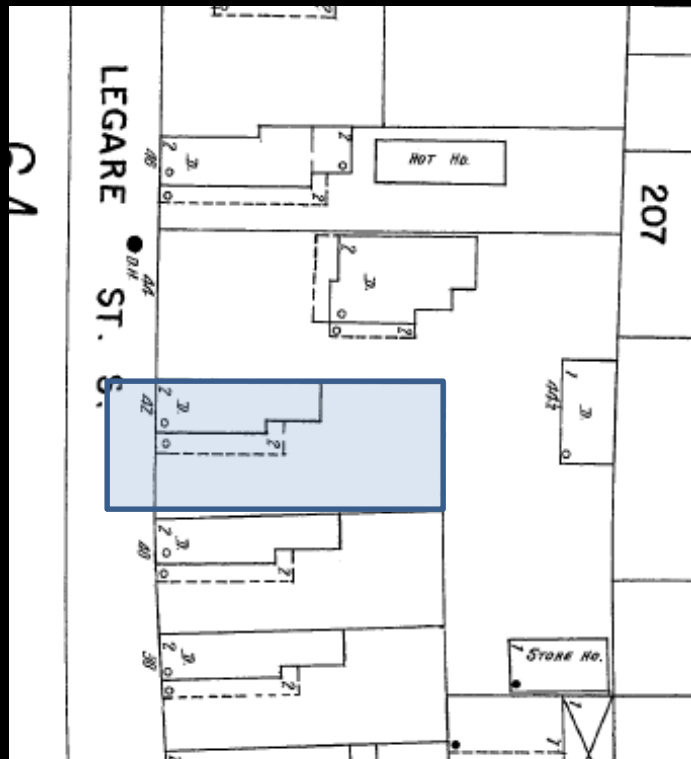




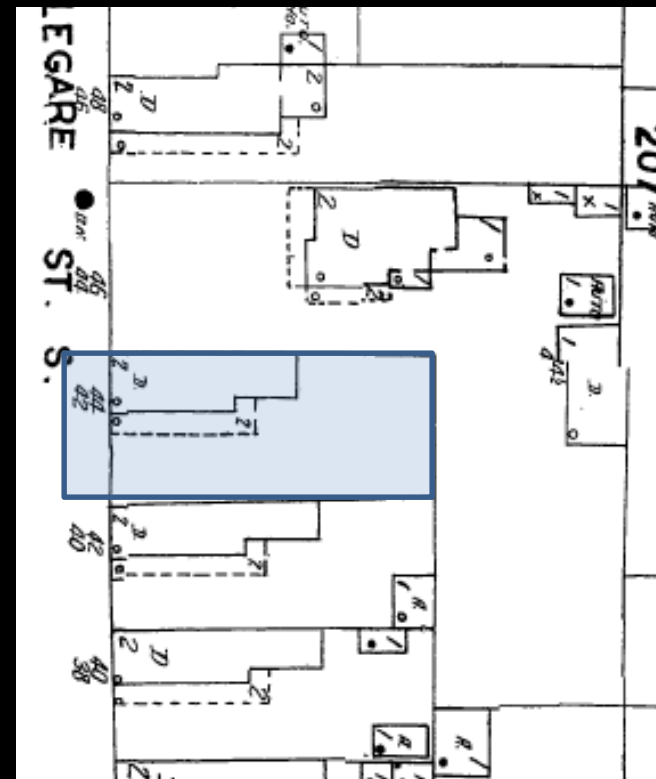
**HISTORIC IMAGES – 1973 SURVEY CARD**



1888



1902



1944

SANBORN MAPS

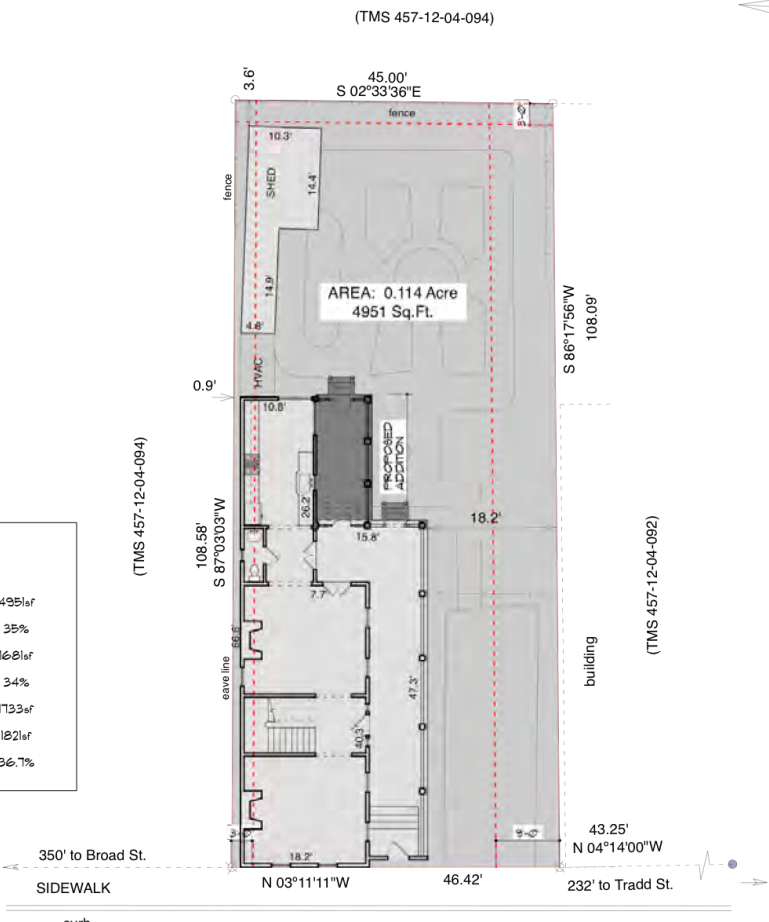
APPLICANT  
PRESENTATION



**ZONED: SR-4**

LOT AREA	4951sf
ALLOWABLE LOT COVERAGE	35%
EXISTING SQ. FTG. HOUSE SHED	1681sf
EXISTING LOT COVERAGE	34%
ALLOWABLE BUILT AREA	1733sf
PROPOSED BUILT AREA	1821sf
PROPOSED LOT COVERAGE	36.7%

1 SITE PLAN  
SCALE 1/8"=1'-0"



LEGARE STREET (34' R/W)

**Glenn Keyes Architects**  
 12 Vandenberg Street  
 Charleston, SC 29403  
 (843) 722-4100  
 www.glennkeyesarchitects.com



**44 Legare Street**  
 Charleston, South Carolina

**SITE PLAN**

REV	DATE

PROJECT NUMBER: 1905  
 DRAWING DATE: 11/25/19  
 SHEET NUMBER: A001



1 LEGARE STREET ELEVATION  
P-1 NO SCALE



3 SOUTHWEST ELEVATION  
P-1 NO SCALE



2 AERIAL VIEW  
P-1 NO SCALE

AREA OF  
3rd FLOOR ADDITION  
& PIAZZA EXTENSION



4 VIEW OF ADDITION FROM DRIVEWAY  
P-1 NO SCALE

Glenn Keyes  
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12 Vandenberg Street  
Charleston, SC 29405  
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44 Legare Street  
Charleston, South Carolina

EXISTING CONDITIONS  
PHOTOS

REV	DATE

PROJECT NUMBER 1925

DRAWING DATE 11/25/19

SHEET NUMBER P-1



1 EAST ELEVATION-ADDITION  
P-2 NO SCALE



2 PARTIAL SOUTH ELEVATION  
P-2 NO SCALE



3 PIAZZA EAST ELEVATION  
P-2 NO SCALE



4 NORTH ELEVATION  
P-2 NO SCALE

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Charleston, SC 29405  
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44 Legare Street  
Charleston, South Carolina

EXISTING CONDITIONS  
PHOTOS

REV	DATE

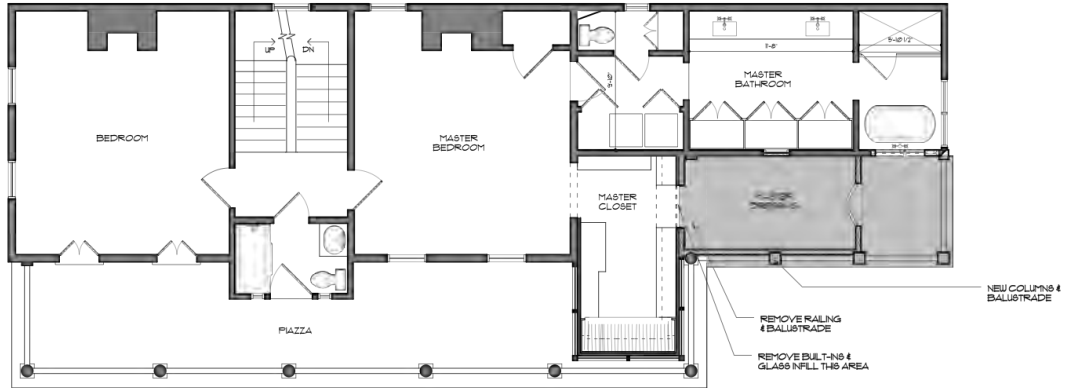
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DRAWING DATE 11/25/19

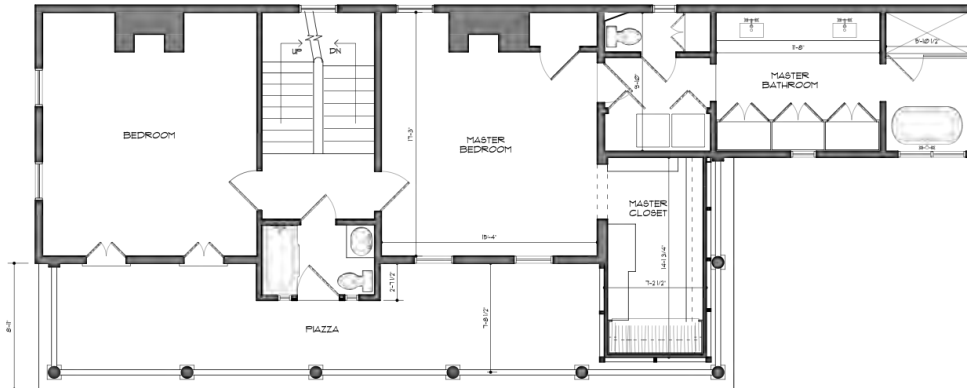
SHEET NUMBER P-2







2 PROPOSED SECOND FLOOR PLAN  
SCALE: 1/4"=1'-0"



1 EXISTING SECOND FLOOR PLAN  
SCALE: 1/4"=1'-0"

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Charleston, SC 29405  
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Charleston, South Carolina

FLOOR PLANS

REV	DATE

PROJECT NUMBER 1925

DRAWING DATE 11/25/19

SHEET NUMBER A102

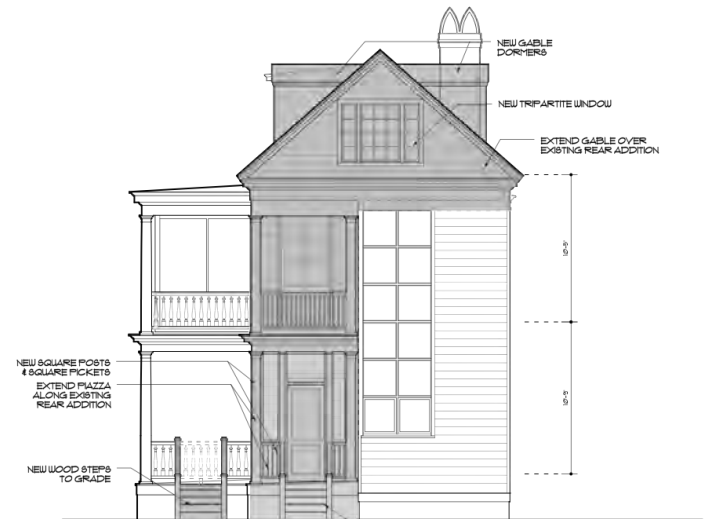








1 EXISTING EAST ELEVATION  
A202 SCALE 1/4"=1'-0"



2 PROPOSED EAST ELEVATION  
A202 SCALE 1/4"=1'-0"

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Architects  
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Charleston, SC 29405  
(843) 722-4100  
www.glennkeyesarchitects.com



44 Legare Street  
Charleston, South Carolina

ELEVATIONS

REV	DATE

PROJECT NUMBER 1925

DRAWING DATE 11/25/19

SHEET NUMBER A202



2 PROPOSED NORTH ELEVATION  
SCALE 1/4"=1'-0"



1 EXISTING NORTH ELEVATION  
SCALE 1/4"=1'-0"

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 12 Vandermont Street  
 Charleston, SC 29403  
 www.glennkeyesarchitects.com

*44 Legare Street*  
 Charleston, South Carolina

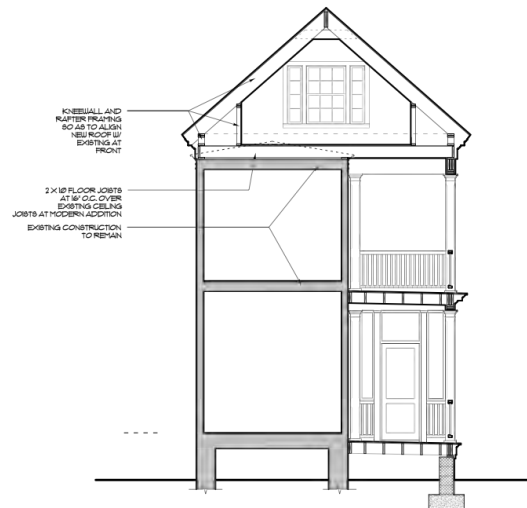
**ELEVATIONS**

REV.	DATE

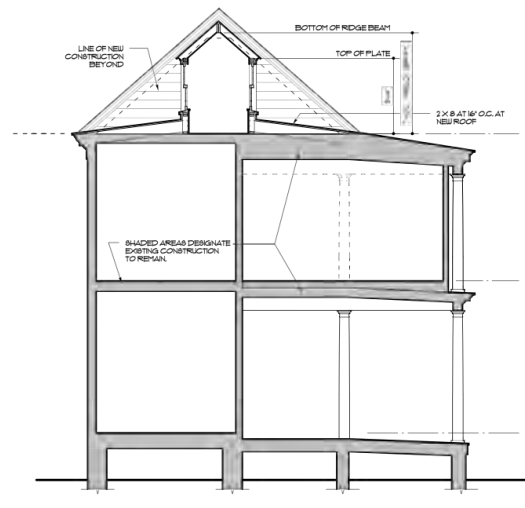
PROJECT NUMBER: 1305  
 DRAWING DATE: 11/25/19

SHEET NUMBER: **A203**



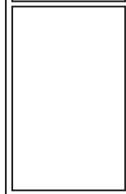


1 ATTIC SECTION  
SCALE: 1/2"=1'-0"



2 ATTIC SECTION  
SCALE: 1/2"=1'-0"

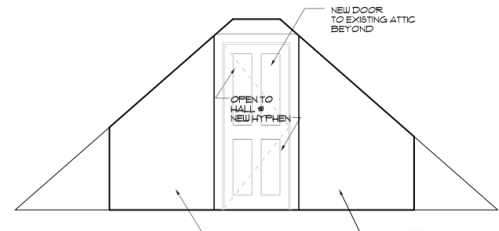
**Glenn Keyes Architects**  
 1200 Main Street  
 Charleston, SC 29401  
 (843) 722-4100  
 www.glennkeyesarchitects.com



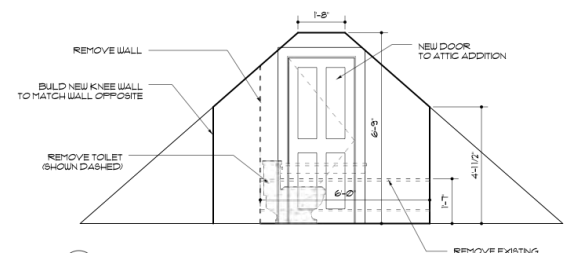
**44 Legare Street**  
 Charleston, South Carolina

**ATTIC FLOOR PLAN SECTIONS**

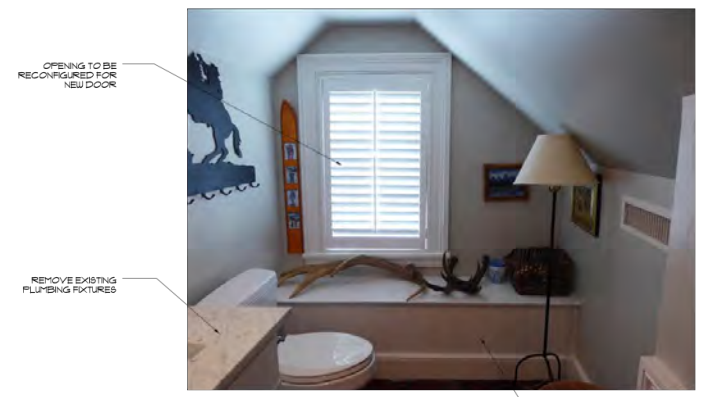
REV.	DATE
PROJECT NUMBER	1905
DRAWING DATE	11/25/19
SHEET NUMBER	<b>A301</b>



1 ATTIC SECTION-LOOKING WEST  
A302/ SCALE: 1/2"=1'-0"

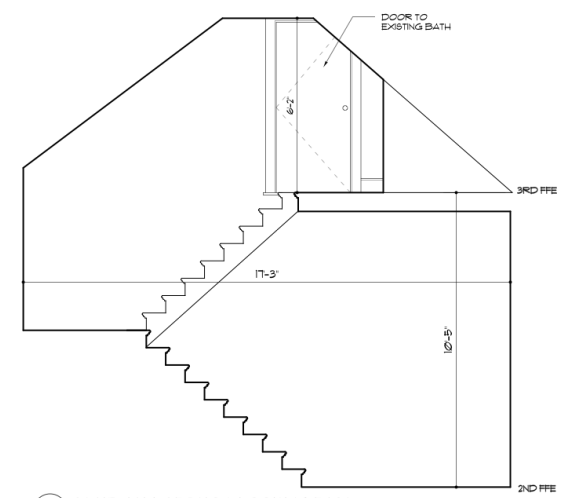


2 ATTIC SECTION-LOOKING EAST  
A302/ SCALE: 1/2"=1'-0"

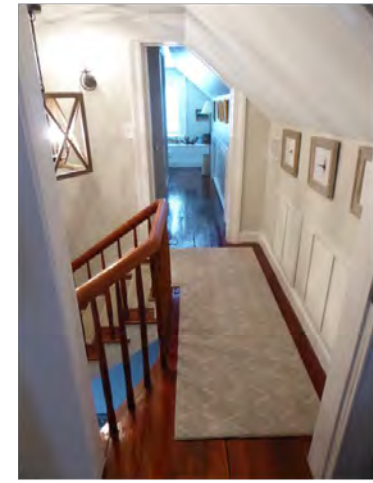


3 ATTIC BATH  
A302/ NO SCALE

DUCTWORK TO BE RELOCATED

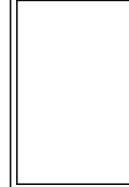


4 STAIR HALL SECTION-LOOKING EAST  
A302/ SCALE: 1/2"=1'-0"



5 STAIR HALL & ATTIC LANDING  
A302/ NO SCALE

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Charleston, SC 29405  
(843) 722-4100  
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**44 Legare Street**  
Charleston, South Carolina

**SECTIONS/  
INT. ELEVATIONS**

REV	DATE

PROJECT NUMBER 1925

DRAWING DATE 11/25/19

SHEET NUMBER  
**A302**





**Agenda Item 15:**

**41 Calhoun Street**

**Requesting conceptual approval for the new construction of a two-story mixed use building.**

**New Construction / Ports Area / Old and Historic District**



# DELTA PHARMACY

41 Calhoun Street  
Charleston, SC



## GENERAL INFORMATION

DESCRIPTION	NEW COMMERCIAL BUILDING WITH PHARMACY ON FIRST FLOOR AND RESIDENTIAL UNIT ON SECOND FLOOR.
OCCUPANCY CLASSIFICATION	SEPARATED MIXED USE (M-MERCANTILE / R2 - RESIDENTIAL)
SPRINKLER SYSTEM	FULLY SPRINKLERED- NFPA 13
BUILDING AREA	FIRST FLOOR: 1,955 SF SECOND FLOOR: 1,079 SF
NUMBER OF STORIES	2 STORIES
CONSTRUCTION TYPE	II-B
SEISMIC DESIGN CATEGORY	3
ZONING	GB- GENERAL BUSINESS/ OLD CITY HEIGHT DISTRICT 56/70V (SINCE NEW FIRM ADOPTED, NO LOWER VC ZONED / OLD AND HISTORIC DISTRICT)
FLOOD ZONE	AREAS CURRENTLY NOT IN FIRM NEW FIRM DATES YET ADOPTED
FIRE ALARM	NO FIRE ALARM PER IFC - REFER TO ELECTRICAL SYSTEMS PLANS

## APPLICABLE CODES

ACCESSIBILITY	ICC ANSIA A117.1
BUILDING CODE	2018 INTERNATIONAL BUILDING CODE W/ SOUTH CAROLINA AMENDMENTS
ELECTRICAL CODE	2018 NATIONAL ELECTRICAL CODE
ENERGY CODE	2009 SOUTH CAROLINA ENERGY CODE
FIRE CODE	2018 INTERNATIONAL FIRE CODE W/ SOUTH CAROLINA AMENDMENTS
FUEL/GAS CODE	2018 INTERNATIONAL FUEL GAS CODE W/ SOUTH CAROLINA AMENDMENTS
MECHANICAL CODE	2018 INTERNATIONAL MECHANICAL CODE W/ SOUTH CAROLINA AMENDMENTS
PLUMBING CODE	2018 INTERNATIONAL PLUMBING CODE W/ SOUTH CAROLINA AMENDMENTS

## SHEET LIST

Sheet	Sheet Name
00	BASE SHEET
01	TITLE SHEET
02	VELOCITY MAP
03	CONTEXT PHOTO- SOUTHEAST
04	CONTEXT PHOTO- EAST
05	CONTEXT PHOTO- SOUTHWEST
06	1993 SITE PHOTO
07	1993 SITE PHOTO
08	PROPERTY
09	ARCHITECTURAL SITE PLAN
10	FIRST FLOOR PLAN
11	SECOND FLOOR PLAN
12	ROOF PLAN
13	CALHOUN STREETSCAPE ELEVATIONS
14	EAST BAY STREETSCAPE ELEVATIONS
15	NORTH ELEVATION
16	WEST ELEVATION
17	SOUTH ELEVATION
18	EAST ELEVATION
19	CONTEXT RENDERING- SOUTHEAST
20	CONTEXT RENDERING- EAST
21	CONTEXT RENDERING- SOUTHWEST
22	RENDERING- EAST BAY SOUTHEAST
23	RENDERING- EAST BAY NORTHEAST
24	RENDERING- CALHOUN SOUTHWEST

## PROJECT TEAM

<b>ARCHITECT</b>	<b>THE MIDDLTON GROUP</b> 1503 KING STREET SUITE 202 CHARLESTON, SC 29405 P 843-702-4632
<b>OWNER</b>	<b>DELTA PHARMACY</b> 320 EAST BAY STREET CHARLESTON, SC 29403 P 843-761-5255 X.3
<b>CIVIL ENGINEER</b>	<b>EARTHSOURCE ENGINEERING</b> 862 HOBSON NORTHWEST BOULEVARD SUITE 240 MOUNT PLEASANT, SC 29664 P 843-661-0525



## DELTA PHARMACY

41 Calhoun Street  
Charleston, SC

## TITLE SHEET / 01

BAR-S CONCEPTUAL 12/12/19





**DELTA PHARMACY**  
41 Calhoun Street  
Charleston, SC

**VICINITY MAP / 02**  
BAR-S CONCEPTUAL 12/12/19





**DELTA PHARMACY**

41 Calhoun Street  
Charleston, SC

**CONTEXT PHOTO- SOUTHEAST / 03**

BAR-S CONCEPTUAL 12/12/19





**DELTA PHARMACY**

41 Calhoun Street  
Charleston, SC

**CONTEXT PHOTO- EAST / 04**

BAR-S CONCEPTUAL 12/12/19





**DELTA PHARMACY**

41 Calhoun Street  
Charleston, SC

**CONTEXT PHOTO- SOUTHWEST / 05**

BAR-S CONCEPTUAL 12/12/19





1963 HISTORIC PHOTO OF 41 CALHOUN STREET FROM EAST BAY STREET- DEMOLISHED 1964



**DELTA PHARMACY**

41 Calhoun Street  
Charleston, SC

1963 SITE PHOTO / 06

BAR-S CONCEPTUAL 12/12/19



1963 HISTORIC PHOTO OF 41 CALHOUN STREET FROM EAST BAY STREET- DEMOLISHED 1964



**DELTA PHARMACY**

41 Calhoun Street  
Charleston, SC

**1963 SITE PHOTO / 07**

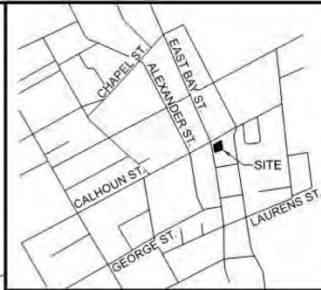
BAR-S CONCEPTUAL 12/12/19



**NOTES:**

1. THIS PROPERTY IS SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD.
2. FOR CURRENT ZONING AND SETBACK REQUIREMENTS, CONTACT THE CHARLESTON COUNTY OFFICE OF PLANNING AND ZONING AT (843) 202-7200.
3. REFERENCE PLAT ENTITLED "A PLAT OF 41 CALHOUN STREET, ANSONBOROUGH"; PREPARED BY THOMAS & HUTTON ENGINEERING CO., FOR ANTHONY KISER, DATED OCTOBER 22, 2007, AND RECORDED IN PLAT BOOK DF @ PAGE 824.
4. THIS PROPERTY IS LOCATED IN ZONE "AE-15" & "VE-15" AS SHOWN ON FEMA MAP No. 45019C0516 J, DATED NOVEMBER 17, 2004.
5. NO TITLE SEARCH PERFORMED BY THIS OFFICE.
6. ELEVATIONS SHOWN ARE NAVD 88.
7. TYPICAL SPOT ELEVATIONS (▲5.28)

LINE	BEARING	DISTANCE
L1	S 72°19'37" W	15.73'



LOCATION MAP



35 CALHOUN STREET  
TMS# 458-01-02-025  
REBECCA BROWN CAMPBELL  
DB: A307 PG: 805

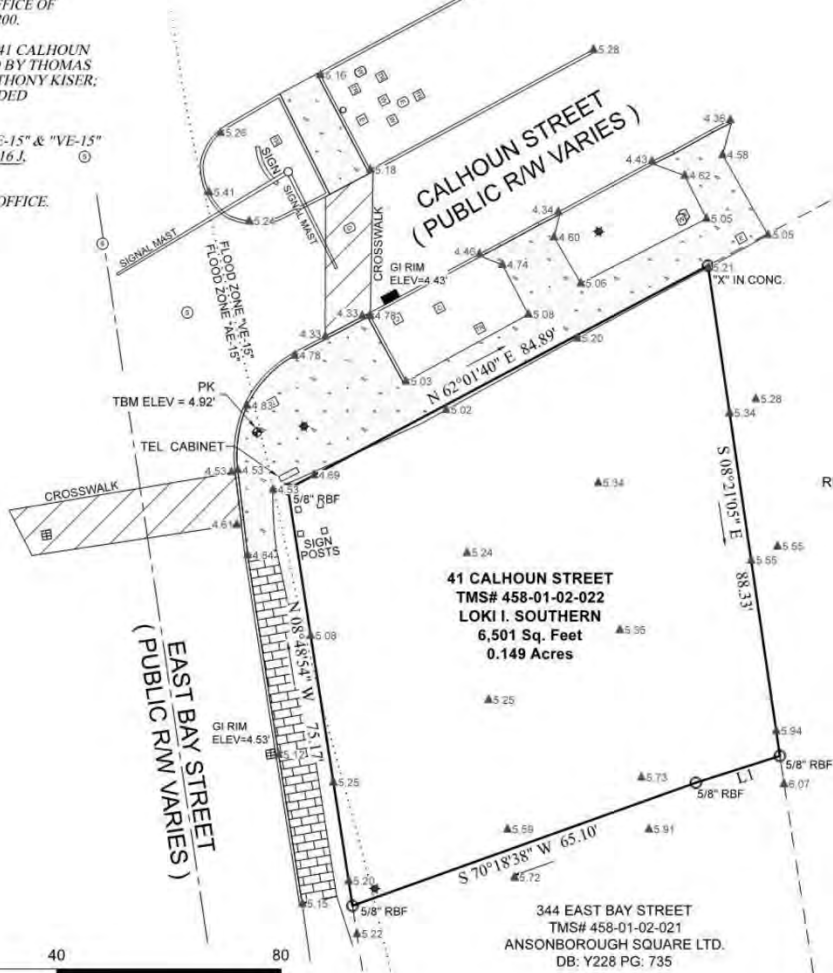
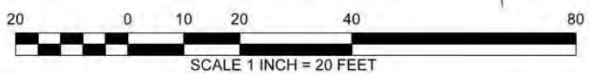
**CERTIFICATE OF ACCURACY**

I hereby state that to the best of my knowledge, information and belief, the survey shown hereon was made in accordance with the requirements of the "Minimum Standards Manual for the Practice of Land Surveying in South Carolina", and meets or exceeds the requirements for a CLASS A survey as specified herein.

**OCTOBER 16, 2019**  
Date

*Eric N. Wilson*  
Eric N. Wilson, P.L.S.

**29524**  
S.C. Registration Number



CITY OF CHARLESTON  
ASBUILT SURVEY OF 41 CALHOUN STREET  
- PREPARED FOR -  
EARTHSOURCE ENGINEERING

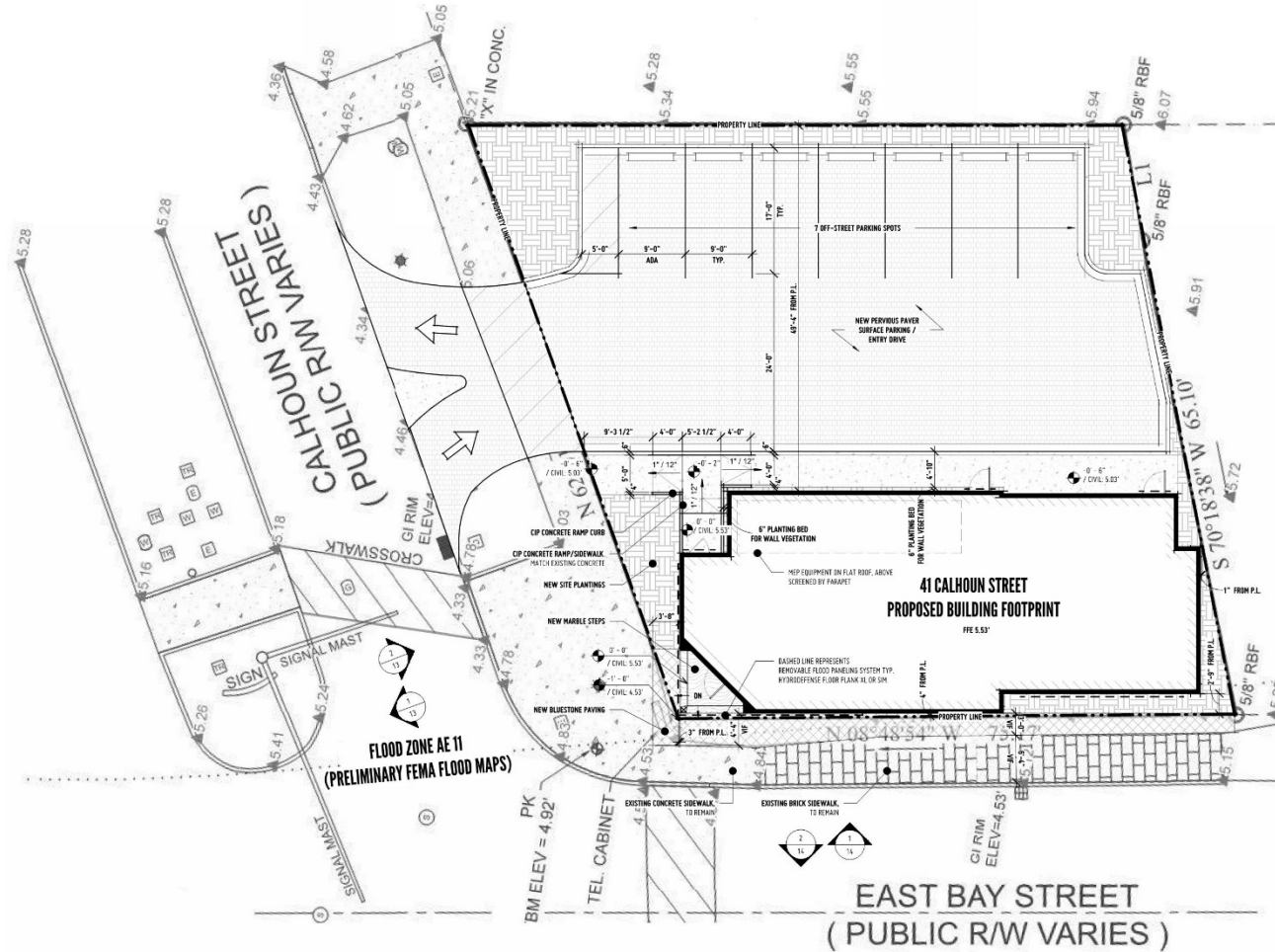
STATE OF SOUTH CAROLINA  
County: CHARLESTON

Date:	10/16/2019	TMS:	458-01-02-022
Ref. Plat:	BK DF @ Pg 824	Ref. DB:	BK V644 @ Pg 753

Robert A. Warner and Associates, Inc.  
Professional Land Surveying, Mapping and Planning  
728 8th Avenue North  
Columbia, South Carolina, 29277  
Phone: (843) 628-6662 / 6984  
Fax: (843) 628-6774  
E-mail: RWARNER@AOL.COM

Eric N. Wilson  
No. 29524  
S.C. Reg # 29524





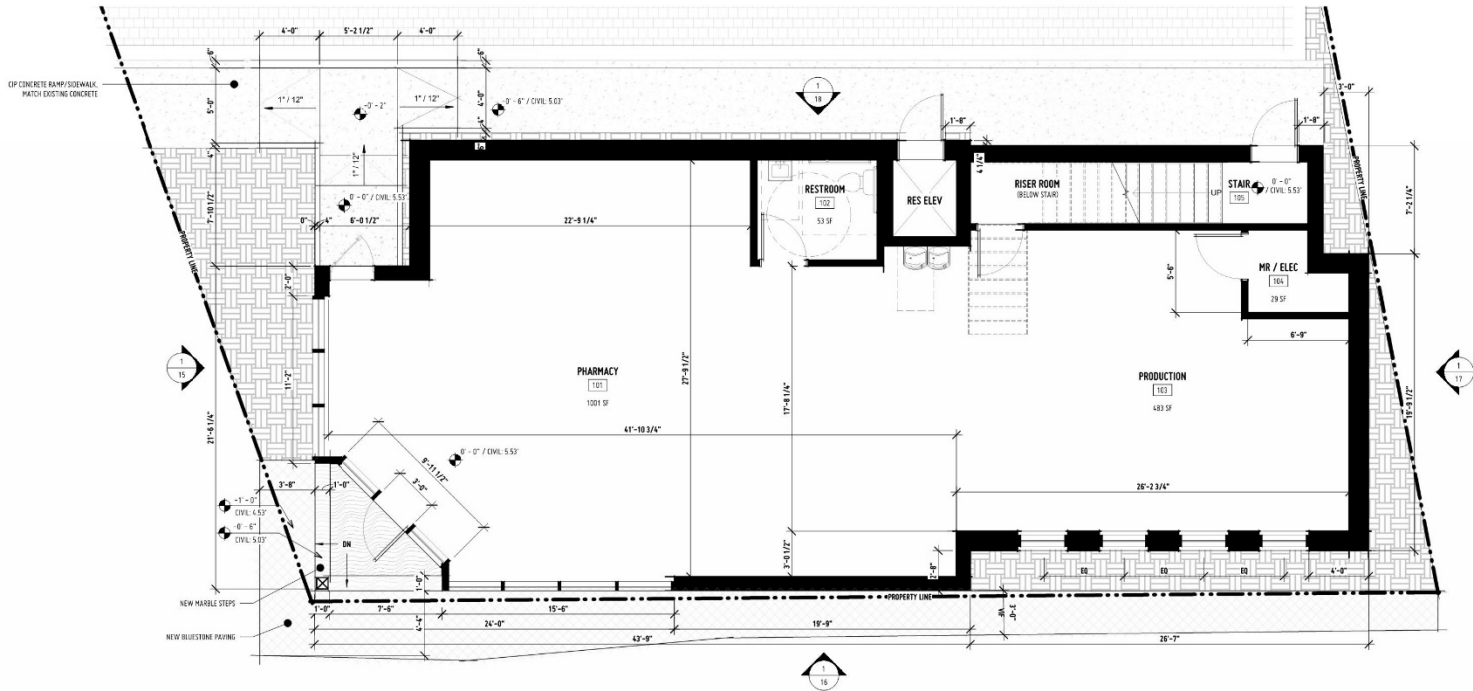
1 PROPOSED ARCHITECTURAL SITE PLAN  
 1/4" = 1'-0"



**DELTA PHARMACY**  
 41 Calhoun Street  
 Charleston, SC

**ARCHITECTURAL SITE PLAN / 09**

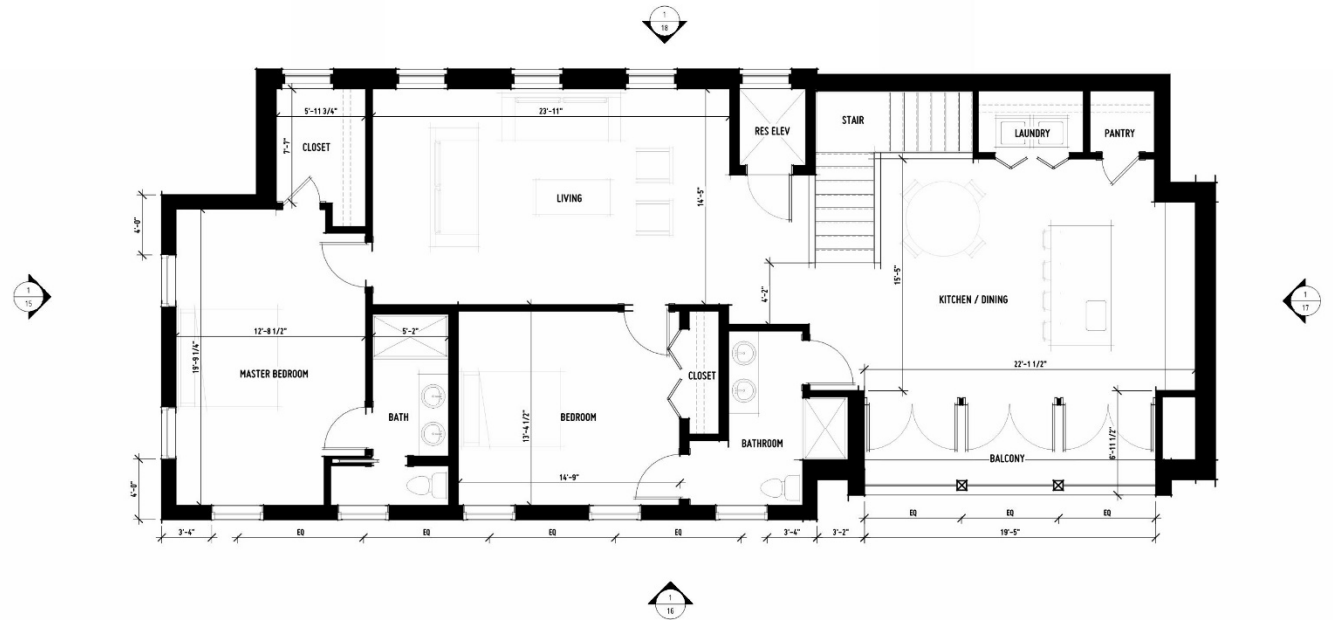
BAR-S CONCEPTUAL 12/12/19




  
 TRUE NORTH
   
**1** PROPOSED FIRST FLOOR PLAN
   
 1/4" = 1'-0"



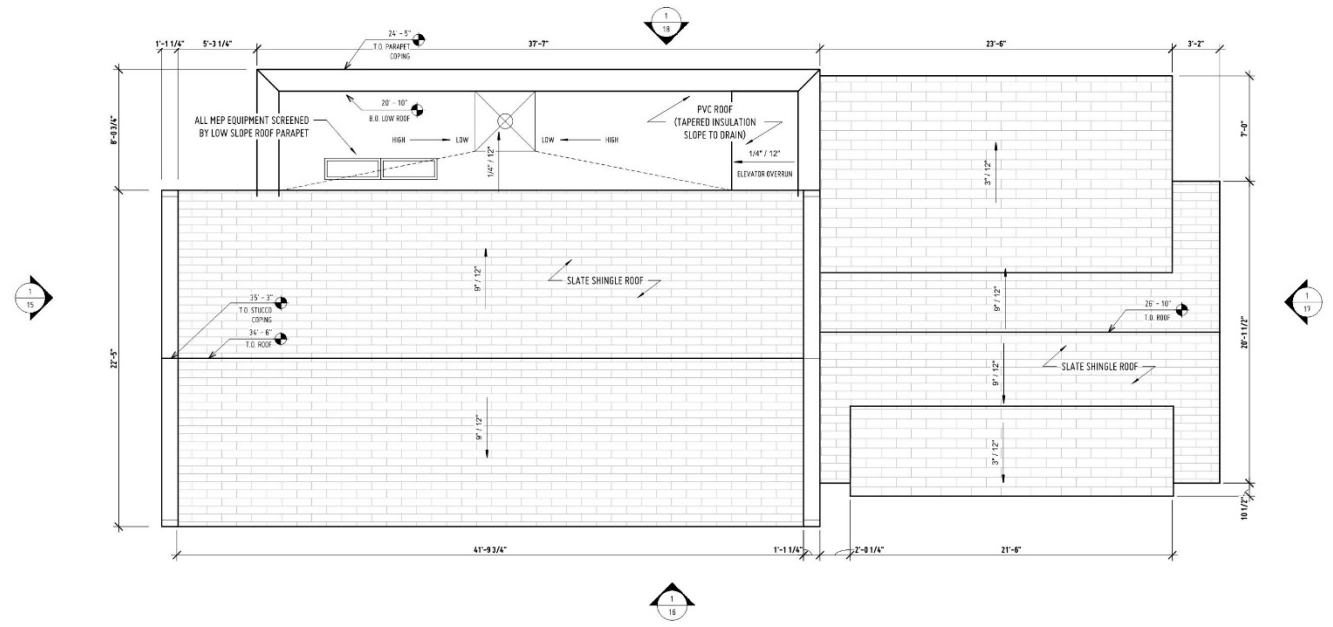
**DELTA PHARMACY**  
 41 Calhoun Street  
 Charleston, SC




  
 TRUE NORTH
 

1	PROPOSED SECOND FLOOR PLAN
11	1/4" = 1'-0"

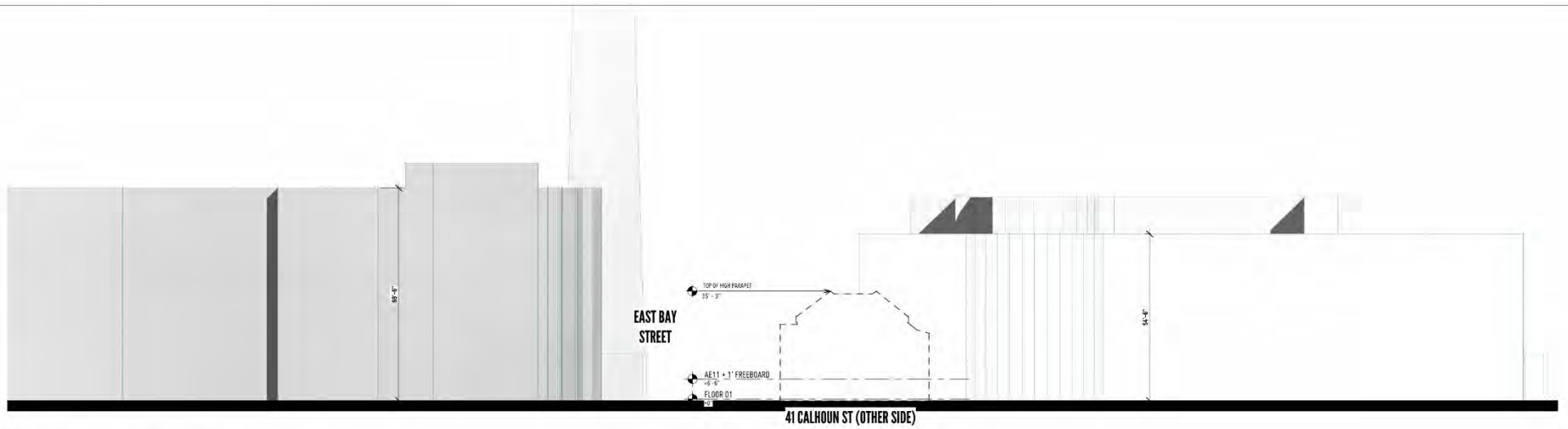




TRUE NORTH
   
**1** PROPOSED ROOF PLAN
   
 1/4" = 1'-0"



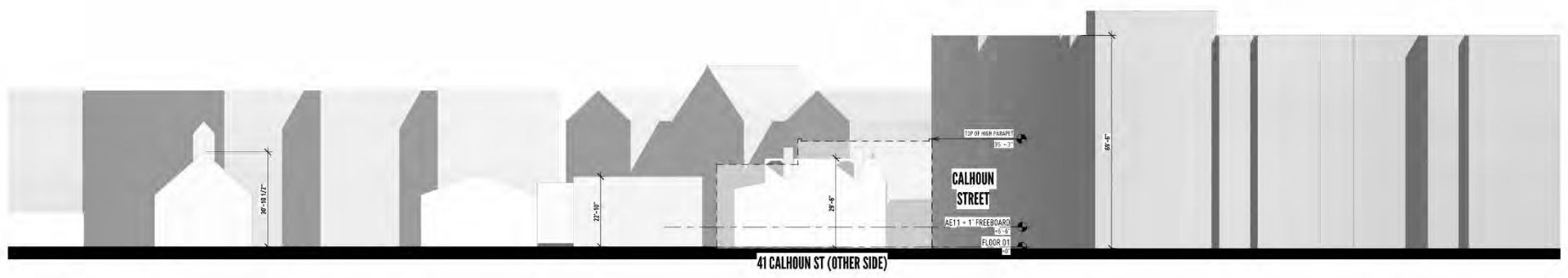
**2** PROPOSED NORTH STREETSCAPE ELEVATION (ALONG CALHOUN STREET)  
13 | 1/16" = 1'-0"



**1** PROPOSED SOUTH STREETSCAPE ELEVATION (ALONG CALHOUN STREET)  
13 | 1/16" = 1'-0"



1 PROPOSED WEST STREETSCAPE ELEVATION (ALONG EAST BAY STREET)  
1/4" = 1'-0"



2 PROPOSED EAST STREETSCAPE ELEVATION (ALONG EAST BAY STREET)  
1/4" = 1'-0"



ELEVATION KEYNOTES		
TYPE	DESCRIPTION	COLOR
BR	MODULAR BRICK - RUNNING BOND	WHITE
SS-W	SLATE SHINGLE, RAIN SCREEN SYSTEM, WOOD-CORPACLEAR	
SS-R	SLATE SHINGLE, ROOF	
ST	3-PART TRADITIONAL CEMENTITIOUS STUCCO - SMOOTH (MASONRY BACKUP)	WHITE
ST-P	STUCCO PROFILE - SMOOTH (MASONRY BACKUP)	
CONC	CAST IN PLACE CONCRETE	MATCH EXISTING
WIN-1	DIRECT SET WINDOWS - EXTERIOR/INTERIOR WOOD STURDFLOUNT W/ ALUMINUM STORM PANEL SYSTEM, 2" PROFILE	STAINED/SEALED RED CEDAR
WIN-2	DOUBLE HUNG WINDOWS - EXTERIOR EXTRUDED ALUMINUM CASING AND INTERIOR WOOD TRIM, IMPACT RATED	DARK GRAY - PREFINISHED
WIN-3	DIRECT SET WINDOWS - EXTERIOR EXTRUDED ALUMINUM CASING AND INTERIOR WOOD TRIM, IMPACT RATED	DARK GRAY - PREFINISHED
FG	WOOD TOLL GLASS DOOR, MEDIUM STYLE, IMPACT RATED	STAINED/SEALED RED CEDAR
F	PIED RM DOOR	DARK GRAY
VS	CECERUS VINES ON BRICK, ENGLISH IVY OR SIMILAR	
MC	METAL CORING	DARK GRAY - PREFINISHED
GR	GLASS RAINING SYSTEM	
COL	WOOD WRAPPED STEEL COLUMN, 8x8	STAINED/SEALED RED CEDAR
CS	CAST STONE SILL	WHITE
FP	REMOVABLE FLOOR PANELING SYSTEM (SIP) - HYBRID FLOOR PANELING OR SIP	
MB	MARBLE STEPS/LANDING	



1 PROPOSED NORTH ELEVATION  
1/8" = 1'-0"

ELEVATION KEYNOTES		
TYPE	DESCRIPTION	COLOR
BR	MODULAR BRICK - RUNNING BOND	WHITE
SS-W	SLATE SHINGLE, GRAN SCREEN SYSTEM, 600 - CURACLEAR	
SS-R	SLATE SHINGLE, ROOF	
ST	3-PART TRADITIONAL CEMENTITIOUS STEEL - SMOOTH (INSIDERS BACKUP)	WHITE
ST-P	STEEL PROFILE - SMOOTH (MASONRY BACKUP)	
CMCC	CAST IN PLACE CONCRETE	MATCH EXISTING
WIN-1	DIRECT SET WINDOWS - EXTERIOR/INTERIOR WOOD STORM/POPCOAT W/ ALUMINUM STORM/PANEL SYSTEM, 2" PROFILE	STAINED/SEALED RED CEDAR
WIN-2	DOUBLE HUNG WINDOWS - EXTERIOR EXTENDED ALUMINUM CASING AND INTERIOR WOOD TRIM, IMPACT RATED	DARK GRAY - PREFINISHED
WIN-3	DIRECT SET WINDOWS - EXTERIOR EXTENDED ALUMINUM CASING AND INTERIOR WOOD TRIM, IMPACT RATED	DARK GRAY - PREFINISHED
FG	WOOD FULL GLASS DOOR, MEDIUM STYLE, IMPACT RATED	STAINED/SEALED RED CEDAR
F	FIBER DOOR	DARK GRAY
VS	CENTERING VANE IN BRICK, ENGLISH VY OR SIMILAR	
MC	METAL CORING	DARK GRAY - PREFINISHED
GR	GLASS RAINING SYSTEM	
COL	WOOD SHAPED STEEL COLUMN, 600	STAINED/SEALED RED CEDAR
CS	CAST STONE SILL	WHITE
FP	REMOVABLE FLOOR FINISHING SYSTEM (SEE HYBRID/FLOOR FINISH DRAWING)	
MB	MARBLE STEPS/LANDING	



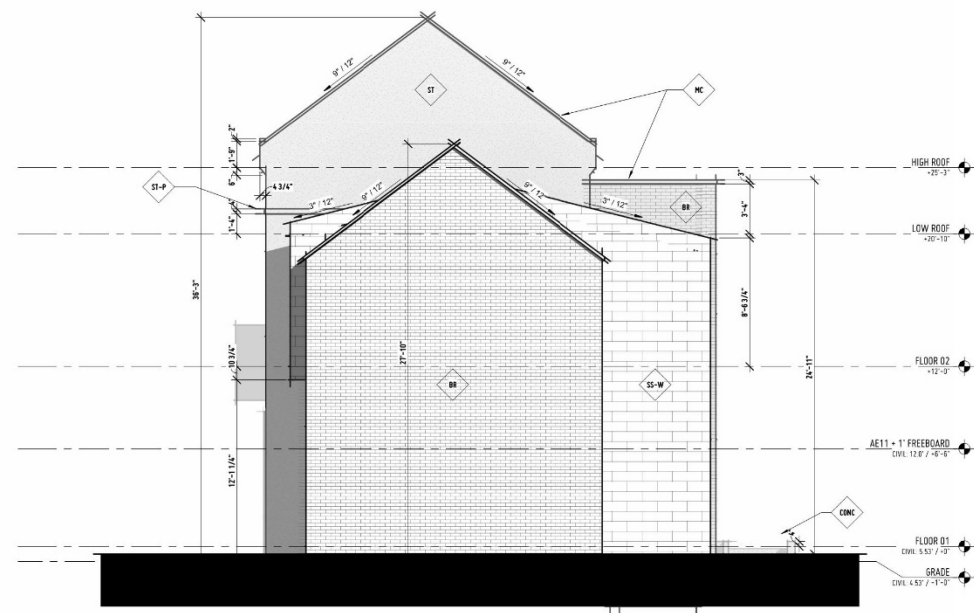
1 PROPOSED WEST ELEVATION  
1/2" = 1'-0"



**DELTA PHARMACY**  
41 Calhoun Street  
Charleston, SC

**WEST ELEVATION / 16**  
BAR-S CONCEPTUAL 12/12/19

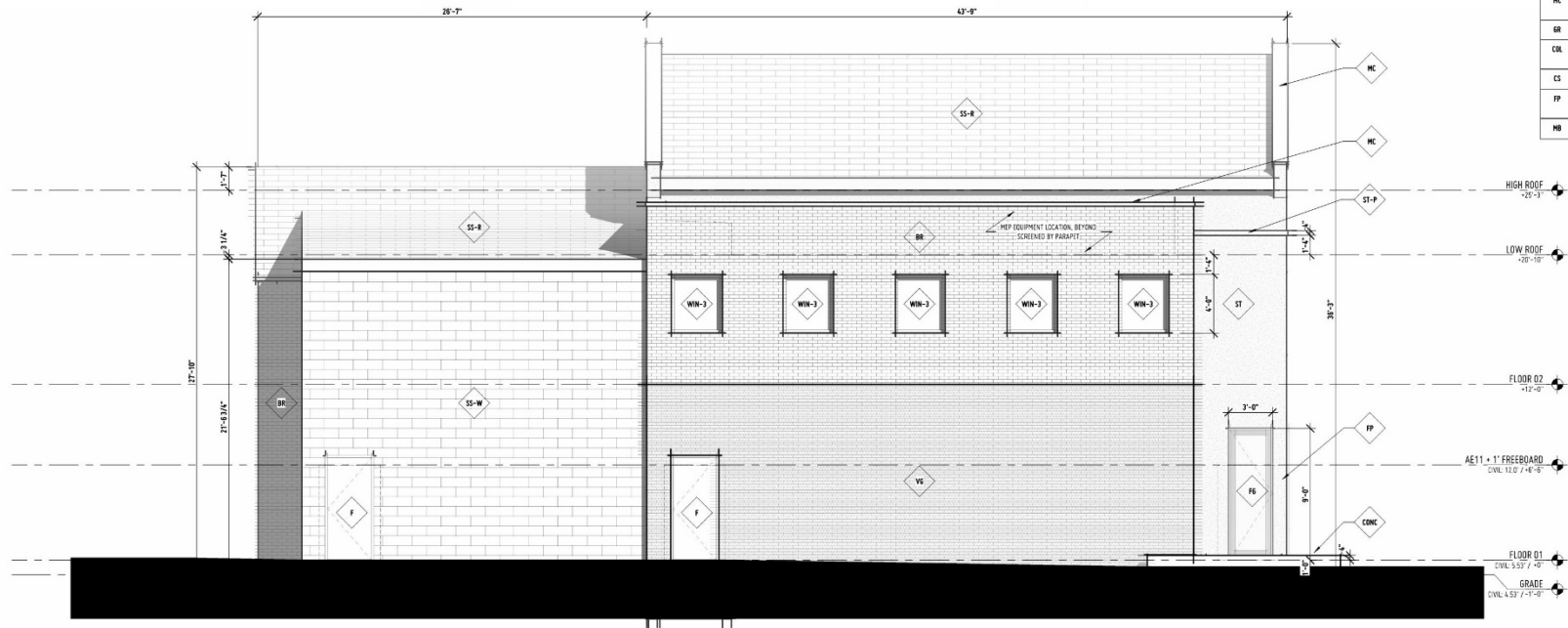
ELEVATION KEYNOTES		
TYPE	DESCRIPTION	COLOR
BR	MODULAR BRICK - RUNNING BOND	WHITE
SS-W	SLATE SHINGLE, RAIN SCREEN SYSTEM, MOO- CURPACLAR	
SS-R	SLATE SHINGLE, ROOF	
ST	3-PART TRADITIONAL CEMENTITIOUS STUCCO - SMOOTH (MASONRY BACKUP)	WHITE
ST-P	STUCCO PROFILE - SMOOTH (MASONRY BACKUP)	
CONC	CAST IN PLACE CONCRETE	MATCH EXISTING
WIN-1	DIRECT SET WINDOWS - EXTERIOR/INTERIOR WOOD STURDFONT W/ ALUMINUM STORM/PANEL SYSTEM, 2" PROFILE	STAINED/SEALED RED CEDAR
WIN-2	DOUBLE HUNG WINDOWS - EXTERIOR EXTENDED ALUMINUM CASING AND INTERIOR WOOD TRIM, IMPACT RATED	DARK GRAY - PREFINISHED
WIN-3	DIRECT SET WINDOWS - EXTERIOR EXTENDED ALUMINUM CASING AND INTERIOR WOOD TRIM, IMPACT RATED	DARK GRAY - PREFINISHED
FG	WOOD TOLL GLASS DOOR, MEDIUM STYLE, IMPACT RATED	STAINED/SEALED RED CEDAR
F	PIED RM DOOR	DARK GRAY
VS	CEILING VINES ON BRICK, ENGLISH IVY OR SIMILAR	
MC	METAL CORING	DARK GRAY - PREFINISHED
GR	GLASS RAINING SYSTEM	
COL	WOOD WRAPPED STEEL COLUMN, 600	STAINED/SEALED RED CEDAR
CS	CAST STONE SILL	WHITE
FP	REMOVABLE FLOOR PANELING SYSTEM ROD - HYBRID FIBER FLOOR FRANK NL BR SIM	
MB	MARBLE STEPS/LANDING	



1 PROPOSED SOUTH ELEVATION  
1/4" = 1'-0"



ELEVATION KEYNOTES		
TYPE	DESCRIPTION	COLOR
BR	MODULAR BRICK- RUNNING BOND	WHITE
SS-W	SLATE SHINGLE, RAIN SCREEN SYSTEM, BOO- COPACIAD	
SS-R	SLATE SHINGLE, ROOF	
ST	3-PART TRADITIONAL CERAMITICUS STECCO- SMOOTH MASONRY BACKUP	WHITE
ST-P	STUCCO PROFILE- SMOOTH MASONRY BACKUP	
CONC	CAST IN PLACE CONCRETE	MATCH EXISTING
WIN-1	DIRECT SET WINDOWS- EXTERIOR/INTERIOR WOOD STORMFRONT W/ ALUMINUM STORMPANEL SYSTEM, 2" PROFILE	STAINED/SEALED RED CEDAR
WIN-2	DOUBLE HUNG WINDOWS- EXTERIOR EXTENDED ALUMINUM CASING AND INTERIOR WOOD TRIM, IMPACT RATED	DARK GRAY- PREFINISHED
WIN-3	DIRECT SET WINDOWS- EXTERIOR EXTENDED ALUMINUM CASING AND INTERIOR WOOD TRIM, IMPACT RATED	DARK GRAY- PREFINISHED
FG	WOOD FULL GLASS DOOR, MEDIUM STYLE, IMPACT RATED	STAINED/SEALED RED CEDAR
F	PIED IN DOOR	DARK GRAY
VD	CREeping VINES ON BRICK, ENGLISH IVY OR SIMILAR	
MC	METAL COPING	DARK GRAY- PREFINISHED
GR	GLASS RAINING SYSTEM	
COL	WOOD SHAPED STEEL CO. UPN, BRB	STAINED/SEALED RED CEDAR
CS	CAST STONE SILL	WHITE
FP	REMOVABLE FLOOR PANELING SYSTEM BOO- HYBRID/SPRUE FLOOR FRANK AL OR DIM.	
MB	MARBLE STEPS/LANDING	



1 PROPOSED EAST ELEVATION  
1/4" = 1'-0"



**DELTA PHARMACY**  
41 Calhoun Street  
Charleston, SC

**EAST ELEVATION / 18**  
BAR-S CONCEPTUAL 12/12/19



PROPOSED AERIAL VIEW FACING SOUTHEAST



**DELTA PHARMACY**  
41 Calhoun Street  
Charleston, SC

**CONTEXT RENDERING- SOUTHEAST / 19**

BAR-S CONCEPTUAL 12/12/19





PROPOSED AERIAL VIEW FACING EAST



**DELTA PHARMACY**

41 Calhoun Street  
Charleston, SC

**CONTEXT RENDERING- EAST / 20**

BAR-S CONCEPTUAL 12/12/19





PROPOSED AERIAL VIEW FACING SOUTHWEST



**DELTA PHARMACY**

41 Calhoun Street  
Charleston, SC

**CONTEXT RENDERING- SOUTHWEST / 21**

BAR-S CONCEPTUAL 12/12/19





PROPOSED VIEW FROM EAST BAY STREET FACING SOUTHEAST



**DELTA PHARMACY**

41 Calhoun Street  
Charleston, SC

**RENDERING- EAST BAY SOUTHEAST / 22**

BAR-S CONCEPTUAL 12/12/19





PROPOSED VIEW FROM EAST BAY STREET FACING NORTHEAST



**DELTA PHARMACY**  
41 Calhoun Street  
Charleston, SC

**RENDERING- EAST BAY NORTHEAST / 23**

BAR-S CONCEPTUAL 12/12/19





PROPOSED VIEW FROM CALHOUN STREET FACING SOUTHWEST



**DELTA PHARMACY**

41 Calhoun Street  
Charleston, SC

**RENDERING- CALHOUN SOUTHWEST / 24**

BAR-S CONCEPTUAL 12/12/19



Agenda Item 16:

61 Tradd Street

Requesting approval to remove non-historic gate.

Category 2/ Charlestowne/ c.1736 / Old and Historic District





# BOARD OF ARCHITECTURAL REVIEW

## APPLICATION / CERTIFICATE OF APPROPRIATENESS

CITY OF CHARLESTON  
2 George Street

Charleston, South Carolina 29401

843-724-3781

Fax: 843-724-3772

DEPARTMENT OF PLANNING, PRESERVATION AND SUSTAINABILITY  
www.charleston-sc.gov/BAR

Property Address: 61 TRADD Street		TMS No.: 458-13-01-003
Review request:	For:	Meeting date requested: 11/14/19
<input type="checkbox"/> Conceptual	<input type="checkbox"/> New Construction <input checked="" type="checkbox"/> Alterations / Additions	<input type="checkbox"/> Appeal Decision of Urban Design Staff
<input type="checkbox"/> Preliminary <input type="checkbox"/> Final	<input type="checkbox"/> Repairs or repaint with no changes	<input type="checkbox"/> Color Change <input type="checkbox"/> Demolition

Property Owner: 61 TRADD LLC	Daytime phone: 843 367 8089
Applicant: John Marko Sr.	Daytime phone: 843 367 8089
Applicant's mailing address: 61 TRADD	
City: Charleston	State: SC Zip: 29401
Applicant's e-mail address: DRICEMARKO@gmail.com	
Applicant's relationship: <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Design Professional <input type="checkbox"/> Contractor <input type="checkbox"/> Real Estate Agent/Broker <input type="checkbox"/> Other	

In your own words describe what you are requesting: Remove interior gate (approximately 40-48 feet from entrance) which was attached to 61 TRADD (ApptA) without proper authorization, permission or permitting of ArtA

BAR or Preservation Society

Submittal Requirements: See BAR Submittal Requirements supplement for complete information. Zoning / Courtesy TRC approval required prior to making application for review. INCOMPLETE APPLICATIONS WILL NOT BE INCLUDED ON A BOARD AGENDA.

I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property or an authorized representative. I authorize the subject property to be posted and inspected, and the application to be heard by the Board of Architectural Review of the City of Charleston on the date specified.

Applicant's signature: John Marko Sr. Date: 11/2/19

Print name legibly: John Marko Sr.

**For Office Use Only Below this Point**

The Board of Architectural Review has reviewed this request. Its findings are as follows:

The Urban Design and Preservation Staff has reviewed this request. Its findings are as follows:

Approval  Denial  Deferral  Approval with the following conditions:

Final Approval is granted upon fulfillment of the above-specified conditions and is referred to the Preservation Staff for further action.

Further Action/Final Approval Requires Board Hearing(s) App. No.: - -

Chairman's or  Staff's Signature: Date:

Arch. Rating:	Const. Date:	<input type="checkbox"/> Old and Historic Dist. <input type="checkbox"/> Old City Dist. <input type="checkbox"/> Landmark Dist. <input type="checkbox"/> North of Line St.
Date received:	Fee amount:	Receipt no.: Staff person:

1. An appeal of a Board decision stays all further action on applications.
2. This approval does not constitute approval by other City boards or departments. Prior to construction, all plans and specifications must be reviewed and approved by the Building Inspections Division and a building permit must be obtained and posted on the property.
3. This approval expires 2 years from approval date.

PRESERVATION  
ESTD SOCIETY 1920  
of CHARLESTON

REQUEST FOR ALTERATION/REPAIR TO  
PROPERTY UNDER EASEMENT OR COVENANT TO THE  
PRESERVATION SOCIETY OF CHARLESTON

1. Address of property under easement or covenant:

61 TRADD

2. Owner/Applicant:

61 TRADD LLC / John Marko Sr

Business/Mailing Address:

61 TRADD Charleston, SC 29402

Telephone (home):

843 367 8089

Email:

DRICEMarko@gmail.com

3. Type/use of property:

Residential

4. Outline of requested change(s), including description of materials/products to be used (please attach photographs showing project locations):

Remove modern interior gate (approximately 40-48 feet from entrance) which was attached within applicant's limited common area and to the exterior of Apt A without proper authorization,

5. Reason for request:

permission or permitting of Apt A, BAR of Preservation Society. BAR has expressed no opposition to remaining gate neither did Robert Gurley in 2018 with Apt A attorney

6. Architect/Contractor or Designer Name:

Telephone:

Email:

7. Signature of applicant:

Date:

11/2/19

Please return to the Preservation Society of Charleston, PO Box 521, Charleston, SC 29402

Attn: Erin Minnigan

Email: eminnigan@preservationsociety.org or telephone: (843) 722-4630 fax: (843) 723-4381

Action taken/conditions: FOR OFFICE USE ONLY

Date:

Signature:

Name:



Deborah Rice-Marko <dricemarko@gmail.com>

---

**61 Tradd Street**

1 message

---

**Erin Minnigan** <eminnigan@preservationsociety.org>  
To: "dricemarko@gmail.com" <dricemarko@gmail.com>

Fri, Nov 8, 2019 at 3:23 PM

Good Afternoon Mr. Marko,

Just following up on our phone call earlier – I took a closer look at the easement document for 61 Tradd Street, and indeed it only covers the exterior façade of the building itself, so the interior gate/fence is not within our purview.

Please let me know if I can be of further assistance.

Kind regards,

Erin

**ERIN MINNIGAN**

Director of Historic Preservation

**PRESERVATION SOCIETY OF CHARLESTON**

147 King Street

Charleston, South Carolina 29401

O: 843.722.4630 ext. 25

preservationsociety.org



No permits for installation of gate  
 No approval by Preservation Society  
 No gate shown on Master Deed Exhibit

**2 primary address records found.**

docsHome: <https://gis.charleston-sc.gov/gis-docs> docsHome: <https://gis.charleston-sc.gov/gis-docs>

Parcel ID	Primary Address	Plat	Status	Notes
C4581301003	61 Tradd St	EXIST	Jacob Motte House Condos (132-133 residential); 61 and 61 1/2 Tradd St	

- 10 Blueprince permit records

Location	Unit	Permit Type	Application Date	Issue Date	Permit Status	Permit Description
61 Tradd St		Residential Building Permit	2007-09-10	2007-09-10	Canceled	Bi and bar approval for Repairing three windows (one is notvisible) in kind to match existing
61 Tradd St		Residential Building Permit	2009-03-02	2009-03-02	Canceled	Paint west elevation wall (piazza side) ONLY
61 Tradd St		Residential Building Permit	2009-04-29	2009-04-29	Canceled	Replace one set of 2nd story shutters on front elevation in kind to match.
61 1/2 Tradd St		Residential Building Permit	2009-12-03	2009-12-03	Expired	removing vines from rear building.
61 Tradd St		Residential Building Permit	2009-12-10	2009-12-10	Canceled	Bi approval for bathroom repairs(flooring repairs) ; rot repairs inmaster bathroom.
61 1/2 Tradd St		Residential Building Permit	2010-08-05	2010-08-05	Expired	bi apporval for slight increase in HVAC platfrom; repairing in drywall reapirs.
61 Tradd St		Gas Permit	2011-09-27	2011-09-27	Canceled	bi approval for new gas service.
61 Tradd St		Residential Building Permit	2015-11-16	2015-11-16	Issued	Remove windows and replace siding, repairing rotted 3rd floor piazza, beam, replace rotted crawl

Parcel ID	Primary Address	Plat	Status	Notes
				space access door
61 1/2 Tradd St	Interior or Exterior Painting Permit	2015-12-21	2015-12-21 Issued	repainting to match existing
61 Tradd St	Interior or Exterior Painting Permit	2016-02-02	2016-02-02 Issued	Bi and bAR APPROVAL FOR exterior painting
C4571104029	161 Tradd St	EXIST		
	+ 5 Blueprince permit records			
	+ 3 Energov permit records			



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Exhibit C-3

Exhibit to Master Deed  
 Jacob Motte House  
 No gate shown on exhibit





UPD APRIL 25, 1978  
BOOK C PAGE 69  
PAC CHAS CO

BOOK D PAGE 128  
PAC CHAS CO

EM  
1942

PLAT BY W. GALLARD  
DATED OCTOBER 6, 1976  
BOOK F PAGE 124  
PAC CHAS CO

PLAT BY HAROLD J. EA WING  
DATED OCTOBER 1, 1977  
BOOK A PAGE 102  
PAC CHAS CO

PLAT BY GEORGE A. JOHNSON, JR.  
DATED MARCH 21, 1975  
BOOK B PAGE 120  
PAC CHAS CO

PLAT BY JOHN B. BERRY, JR.  
DATED SEPTEMBER 1975  
BOOK 578 PAGE 141  
PAC CHAS CO

TAX MAP NO. 422-15-01-001

THADD STREET

CANON, ROBERT N. HOSEN & L. CARL D. RITTS



Green line existing gate  
 Illustration across Apt A  
 Limited common area  
 Yellow Apt A  
 Pink Apt B

EXHIBIT A

SURVEYOR'S CERTIFICATION

IMG\_0871.jpg



61 Tradd Exterior  
view from Tradd  
approximately 48 feet  
from Tradd St gate  
to interior gate

<https://mail.google.com/mail/u/1/#inbox/FMfcgwxvDsfWjCqjplJfPk...>



61 1/2 Tradd entrance  
gate view from Tradd  
approximately 48 feet  
from sidewalk to  
interior gate



Picture of interior gate  
Installed on Apt A's  
Exterior and located  
In the limited common  
Area of Apt A restricting  
Access to Apt A's limited  
Common area



Apt  
A →  
Exterior  
white



View of limited common area  
Of Apt A approximately 40 feet  
From the Tradd Street sidewalk  
This is area shown on Exhibit A  
And C-1 attached to Master  
Deed marked in yellow



View of gate from  
walkway of Apt B  
See exhibit A  
Illustrating location of  
Gate obstruction of  
Limited common area  
belonging to Apt A



Flagstone is walkway  
to Apt B See Exhibit  
A and C-1 highlighted  
in Pink

IMG\_0863.jpg



Window frame of Apt A cracking  
From stress from Apt B gate being  
Attached to Apt A

<https://mail.google.com/mail/u/1/#all/FMfcgwDsfWjVhXPMzXPqth...>



Surveyor pin between two leaves  
Illustrating gate is located in front  
of Apt A limited common area





Pink paint marks  
Surveyor pin  
Illustrating Apt A  
limited common area  
beyond gate



View of limited common areas  
Apt A limited common on right  
of tape and Apt B limited common  
on left of the green tape



Apt  
A

Apt  
B

Green tape drawn between  
Surveyor's pin illustrating  
Illustrating gate is located in  
Apt A limited common area



View of limited common areas from  
Apt B illustrating fence is located  
With limited common area of Apt A  
Restricting access to Apt A





Green tape marking surveyor  
Lines of limited  
Common areas Apt A  
on the left of tape and Apt B  
on the right of the tape  
Apt B Owner has  
Placed flower pots  
in the limited common  
area of Apt A



NorthView of limited common areas from Apt B. Green tape marking surveyor's pins locating limited common area of Apt A on the right of the white column and limited common area of Apt B on the left of the white columns.





**Agenda Item 17:**

**36 South Street**

**Requesting conceptual approval for the renovation of house,  
including elevation, restoration of front porches, and new  
construction of rear addition.**

**Category 4 / East Side / c. 1858-1860 / Old and Historic District**

City of Charleston  
Board of Architectural Review Submittal  
November 27, 2019

Parker-Weber Residence  
36 South Street  
Charleston, SC 29403

Barbara Looney, Architect LLC | P.O. Box 62 | Charleston, South Carolina 29402 | 843.720.7492 | barbara@barbaralooney.com  
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1. CERTIFY THAT THE MEASUREMENTS SHOWN HEREON ARE CORRECT AND THAT THERE ARE NO ENCUMBRANCES OR ERECTIONS UNLESS SHOWN.

2. THE MEASUREMENTS SHOWN HEREON ARE CORRECT AND THAT THERE ARE NO ENCUMBRANCES OR ERECTIONS UNLESS SHOWN.

3. THE MEASUREMENTS SHOWN HEREON ARE CORRECT AND THAT THERE ARE NO ENCUMBRANCES OR ERECTIONS UNLESS SHOWN.

4. THE MEASUREMENTS SHOWN HEREON ARE CORRECT AND THAT THERE ARE NO ENCUMBRANCES OR ERECTIONS UNLESS SHOWN.

5. THE MEASUREMENTS SHOWN HEREON ARE CORRECT AND THAT THERE ARE NO ENCUMBRANCES OR ERECTIONS UNLESS SHOWN.

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7. THE MEASUREMENTS SHOWN HEREON ARE CORRECT AND THAT THERE ARE NO ENCUMBRANCES OR ERECTIONS UNLESS SHOWN.

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16. THE MEASUREMENTS SHOWN HEREON ARE CORRECT AND THAT THERE ARE NO ENCUMBRANCES OR ERECTIONS UNLESS SHOWN.

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18. THE MEASUREMENTS SHOWN HEREON ARE CORRECT AND THAT THERE ARE NO ENCUMBRANCES OR ERECTIONS UNLESS SHOWN.

19. THE MEASUREMENTS SHOWN HEREON ARE CORRECT AND THAT THERE ARE NO ENCUMBRANCES OR ERECTIONS UNLESS SHOWN.

20. THE MEASUREMENTS SHOWN HEREON ARE CORRECT AND THAT THERE ARE NO ENCUMBRANCES OR ERECTIONS UNLESS SHOWN.

LINE TABLE

NO. 33 REID STREET

NO. 35 REID STREET

NO. 36 SOUTH STREET

NO. 38 SOUTH STREET

NO. 39 AMERICA STREET

NO. 35 AMERICA STREET

NO. 33 AMERICA STREET

NO. 35 AMERICA STREET

NO. 33 AMERICA STREET

NO. 35 AMERICA STREET

NO. 33 AMERICA STREET

NO. 35 AMERICA STREET

NO. 33 AMERICA STREET

NO. 35 AMERICA STREET

PERMETER DATA

ID FOUND CALLED (PER DEED)

A-B 36.96 32.07

C-D 36.96 32.07

E-F-G-A 30.11 31.07

LEGEND

1. REBAR

2. CONCRETE

3. WALL

4. WINDOW

5. WATER METER

6. DRIVE

7. DRIVE

8. DRIVE

9. DRIVE

10. DRIVE

11. DRIVE

12. DRIVE

13. DRIVE

14. DRIVE

15. DRIVE

16. DRIVE

17. DRIVE

NOTES

1. PROPERTY APPEARS IN FLOOD ZONE AS EL. 17

2. THE BARRIERS SHOWN ARE FACTICUS AND SUBJECT

3. TO LOCAL ATRRACTION.

4. ANYTHING SHOWN OUTSIDE OF THE DEFINED

5. BOUNDARY IS FOR DESCRIPTIVE PURPOSES ONLY.

6. THIS SURVEY IS NOT TO BE USED FOR TITLE

7. PURPOSES AND DOES NOT CONSTITUTE A TITLE SEARCH.

TMS: 459-09-03-019

No. 33 REID STREET

N/F: JAMES M. MOSE

NORTHERN TRUST CO.

AS TRUSTEE

REF: DEED BK. "1052", PG. 737

TMS: 459-09-03-020

No. 33 REID STREET

N/F: JAMES M. MOSE

NORTHERN TRUST CO.

AS TRUSTEE

REF: DEED BK. "1052", PG. 737

TMS: 459-09-03-021

No. 35 REID STREET

N/F: MARY ALICE MACK

REF: DEED BK. "1131", PG. 075

TMS: 459-09-03-025

No. 35 AMERICA STREET

N/F: MAYBELLE GREEN

REF: DEED BK. "1045", PG. 466

TMS: 459-09-03-026

No. 33 AMERICA STREET

N/F: MAYBELLE GREEN

REF: DEED BK. "1045", PG. 466

TMS: 459-09-03-027

No. 36 SOUTH STREET

N/F: TIMOTHY & TARA LEMIA WEBER

REF: DEED BK. "1025", PG. 041

TMS: 459-09-03-030

No. 38 SOUTH STREET

N/F: MARY ALICE MACK

REF: DEED BK. "1132", PG. 033

TMS: 459-09-03-028

No. 33 AMERICA STREET

N/F: MAYBELLE GREEN

REF: DEED BK. "1045", PG. 466

TMS: 459-09-03-029

No. 33 AMERICA STREET

N/F: MAYBELLE GREEN

REF: DEED BK. "1045", PG. 466

TMS: 459-09-03-027

No. 36 SOUTH STREET

N/F: TIMOTHY & TARA LEMIA WEBER

REF: DEED BK. "1025", PG. 041

TMS: 459-09-03-027

No. 36 SOUTH STREET

N/F: TIMOTHY & TARA LEMIA WEBER

REF: DEED BK. "1025", PG. 041

TMS: 459-09-03-027

No. 36 SOUTH STREET

N/F: TIMOTHY & TARA LEMIA WEBER

REF: DEED BK. "1025", PG. 041

TMS: 459-09-03-027

No. 36 SOUTH STREET

N/F: TIMOTHY & TARA LEMIA WEBER

REF: DEED BK. "1025", PG. 041

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REF: DEED BK. "1025", PG. 041

TMS: 459-09-03-027

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N/F: TIMOTHY & TARA LEMIA WEBER

REF: DEED BK. "1025", PG. 041

TMS: 459-09-03-027

No. 36 SOUTH STREET

N/F: TIMOTHY & TARA LEMIA WEBER

REF: DEED BK. "1025", PG. 041

TMS: 459-09-03-027

No. 36 SOUTH STREET

N/F: TIMOTHY & TARA LEMIA WEBER

REF: DEED BK. "1025", PG. 041



**PLAT**  
OF No. 36 SOUTH STREET,  
CITY OF CHARLESTON, CHARLESTON COUNTY,  
PRESENTLY OWNED BY JR DEVELOPMENT, LLC.

SCALE: 1" = 10'

DATE: SEPTEMBER 29, 2016

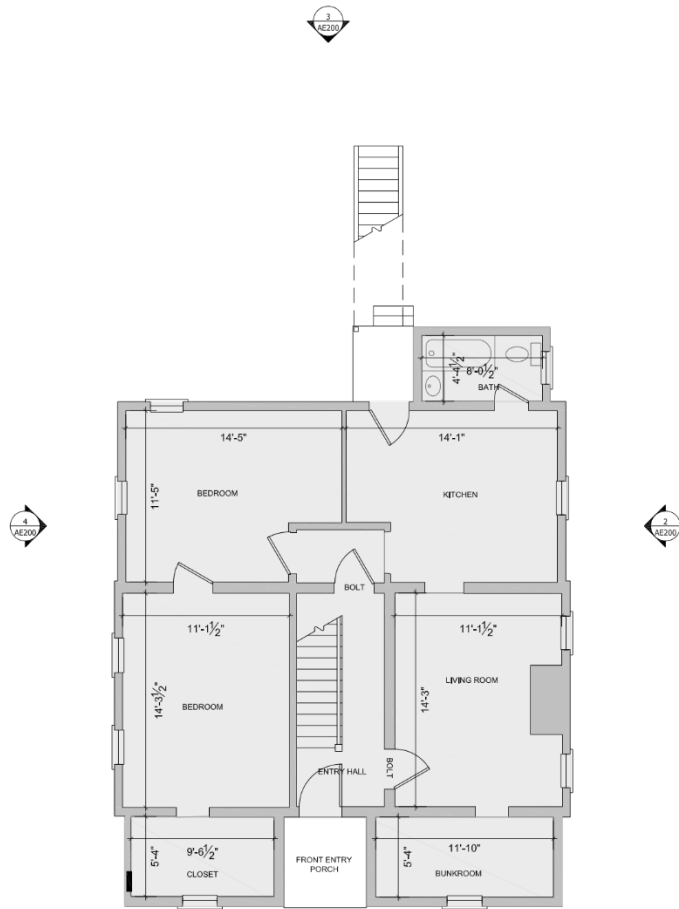
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REF. DEED BK. "1062", PG. 684

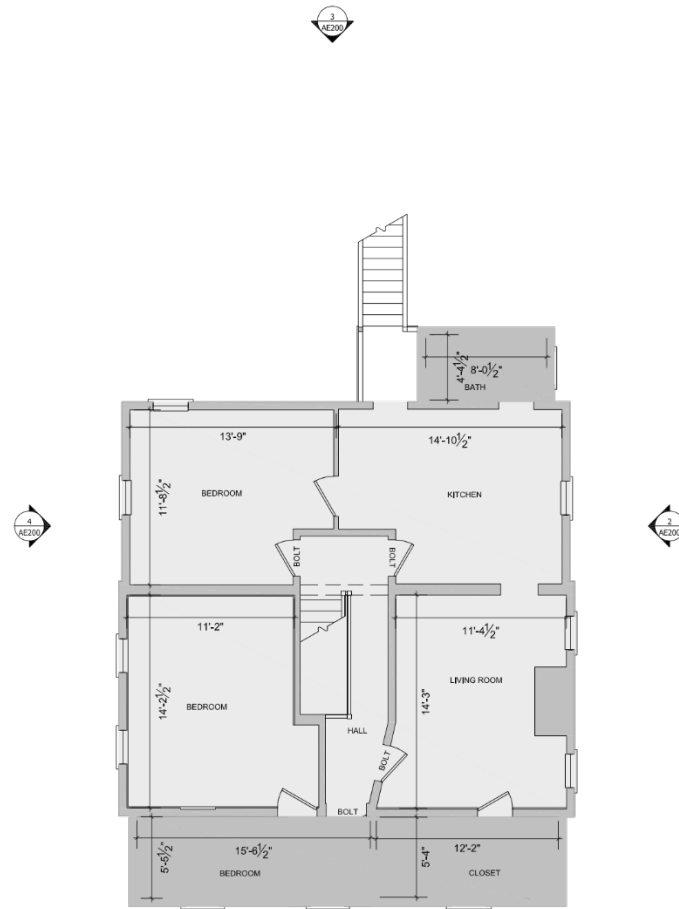
TMS: 459-09-03-027

ALEXANDER'S BEARINGS, P.C.  
PROFESSIONAL LAND SURVEYING  
P.O. BOX 25846, CHARLESTON, SC 29413  
OFFICE: 843.293.5374, MOBILE: 843.293.4847

CHARLESTON COUNTY  
SOUTH CAROLINA



1 Existing First Level Plan  
Scale: 1/4" = 1'-0"



2 Existing Second Level Plan  
Scale: 1/4" = 1'-0"

36 SOUTH ST.  
CHARLESTON,  
SOUTH CAROLINA  
2 9 4 0 3

BARBARA LONEY,  
ARCHITECT LLC  
P . O . BOX 6 2  
CHARLESTON, SC 29402

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No.	Revision/Issue	Date

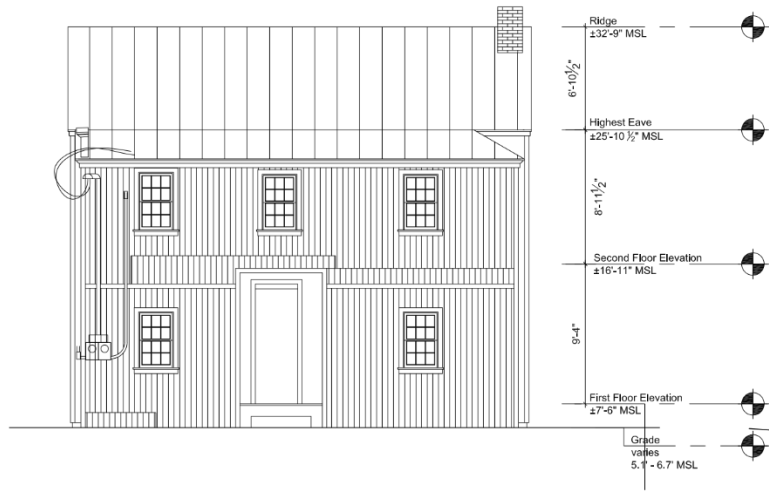
Sheet Name  
Existing  
Plans

Date  
10/16/2019

Scale  
As Noted

Sheet No.

AE101



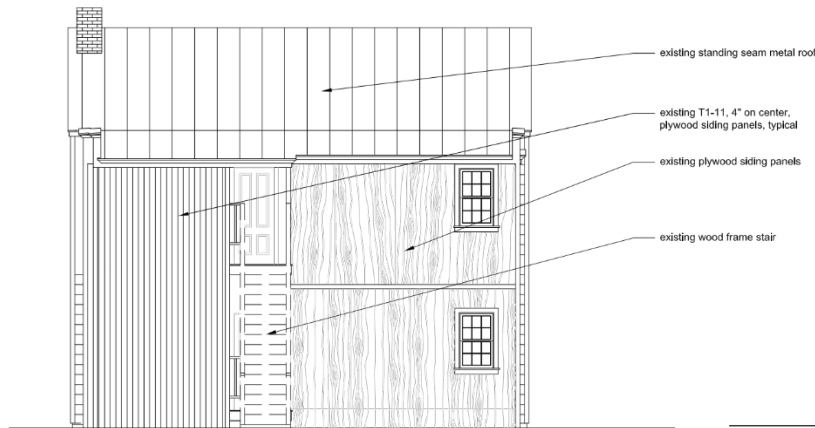
1 Existing Front (South) Elevation

Scale: 1/4" = 1'-0"



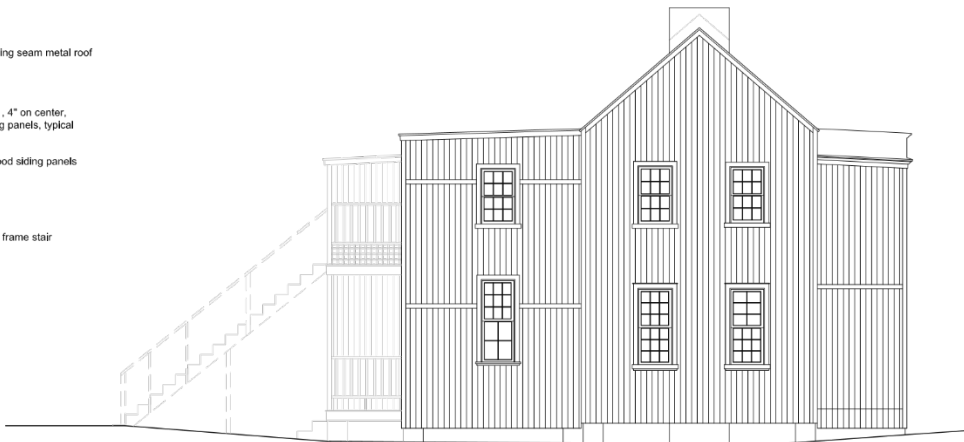
2 Existing Side (East) Elevation

Scale: 1/4" = 1'-0"



3 Existing Rear (North) Elevation

Scale: 1/4" = 1'-0"



4 Existing Side (West) Elevation

Scale: 1/4" = 1'-0"

36 SOUTH ST.  
CHARLESTON,  
SOUTH CAROLINA  
2 9 4 0 3

BARBARA LONEY,  
ARCHITECT LLC  
P . O . B O X 6 2  
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No.	Revision/Issue	Date

Sheet Name  
Existing Elevations

Date  
10/16/2019

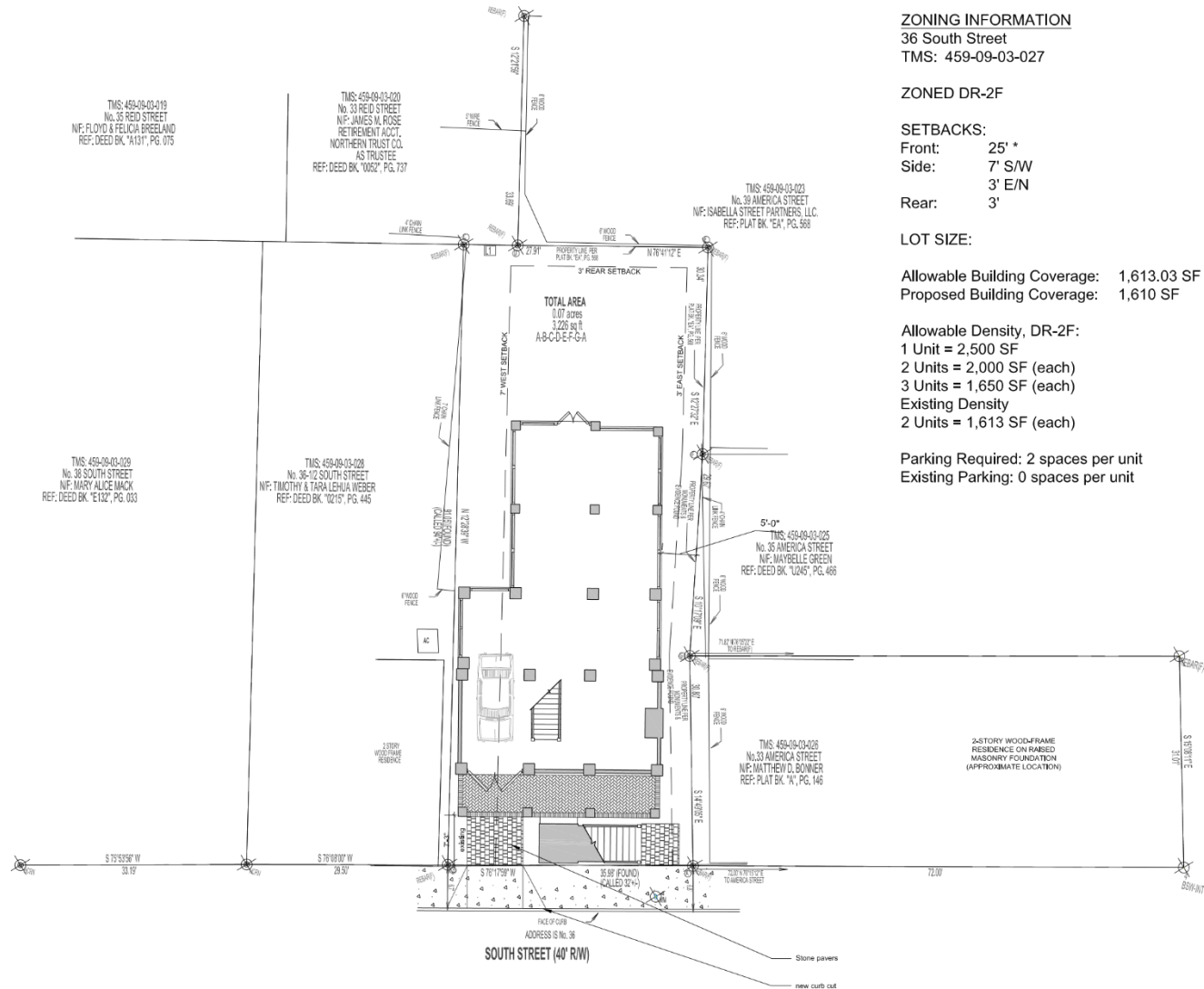
Scale  
As Noted

Sheet No.

AE200







**ZONING INFORMATION**

36 South Street  
TMS: 459-09-03-027

ZONED DR-2F

**SETBACKS:**

- Front: 25' \*
- Side: 7' S/W  
3' E/N
- Rear: 3'

LOT SIZE: 3,226.07 SF

Allowable Building Coverage: 1,613.03 SF  
Proposed Building Coverage: 1,610 SF

**Allowable Density, DR-2F:**

- 1 Unit = 2,500 SF
  - 2 Units = 2,000 SF (each)
  - 3 Units = 1,650 SF (each)
- Existing Density  
2 Units = 1,613 SF (each)

Parking Required: 2 spaces per unit

Existing Parking: 0 spaces per unit

**36 SOUTH ST.  
CHARLESTON,  
SOUTH CAROLINA  
2 9 4 0 3**

BARBARA LONEY,  
ARCHITECT LLC  
P . O . B O X 6 2  
CHARLESTON, SC 29402

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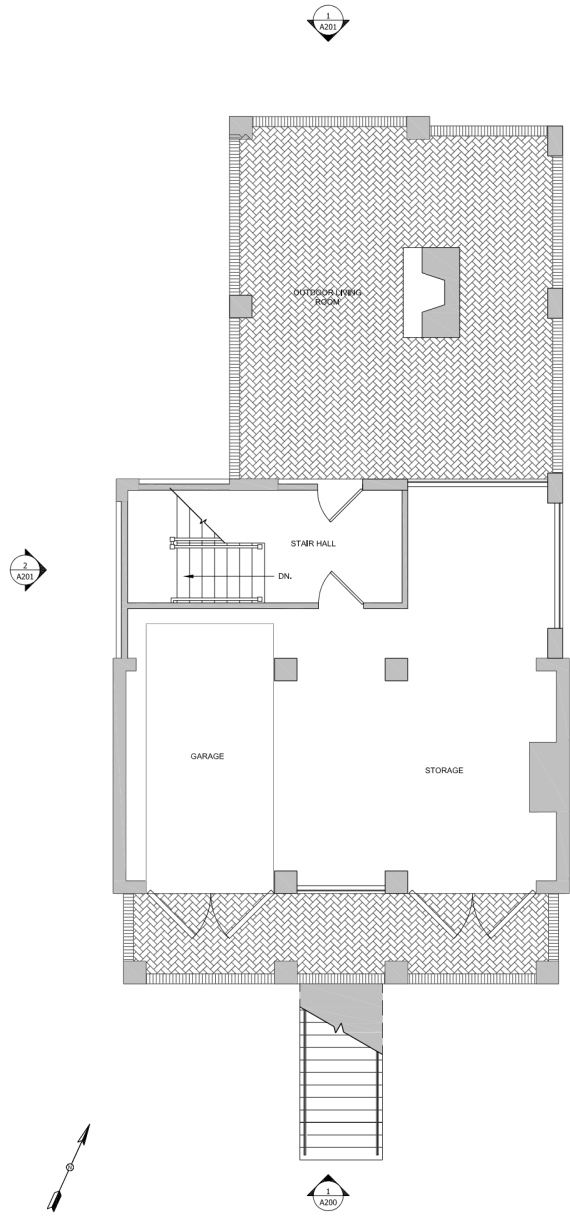
No.	Revision/Issue	Date

Sheet Name  
Revised  
Proposed  
Site Plan

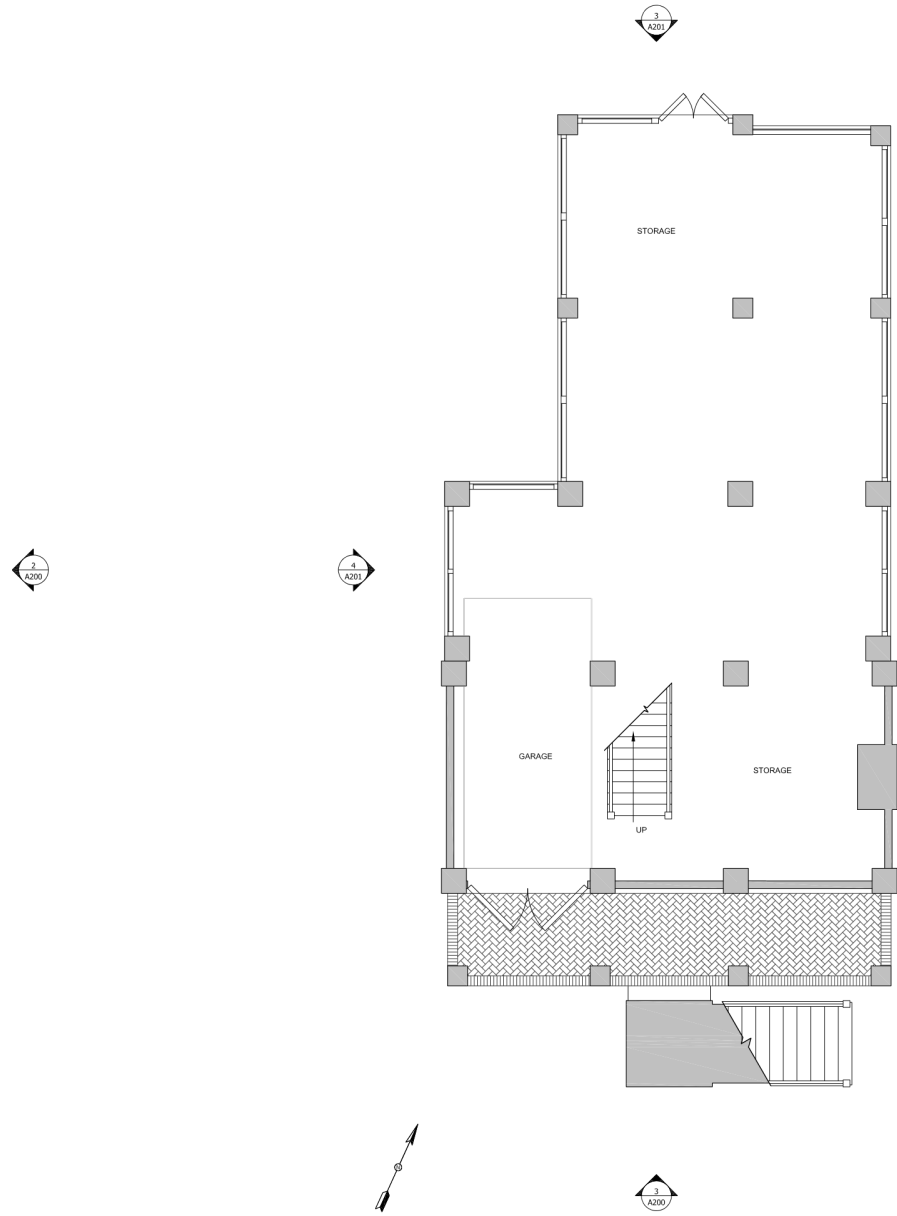
Date 9/13/2018	Sheet No. A100b
Scale As Noted	

1 Revised Proposed Site Plan

Scale: 1/8" = 1'-0"



1 Previously Proposed Grade Level Plan  
Scale: 1/4" = 1'-0"



2 Revised Proposed Grade Level Plan  
Scale: 1/4" = 1'-0"

36 SOUTH ST.  
CHARLESTON,  
SOUTH CAROLINA  
2 9 4 0 3

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ARCHITECT LLC  
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CHARLESTON, SC 29402

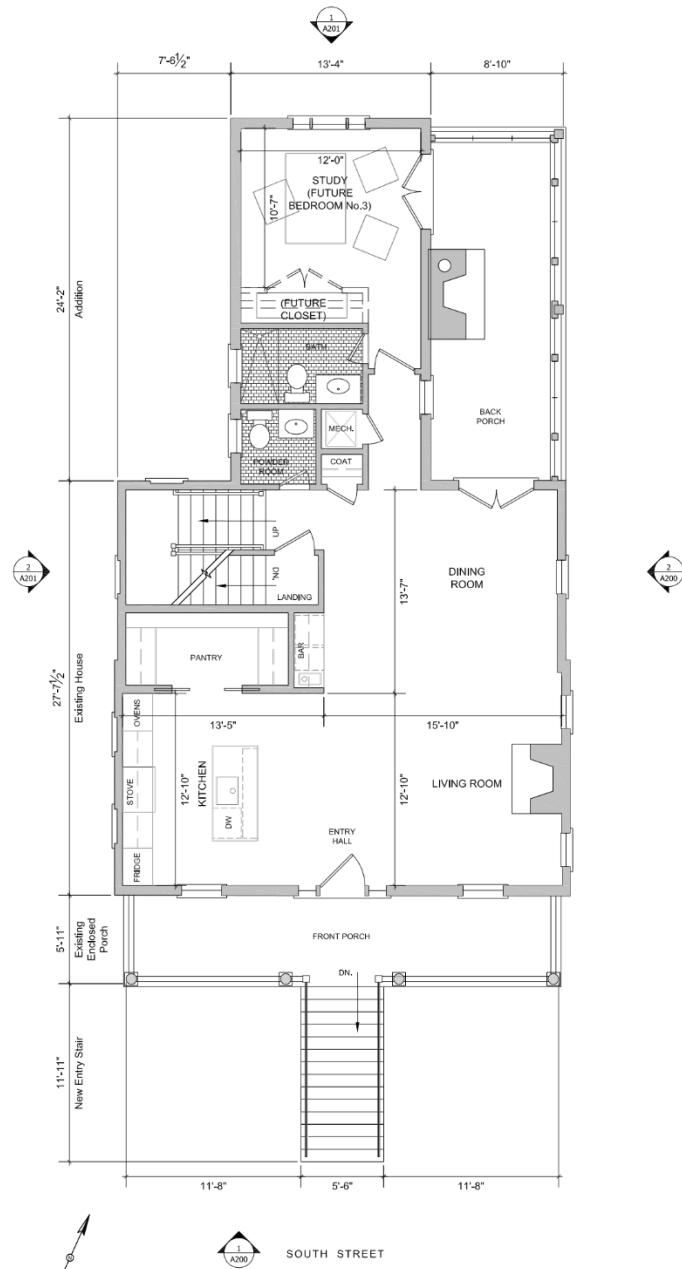
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No.	Revision/Issue	Date
3	Revision	11.27.2019
2	Revision	08.21.2018
1	Revision	07.09.2018

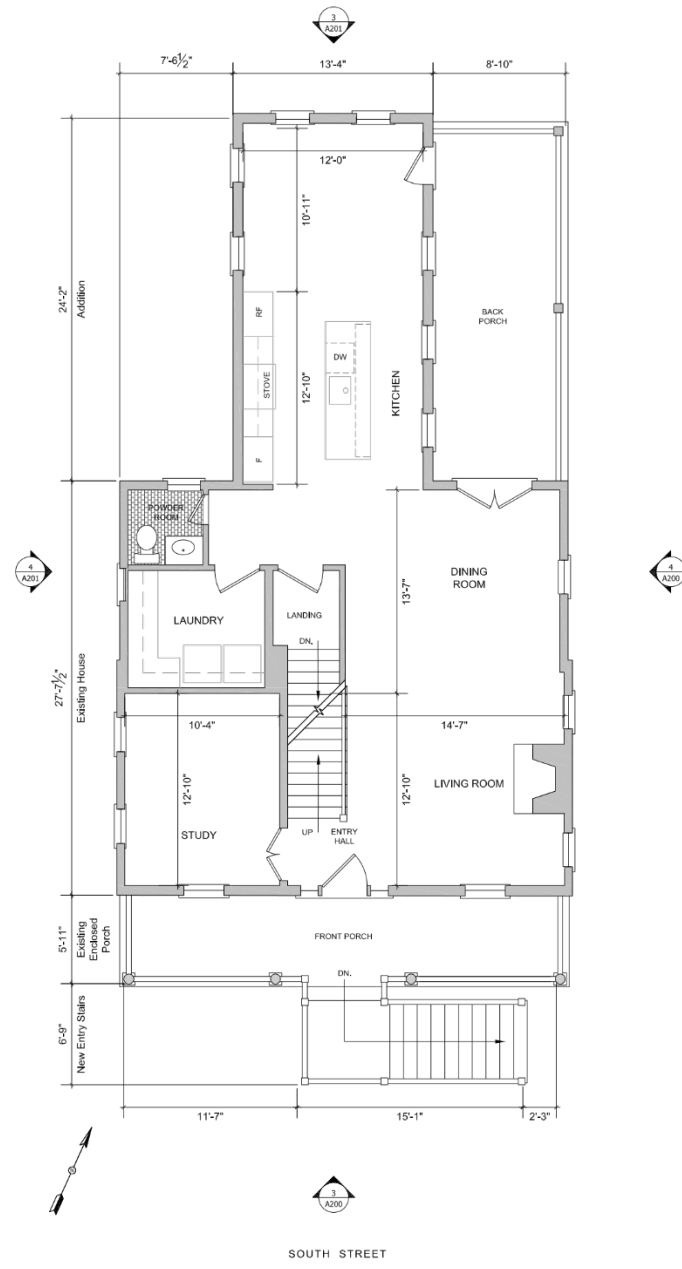
Sheet Name  
Previously & Revised  
Proposed Ground  
Level Plans

Date 11/27/2019	Sheet No. A101
Scale As Noted	





1 Previously Proposed First Level Plan  
Scale: 1/4" = 1'-0"



2 Revised Proposed First Level Plan  
Scale: 1/4" = 1'-0"

36 SOUTH ST.  
CHARLESTON,  
SOUTH CAROLINA  
2 9 4 0 3

BARBARA LONEY,  
ARCHITECT LLC  
P. O. BOX 62  
CHARLESTON, SC 29402

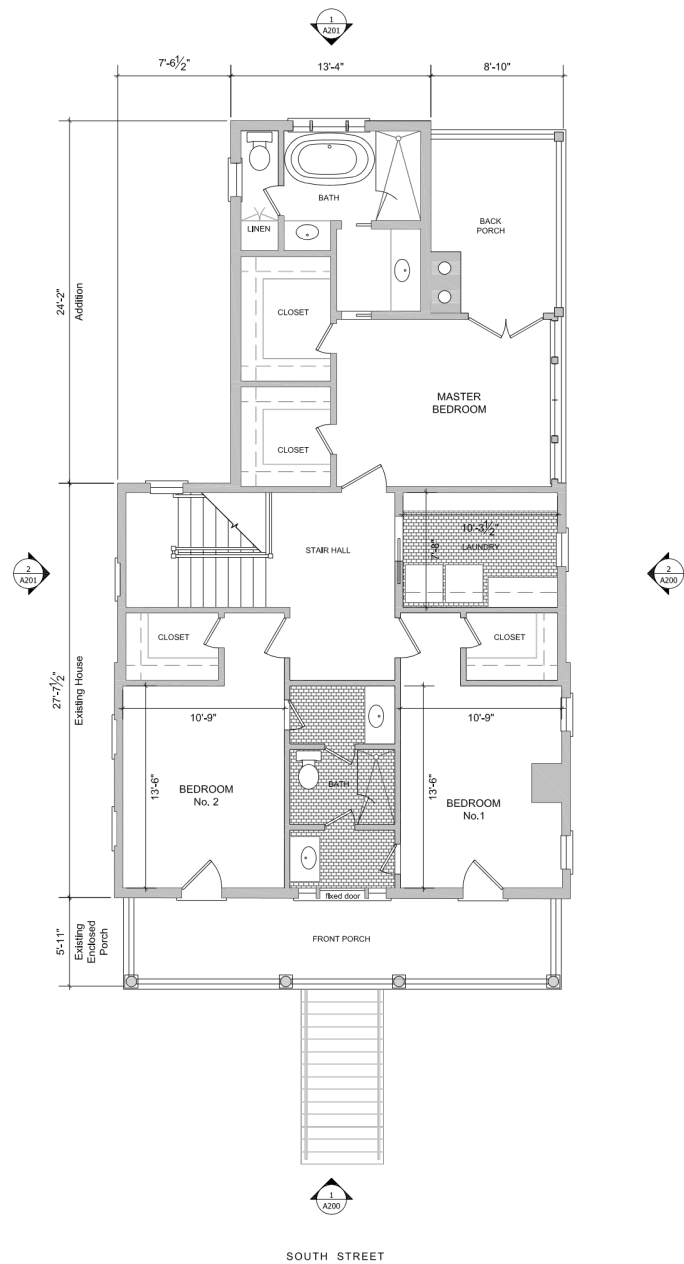
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3	Revision	11.27.2019
2	Revision	09.13.2018
1	Revision	07.09.2018

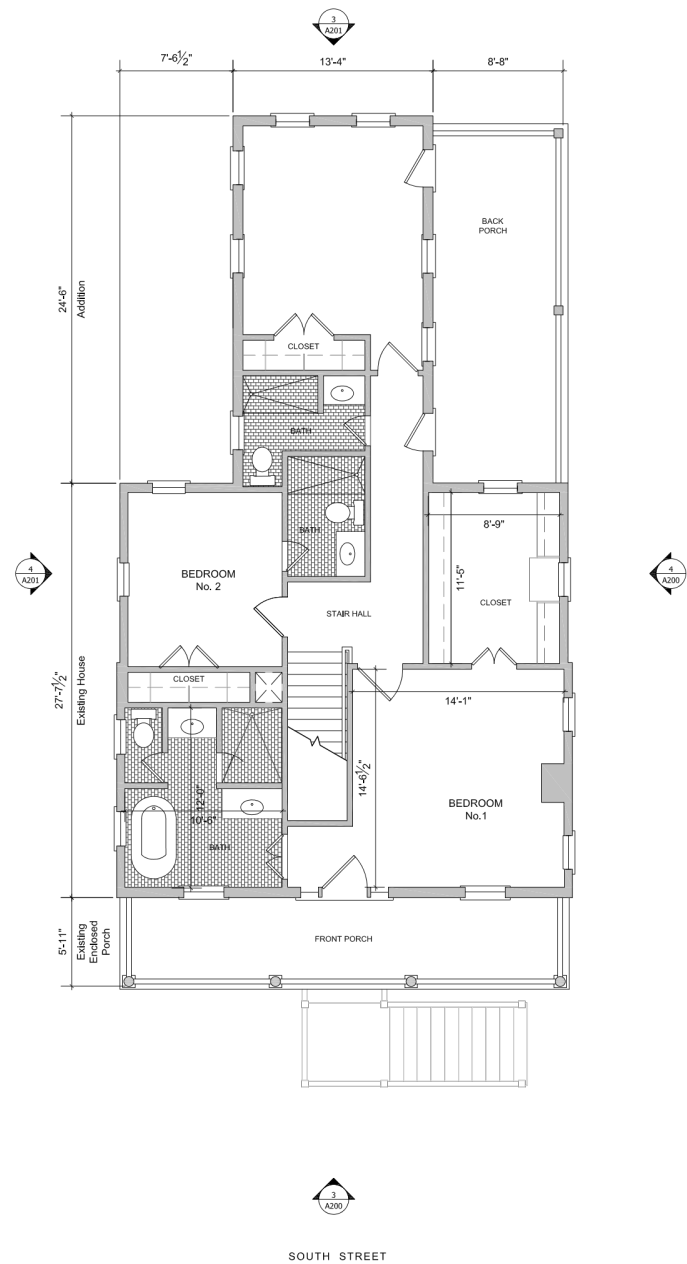
No.	Revision/Issue	Date
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Sheet Name  
Previously &  
Revised  
Proposed  
First Level Plans

Date	11/27/2019	Sheet No.	A102
Scale	As Noted		



1 Previously Proposed Second Level Plan  
Scale: 1/4" = 1'-0"



2 Revised Proposed Second Level Plan  
Scale: 1/4" = 1'-0"

36 SOUTH ST.  
CHARLESTON,  
SOUTH CAROLINA  
2 9 4 0 3

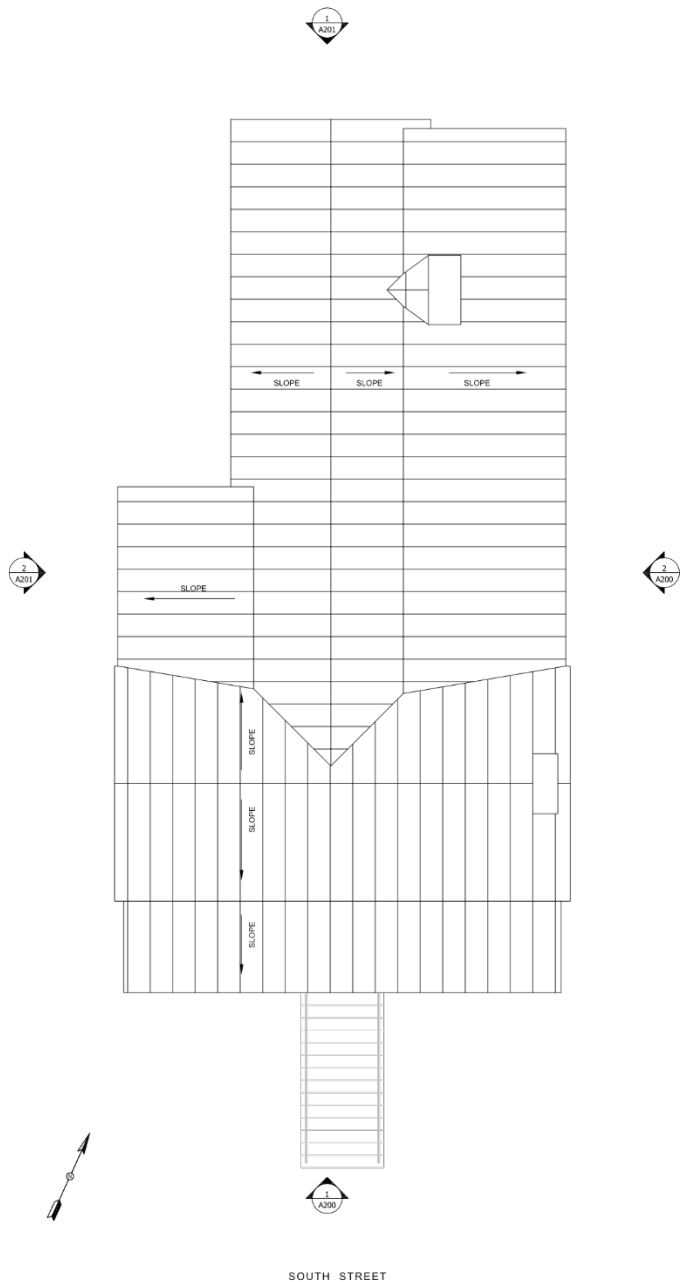
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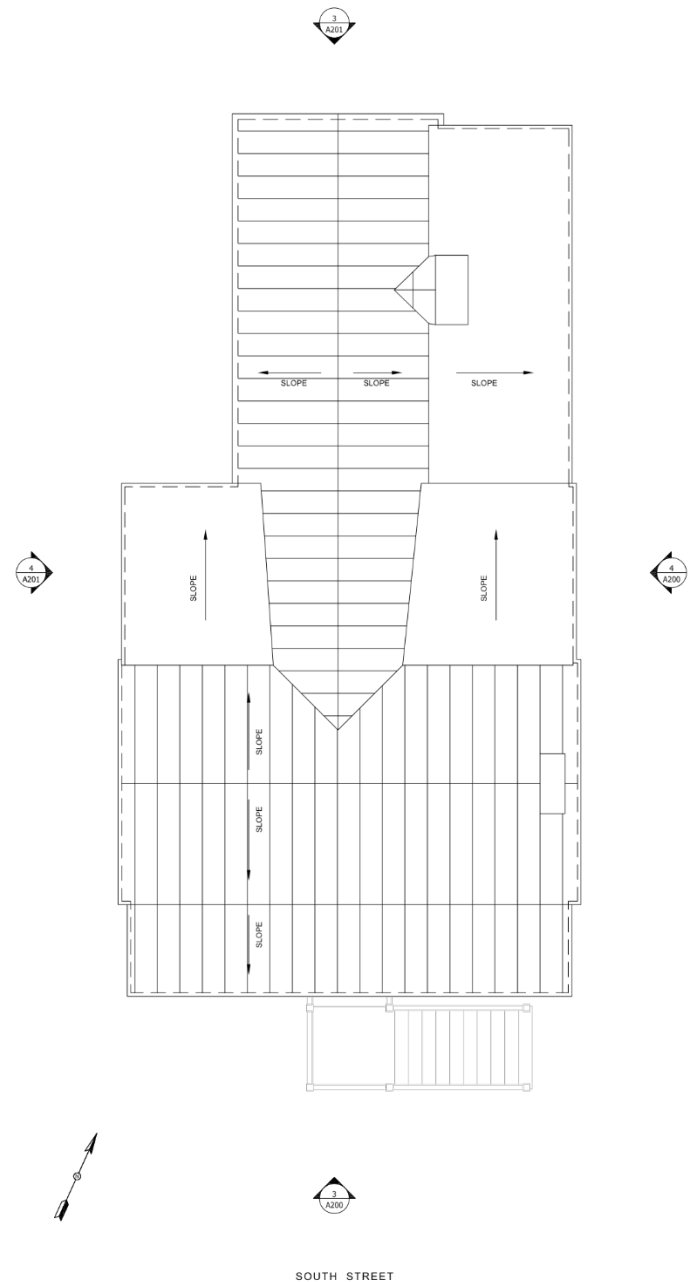
No.	Revision/Issue	Date
2	Revision	09.13.2018
1	Revision	07.09.2018

Sheet Name  
Previously &  
Revised  
Proposed  
Second Level Plans

Date 6/19/2018	Sheet No. A103
Scale As Noted	



1 Previously Proposed Roof Plan  
Scale: 1/4" = 1'-0"



2 Revised Proposed Roof Plan  
Scale: 1/4" = 1'-0"

36 SOUTH ST.  
CHARLESTON,  
SOUTH CAROLINA  
2 9 4 0 3

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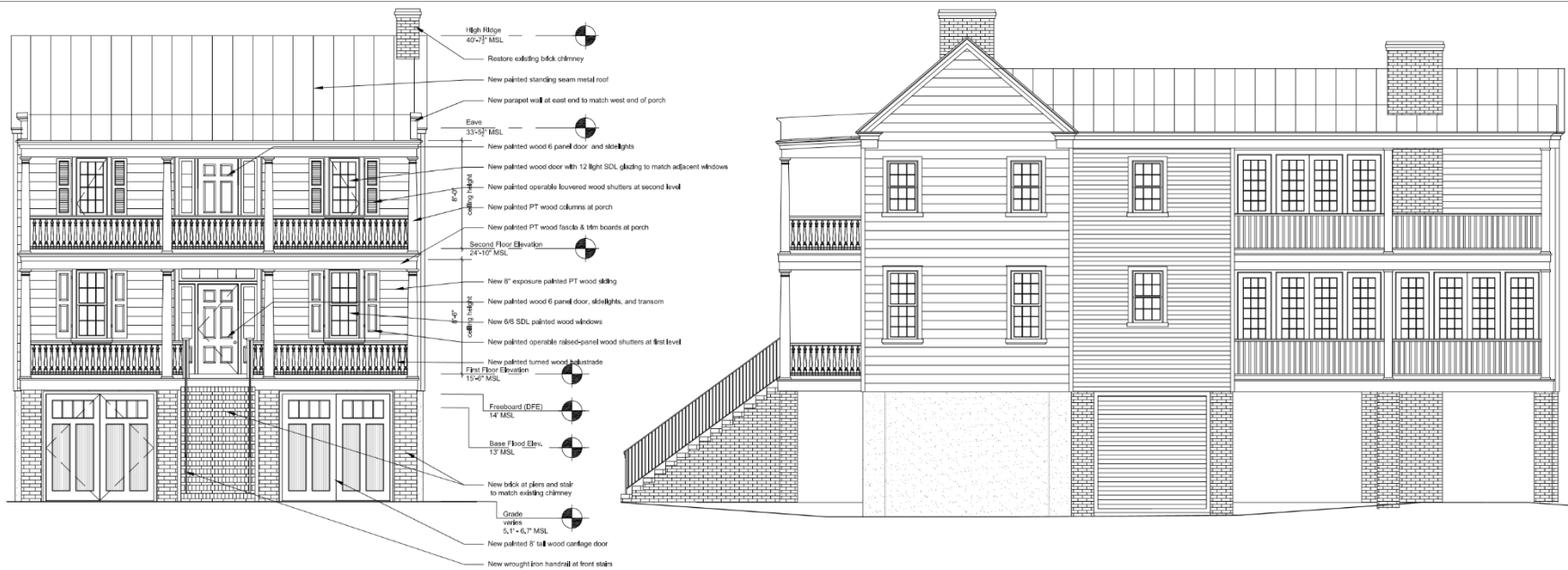
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2	Revision	09.13.2018
1	Revision	07.09.2018
No.	Revision/Issue	Date

Sheet Name  
Previously &  
Revised  
Proposed  
Roof Plans

Date	Sheet No.
11/27/2019	A104
Scale	
As Noted	



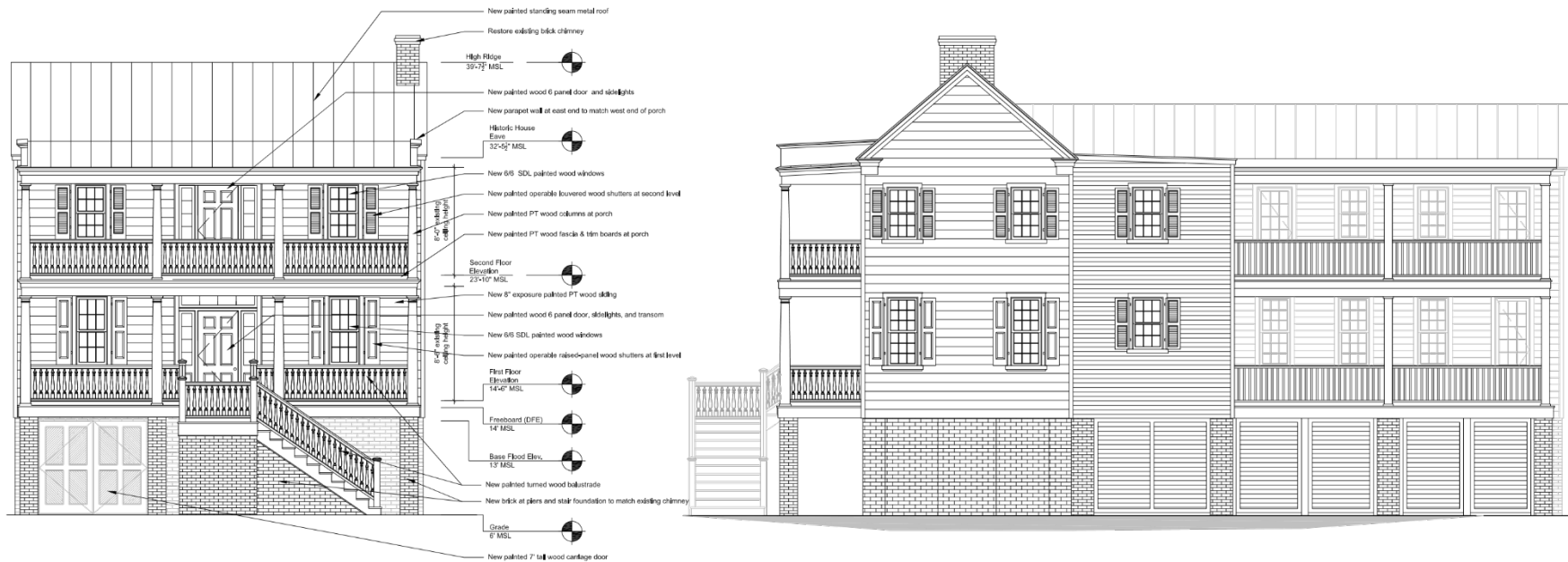


1 Previously Proposed Front (South) Elevation

Scale: 1/4" = 1'-0"

2 Previously Proposed Side (East) Elevation

Scale: 1/4" = 1'-0"



3 Revised Proposed Front (South) Elevation

Scale: 1/4" = 1'-0"

4 Previously Proposed Side (East) Elevation

Scale: 1/4" = 1'-0"

36 SOUTH ST.  
CHARLESTON,  
SOUTH CAROLINA  
2 9 4 0 3

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3	Revision	11.27.2019
2	Revision	08.21.2018
1	Revision	07.09.2018

No.	Revision/Issue	Date
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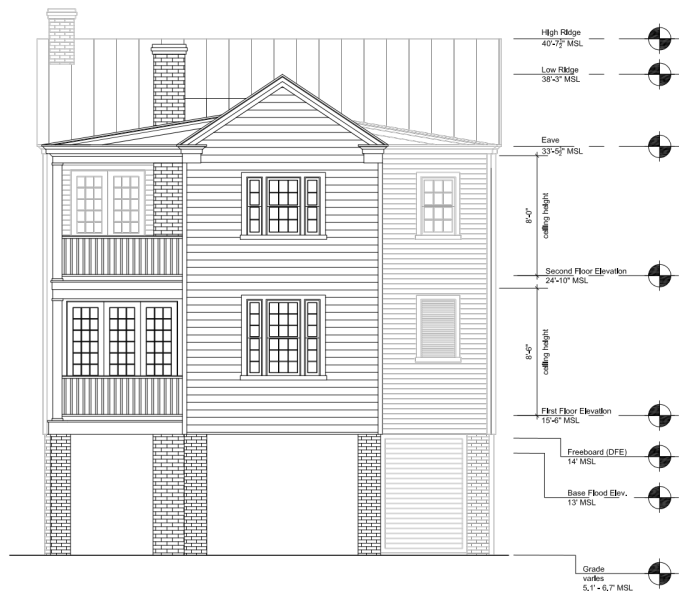
Sheet Name  
Previously & Revised  
Proposed Elevations,  
South (Front) & East Side

Date  
11/27/2019

Sheet No.

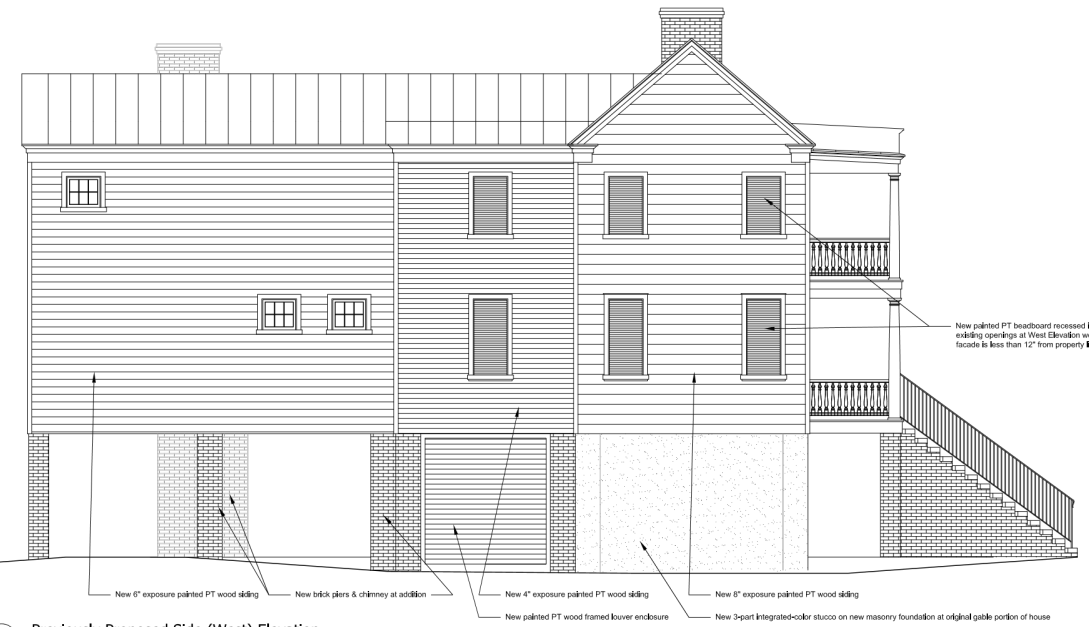
Scale  
As Noted

A200



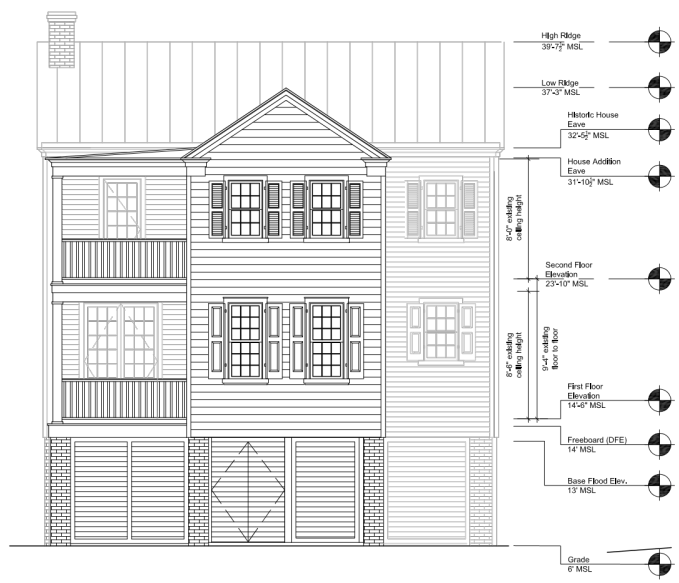
1 Previously Proposed Rear (North) Elevation

Scale: 1/4" = 1'-0"



2 Previously Proposed Side (West) Elevation

Scale: 1/4" = 1'-0"



3 Revised Proposed Rear (North) Elevation

Scale: 1/4" = 1'-0"



4 Revised Proposed Side (West) Elevation

Scale: 1/4" = 1'-0"

36 SOUTH ST.  
CHARLESTON,  
SOUTH CAROLINA  
2 9 4 0 3

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No.	Revision/Issue	Date
3	Revision	11.27.2019
2	Revision	08.21.2018
1	Revision	07.09.2018

Sheet Name  
Previously & Revised  
Proposed Elevations,  
North (Rear) & West

Date	Sheet No.
11/27/2019	A201
Scale	As Noted



2 Previously Proposed Street Elevation - North

Scale: 3/32" = 1'-0"



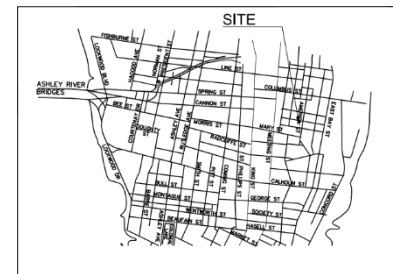
1 Previously Proposed Street Elevation - South

Scale: 3/32" = 1'-0"

36 SOUTH ST.  
CHARLESTON,  
SOUTH CAROLINA  
2 9 4 0 3

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CHARLESTON, SC 29402

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LOCATION MAP

No.	Revision/Issue	Date

Sheet Name  
Previously Proposed  
Street Elevations

Date 7/10/2018	Sheet No. A210
Scale As Noted	



2 Revised Proposed Street Elevation - North

Scale: 3/32" = 1'-0"

36 SOUTH ST.  
CHARLESTON,  
SOUTH CAROLINA  
2 9 4 0 3

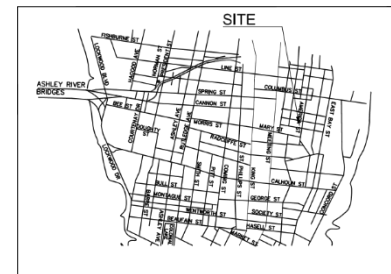
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ARCHITECT LLC  
P . O . B O X 6 2  
CHARLESTON, SC 29402

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1 Revised Proposed Street Elevation - South

Scale: 3/32" = 1'-0"



LOCATION MAP

No.	Revision/Issue	Date

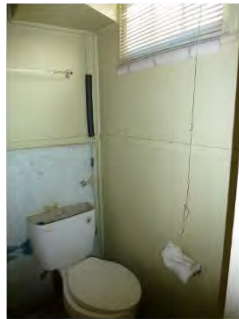
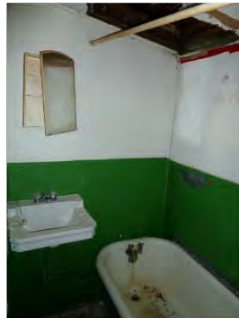
  

Sheet Name	
Revised Proposed Street Elevations	

Date	Sheet No.
11/27/2019	A211
Scale	As Noted

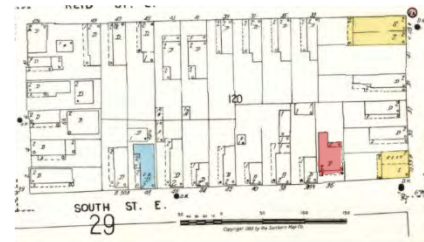




36 SOUTH ST.  
CHARLESTON,  
SOUTH CAROLINA  
2 9 4 0 3

Barbara Looney, Architect  
5 Hampden Ct.  
Charleston, SC 29403

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Sanborn 1953



No.	Revision/Issue	Date

Notes:  
- Existing  
- Addition  
- Photographs

Date: 7/2017	Sheet No.:
Scale: As Noted	





16 Line Street



30 Sheppard Street



64 Columbus Street, detail



16 Line Street, detail



30 Blake Street



64 Columbus Street



62 Columbus Street



62 Reid Street

36 SOUTH ST.  
CHARLESTON,  
SOUTH CAROLINA  
29403

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5 Hampden Ct.  
Charleston, SC 29403

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No.	Revision/Issue	Date

Sheet Name  
Historic Precedent

Date 8/21/2018	Sheet No.
Scale As Noted	





85 East Bay Street



89 East Bay Street



91 East Bay Street



99-101 East Bay Street



103 East Bay Street



96 East Bay Street



21 Meeting Street



73 Church Street



41 Church Street



34 Church Street



12 Church Street



13 Gibbes



80 Tradd Street



72 Tradd Street - West Approach



72 Tradd Street



72 Tradd Street - East Approach



113 South Battery



57 Gibbes



7 Legare Street



28 Montague Street - Masonry Piers at Ground Level



18 Montague Street - Masonry Piers at Ground Level



60 Spring Street - Masonry Piers at Ground Level

36 SOUTH ST.  
CHARLESTON,  
SOUTH CAROLINA  
2 9 4 0 3

BARBARA LOONEY,  
ARCHITECT LLC  
P. O. BOX 62  
CHARLESTON, SC 29402

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No.	Revision/Issue	Date

Sheet Name

Date	Sheet No.
11/27/2019	
Scale	
As Noted	