



*City of Charleston*

# **BOARD OF ARCHITECTURAL REVIEW - SMALL**

January 9, 2020

4:30 PM

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DEPARTMENT OF PLANNING, PRESERVATION & SUSTAINABILITY

[www.charleston-sc.gov/bar](http://www.charleston-sc.gov/bar)

# Agenda Item #1

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Approval of minutes from the October 24, 2019 meeting.



# Agenda Item #2

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22 ½ MARY STREET  
TMS # 459-09-03-091

Request after-the-fact demolition of second floor beyond scope of approved work, and demolition of remainder of building.

New Construction / East Side / Old City District

**RUSSELL A. ROSEN, P.E.**

Consulting Engineer  
65 Broad Street  
Charleston, SC 29401  
(843) 882-7623 (O)

Email: [RRosen@RosenOnLine.com](mailto:RRosen@RosenOnLine.com)

December 10, 2019

Chief Building Inspector  
City of Charleston  
2 George Street  
Charleston, SC 29401

Attn: Ms. Edye Graves, Chief Building Inspector

In re: 22 ½ Mary Street  
Permit #2019-06999

Gentlemen,

Our office prepared the structural drawings for alterations and new construction at 22 ½ Mary Street.

We visited the site on the morning of December 9, 2019. A Stop Work order had been issued; primarily having to do with removals of building fabric.

It was reported to me that the second floor walls and roof had collapsed and been removed along with the addition at the rear.

The remaining structure is eclectic in its construction (mixed construction techniques, materials and unworkmanlike details), contains extensive termite and decay damage, is structurally unsound and unsafe and raising the house out of the flood plain (on new foundations) is in the proposed scope of work.

Our observation that the remaining construction is in very poor shape and little fabric, if any, will remain after raising the house.

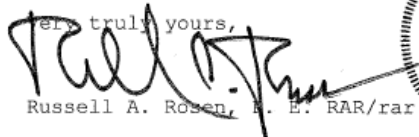
Therefore, our recommendation is that the remaining construction be demolished.

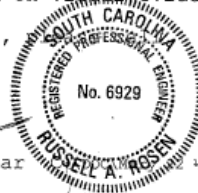
This inspection and report are done with the best of our experience and ability. However, we cannot be responsible for items we may have overlooked, concealed conditions, or defects that may develop later.

We believe this report reflects the condition of the property at the time of the inspection, based on visual evidence.

Should you have any questions,

Very truly yours,

  
Russell A. Rosen, P. E. RAR/rar



4 Demo



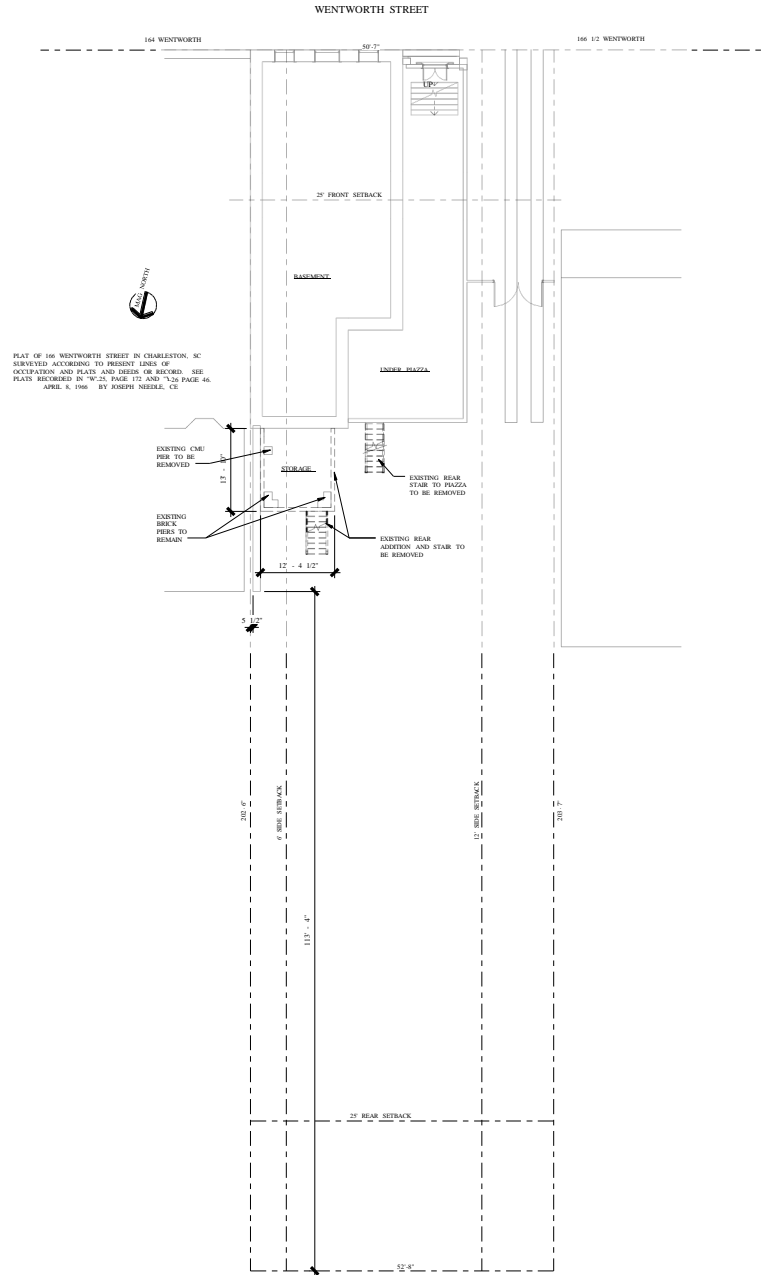
# Agenda Item #3

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166 WENTWORTH STREET  
TMS # 457-03-04-062

Request final approval for demolition of rear addition pre-1911.

Category 2 / Harleston Village / c. pre 1911  
Old and Historic District



PLAT OF 166 WENTWORTH STREET IN CHARLESTON, SC SURVEYED ACCORDING TO PRESENT LINES OF OCCUPATION AND PLATS AND RECORD. SEE PLANS RECORDED IN '66-25, PAGE 13 AND '72-8 PAGE 46. APRIL 8, 1966 BY JOSEPH NEEDLE, L.S.

**ZONING INFORMATION:**

DESIGNATION: STR

SETBACKS:	REQUIRED	EXISTING	PROPOSED
FRONT :	25'-0"	0"	0"
EAST SIDE:	6'-0"	0"	0"
WEST SIDE:	12'-0"	14'-6"	14'-6"
REAR :	25'-0"	125'-8"	125'-8"

	REQUIRED	EXISTING	PROPOSED
LOT OCCUPANCY	50%	24.5%	27.8%
EXISTING LOT OCCUPANCY			
LOT SF:	10,227 SF		
BLDG:	2501 SF		
COVERAGE:	2501/10,227 SF = 24.5%		
PROPOSED LOT OCCUPANCY			
LOT SF:	10,227 SF		
BLDG:	2842 SF		
COVERAGE:	2842/10,227 SF = 27.8%		

**1 | EXISTING SITE PLAN**  
SCALE: 1" = 10'-0"



166 WENTWORTH  
CHALESTON, SOUTH CAROLINA

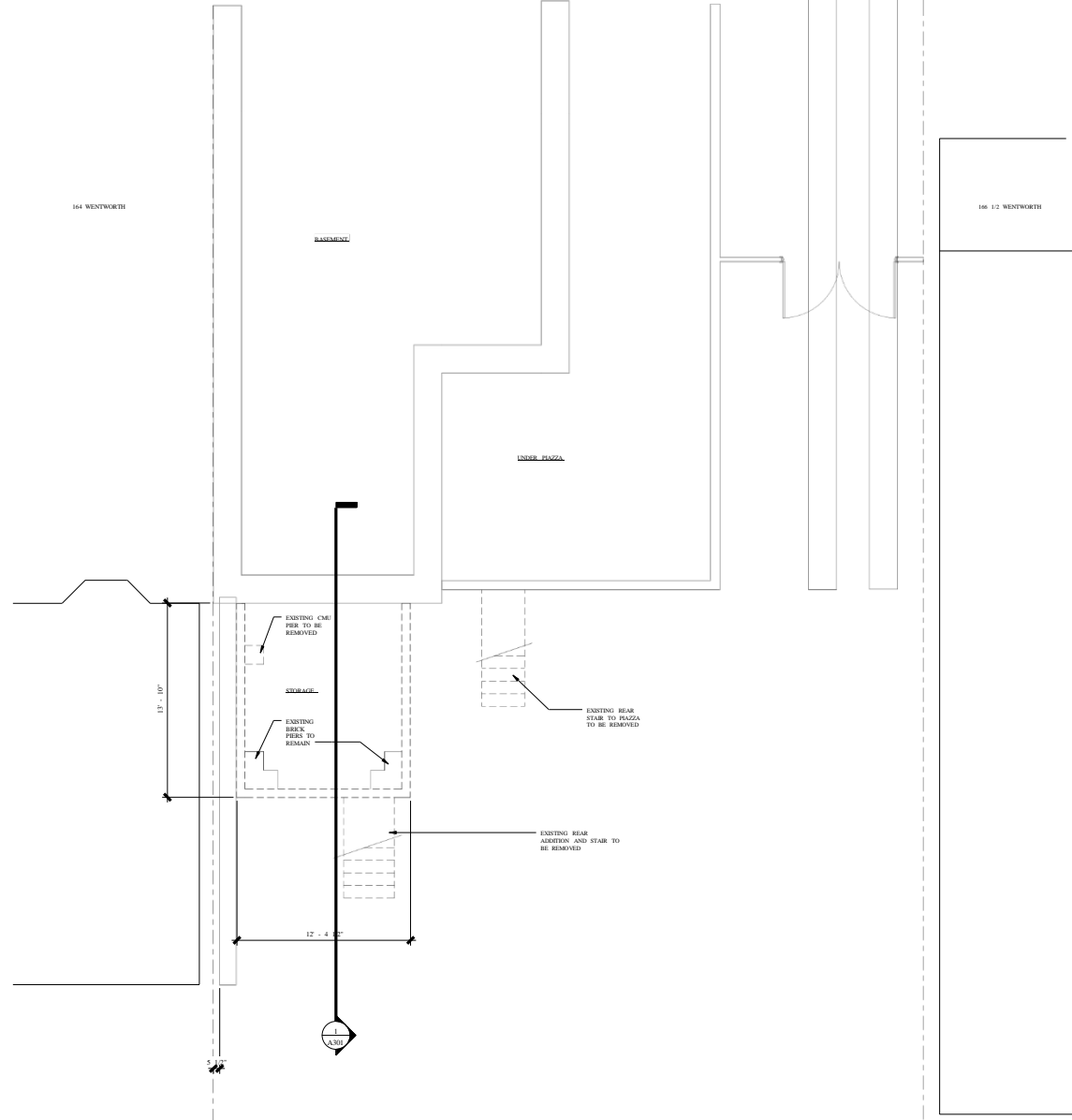
EXISTING & PROPOSED SITE  
PLANS

NO.	REVISIONS	DATE
1	ISSUE FOR PERMITS	11-1-2017

PROJECT NO. 2019.102	DATE PLOTTED 12.17.19
DATE 12.17.19	DRAWN BY SCG
CHECKED BY	CHECKER

A101





**1** | EXISTING GROUND FLOOR PLAN  
SCALE: 1/4" = 1'-0"

PROJECT NO. 2019.102
DATE ISSUED 12.17.19
DATE PLOT SCG
DRAWN BY: Checker

EX110

EXISTING GROUND FLOOR PLAN

166 WESTWORTH  
CHALESTON, SOUTH CAROLINA





**1** | EXISTING WEST ELEVATION  
SCALE: 1/4" = 1'-0"



166 WENTWORTH  
CHALESTON, SOUTH CAROLINA

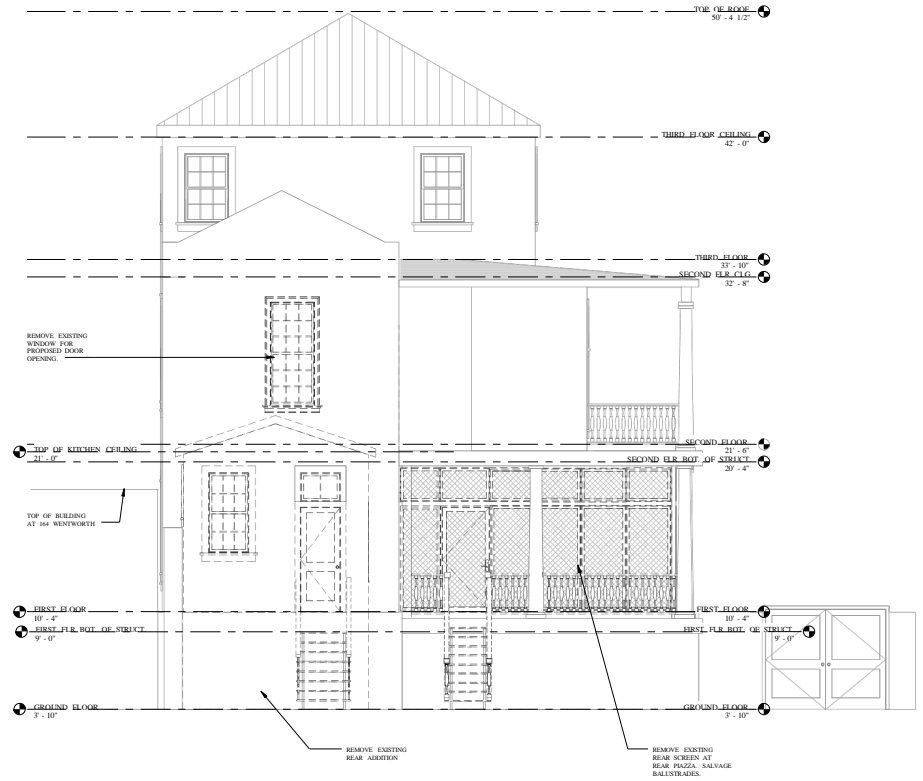
EXISTING WEST ELEVATION

DATE: 09/11/18
REVISIONS
NO.
DATE

PROJECT NO.	2019-102
DATE ISSUED	12.17.19
DRAWN BY	Author
CHECKED BY	Checker

PRELIMINARY PLAN REVIEW

EX201



**1** | EXISTING REAR ELEVATION  
SCALE: 1/4" = 1'-0"



166 WENTWORTH  
CHALESTON, SOUTH CAROLINA

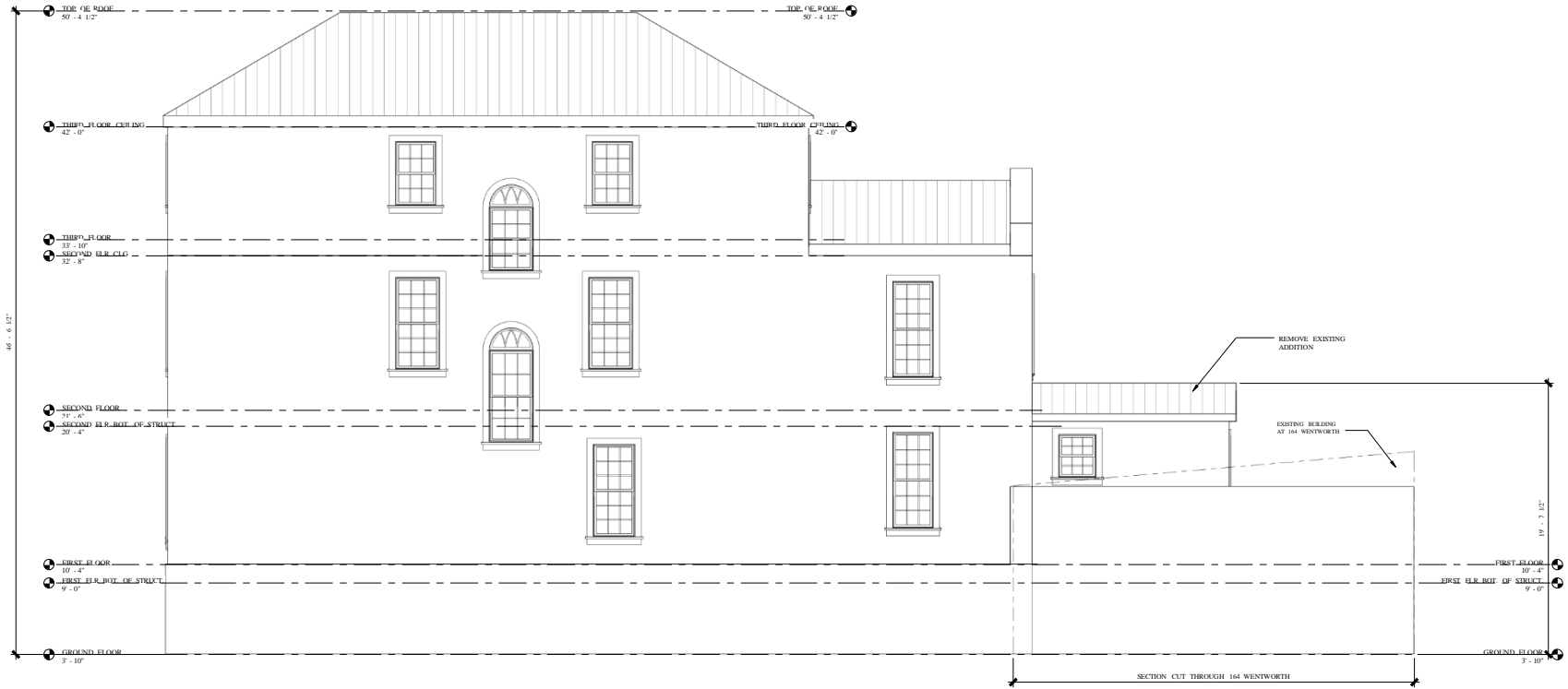
EXISTING REAR ELEVATIONS

DATE: 08/11/18
REVISIONS

PROJECT NO. 2019.102
DATE ISSUED 12.17.19
DRAWN BY: SCG
CHECKED BY: Checker

PRELIMINARY PLAN REVIEW

EX202



**1** | EXISTING EAST ELEVATION  
 SCALE: 1/4" = 1'-0"



*Clark Gibbewell*  
 ARCHITECT, LLC

166 WENTWORTH  
 CHALESTON, SOUTH CAROLINA

EXISTING EAST ELEVATIONS

PROJECT NO.	2019.102
DATE ISSUED	12.17.19
DRAWN BY	SCG
CHECKED BY	Checker

PROJECT NO.	2019.102
DATE ISSUED	12.17.19
DRAWN BY	SCG
CHECKED BY	Checker

EX203



# Agenda Item #4

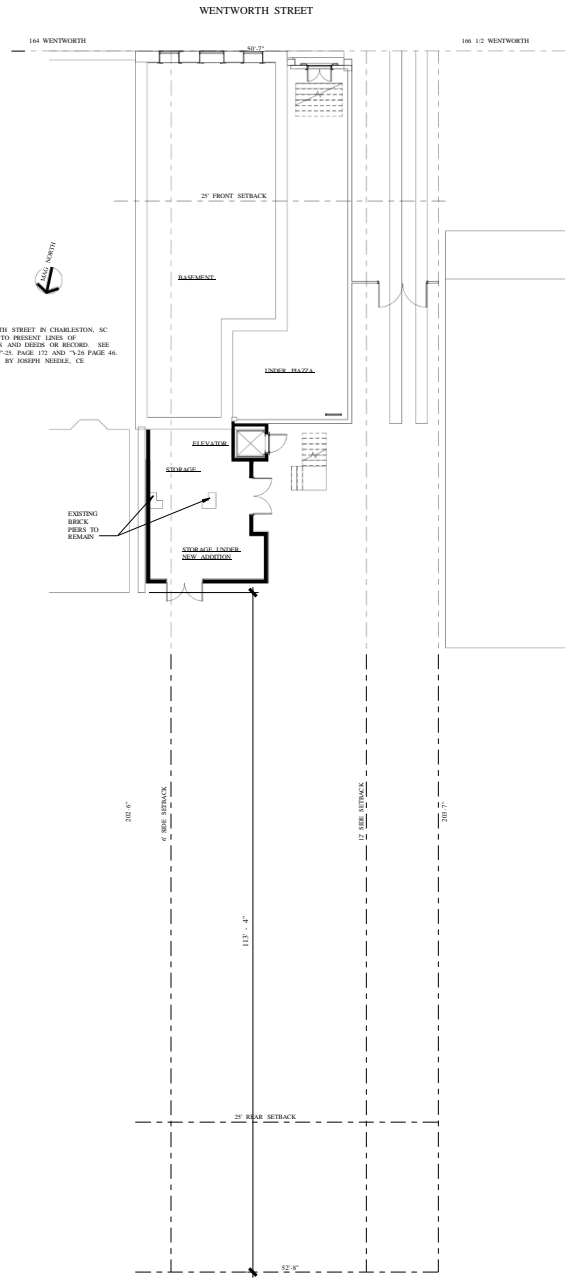
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166 WENTWORTH STREET  
TMS # 457-03-04-062

Request conceptual approval for the construction of a two-story addition at rear including elevator tower.

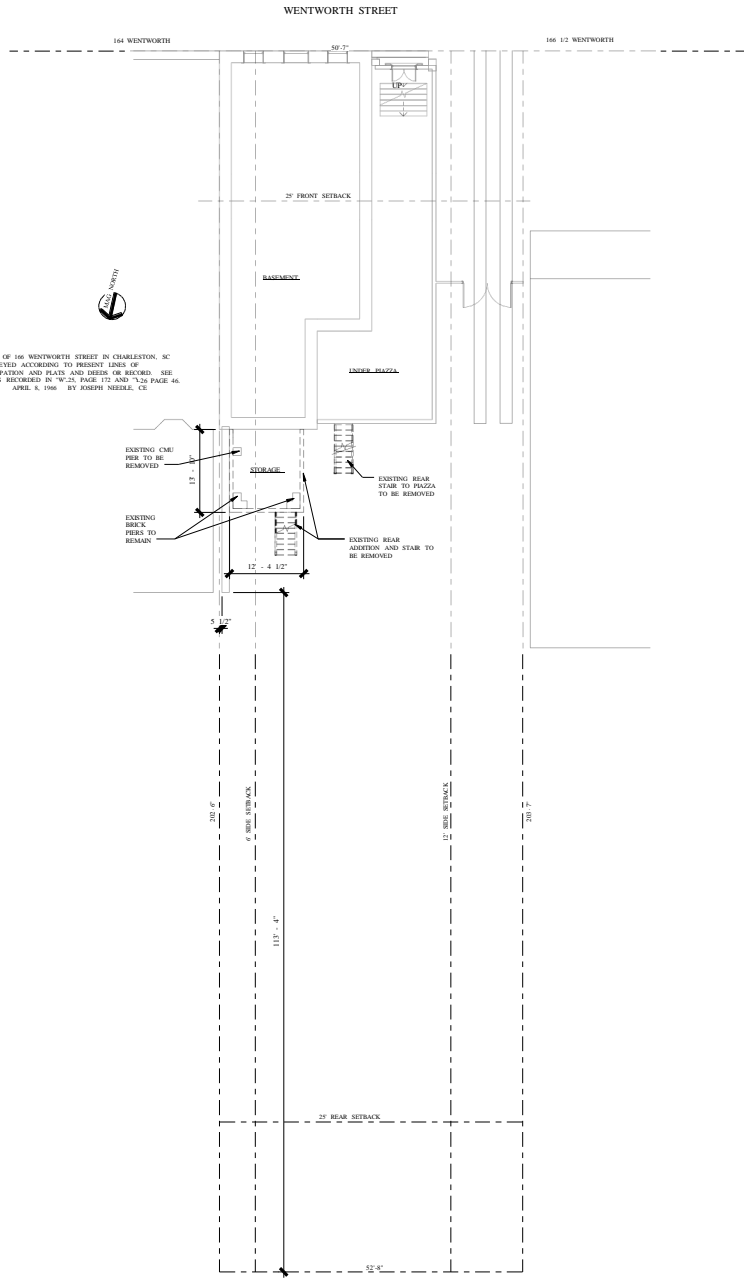
Category 2 / Harleston Village/ c.1809  
Old and Historic District

PLAT OF 166 WESTWORTH STREET IN CHARLESTON, SC SURVEYED ACCORDING TO PRESENT LINES OF OCCUPATION AND PLATS AND DEEDS ON RECORD. SEE PLATS RECORDED IN 'W-23, PAGE 172 AND 'S-28 PAGE 46, APRIL 8, 1966 BY JOSEPH NEEDLE, CE.



**2 | PROPOSED SITE PLAN**  
SCALE: 1" = 10'-0"

PLAT OF 166 WESTWORTH STREET IN CHARLESTON, SC SURVEYED ACCORDING TO PRESENT LINES OF OCCUPATION AND PLATS AND DEEDS ON RECORD. SEE PLATS RECORDED IN 'W-23, PAGE 172 AND 'S-28 PAGE 46, APRIL 8, 1966 BY JOSEPH NEEDLE, CE.



**1 | EXISTING SITE PLAN**  
SCALE: 1" = 10'-0"

**ZONING INFORMATION:**

DESIGNATION: STR

SETBACKS:	REQUIRED	EXISTING	PROPOSED
FRONT :	25'-0"	0"	0"
EAST SIDE:	6'-0"	0"	0"
WEST SIDE:	12'-0"	14'-6"	14'-6"
REAR :	25'-0"	125'-8"	125'-8"

	REQUIRED	EXISTING	PROPOSED
LOT OCCUPANCY	50%	24.5%	27.8%
EXISTING LOT OCCUPANCY			
LOT SF:	10,227 SF		
BLDG:	2501 SF		
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PROPOSED LOT OCCUPANCY			
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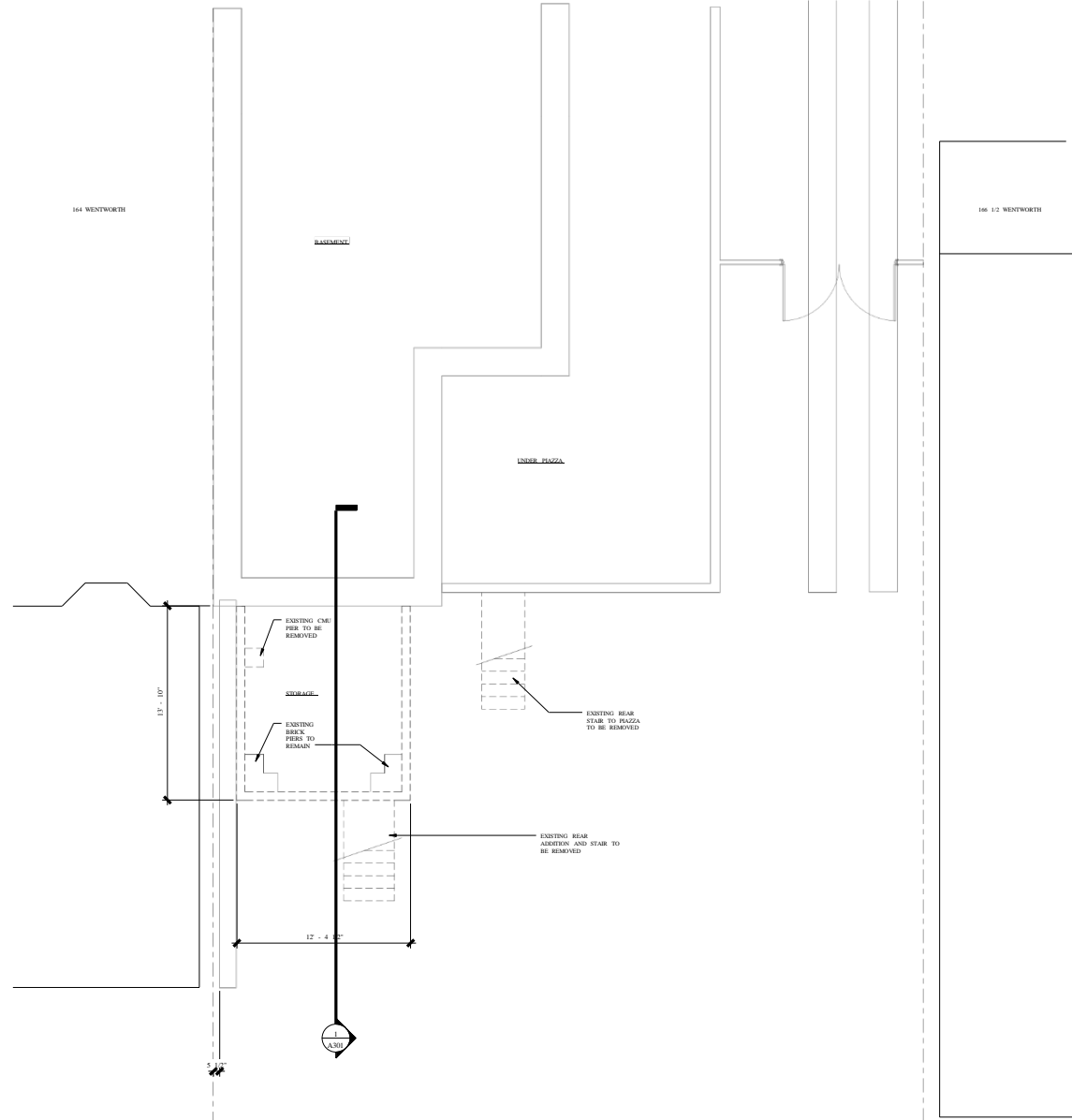
166 WESTWORTH  
CHALESTON, SOUTH CAROLINA

EXISTING & PROPOSED SITE  
PLANS

NO.	REVISIONS	DATE
1	ISSUE FOR PERMITS	11-1-2017

PROJECT NO.	2019-102
DATE ISSUED	12-17-19
DATE IN CHARGE	SCG
PREPARED BY	Checker

A101



**1** | EXISTING GROUND FLOOR PLAN  
SCALE: 1/4" = 1'-0"



166 WESTWORTH  
CHALESTON, SOUTH CAROLINA

EXISTING GROUND FLOOR PLAN

DATE: 12.17.19	SCALE: 1/4" = 1'-0"
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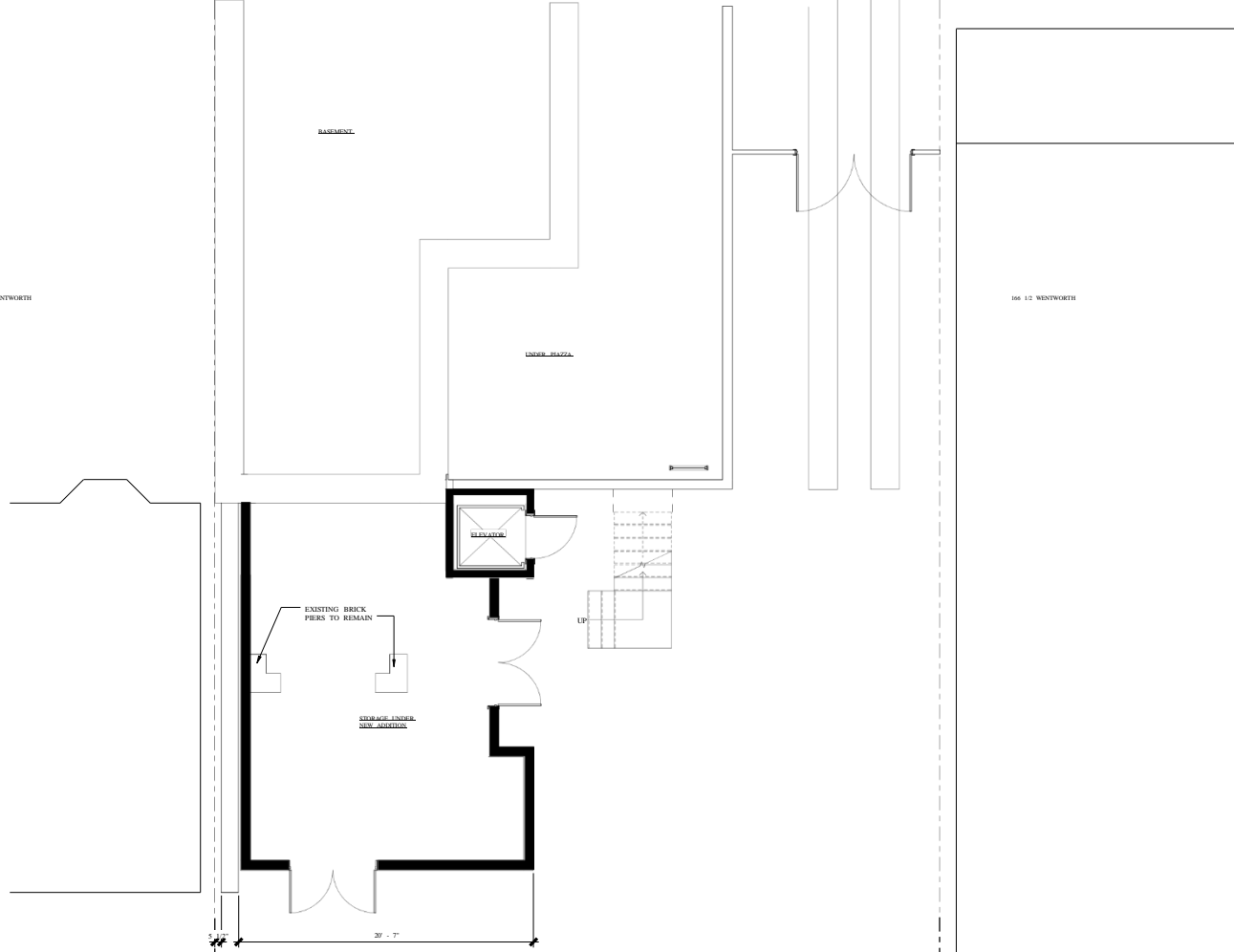
PROJECT NO.: 2019.102	DATE: 12.17.19
DESIGNER: SCG	CHECKER: SCG

EX110



164 WENTWORTH

166 1/2 WENTWORTH



**1** | PROPOSED GROUND FLOOR PLAN  
SCALE: 1/4" = 1'-0"

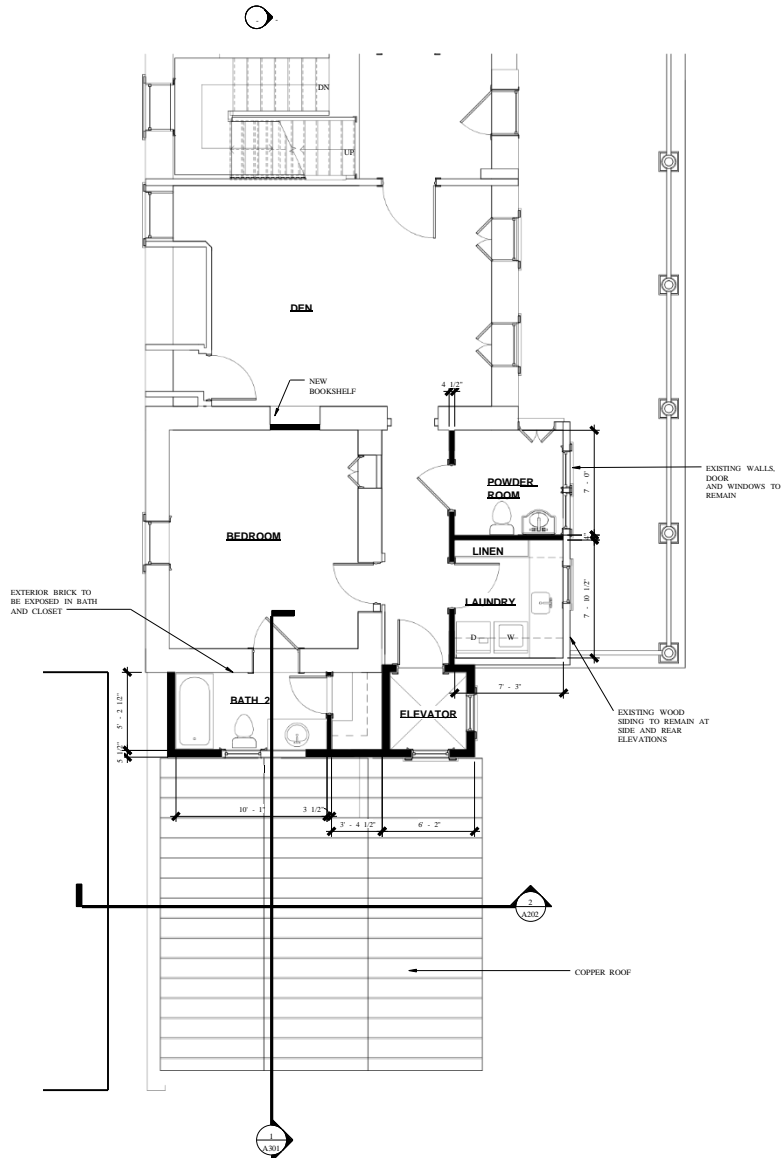
PROJECT NO. 2019.102
DATE ISSUED 12.17.19
DRAWN BY SCG
CHECKED BY Checker

A110

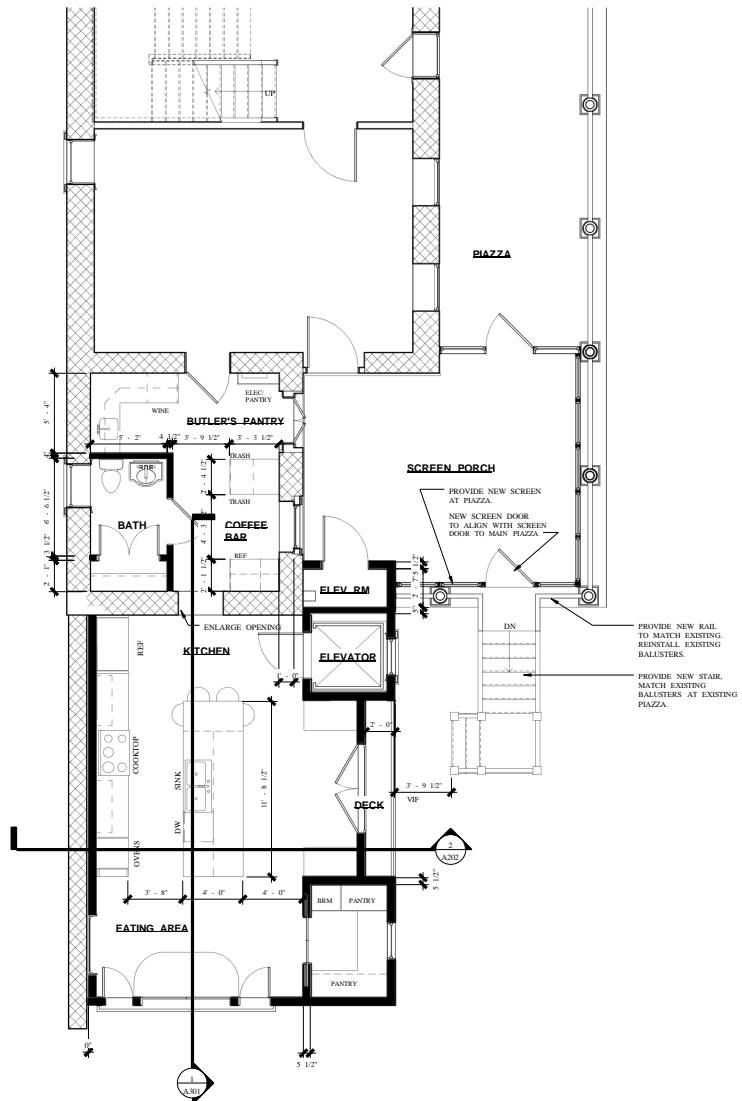
PROPOSED GROUND FLOOR

166 WENTWORTH  
CHALESTON, SOUTH CAROLINA





**3** SECOND FLOOR PROPOSED PLAN  
SCALE: 1/4" = 1'-0"



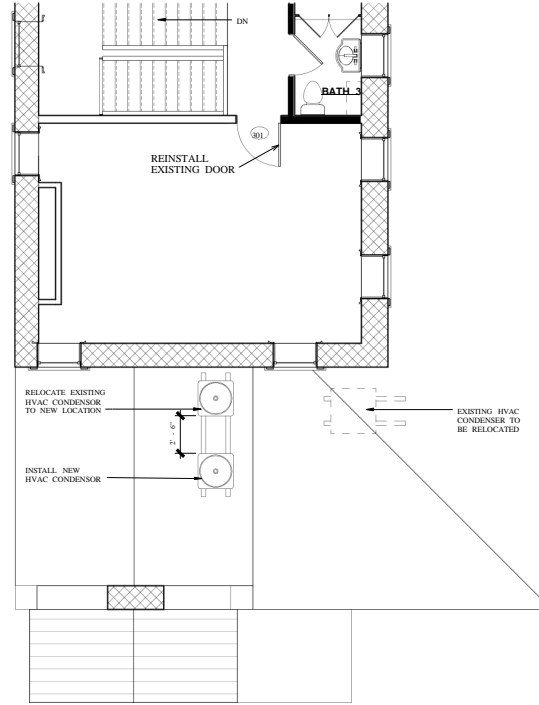
**2** FIRST FLOOR PROPOSED PLAN  
SCALE: 1/4" = 1'-0"



166 WENTWORTH  
CHALESTON, SOUTH CAROLINA

PROPOSED FIRST AND  
SECOND FLOOR PLANS  
OPTION 8

PROJECT NO.	2019.102
DATE ISSUED	12.17.19
DATE PLOTTED	SCG
DESIGNED BY	Checker



**1 | THIRD FLOOR PROPOSED PLAN**  
SCALE: 1/4" = 1'-0"

PROJECT NO.: 2019.102  
DATE ISSUED: 12.17.19  
DRAWN BY: SCG  
CHECKED BY: Checker

A112

THIRD FLOOR PLANS

166 WENTWORTH  
CHALESTON, SOUTH CAROLINA

*Clark Gibson*  
ARCHITECT, LLC



**1** | EXISTING WEST ELEVATION  
SCALE: 1/4" = 1'-0"



166 WENTWORTH  
CHALESTON, SOUTH CAROLINA

EXISTING WEST ELEVATION

DATE PLOTTED	DATE

PROJECT NO.	2019.102
DATE ISSUED	12.17.19
DRAWN BY	Author
CHECKED BY	Checker

PRELIMINARY PLAN REVIEW

EX201



**1** | PROPOSED WEST ELEVATION  
 SCALE: 1/4" = 1'-0"



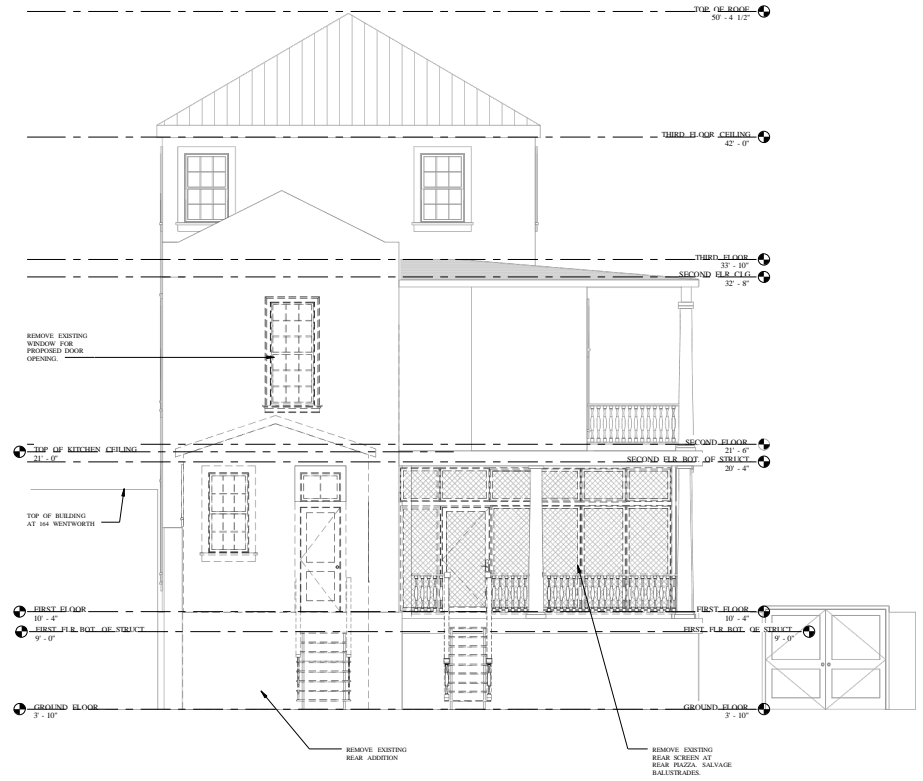
166 WENTWORTH  
 CHALESTON, SOUTH CAROLINA

PROPOSED WEST ELEVATION

DATE: 08/11/18		
REVISIONS		
NO.	DATE	DESCRIPTION

PROJECT NO.	2019.102
DATE ISSUED	12.17.19
DRAWN BY	SCG
CHECKED BY	Checker

A201



**1** | EXISTING REAR ELEVATION  
SCALE: 1/4" = 1'-0"



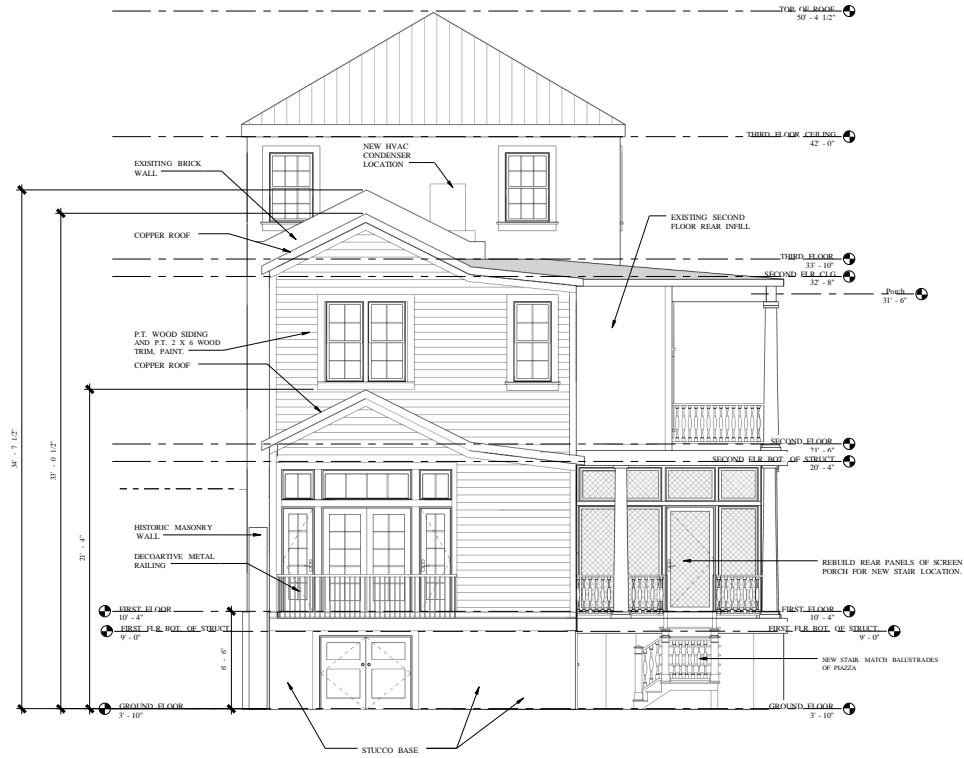
166 WENTWORTH  
CHALESTON, SOUTH CAROLINA

EXISTING REAR ELEVATIONS

PROJECT NO.	2019.102
DATE ISSUED	12.17.19
DRAWN BY	SCG
CHECKED BY	Checker



**2** | CROSS SECTION THRU PROPOSED ADDITION  
SCALE: 1/4" = 1'-0"



**1** | PROPOSED REAR ELEVATION  
SCALE: 1/4" = 1'-0"

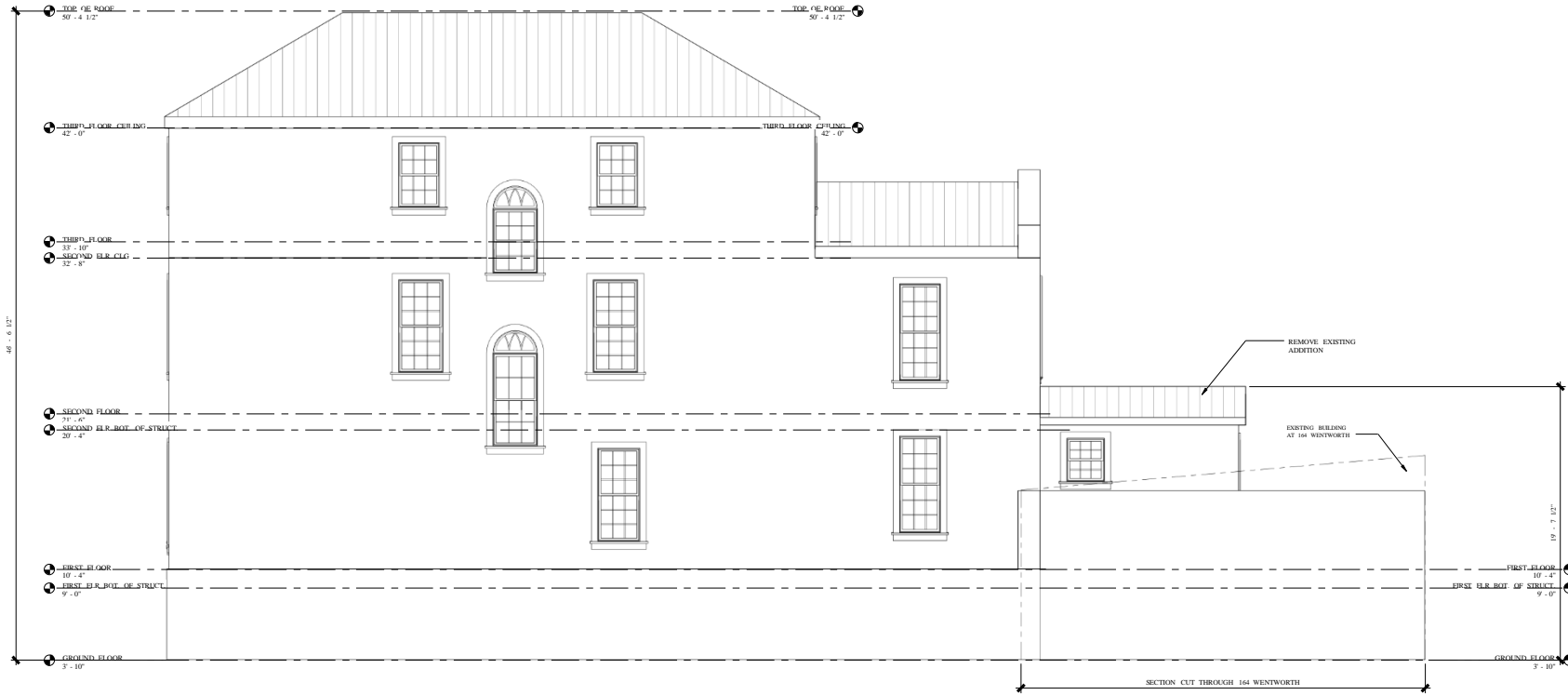


166 WENTWORTH  
CHALESTON, SOUTH CAROLINA

PROPOSED REAR ELEVATION

DATE: 12.17.19

PROJECT NO.	2019.102
DATE ISSUED	12.17.19
DRAWN BY	SCG
CHECKED BY	Checker



**1** | EXISTING EAST ELEVATION  
 SCALE: 1/4" = 1'-0"

PRELIMINARY PLAN REVIEW



166 WENTWORTH  
 CHALESTON, SOUTH CAROLINA

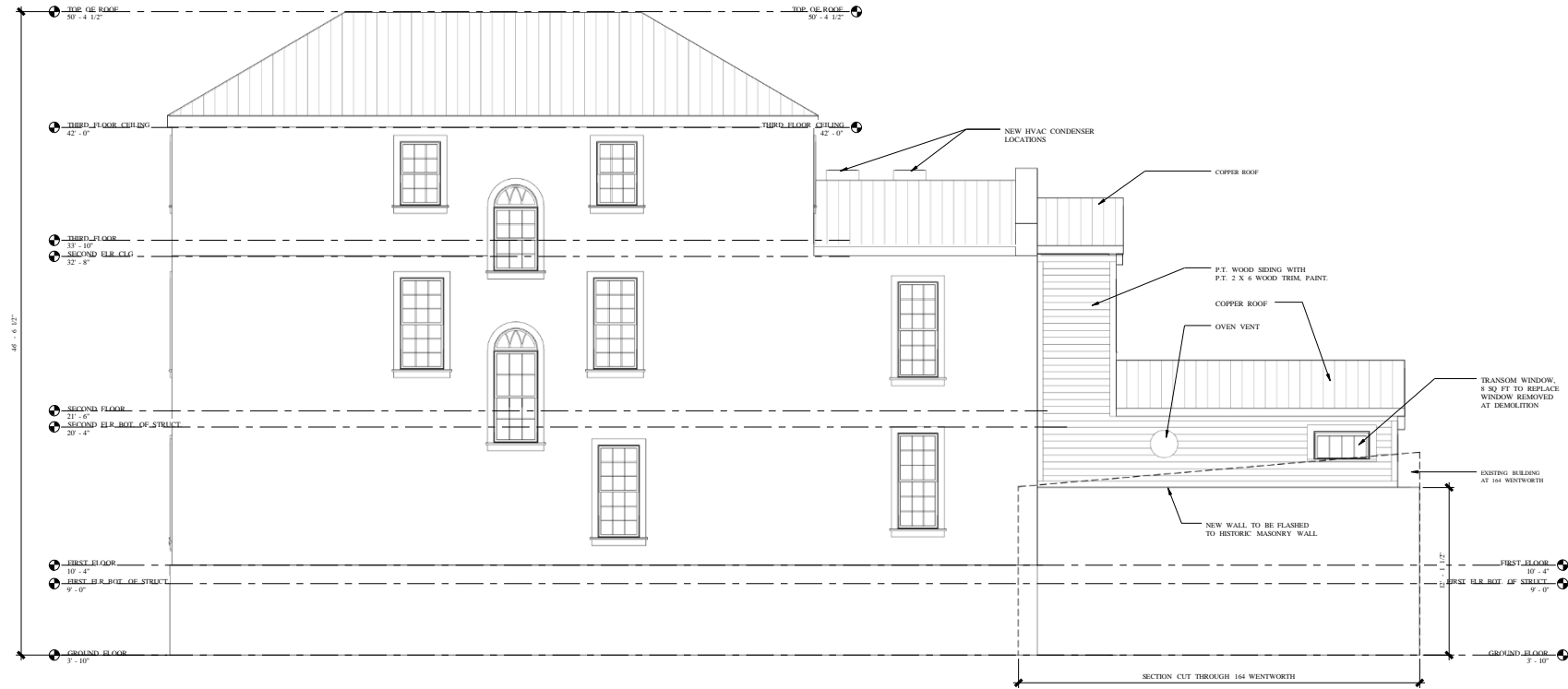
EXISTING EAST ELEVATIONS

DATE	DESCRIPTION

PROJECT NO.	2019.102
DATE ISSUED	12.17.19
DRAWN BY	SCG
CHECKED BY	Checker

EX203





**1 | PROPOSED EAST ELEVATION**  
SCALE: 1/4" = 1'-0"



166 WENTWORTH  
CHALESTON, SOUTH CAROLINA

PROPOSED EAST ELEVATION

DATE: 12.17.19

PROJECT NO.	2019.102
DATE ISSUED	12.17.19
DRAWN BY	SCG
CHECKED BY	Checker

A203



# Agenda Item #5

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19 LOWNDES STREET  
TMS # 457-11-02-010

Request conceptual approval for alterations to fenestration on east and south elevations, and extension of rear deck.

Not Surveyed / Charlestowne / c.1921 / Old and Historic District

# PROJECT INFORMATION

# 19 LOWNDES ST. RENOVATION

**ARCHITECT:**

BECKY FENNO, AIA, LEED AP  
 AARON GREEN  
 FENNO ARCHITECTURE LLC  
 1459 STUART ENGALS BLVD., SUITE 202  
 MT. PLEASANT SC, 29464  
 (EMAIL) BFENNO@FENNOARCH.COM  
 (PHONE) 843.442.8552

**OWNER:**

KEVIN LEONARD  
 19 LOWNDES STREET  
 CHARLESTON, SC 29401  
 EMAIL: KLEONARD@HWRA.ORG

**SITE INFORMATION**

TMS NO. 457-11-02-010

NEIGHBORHOOD: SOUTH OF BROAD / CHARLESTOWNE

WITHIN THE FOLLOWING OVERLAY ZONES:  
 OLD HEIGHT DISTRICT  
 OLD AND HISTORIC DISTRICT  
 AMUSEMENT & RECREATION

FLOOD ZONE: AE-14

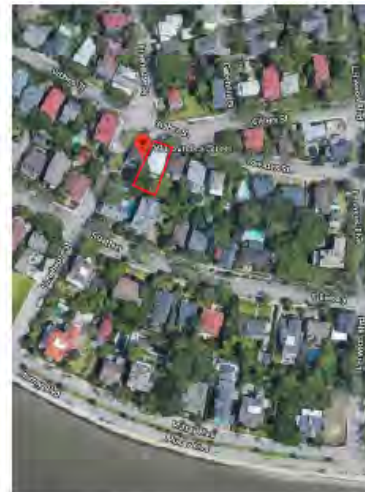
ZONING : SR-2

SETBACKS:  
 TOTAL FRONT/REAR: 50'  
 FRONT: 25'  
 BACK: 25'  
 TOTAL SIDE: 18'  
 SOUTH: 0'  
 NORTH: 0'  
 MAX. LOT COVERAGE: 50%

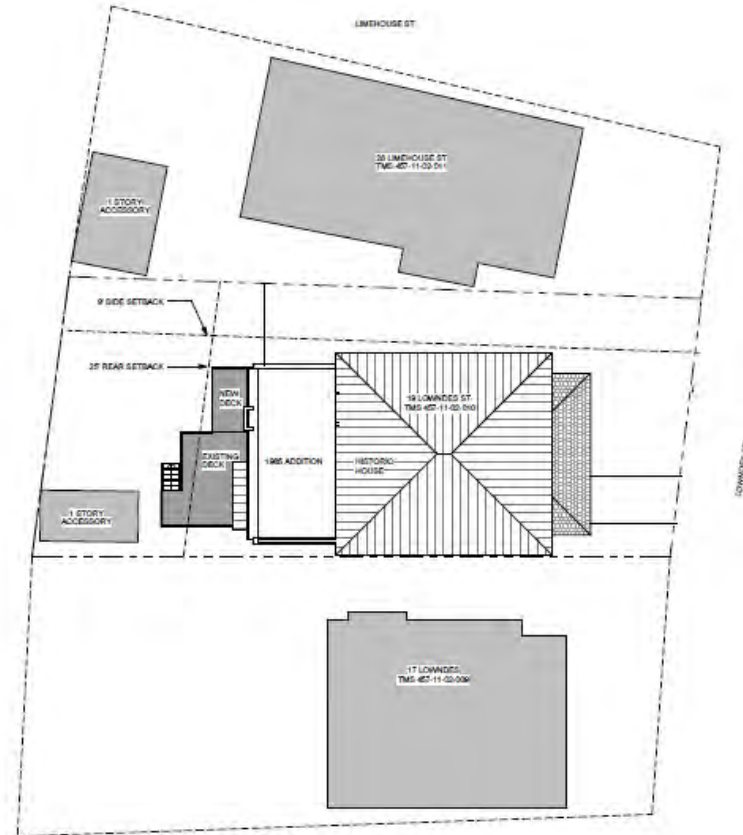
MAX HEIGHT: 35/ 2.5

LOT SIZE: 4,096 SF  
 EXISTING LOT COVERAGE: 1,938 SF (41%)  
 PROPOSED LOT COVERAGE: 2,006 SF (42.7%)

DRAWING LIST	
NO.	DRAWING NAME
A001	PROJECT INFO & SITE PLAN
A002	SURVEY
A003	CONTEXT PHOTOS
A101	FIRST FLOOR
A102	SECOND FLOOR
A201	EXTERIOR ELEVATIONS
A202	EXTERIOR ELEVATIONS, PERSPECTIVES & DETAILS



SITE LOCATION



1 SITE PLAN  
 T = 10'-0"



FENNO ARCHITECTURE

1459 Stuart Engals Blvd, Suite 202  
 Mt. Pleasant, SC 29464

19 LOWNDES ST.  
 RENOVATION

CHARLESTON, SC 29401

BAR

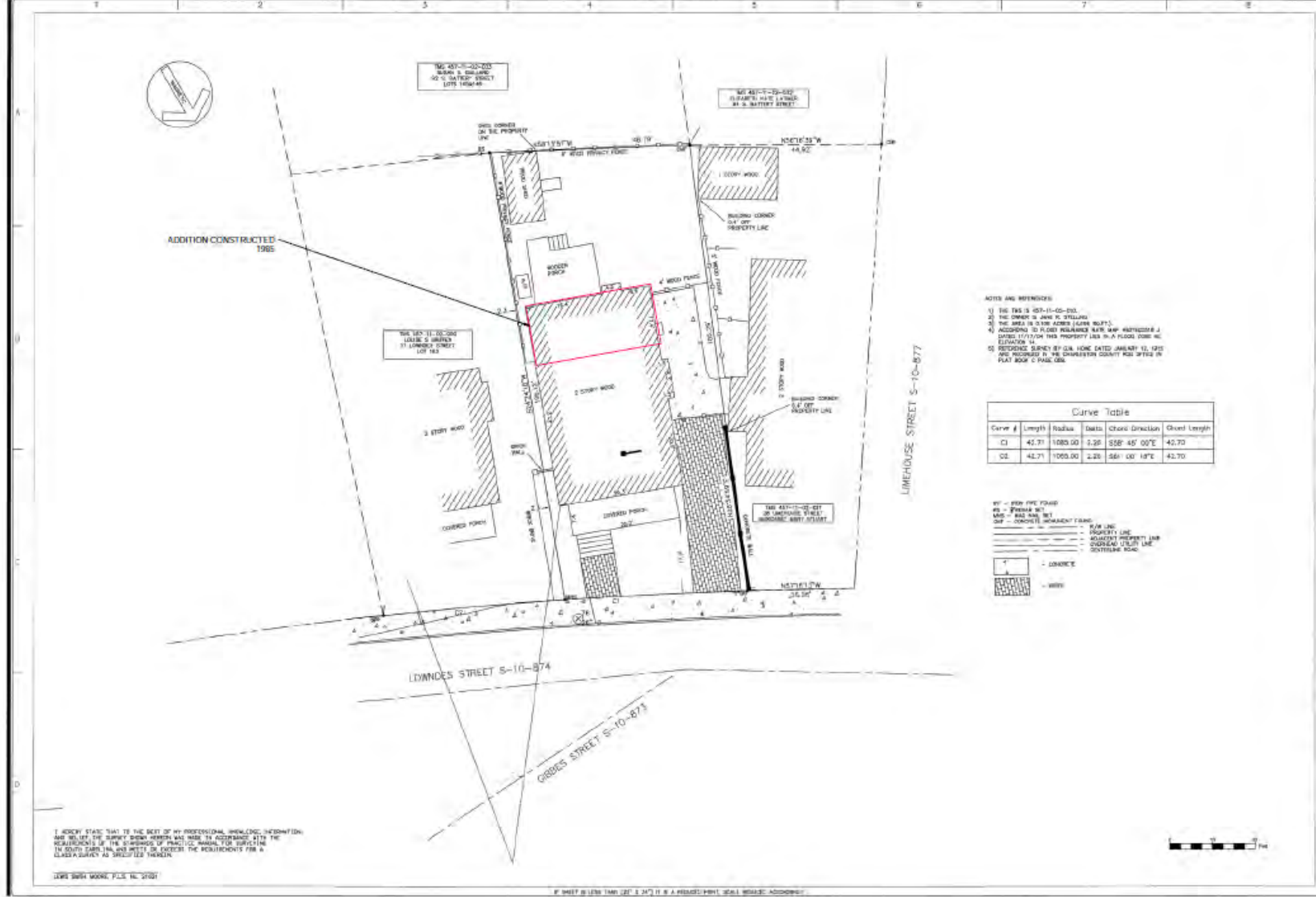
11/20/19



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PROJECT  
 INFO &  
 SITE PLAN

A001



- NOTES AND REFERENCES:
- 1) THE TMS IS 157-11-05-203.
  - 2) THE OWNER IS JIMMY K. STELLER.
  - 3) THE AREA IS IN THE ZONING (GAIN 100').
  - 4) ACCORDING TO FLOOD RISK MAPS, THIS PROPERTY LIES IN A FLOOD ZONE RE ELEVATION 14.
  - 5) REFERENCE SURVEY BY C&A, HOME DATED JANUARY 12, 1978 AND RECORDS IN THE CHARLESTON COUNTY REC OFFICE IN PLAT BOOK C PAGE 108.

Curve Table					
Curve #	Length	Radius	Data	Chord Direction	Chord Length
C1	42.71	1085.00	2.26	S58° 45' 00"E	42.70
C2	42.71	1055.00	2.26	S61° 00' 18"E	42.70



I HEREBY STATE THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION AND BELIEF, THE SURVEY DATA PRESENTED HEREIN WAS MADE TO ACCURACY, WITH THE NECESSARILY OF THE SURVEYING OF PUBLIC RECORDS, FOR THE PURPOSE OF THE CITY OF CHARLESTON, SOUTH CAROLINA, AND THAT I AM NOT PROVIDING ANY GUARANTEE TO ANY OTHER PARTY.

LEWIS MOORE, P.L.L.C. 10/2019

IF SHEET IS LESS THAN 11X17" & 24" X 36" A REDUCED PRINT SCALE SHOULD ACCORDING

**FORSBERG ENGINEERING AND SURVEYING, INC.**  
 1527 DANVILLE HIGHWAY, SUITE B  
 CHARLESTON, SOUTH CAROLINA 29417  
 (803) 733-1100  
 AND LOUISBURG, NORTH CAROLINA



**CLOSING SURVEY**  
**19 LOWNDES - LOT 164**  
**CITY OF CHARLESTON**  
 CHARLESTON COUNTY, SOUTH CAROLINA



DATE: 02/21/19  
 DRAWN/CHECKED: LEWIS MOORE  
 LAYOUT: [blank]  
 APPROVED: LEWIS MOORE  
 SCALE: 1"=10'  
 PROJECT NO.: 5439  
 SHEET NUMBER: 1 OF 1

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FINNO ARCHITECTURE

19 LOWNDES ST. RENOVATION  
 CHARLESTON, S.C. 29401

BAR 11/20/19



SURVEY

A002

1459 Short Enoch Blvd., Suite 202  
 Mt. Pleasant, SC 29464

CONTEXT PHOTOS



NORTH ELEVATION FACING LOWNDES STREET



EAST ELEVATION - NOTE PAIR OF WINDOWS TO BE MOVED



WEST ELEVATION



SOUTH / REAR ELEVATION - DOOR & OVERHANG AT RIGHT TO BE CHANGED; DECK TO BE EXTENDED



VISIBILITY OF REAR OF HOUSE FROM LIMEHOUSE STREET



VISIBILITY OF HOUSE FROM SOUTH BATTERY



FENNO ARCHITECTURE

1459 Stuart Estate Blvd, Suite 202  
Mt. Pleasant, SC 29464

19 LOWNDES ST.  
RENOVATION  
CHARLESTON, S.C. 29401

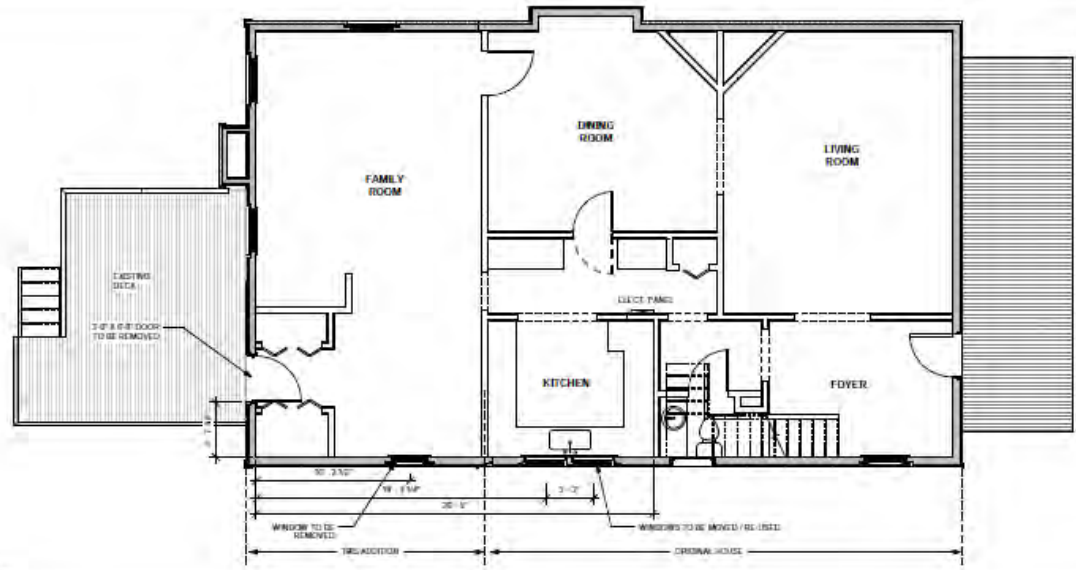
BAR  
11/20/19



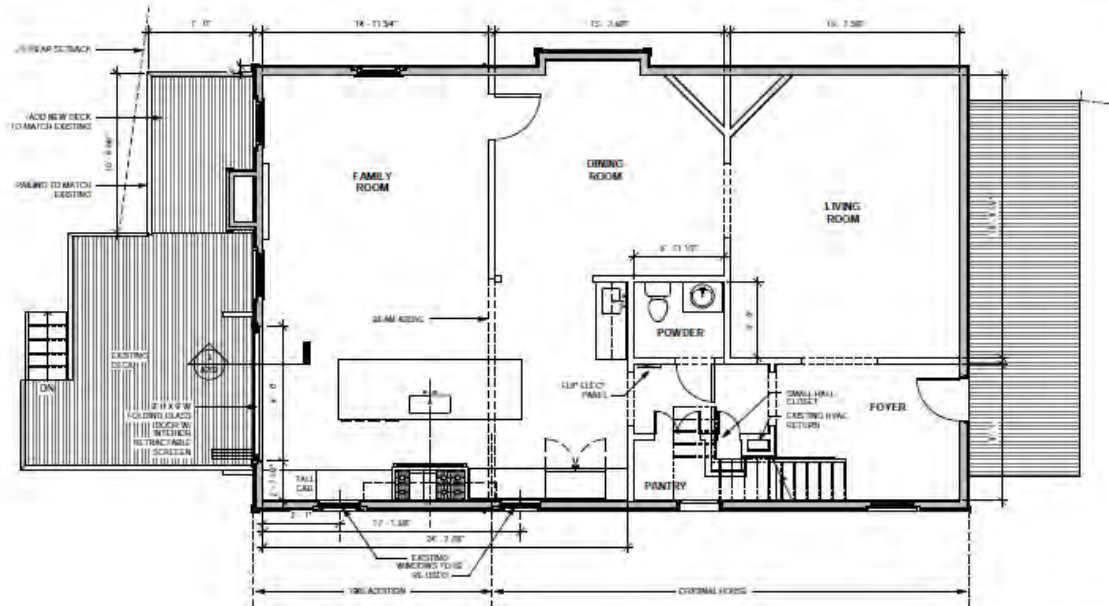
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CONTEXT  
PHOTOS

A003



1 FIRST FLOOR EXISTING  
1/4" = 1'-0"



2 FIRST FLOOR PROPOSED  
1/4" = 1'-0"



TENNO ARCHITECTURE

1459 Stuart English Blvd, Suite 202  
Mt. Pleasant, SC 29464

19 LOWMEDES ST.  
RENOVATION  
CHARLESTON, S.C. 29401

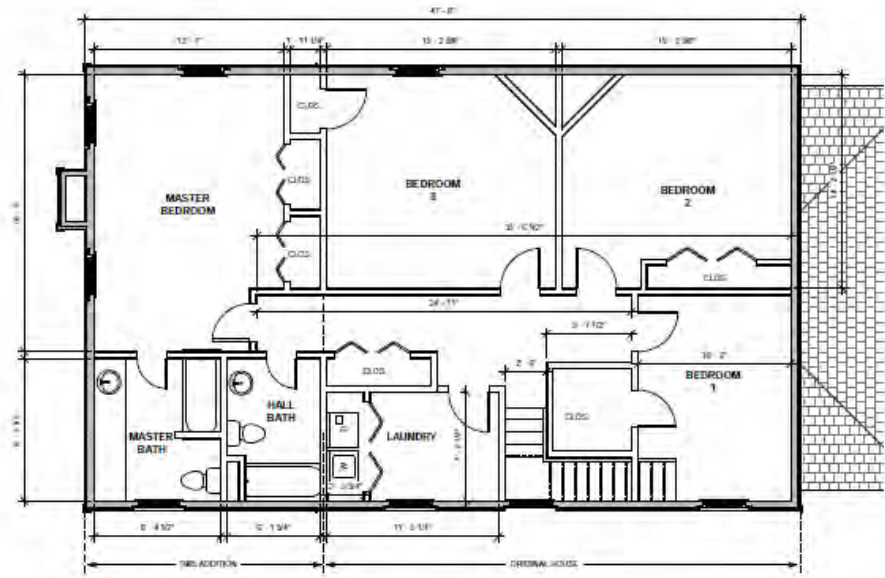
BAR  
11/20/19



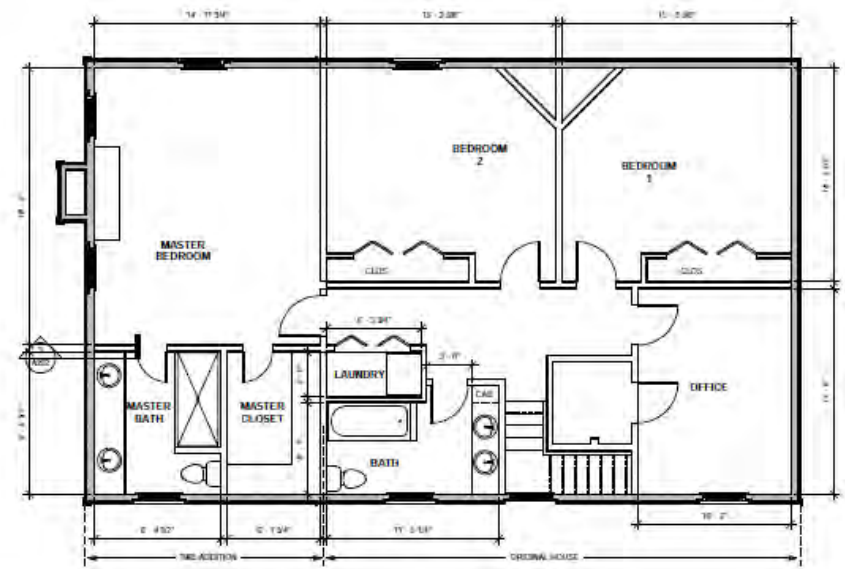
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FIRST FLOOR

A101



1 SECOND FLOOR EXISTING  
1/4" = 1'-0"



2 SECOND FLOOR PROPOSED  
1/4" = 1'-0"



TENNO ARCHITECTURE

1459 Stuart English Blvd, Suite 202  
Mt. Pleasant, SC 29464

19 LOWMDES ST.  
RENOVATION

CHARLESTON, S.C. 29401

BAR

11/20/19



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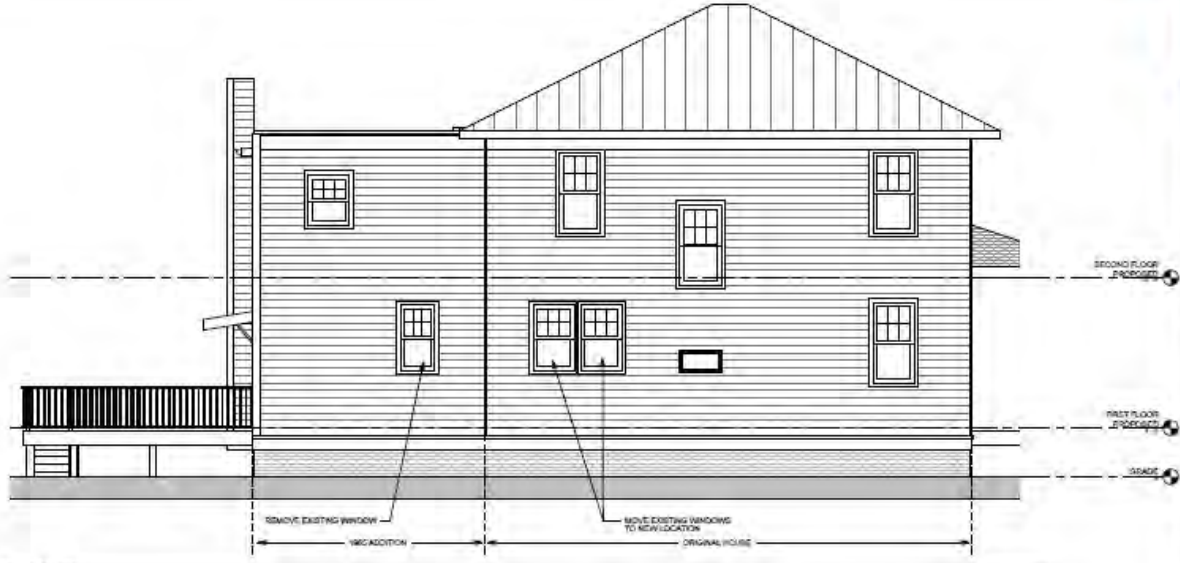
SECOND FLOOR

A102

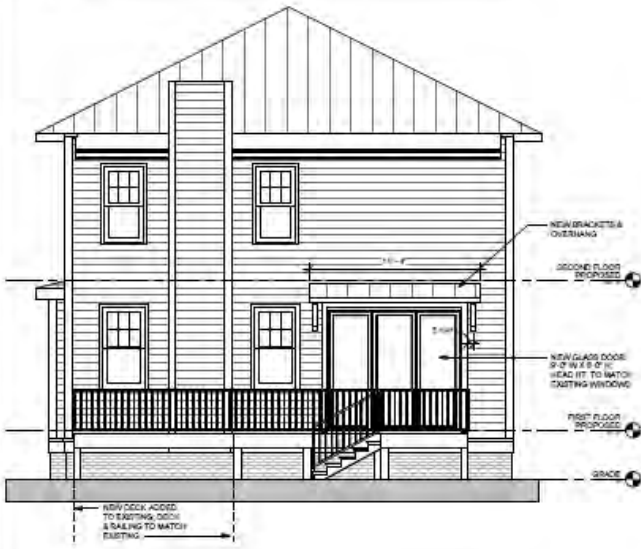




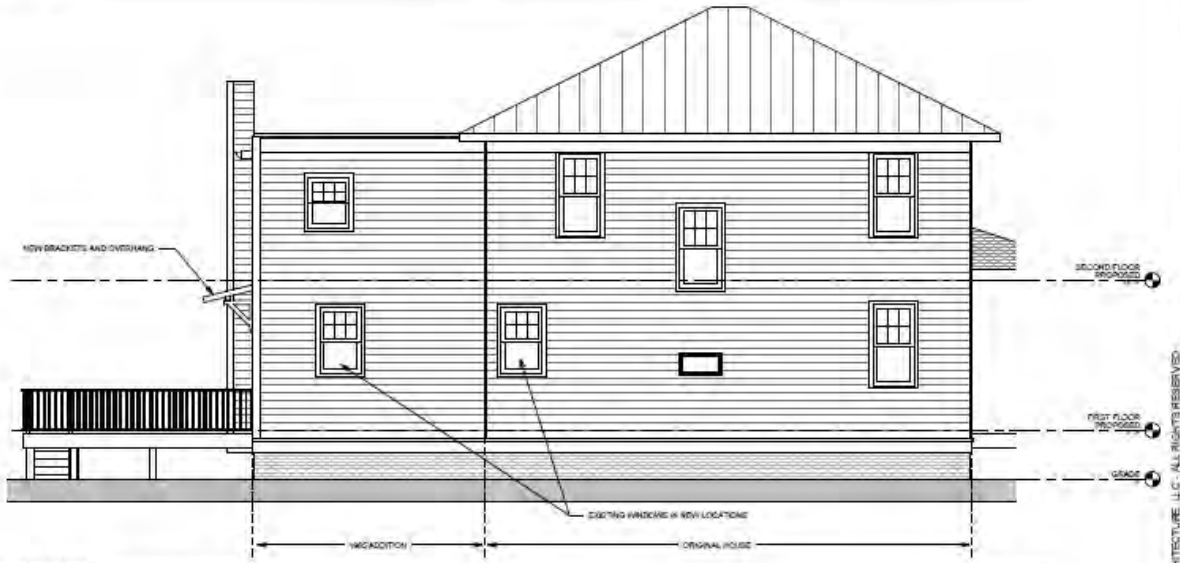
1 SOUTH EXISTING  
1/4" = 1'-0"



2 EAST EXISTING  
1/4" = 1'-0"



3 SOUTH PROPOSED  
1/4" = 1'-0"



4 EAST PROPOSED  
1/4" = 1'-0"



TENNO ARCHITECTURE

1439 Short Earth Blvd, Suite 202  
Mt. Pleasant, SC 29464

19 LOWMDES ST.  
RENOVATION  
CHARLESTON, SC 29401

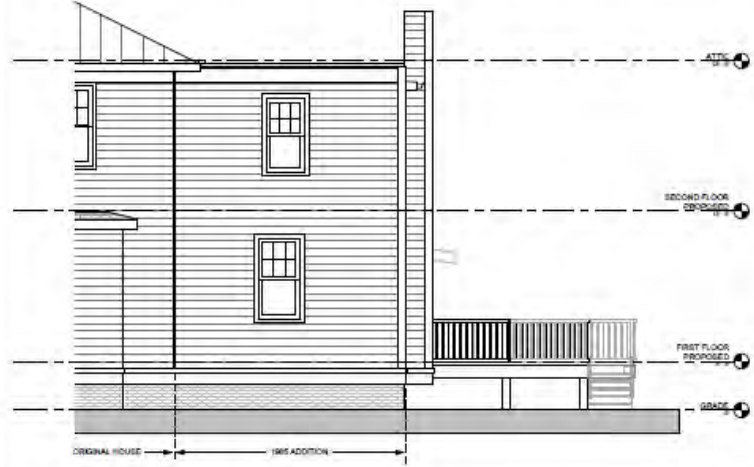
BAR  
11/20/19



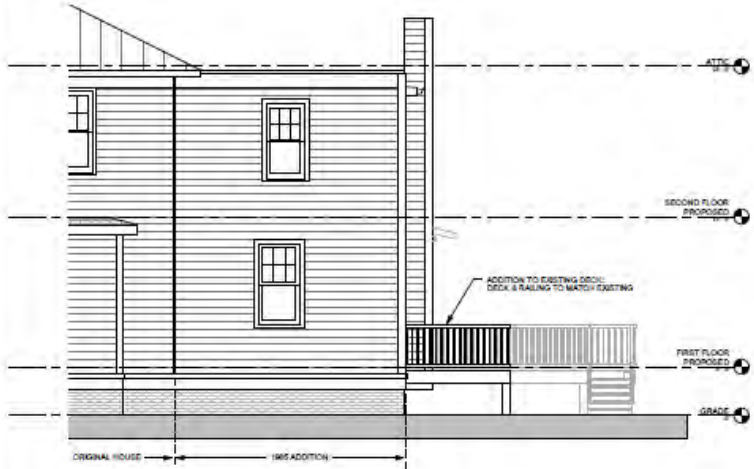
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EXTERIOR  
ELEVATIONS

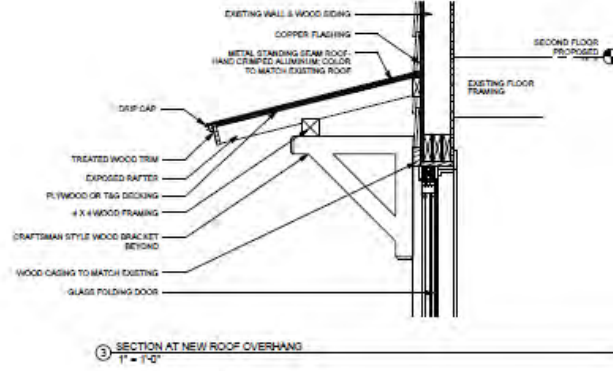
A201



1 WEST EXISTING  
1/4" = 1'-0"



2 WEST PROPOSED  
1/4" = 1'-0"



4 EXTERIOR



TENNO ARCHITECTURE

1459 Stuart Esplanade Blvd, Suite 202  
Mt. Pleasant, SC 29464

19 LOWMEDES ST.  
RENOVATION  
CHARLESTON, SC 29401

BAR  
11/20/19



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EXTERIOR  
ELEVATIONS,  
PERSPECTIVES  
& DETAILS

A202



# Agenda Item #6

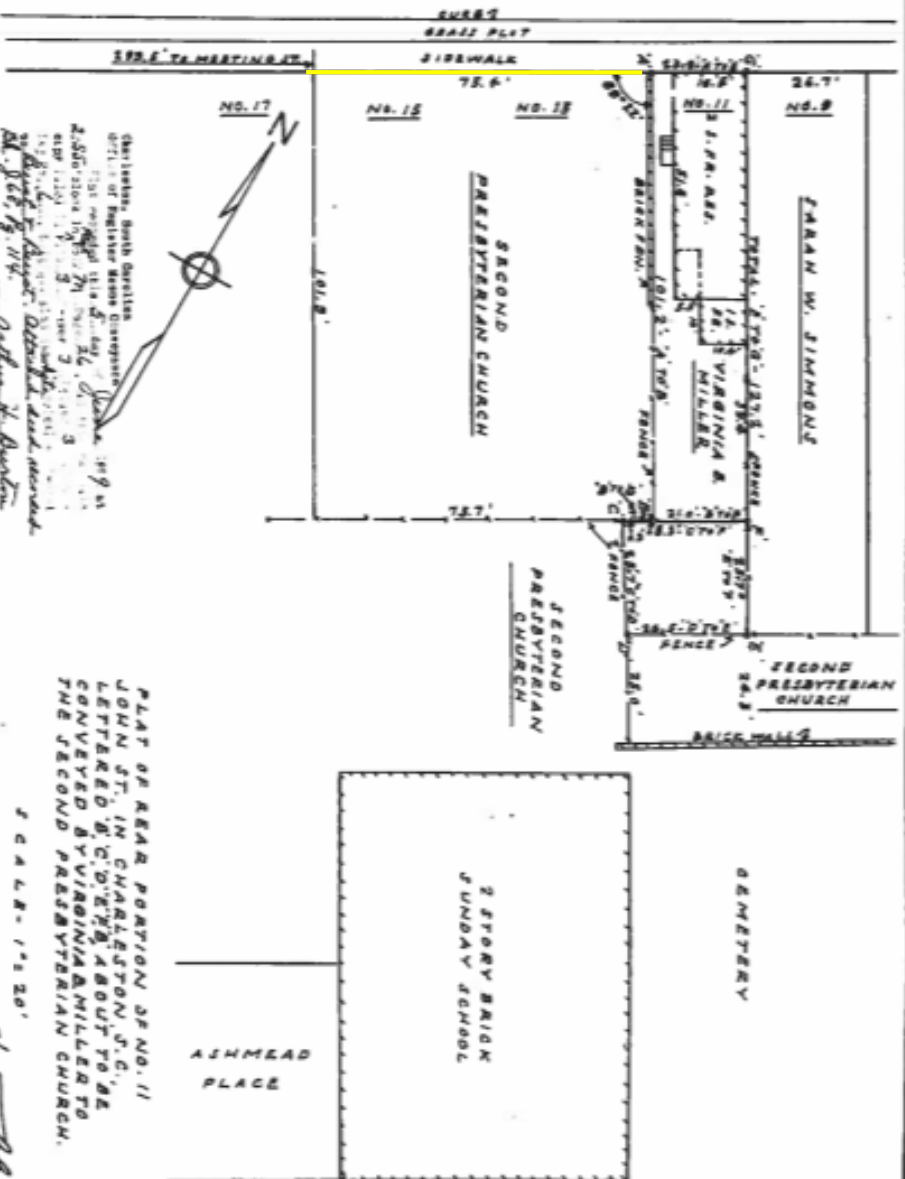
---

13 JOHN / 342 MEETING STREET  
TMS # 459-13-01-001

Requesting after-the-fact approval to install wood  
privacy fence for school on John Street

Category 1 / Mazyck-Wraggborough / c.1811 / Old and Historic District

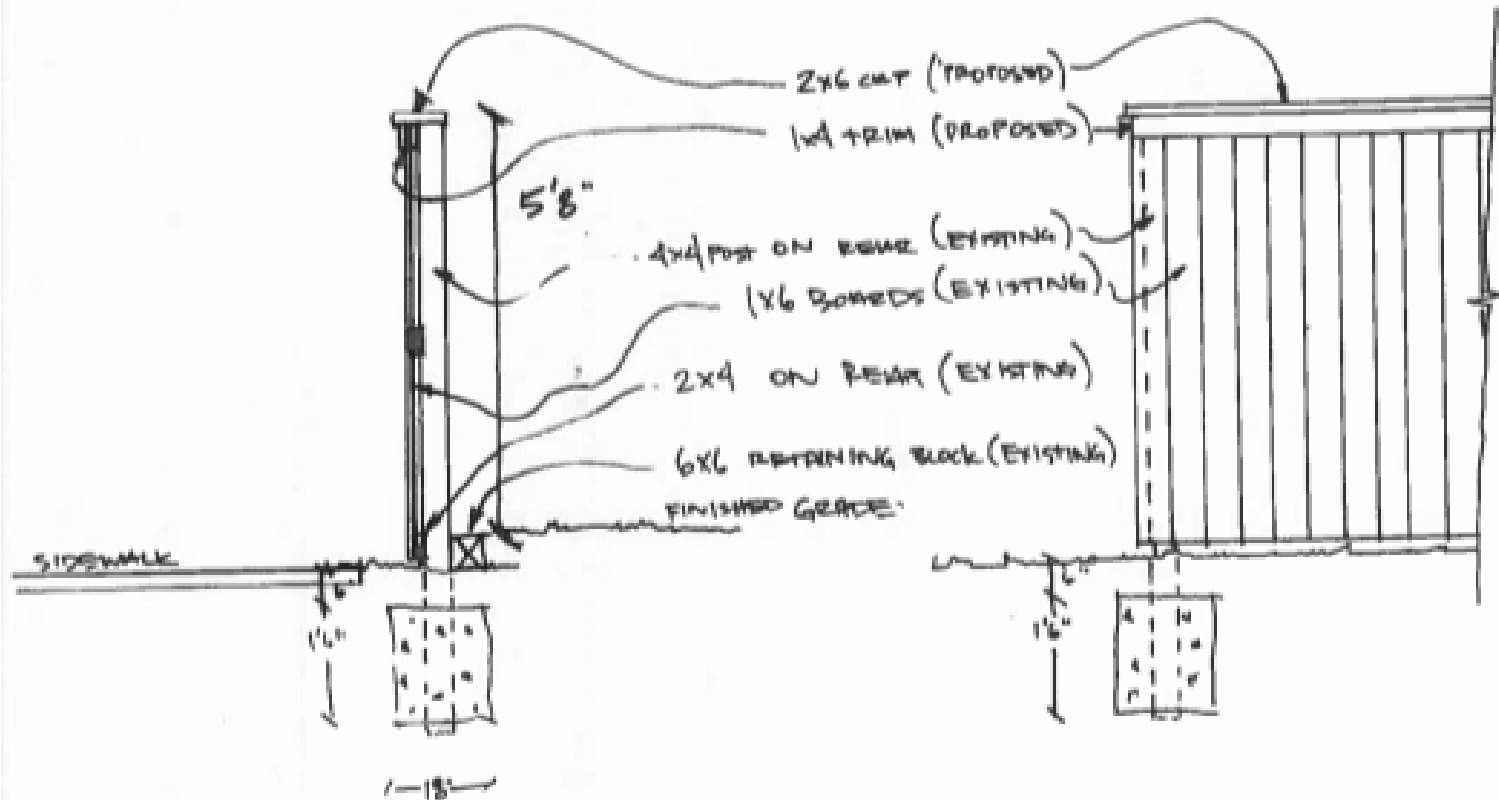
JOHN STREET



Character, South Quarter  
of the City of Charleston  
City of Charleston  
No. 17  
No. 16  
No. 15  
No. 14  
No. 13  
No. 12  
No. 11  
No. 10  
No. 9  
No. 8

PLAT OF REAR PORTION OF NO. 11  
JOHN ST. IN CHARLESTON, S. C.,  
LETTERED 'B. C. D. E. F. G. H. I. J. K. L. M. N. O. P. Q. R. S. T. U. V. W. X. Y. Z. AA. AB. AC. AD. AE. AF. AG. AH. AI. AJ. AK. AL. AM. AN. AO. AP. AQ. AR. AS. AT. AU. AV. AW. AX. AY. AZ. BA. BB. BC. BD. BE. BF. BG. BH. BI. BJ. BK. BL. BM. BN. BO. BP. BQ. BR. BS. BT. BU. BV. BW. BX. BY. BZ. CA. CB. CC. CD. CE. CF. CG. CH. CI. CJ. CK. CL. CM. CN. CO. CP. CQ. CR. CS. CT. CU. CV. CW. CX. CY. CZ. DA. DB. DC. DD. DE. DF. DG. DH. DI. DJ. DK. DL. DM. DN. DO. DP. DQ. DR. DS. DT. DU. DV. DW. DX. DY. DZ. EA. EB. EC. ED. EE. EF. EG. EH. EI. EJ. EK. EL. EM. EN. EO. EP. EQ. ER. ES. ET. EU. EV. EW. EX. EY. EZ. FA. FB. FC. FD. FE. FF. FG. FH. FI. FJ. FK. FL. FM. FN. FO. FP. FQ. FR. FS. FT. FU. FV. FW. FX. FY. FZ. GA. GB. GC. GD. GE. GF. GG. GH. GI. GJ. GK. GL. GM. GN. GO. GP. GQ. GR. GS. GT. GU. GV. GW. GX. GY. GZ. HA. HB. HC. HD. HE. HF. HG. HH. HI. HJ. HK. HL. HM. HN. HO. HP. HQ. HR. HS. HT. HU. HV. HW. HX. HY. HZ. IA. IB. IC. ID. IE. IF. IG. IH. II. IJ. IK. IL. IM. IN. IO. IP. IQ. IR. IS. IT. IU. IV. IW. IX. IY. IZ. JA. JB. JC. JD. JE. JF. JG. JH. JI. JJ. JK. JL. JM. JN. JO. JP. JQ. JR. JS. JT. JU. JV. JW. JX. JY. JZ. KA. KB. KC. KD. KE. KF. KG. KH. KI. KJ. KL. KM. KN. KO. KP. KQ. KR. KS. KT. KU. KV. KW. KX. KY. KZ. LA. LB. LC. LD. LE. LF. LG. LH. LI. LJ. LK. LL. LM. LN. LO. LP. LQ. LR. LS. LT. LU. LV. LW. LX. LY. LZ. MA. MB. MC. MD. ME. MF. MG. MH. MI. MJ. MK. ML. MN. MO. MP. MQ. MR. MS. MT. MU. MV. MW. MX. MY. MZ. NA. NB. NC. ND. NE. NF. NG. NH. NI. NJ. NK. NL. NM. NO. NP. NQ. NR. NS. NT. NU. NV. NW. NX. NY. NZ. OA. OB. OC. OD. OE. OF. OG. OH. OI. OJ. OK. OL. OM. ON. OO. OP. OQ. OR. OS. OT. OU. OV. OW. OX. OY. OZ. PA. PB. PC. PD. PE. PF. PG. PH. PI. PJ. PK. PL. PM. PN. PO. PP. PQ. PR. PS. PT. PU. PV. PW. PX. PY. PZ. QA. QB. QC. QD. QE. QF. QG. QH. QI. QJ. QK. QL. QM. QN. QO. QP. QQ. QR. QS. QT. QU. QV. QW. QX. QY. QZ. RA. RB. RC. RD. RE. RF. RG. RH. RI. RJ. RK. RL. RM. RN. RO. RP. RQ. RR. RS. RT. RU. RV. RW. RX. RY. RZ. SA. SB. SC. SD. SE. SF. SG. SH. SI. SJ. SK. SL. SM. SN. SO. SP. SQ. SR. SS. ST. SU. SV. SW. SX. SY. SZ. TA. TB. TC. TD. TE. TF. TG. TH. TI. TJ. TK. TL. TM. TN. TO. TP. TQ. TR. TS. TU. TV. TW. TX. TY. TZ. UA. UB. UC. UD. UE. UF. UG. UH. UI. UJ. UK. UL. UM. UN. UO. UP. UQ. UR. US. UT. UY. UZ. VA. VB. VC. VD. VE. VF. VG. VH. VI. VJ. VK. VL. VM. VN. VO. VP. VQ. VR. VS. VT. VU. VV. VW. VX. VY. VZ. WA. WB. WC. WD. WE. WF. WG. WH. WI. WJ. WK. WL. WM. WN. WO. WP. WQ. WR. WS. WT. WY. WZ. XA. XB. XC. XD. XE. XF. XG. XH. XI. XJ. XK. XL. XM. XN. XO. XP. XQ. XR. XS. XT. XU. XV. XW. XX. XY. XZ. YA. YB. YC. YD. YE. YF. YG. YH. YI. YJ. YK. YL. YM. YN. YO. YP. YQ. YR. YS. YT. YU. YV. YW. YX. YY. YZ. ZA. ZB. ZC. ZD. ZE. ZF. ZG. ZH. ZI. ZJ. ZK. ZL. ZM. ZN. ZO. ZP. ZQ. ZR. ZS. ZT. ZU. ZV. ZW. ZX. ZY. ZZ.

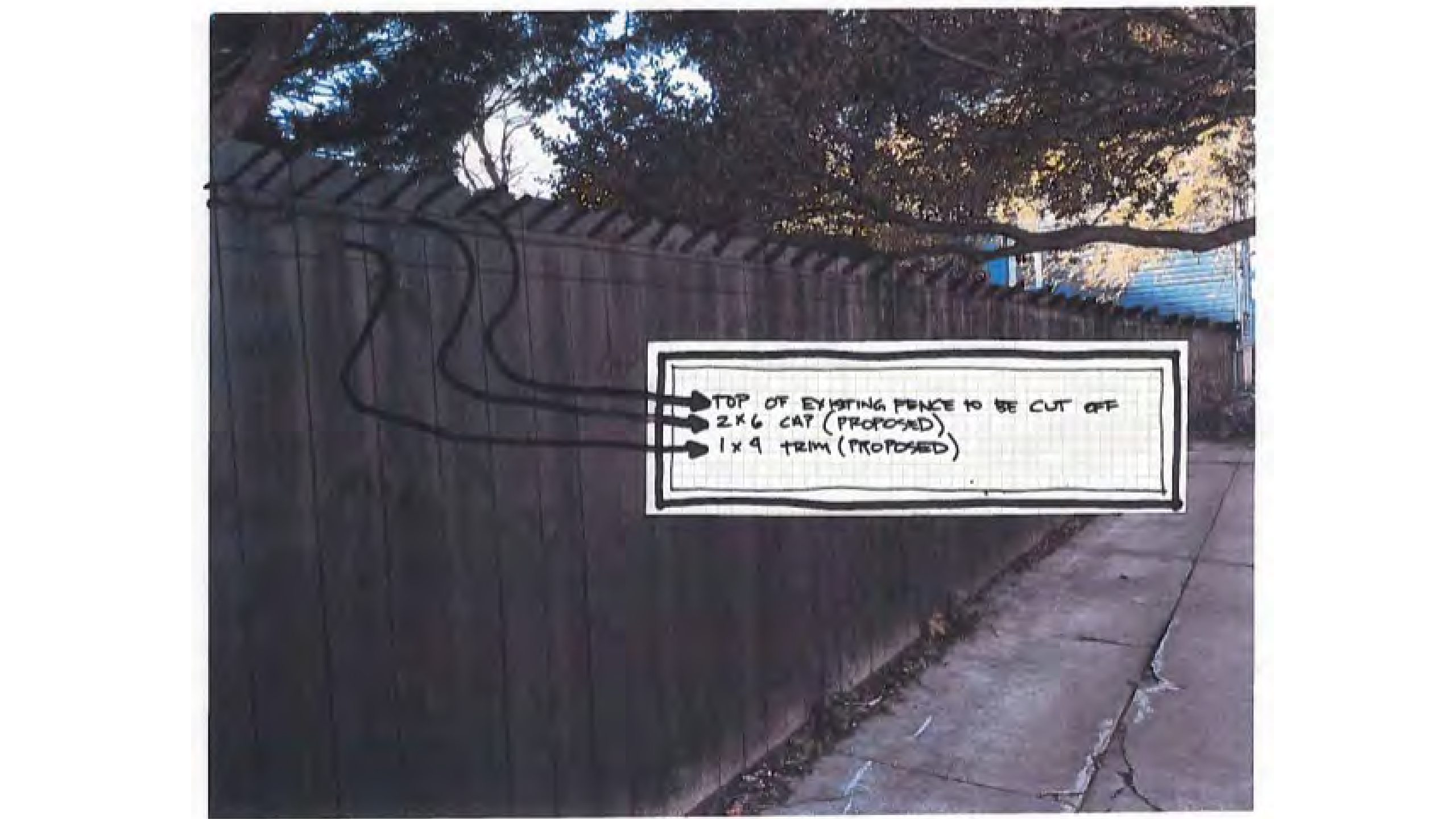
S. G. A. L. R. - 1" = 20'  
SURVEYED - 3-7-59  
RECORDED - 4-11-59  
RECORDED - 4-11-59



WOOD FENCE

1/2" = 1'

13 JOHN ST



TOP OF EXISTING FENCE TO BE CUT OFF  
2x6 CAP (PROPOSED)  
1x9 TRIM (PROPOSED)





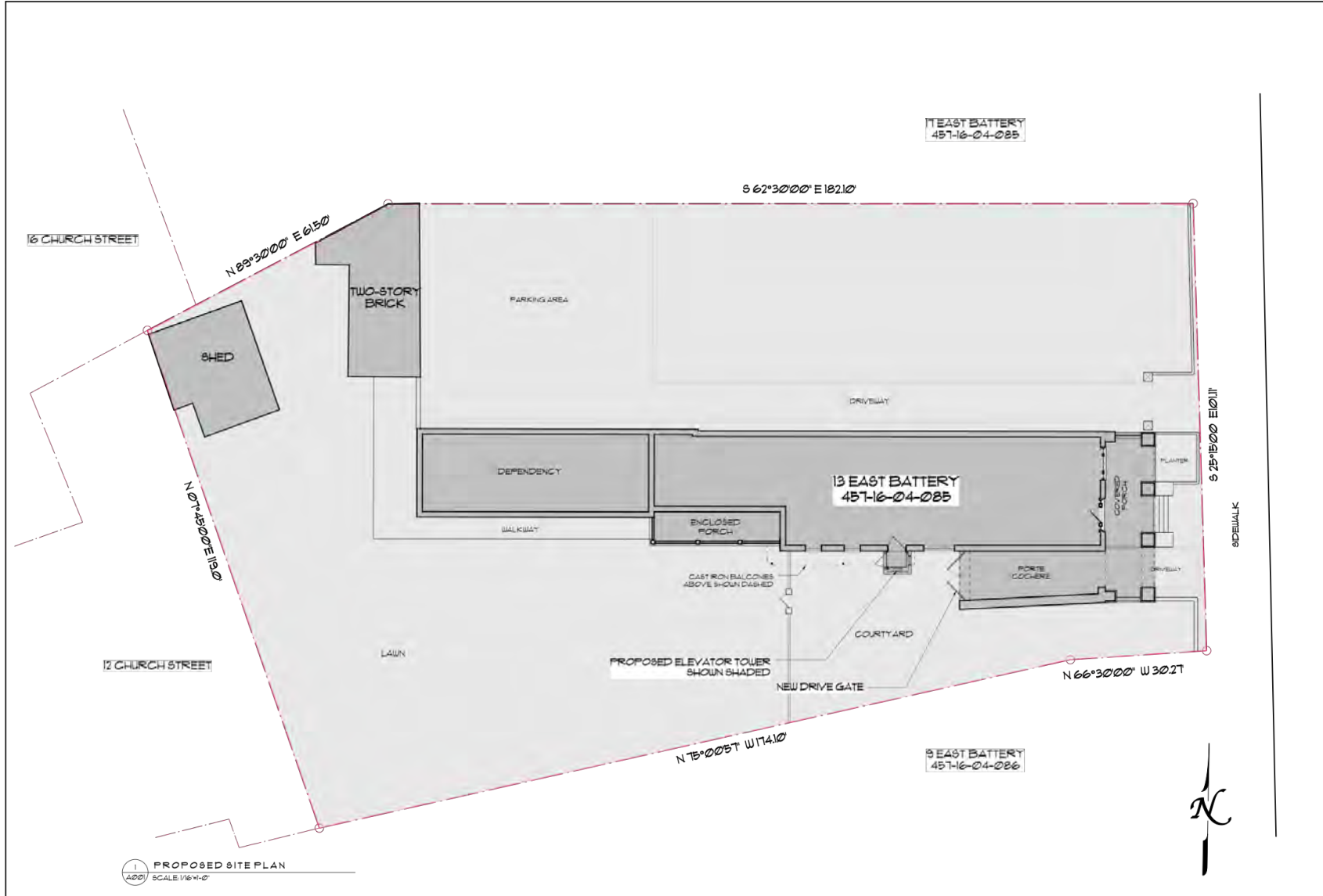
# Agenda Item #7

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13 EAST BATTERY - WILLIAM RAVENEL HOUSE  
TMS # 457-16-04-085

Requesting conceptual approval for the reconstruction of the east portico and new construction of elevator tower on south façade in existing doorways.

Category 2/ Charlestowne / c.1845 / Old and Historic District



1 PROPOSED SITE PLAN  
 SCALE 1/16"=1'-0"

Glenn Keyes  
 Architects  
 12 Vandenberg Street  
 Charleston, South Carolina  
 (843) 722-4100  
 www.glennkeyesarchitects.com



13 EAST BATTERY  
 William Ravenel House  
 Charleston, South Carolina

SITE PLAN

REV	DATE
PROJECT NUMBER	1304
DRAWING DATE	12/17/13
SHEET NUMBER	A001





1 EAST ELEVATION  
P-1 NO SCALE



2 EAST ELEVATION  
P-1 NO SCALE



3 c.1870s  
P-1 NO SCALE



4 c.1886  
P-1 NO SCALE



5 c.1930s  
P-1 NO SCALE

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13 EAST BATTERY  
William Ravenel House  
Charleston, South Carolina

PHOTOS

REV	DATE

PROJECT NUMBER  
1904

DRAWING DATE  
12/17/19

SHEET NUMBER  
P-1



1 SOUTH ELEVATION OVERALL  
P-2 NO SCALE



1 PARTIAL SOUTH ELEVATION  
P-2 NO SCALE



1 LOCATION OF PROPOSED ELEVATOR TOWER  
P-2 NO SCALE



1 PASSAGE TO FRONT-LOCATION OF PROPOSED DRIVE GATES  
P-2 NO SCALE

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Charleston, SC 29403  
www.glennkeyesarchitects.com

13 EAST BATTERY  
*William Ravenel House*  
Charleston, South Carolina

PHOTOS

REV.	DATE
PROJECT NUMBER 1904	
DRAWING DATE 12/17/19	
SHEET NUMBER P-2	



1  
EA201  
EXISTING EAST ELEVATION  
SCALE 3/8"=1'-0"

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13 EAST BATTERY  
William Ravenel House  
Charleston, South Carolina

EXISTING EAST  
ELEVATION

REV.	DATE

PROJECT NUMBER  
1904

DRAWING DATE  
12/17/19

SHEET NUMBER  
EA201



1 HISTORIC PHOTO—AFTER EARTHQUAKE  
NO SCALE



2 HISTORIC PHOTO—BEFORE EARTHQUAKE  
NO SCALE



1 PROPOSED EAST ELEVATION  
SCALE: 3/8"=1'-0"

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13 EAST BATTERY  
William Ravenel House  
Charleston, South Carolina

PROPOSED  
EAST ELEVATION

REV	DATE

PROJECT NUMBER 1904  
DRAWING DATE 12/17/19  
SHEET NUMBER  
**A201**



1  
A202  
PROPOSED SOUTH ELEVATION  
SCALE 3/8"=1'-0"

REV.	DATE

PROJECT NUMBER  
1304

DRAWING DATE  
12/17/13

SHEET NUMBER  
**A202**

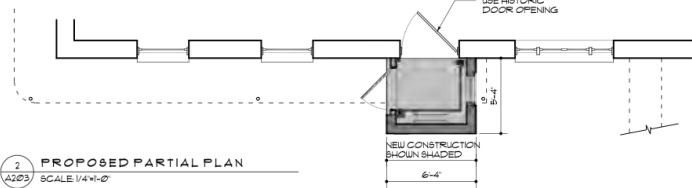
PROPOSED  
PORTICO  
SIDE ELEVATION

13 EAST BATTERY  
*William Ravenel House*  
Charleston, South Carolina

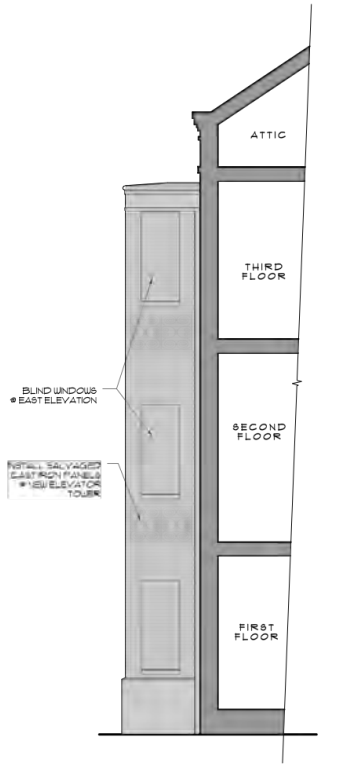
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1 PROPOSED SOUTH ELEVATION  
A203 SCALE 1/4"=1'-0"



2 PROPOSED PARTIAL PLAN  
A203 SCALE 1/4"=1'-0"



3 PROPOSED EAST ELEVATION  
A203 SCALE 1/4"=1'-0"

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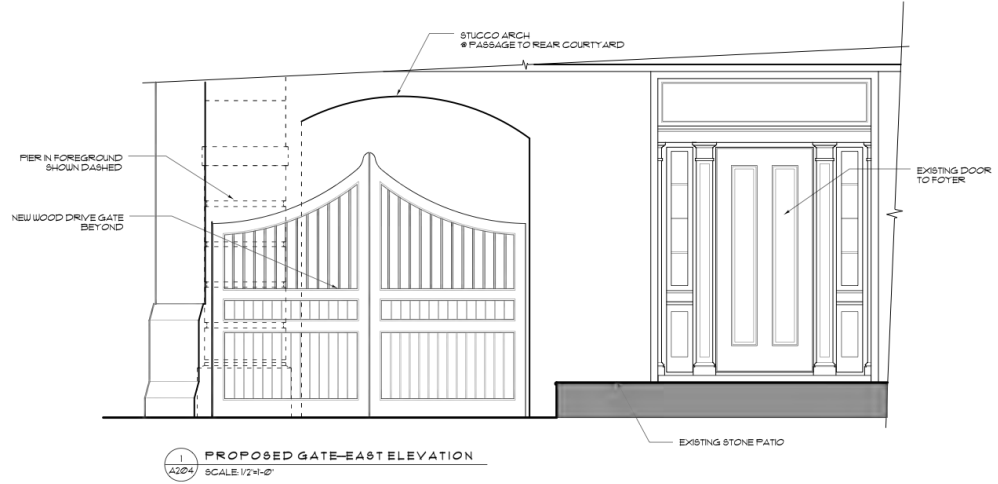
13 EAST BATTERY  
William Kavenel House  
Charleston, South Carolina

PROPOSED ELEVATIONS

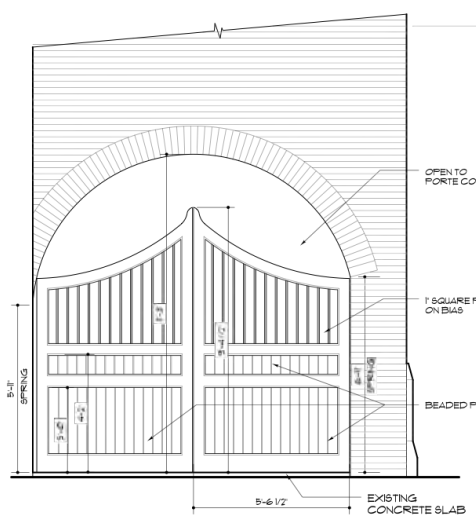
REV	DATE

PROJECT NUMBER 1904  
DRAWING DATE 12/17/19  
SHEET NUMBER A203





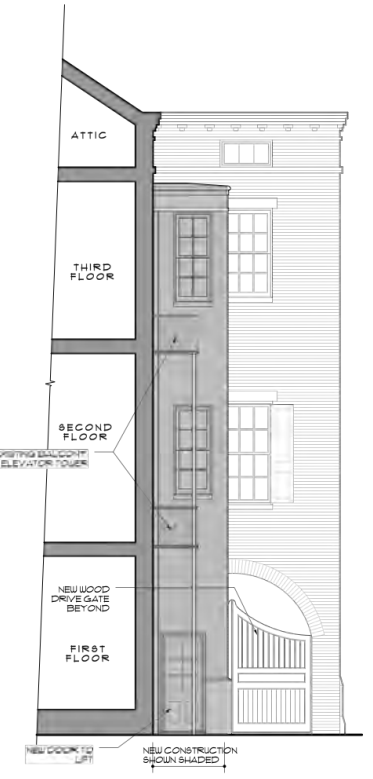
1  
A204  
PROPOSED GATE—EAST ELEVATION  
SCALE 1/2"=1'-0"



2  
A204  
PROPOSED GATE—WEST ELEVATION  
SCALE 1/2"=1'-0"



3  
A204  
PORTE COCHERE  
SCALE 1/2"=1'-0"



4  
A204  
PROPOSED WEST ELEVATION  
SCALE 1/4"=1'-0"

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13 EAST BATTERY  
William Ravenel House  
Charleston, South Carolina

DRIVE GATE  
ELEVATION

REV.	DATE
PROJECT NUMBER 1304	
DRAWING DATE 12/17/19	
SHEET NUMBER A204	



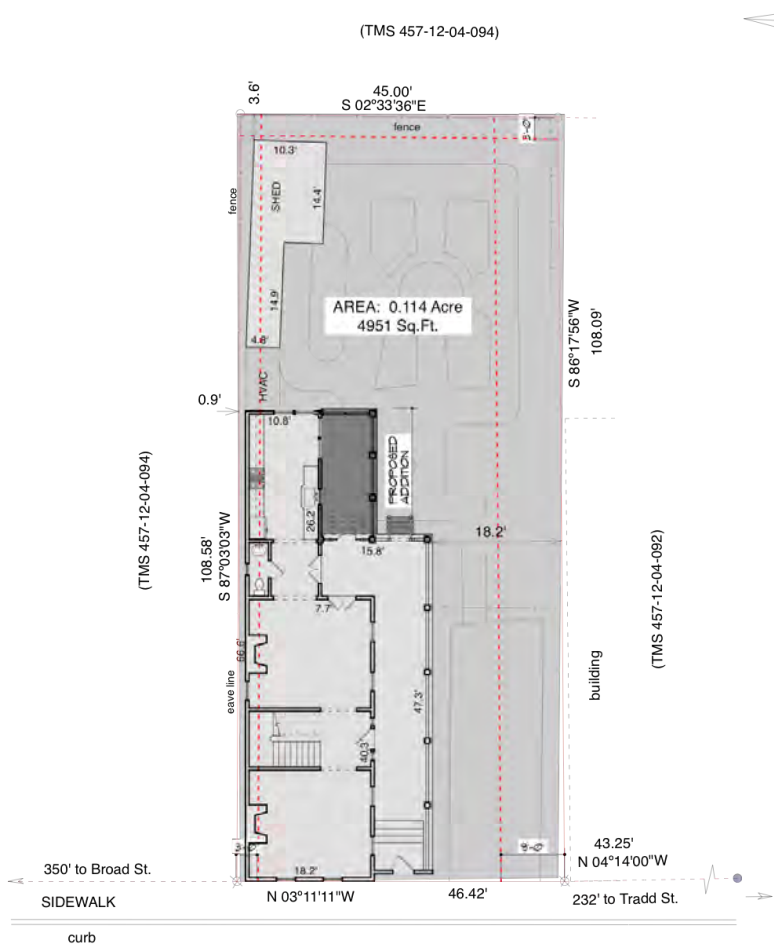
# Agenda Item #8

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44 LEGARE STREET  
TMS # 457-12-04-093

Requesting conceptual approval for the extension the gable roofline over rear addition;  
extension of piazza under addition; screening first floor piazza addition;  
and enclosing second floor piazza addition.

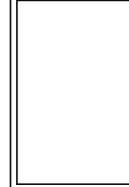
Category 3 / Charlestowne / c.1865 / Old and Historic District



1 SITE PLAN  
SCALE 1/8"=1'-0"

LEGARE STREET (34' R/W)

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Charleston, SC 29405  
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44 Legare Street  
Charleston, South Carolina

SITE PLAN

REV	DATE

PROJECT NUMBER  
1305

DRAWING DATE  
12/9/19

SHEET NUMBER  
A001



1 LEGARE STREET ELEVATION  
NO SCALE



3 SOUTHWEST ELEVATION  
NO SCALE



2 AERIAL VIEW  
NO SCALE

AREA OF  
3rd FLOOR ADDITION  
& PIAZZA EXTENSION



4 VIEW OF ADDITION FROM DRIVEWAY  
NO SCALE

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44 Legare Street  
Charleston, South Carolina

EXISTING CONDITIONS  
PHOTOS

REV	DATE

PROJECT NUMBER 1925

DRAWING DATE 12/17/19

SHEET NUMBER P-1



1 EAST ELEVATION-ADDITION  
P-2 NO SCALE



2 PARTIAL SOUTH ELEVATION  
P-2 NO SCALE



3 PIAZZA EAST ELEVATION  
P-2 NO SCALE



4 NORTH ELEVATION  
P-2 NO SCALE

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Charleston, SC 29405  
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44 Legare Street  
Charleston, South Carolina

EXISTING CONDITIONS  
PHOTOS

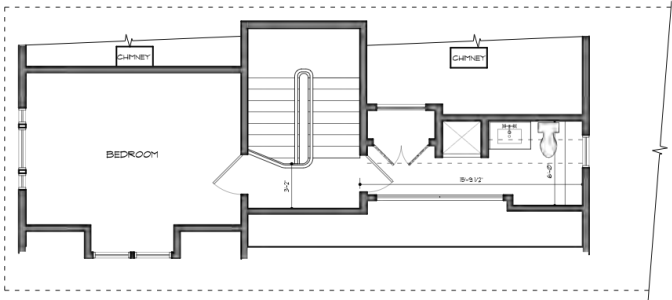
REV	DATE

PROJECT NUMBER 1905

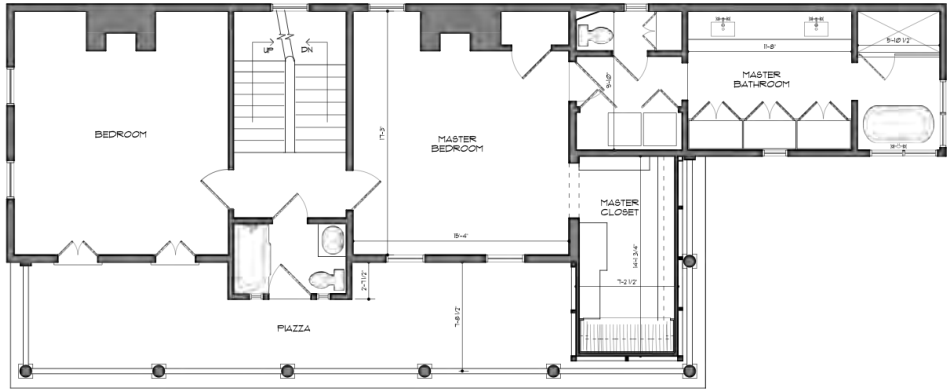
DRAWING DATE 12/17/19

SHEET NUMBER P-2

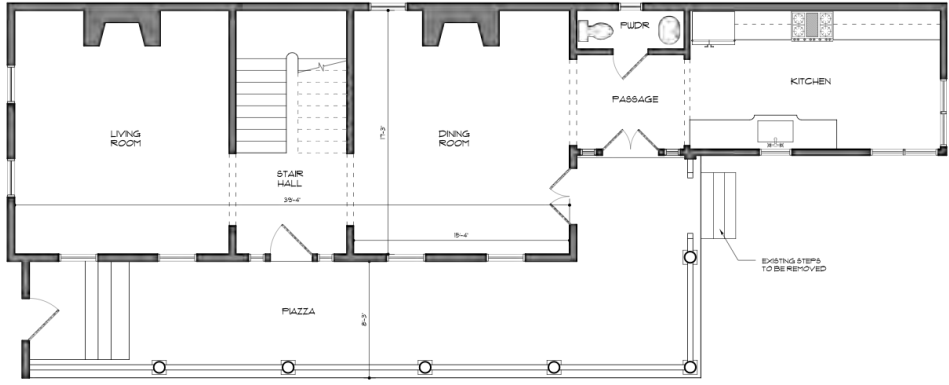
1 EXISTING ATTIC PLAN  
SCALE: 1/4"=1'-0"



2 EXISTING SECOND FLOOR PLAN  
SCALE: 1/4"=1'-0"



3 EXISTING FIRST FLOOR PLAN  
SCALE: 1/4"=1'-0"



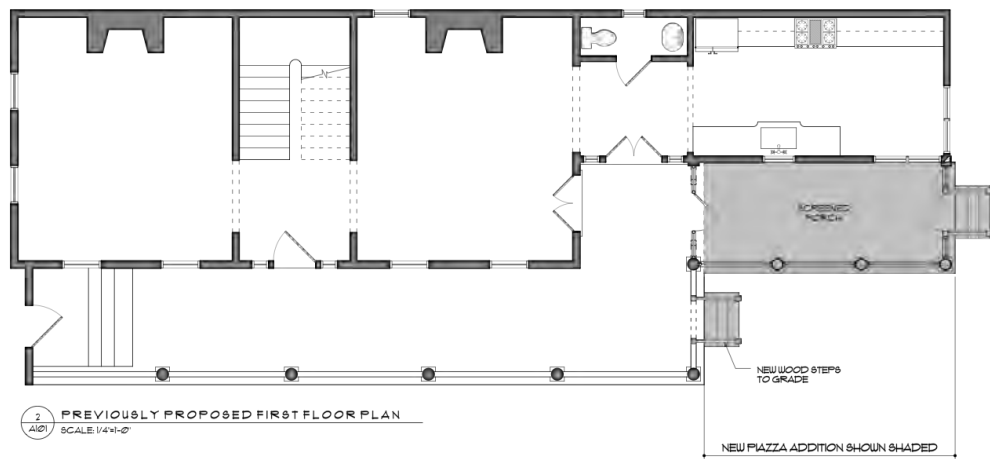
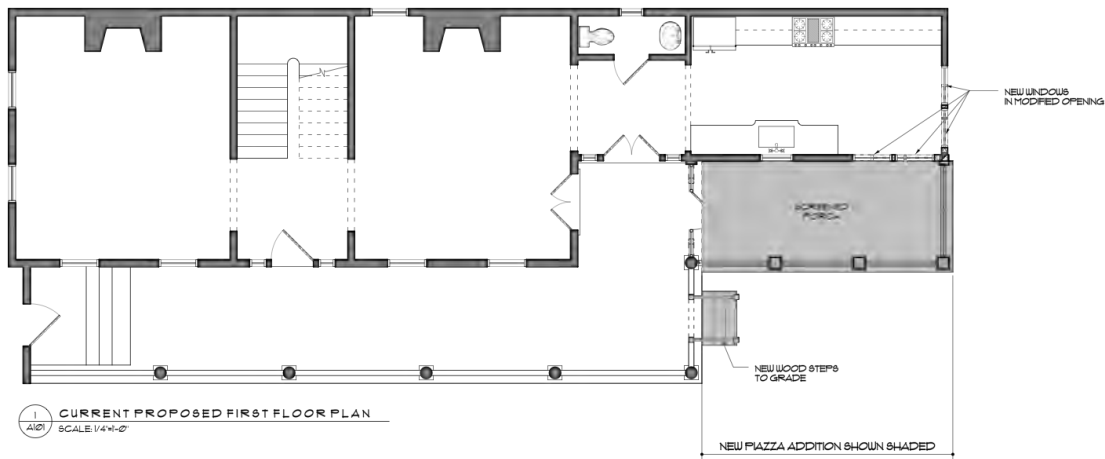
**EXISTING PLANS**

REV	DATE

PROJECT NUMBER  
1925

DRAWING DATE  
12/9/19

SHEET NUMBER  
**EA101**



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44 Legare Street  
Charleston, South Carolina

FIRST  
FLOOR PLAN

REV	DATE

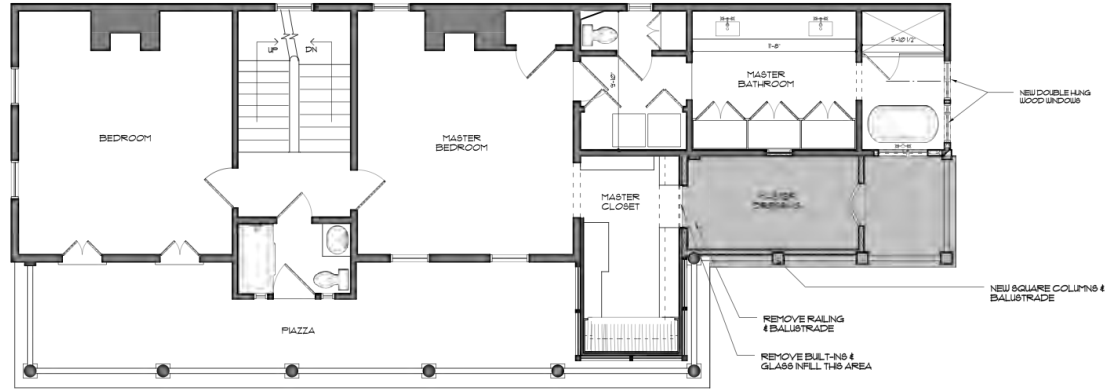
PROJECT NUMBER 1925

DRAWING DATE 12/3/13

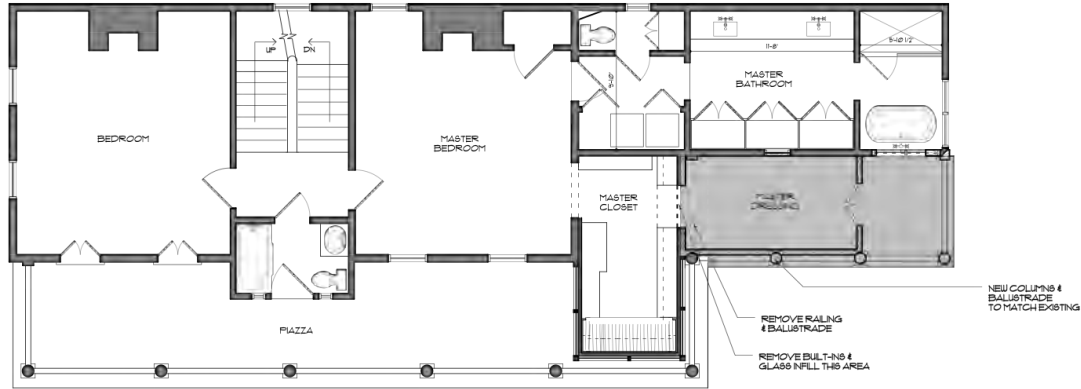
SHEET NUMBER

A101





1 CURRENT PROPOSED SECOND FLOOR PLAN  
SCALE: 1/4"=1'-0"



2 PREVIOUSLY PROPOSED SECOND FLOOR PLAN  
SCALE: 1/4"=1'-0"

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Charleston, South Carolina

SECOND  
FLOOR PLAN

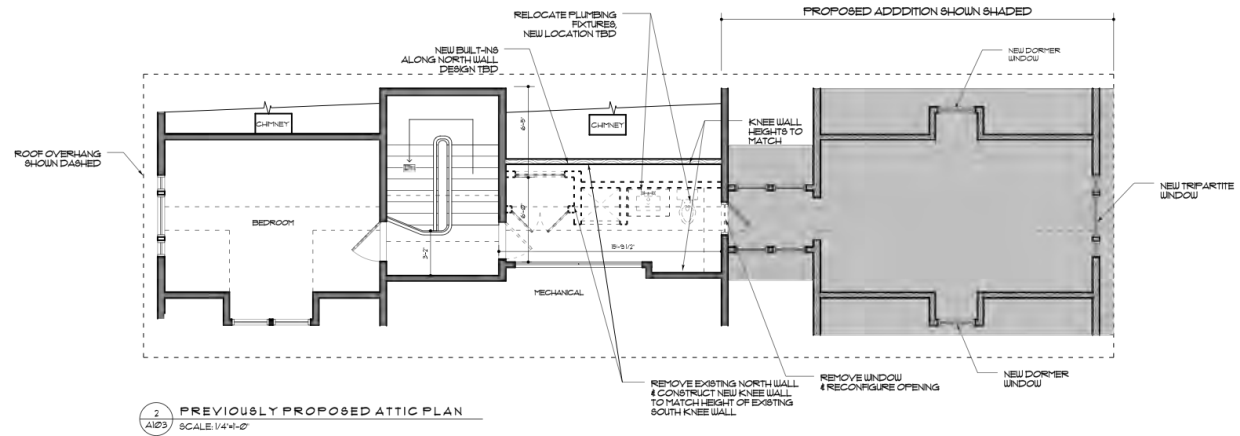
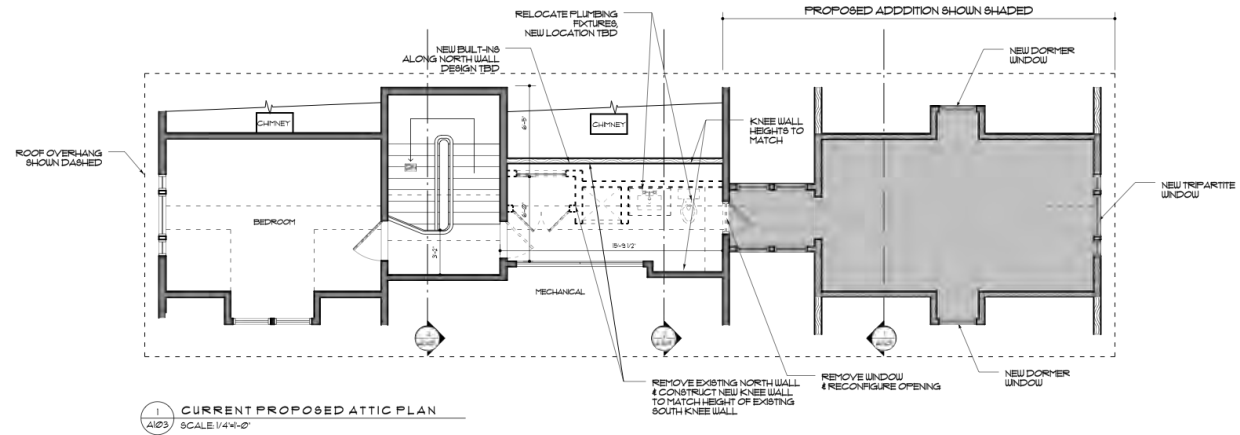
REV	DATE

PROJECT NUMBER 1925

DRAWING DATE 12/3/13

SHEET NUMBER

A102



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44 Legare Street  
Charleston, South Carolina

ATTIC FLOOR PLAN

REV	DATE

PROJECT NUMBER 1925

DRAWING DATE 12/3/18

SHEET NUMBER

A103



1 EXISTING SOUTH ELEVATION  
EA201 SCALE 1/4"=1'-0"

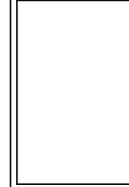


3 EXISTING NORTH ELEVATION  
EA203 SCALE 1/4"=1'-0"



2 EXISTING EAST ELEVATION  
EA202 SCALE 1/4"=1'-0"

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**44 Legare Street**  
Charleston, South Carolina

**EXISTING ELEVATIONS**

REV	DATE

PROJECT NUMBER 1905

DRAWING DATE 12/9/19

SHEET NUMBER EA201



1 CURRENT PROPOSED SOUTH ELEVATION  
SCALE 1/4"=1'-0"



2 PREVIOUSLY PROPOSED SOUTH ELEVATION  
SCALE 1/4"=1'-0"

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44 Legare Street  
Charleston, South Carolina

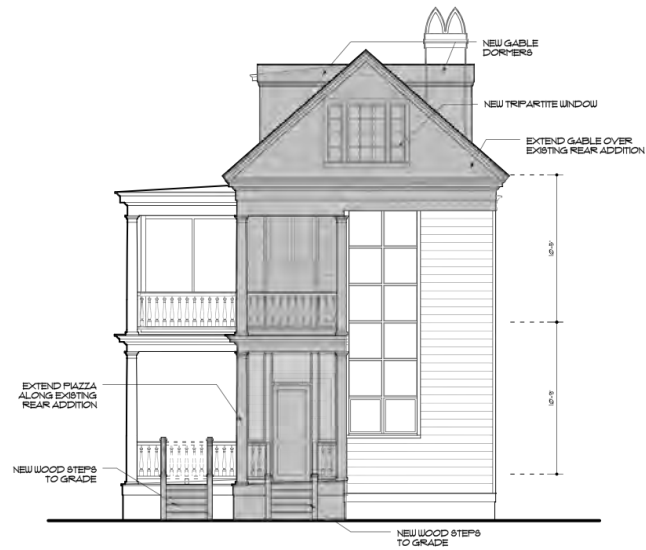
SOUTH ELEVATION

REV	DATE

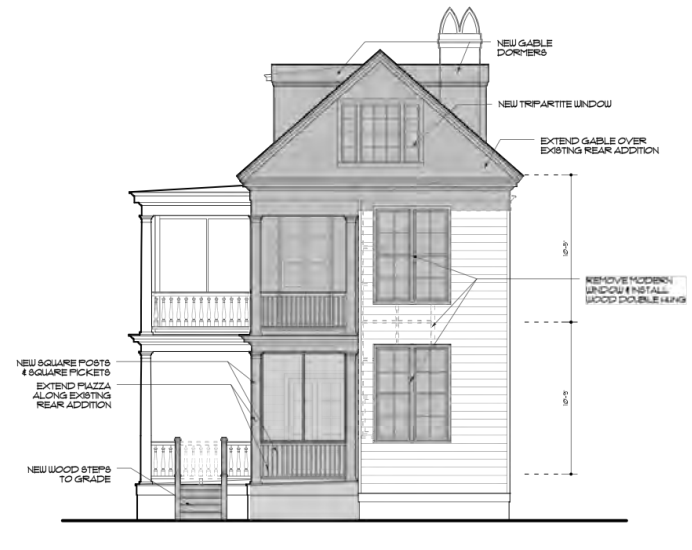
PROJECT NUMBER 1905

DRAWING DATE 12/9/19

SHEET NUMBER A201



1 PREVIOUSLY PROPOSED EAST ELEVATION  
SCALE: 1/4"=1'-0"



2 CURRENT PROPOSED EAST ELEVATION  
SCALE: 1/4"=1'-0"

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44 Legare Street  
Charleston, South Carolina

ELEVATIONS

REV.	DATE

PROJECT NUMBER 1925  
DRAWING DATE 12/9/19  
SHEET NUMBER A202



1 CURRENT PROPOSED NORTH ELEVATION  
SCALE 1/4"=1'-0"



2 PREVIOUSLY PROPOSED NORTH ELEVATION  
SCALE 1/4"=1'-0"

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 Charleston, SC 29403  
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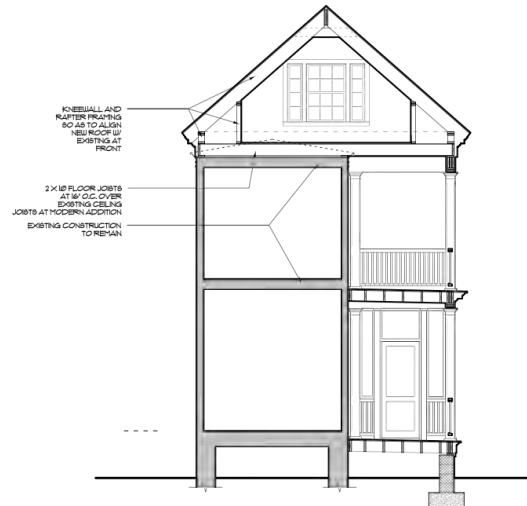
**44 Legare Street**  
 Charleston, South Carolina

**ELEVATIONS**

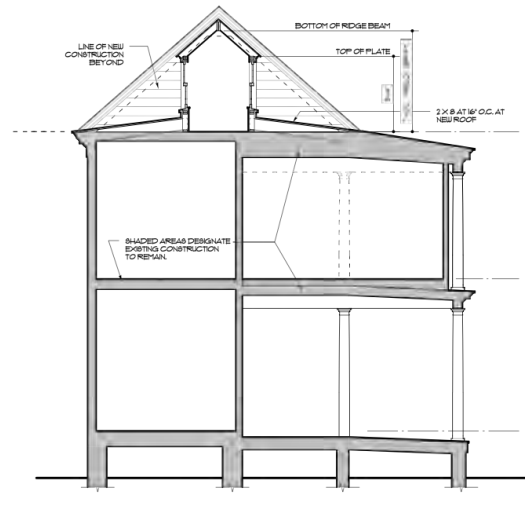
REV.	DATE

PROJECT NUMBER **1305**  
 DRAWING DATE **12/9/19**

SHEET NUMBER **A203**



1 BUILDING SECTION  
SCALE: 1/4"=1'-0"



2 BUILDING SECTION  
SCALE: 1/4"=1'-0"

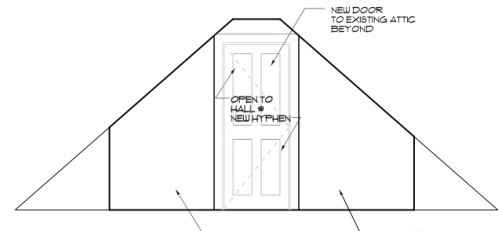
**Glenn Keyes Architects**  
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 Charleston, SC 29401  
 (843) 722-4100  
 www.glennkeyesarchitects.com



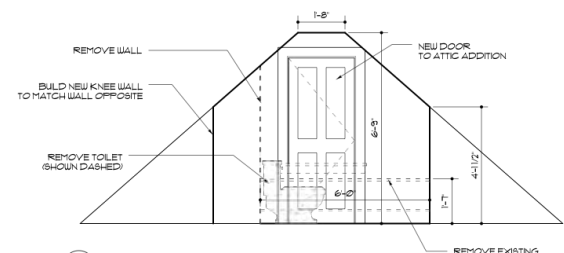
**44 Legare Street**  
 Charleston, South Carolina

**BUILDING SECTIONS**

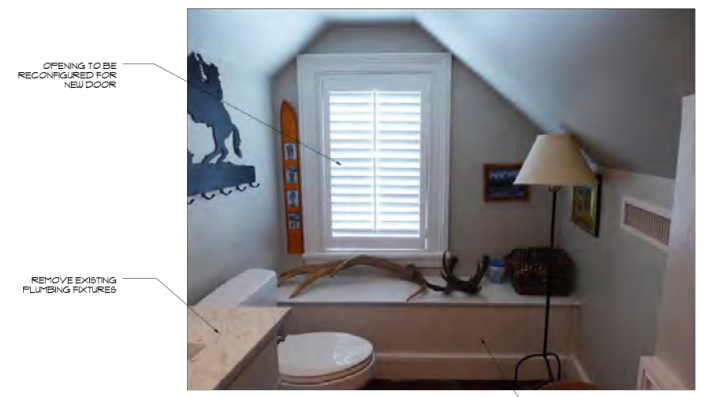
REV.	DATE
PROJECT NUMBER	1905
DRAWING DATE	12/3/13
SHEET NUMBER	<b>A301</b>



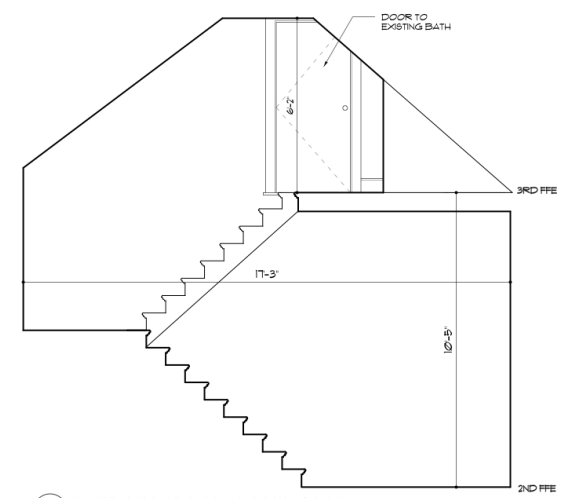
1 ATTIC SECTION-LOOKING WEST  
A302/ SCALE: 1/2"=1'-0"



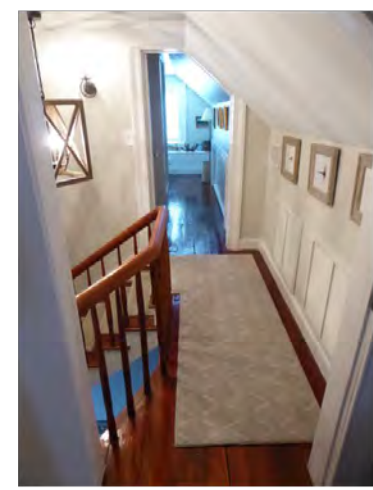
2 ATTIC SECTION-LOOKING EAST  
A302/ SCALE: 1/2"=1'-0"



3 ATTIC BATH  
A302/ NO SCALE

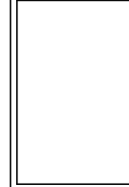


4 STAIR HALL SECTION-LOOKING EAST  
A302/ SCALE: 1/2"=1'-0"



5 STAIR HALL + ATTIC LANDING  
A302/ NO SCALE

**Glenn Keyes Architects**  
12 Vandenberg Street  
Charleston, SC 29405  
(843) 722-4100  
www.glennkeyesarchitects.com



**44 Legare Street**  
Charleston, South Carolina

**SECTIONS/  
INT. ELEVATIONS**

REV	DATE

PROJECT NUMBER 1925

DRAWING DATE 12/3/18

SHEET NUMBER  
**A302**





# Agenda Item #9

---

39 JOHN / 28 HUTSON STREET  
TMS # 460-16-02-014

Requesting conceptual approval for the installation of iron fencing and gates  
across the pedestrian alley adjoining John and Hutson Streets.

Categories 3,4 / Mazyck-Wraggborough / Old and Historic District



1 NORTH ELEVATION—CONTEXT  
A-1 NO SCALE



2 NORTH ELEVATION—FROM ALLEY  
A-1 NO SCALE



3 NORTH ELEVATION—FROM STREET  
A-1 NO SCALE

Glenn Keyes  
Architects

12 Vanderhorst Street  
Charleston, SC 29403  
(843) 722-4100  
www.glennkeyesarchitects.com

Proposed gates for  
**Hutson Alley**  
Charleston, South Carolina

PLAN & ELEVATION  
HUTSON STREET

REV	DATE

PROJECT NUMBER 1306  
DRAWING DATE 12/04/19  
SHEET NUMBER

A-1



1 SOUTH ELEVATION—CONTEXT  
A-2 NO SCALE



2 SOUTH ELEVATION—FROM ALLEY  
A-2 NO SCALE



3 SOUTH ELEVATION—FROM STREET  
A-2 NO SCALE

Glenn Keyes  
Architects

12 Vandenberg Street  
Charleston, SC 29403  
www.glennkeyesarchitects.com

Proposed gates for  
*Hutson Alley*  
Charleston, South Carolina

PLAN & ELEVATION  
JOHN STREET

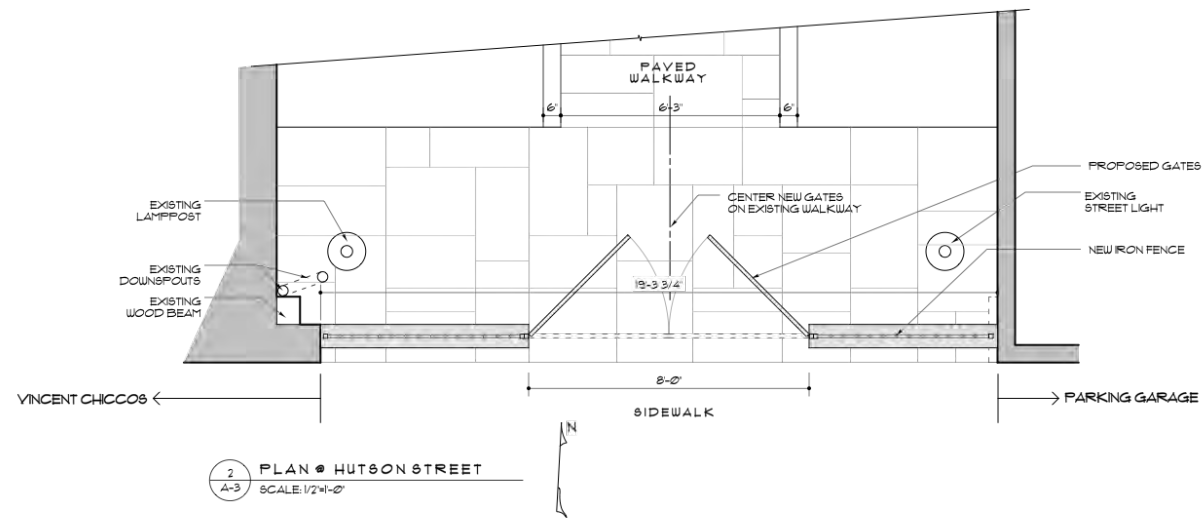
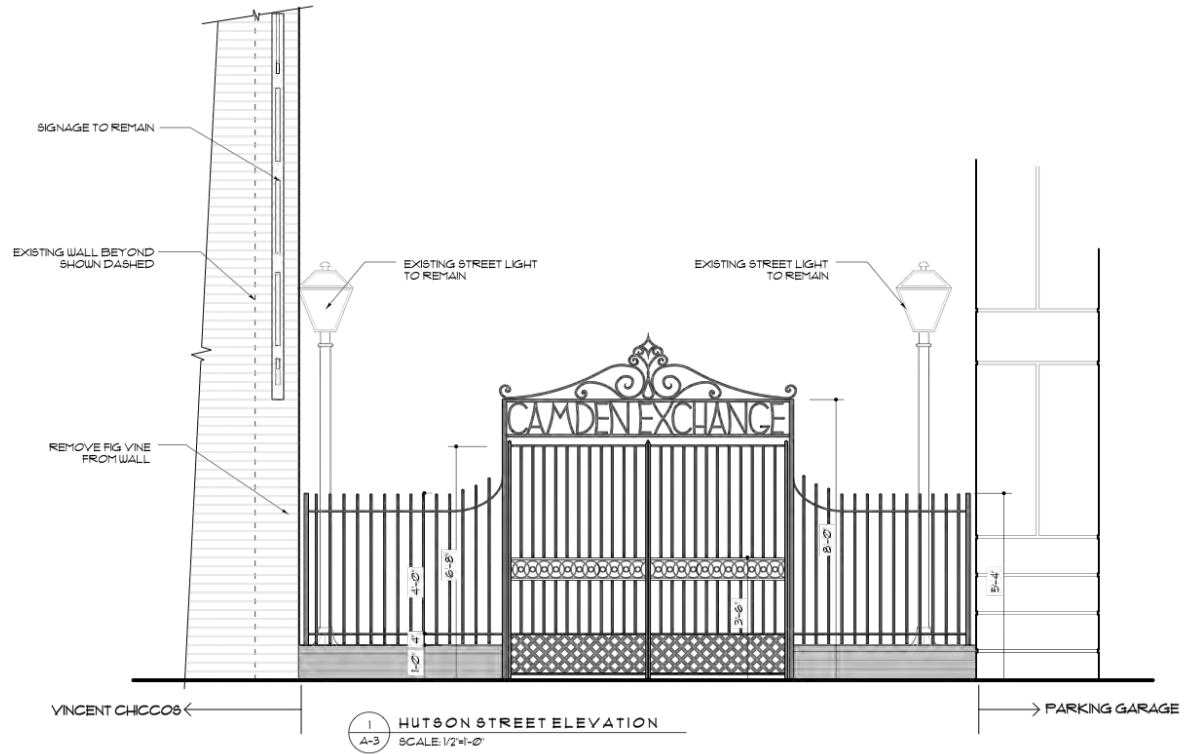
REV.	DATE

PROJECT NUMBER 1906

DRAWING DATE 12/04/19

SHEET NUMBER

A-2

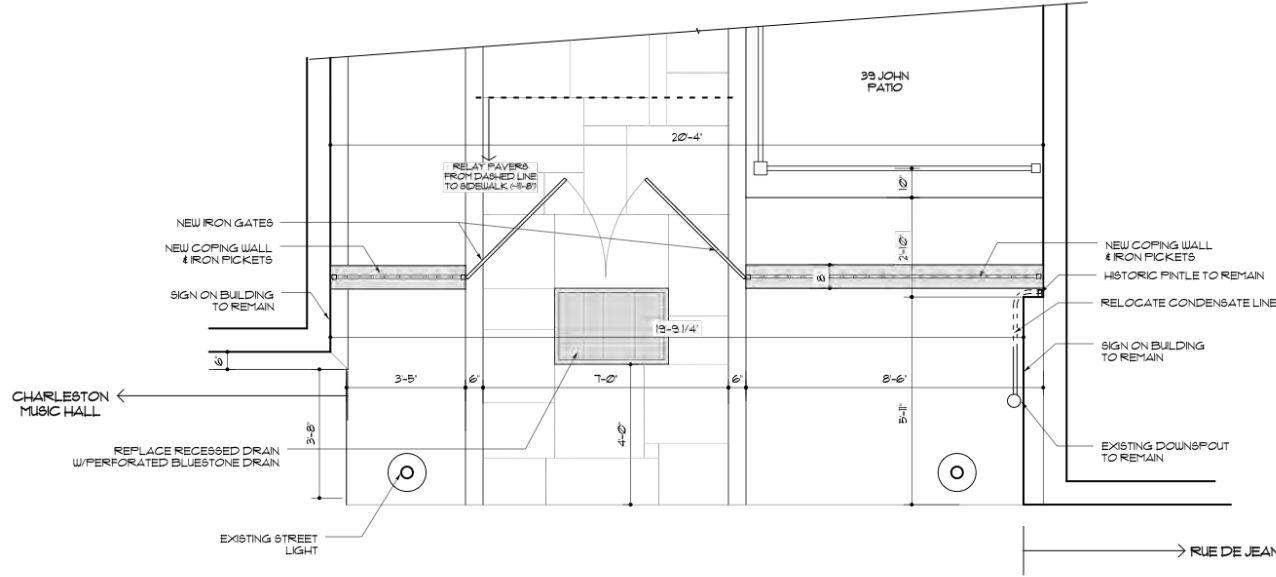


Glenn Keyes Architects  
10 Vendrick Street  
Charleston, SC 29403  
(843) 722-4100  
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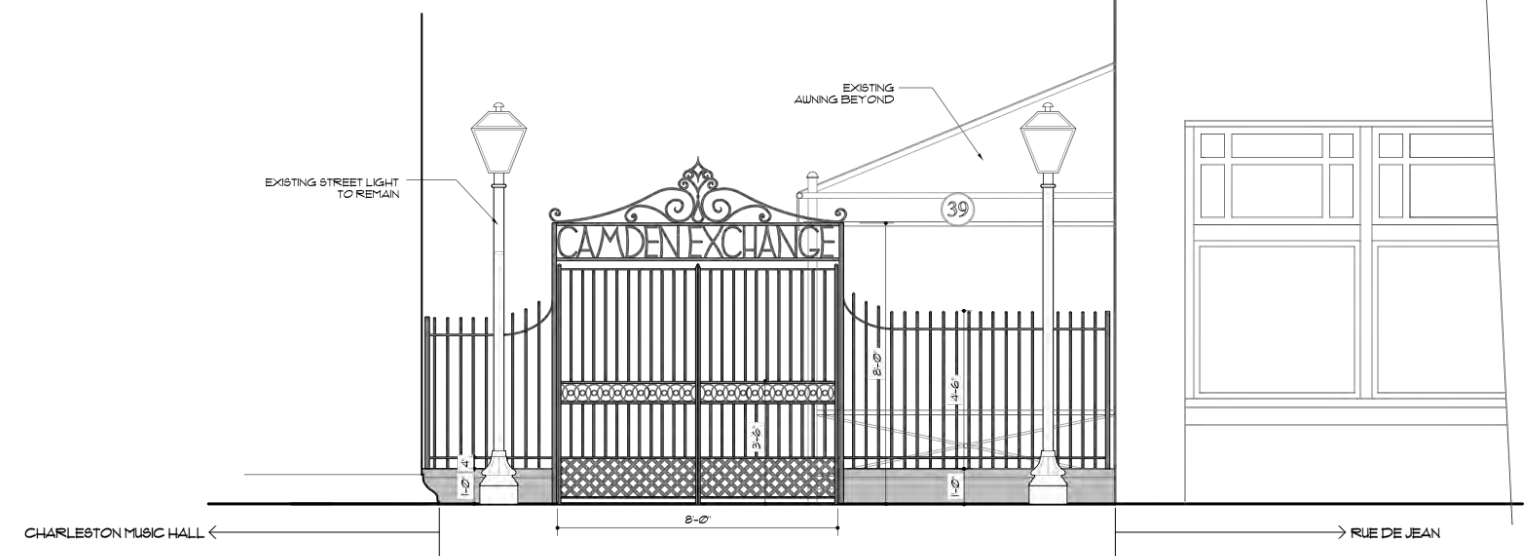
Proposed gates for  
**Hutson Alley**  
Charleston, South Carolina

RUE DE JEAN  
EAST ELEVATION

REV.	DATE
PROJECT NUMBER	1306
DRAWING DATE	12/04/19
SHEET NUMBER	A-3



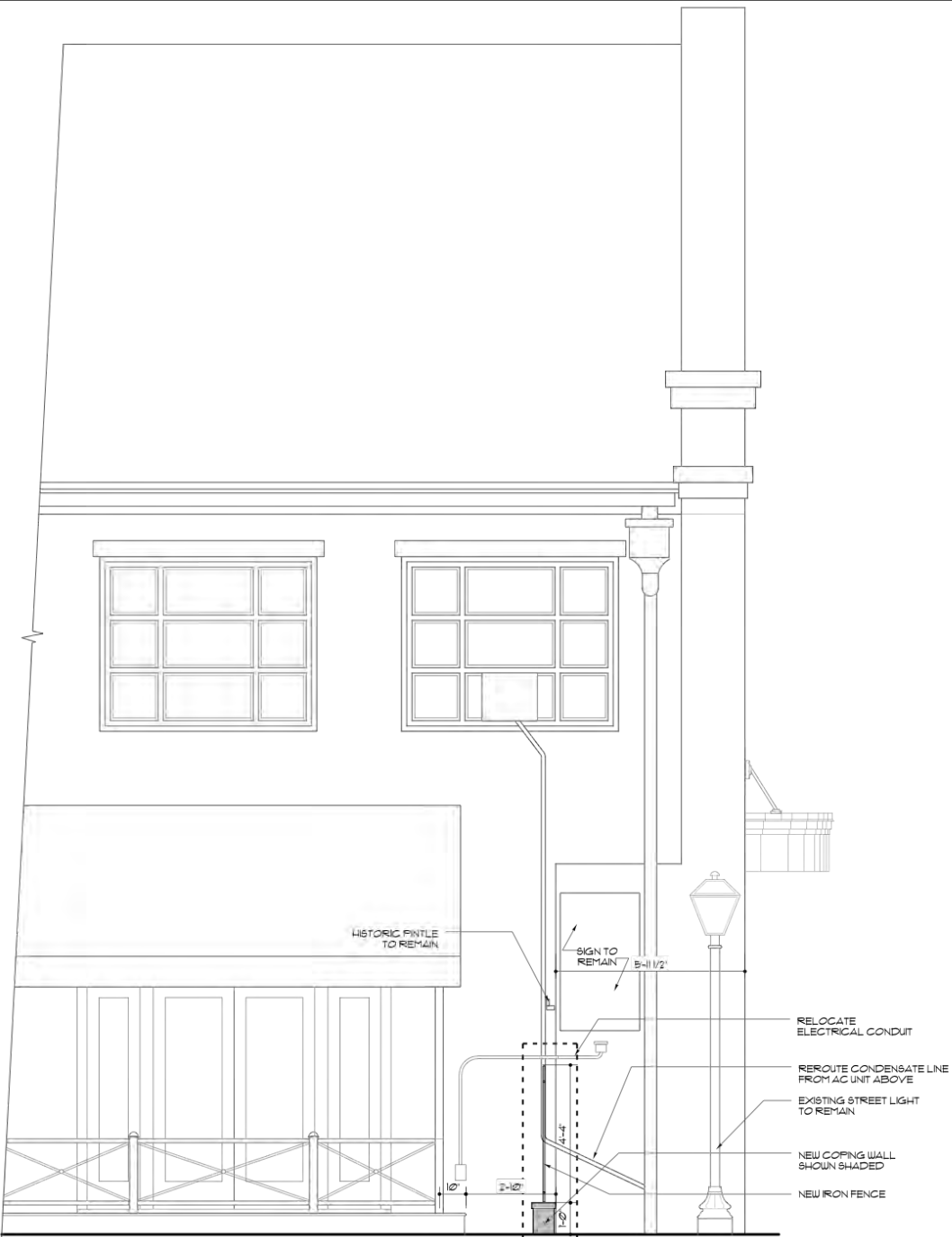
2 PLAN @ JOHN STREET  
A-4 SCALE: 1/2"=1'-0"



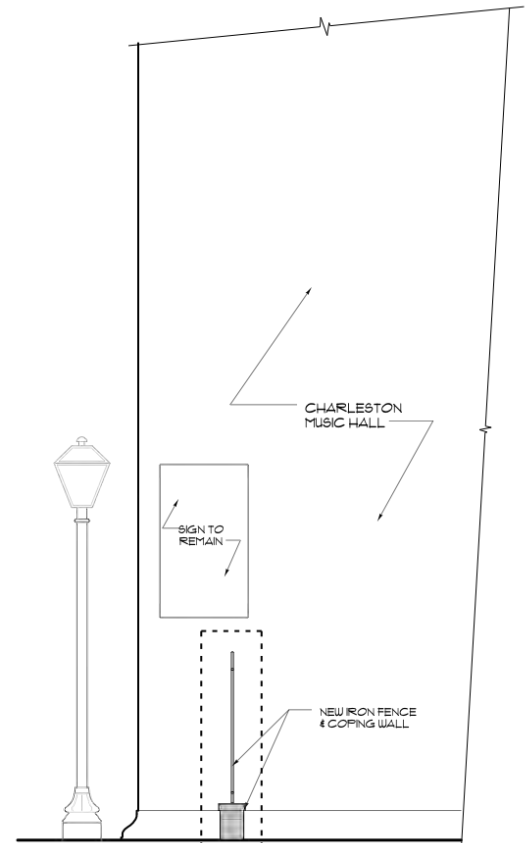
2 JOHN STREET ELEVATION  
A-4 SCALE: 1/2"=1'-0"

REV.	DATE

PROJECT NUMBER	1906
DRAWING DATE	12/04/19
SHEET NUMBER	A-4



1 JOHN STREET GATE @ RUE DE JEAN  
SCALE: 1/2"=1'-0"



2 JOHN STREET GATE @ MUSIC HALL  
SCALE: 1/2"=1'-0"

Glenn Keyes Architects

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Charleston, SC 29401  
(843) 722-4100  
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Proposed gates for  
*Hutson Alley*  
Charleston, South Carolina

PHOTOS

REV.	DATE
PROJECT NUMBER	1306
DRAWING DATE	12/04/13
SHEET NUMBER	A-5





# Agenda Item #10

---

45 SOUTH STREET  
TMS # 459-09-03-078

Requesting conceptual approval for new construction  
of single-family residence.

New Construction/ East Side / Old City District

**PROJECT ADDRESS**  
 45 SOUTH STREET  
 CHARLESTON, SC 29401  
 EAST SIDE NEIGHBORHOOD  
 TMS: 459-09-03-078

**GOVERNING JURISDICTION**  
 CITY OF CHARLESTON, SC

**PROJECT SUMMARY**  
 THE PROJECT CONSISTS OF A  
 NEW-CONSTRUCTION SINGLE  
 FAMILY RESIDENCE.

**OWNER**  
 HIDDEN RIVERS EDGE, LLC  
 1604 HOME FARM DR  
 MT PLEASANT, SC 29464

**PROJECT ARCHITECT**  
 ERIK HUTSON  
 384 HUGE ST. UNIT B  
 CHARLESTON, SC 29403

**BUILDER**  
 RUSTY GRIFFIN  
 TREMONT SPECIALTY, LLC  
 704-517-7501

SHEET INDEX	
	NAME
G0	GENERAL INFORMATION
0 0	
C000	SITE PLAN
A101	FIRST FLOOR
A102	SECOND
A103	THIRD
A200	NORTH ELEVATION
A201	WEST ELEVATION
A202	SOUTH ELEVATION
A203	EAST ELEVATION
A301	NS SECTION
A302	EW SECTION
A900	EXTEIOR WALL DETAILS
A210	STAIR OPTIONS
A211	PERSPECTIVE
A212	ELEVATION CHANGES
A213	STREET ELEVATION
A907	DOOR WINDOW AND DORMER DETAILS
A214	STREET ELEVATION STUDY
A902	PARAPET AND EAVE DETAILS
A904	MILLWORK PROFILES
A305	PORCH WALL SECTION



EAST SIDE NEIGHBORHOOD - VICINITY MAP - NOT TO SCALE

**PROJECT ARCHITECT**  
 ACR ASSOCIATES, LLC  
 384 HUGER ST UNIT B  
 CHARLESTON, SC 29403  
 ERIK HUTSON  
[INFO@BUILDACR.COM](mailto:INFO@BUILDACR.COM)  
 305-798-4969

**PROJECT NAME**  
 45 SOUTH STREET  
 SINGLE FAMILY RESIDENCE  
 CHARLESTON, SC 29403  
 TMS: 459-09-03-078  
 RUSTY GRIFFIN  
 TREMONT SPECIALTY, LLC.  
 704-517-7501

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**SHEET NAME**  
 GENERAL INFORMATION  
**REVISION**  
 11/30/19  
**SHEET NUMBER**



**ZONING DESIGNATIONS**  
2R-2F

OLD CITY DISTRICT

**MAXI LOT OCCUPANCY: DR-2F=50%**  
EXISTING LOT SIZE 2563 SF  
MAX PER DR-2F 50% 1281 SF  
PROPOSED FOOTPRINT: 1242 SF

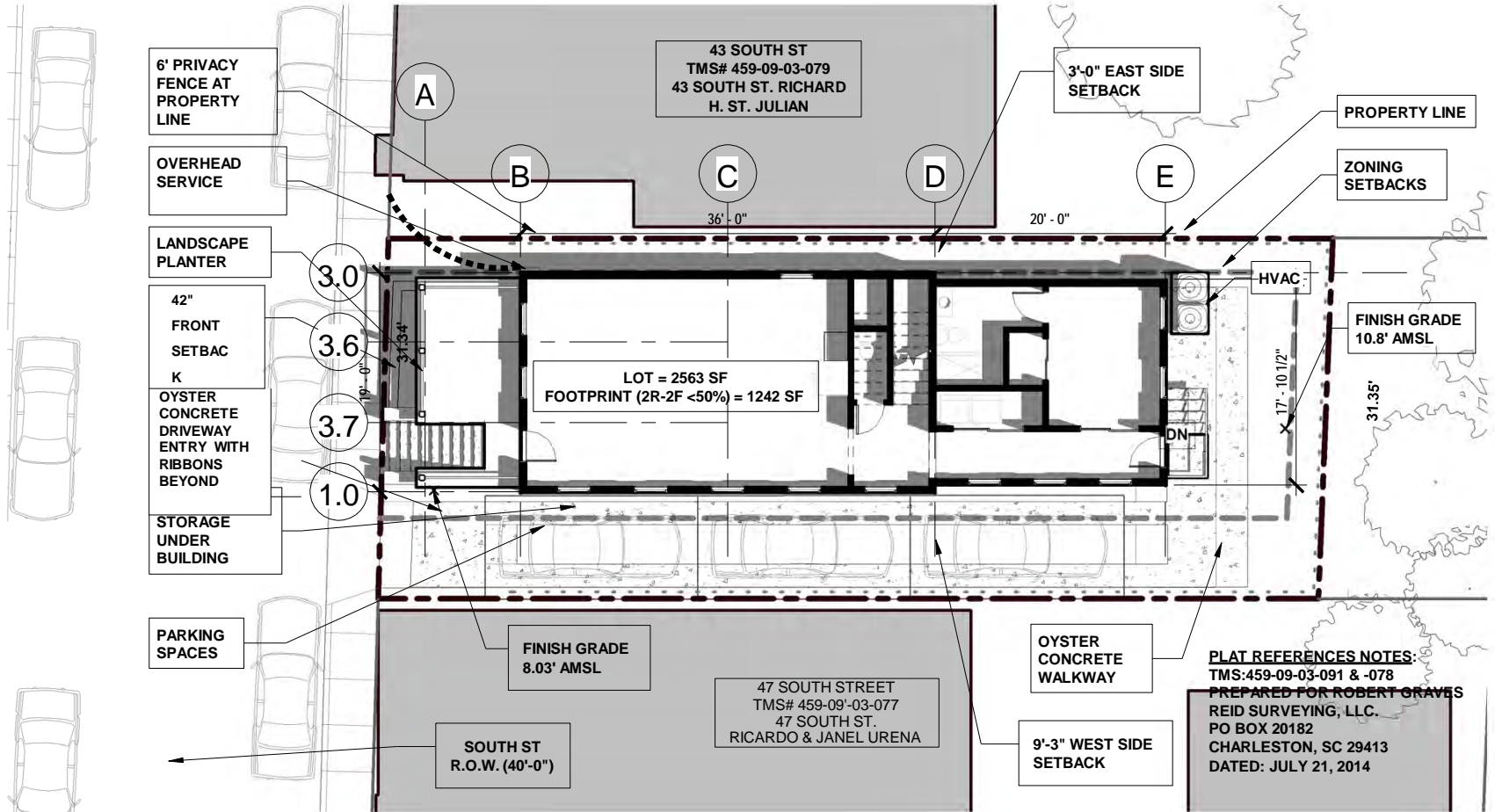
**LOCATION**  
FRONT 0'-0"

SW SIDE 7'-0"  
NE SIDE 3'-0"

**ONSITE PARKING**  
2 REQUIRED  
3 PROVIDED

**TREE STATEMENT**  
THERE ARE NO TREES ON THE SITE.

Level	Area	Area Type
FIRST	186 SF	Exterior Area
FIRST	1053 SF	Gross Building Area
SECOND	144 SF	Exterior Area
SECOND	1053 SF	Gross Building Area
ATTIC	358 SF	Exterior Area
ATTIC	695 SF	Gross Building Area
<b>Grand total</b>	<b>3488 SF</b>	



**PLAT REFERENCES NOTES:**  
TMS:459-09-03-091 & -078  
PREPARED FOR ROBERT GRAVES  
REID SURVEYING, LLC.  
PO BOX 20182  
CHARLESTON, SC 29413  
DATED: JULY 21, 2014

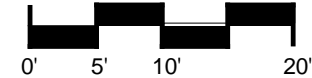
① SITE  
1" = 10'-0"



**PROJECT ARCHITECT**  
ACR ASSOCIATES, LLC  
384 HUGER ST UNIT B  
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ERIK HUTSON  
INFO@BUILDACR.COM  
305-798-4969

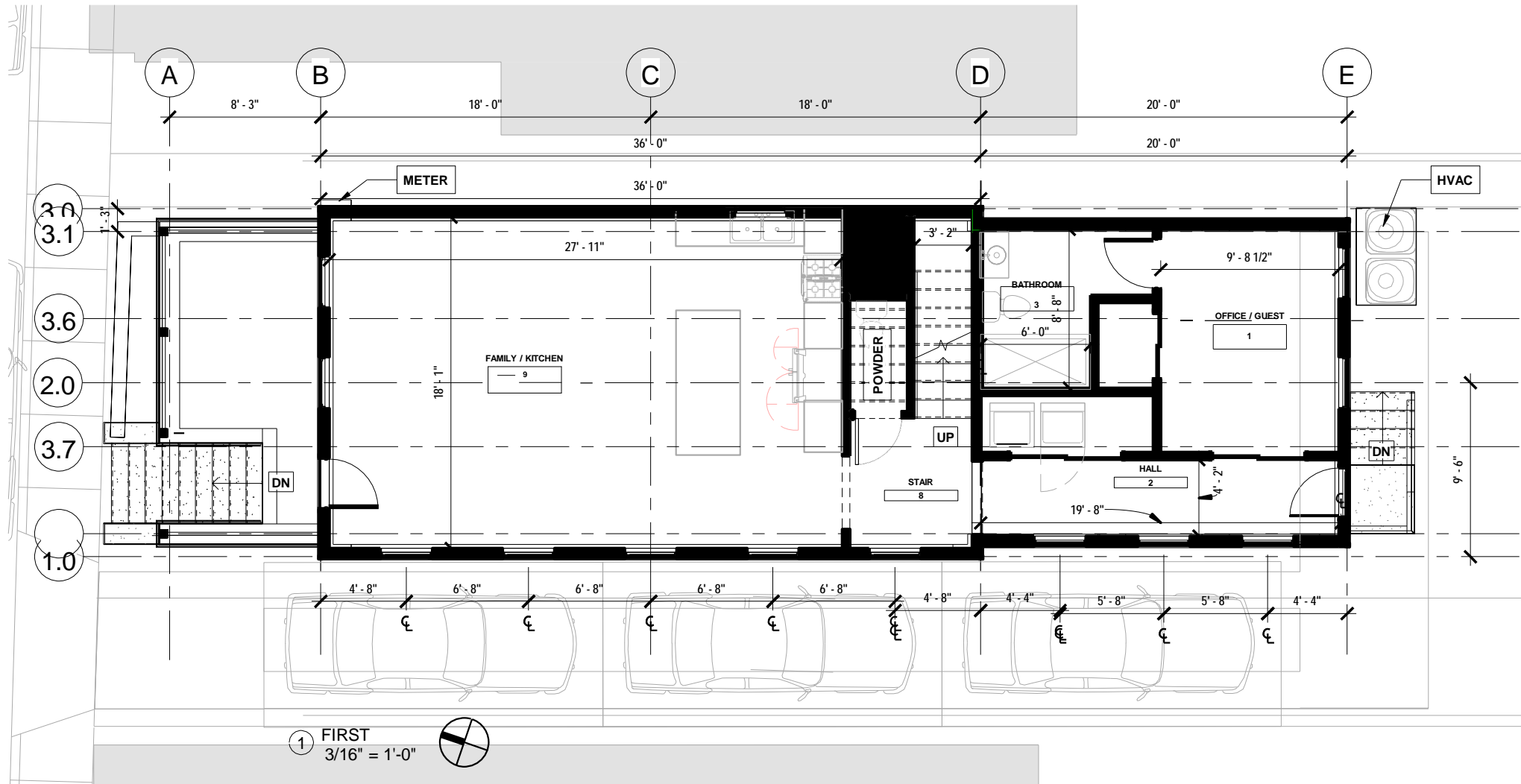
**PROJECT NAME**  
45 SOUTH STREET  
SINGLE FAMILY RESIDENCE  
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TMS: 459-09-03-078  
RUSTY GRIFFIN  
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**SHEET NAME**  
SITE PLAN  
**REVISION**  
11/30/19  
**SHEET NUMBER**





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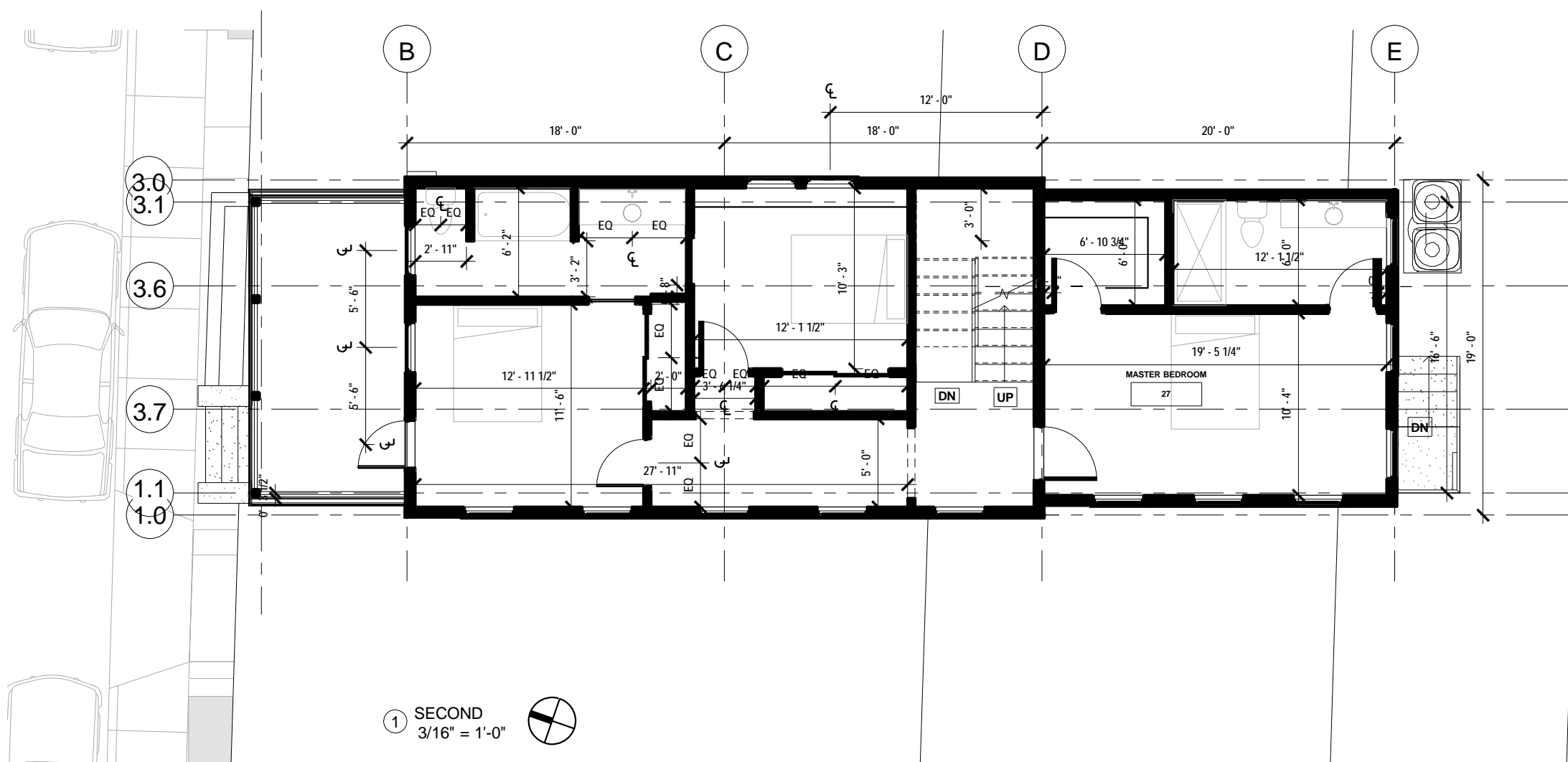
**PROJECT NAME**  
 45 SOUTH STREET  
 SINGLE FAMILY RESIDENCE  
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**SHEET NAME**  
 FIRST FLOOR  
**REVISION**  
 11/30/19  
**SHEET NUMBER**

**A101**



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ERIK HUTSON  
INFO@BUILDACR.COM  
305-798-4969

**PROJECT NAME**

45 SOUTH STREET  
SINGLE FAMILY RESIDENCE  
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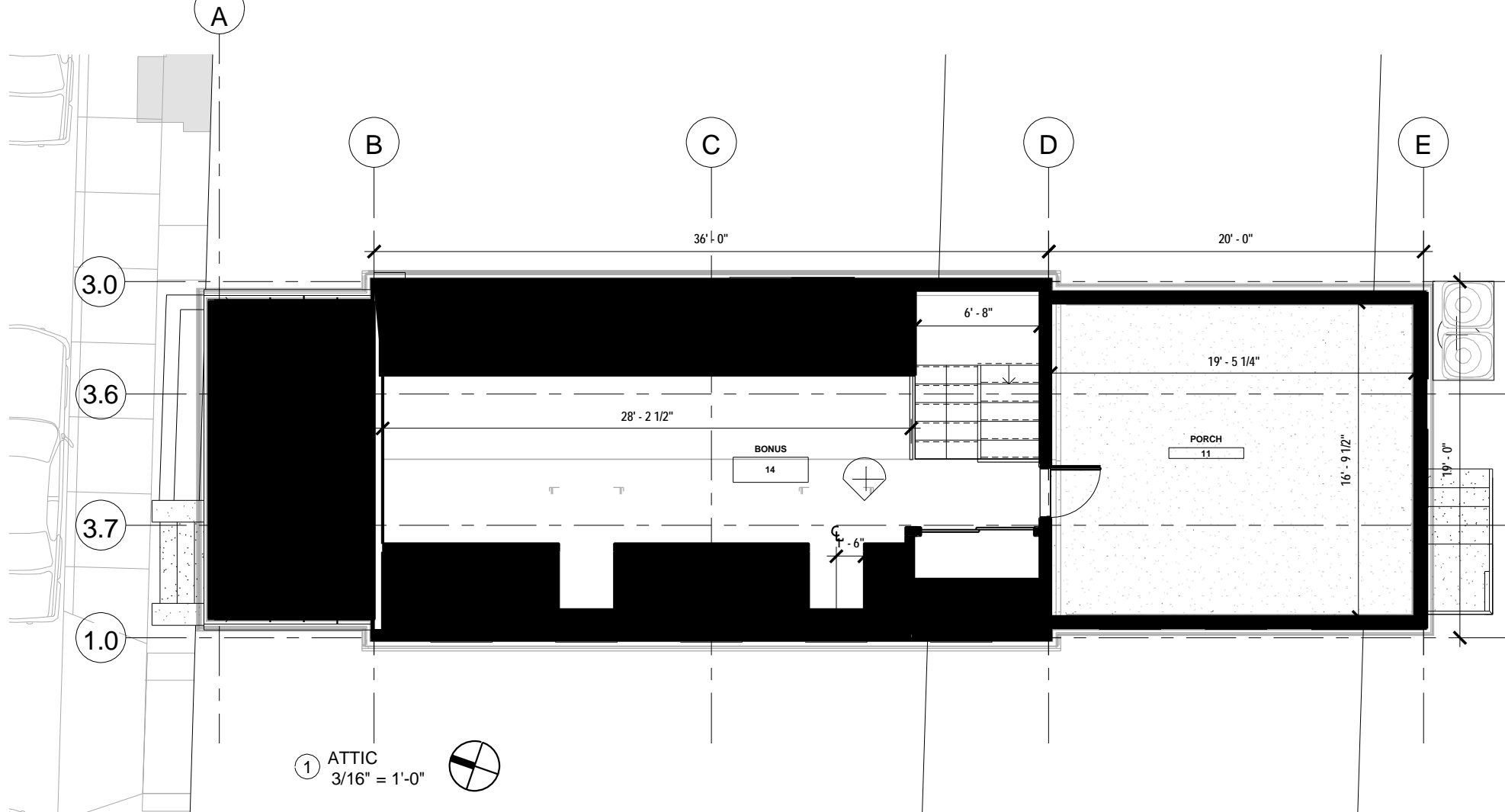
SECOND

**REVISION**

12/01/19

**SHEET NUMBER**

A102



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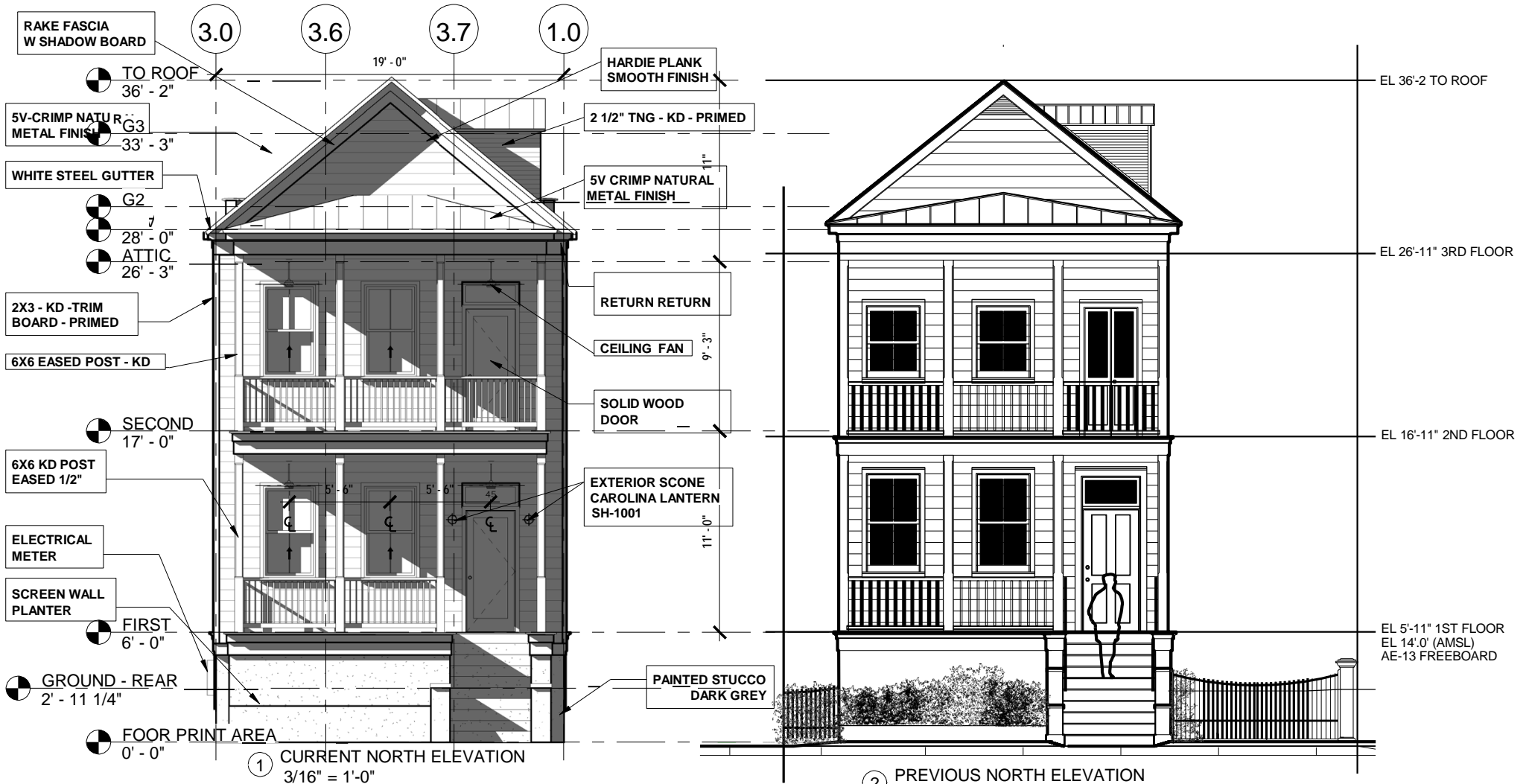
**PROJECT NAME**  
 45 SOUTH STREET  
 SINGLE FAMILY RESIDENCE  
 CHARLESTON, SC 29403  
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**SHEET NAME**  
 THIRD  
**REVISION**  
 12/01/19  
**SHEET NUMBER**

**A103**



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**PROJECT NAME**  
 45 SOUTH STREET  
 SINGLE FAMILY RESIDENCE  
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**SHEET NAME**  
 NORTH ELEVATION  
**REVISION**  
 12/01/19  
**SHEET NUMBER**

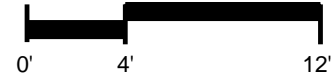
**A200**



**PROJECT ARCHITECT**  
 ACR ASSOCIATES, LLC  
 384 HUGER ST UNIT B  
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 ERIK HUTSON  
 INFO@BUILDACR.COM  
 305-798-4969

**PROJECT NAME**  
 45 SOUTH STREET  
 SINGLE FAMILY RESIDENCE  
 CHARLESTON, SC 29403  
 TMS: 459-09-03-078  
 RUSTY GRIFFIN  
 TREMONT SPECIALTY, LLC.  
 704-517-7501

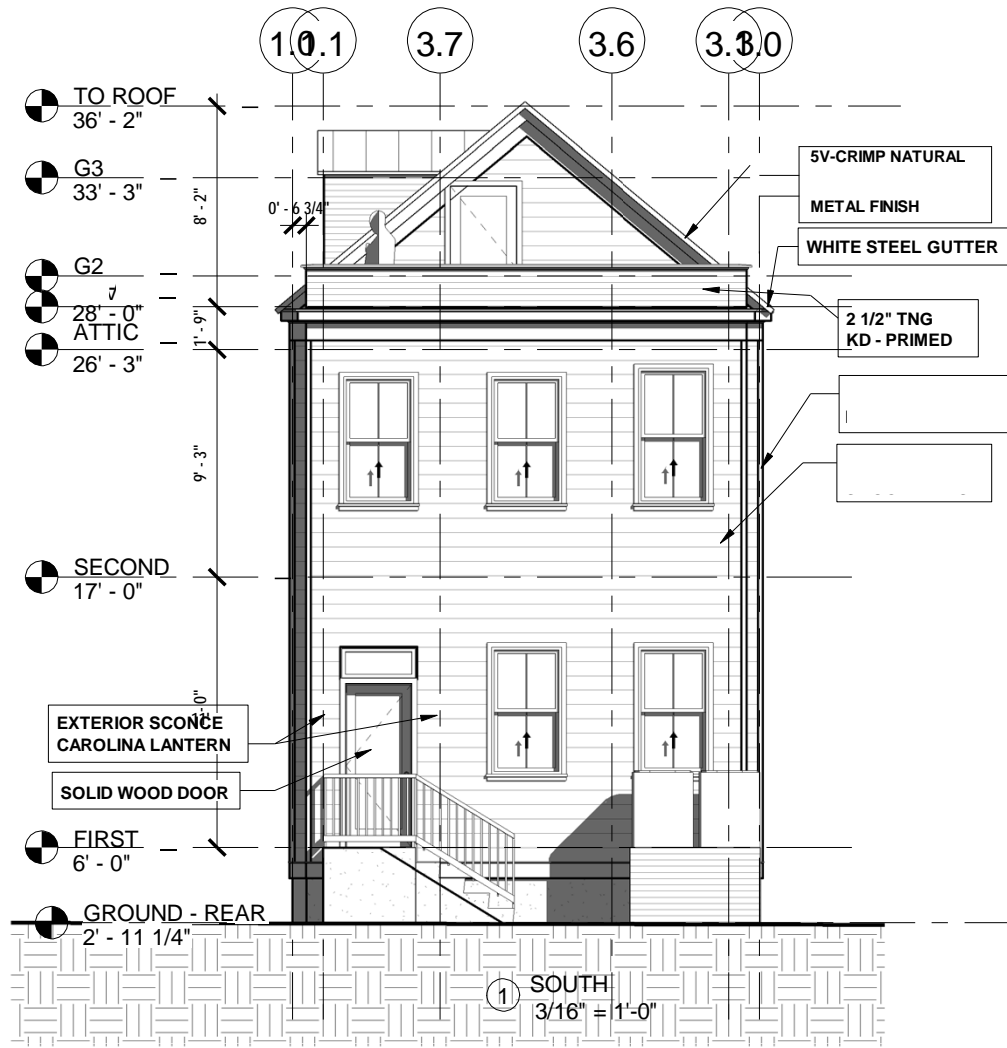
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**SHEET NAME**  
 WEST ELEVATION  
**REVISION**  
 12/01/19  
**SHEET NUMBER**

A201





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 ACR ASSOCIATES, LLC  
 384 HUGER ST UNIT B  
 CHARLESTON, SC 29403  
 ERIK HUTSON  
 INFO@BUILDACR.COM  
 305-798-4969

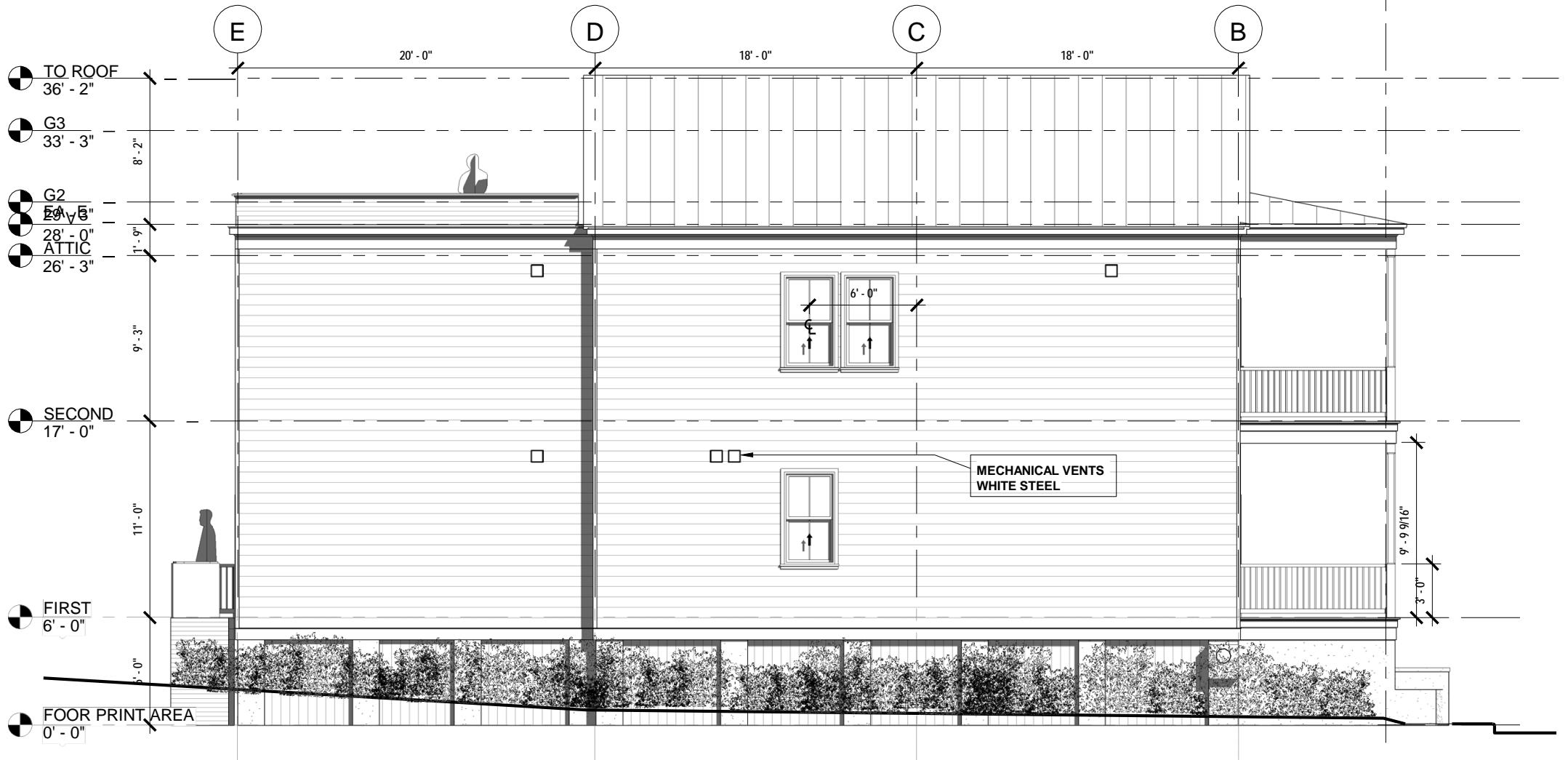
**PROJECT NAME**  
 45 SOUTH STREET  
 SINGLE FAMILY RESIDENCE  
 CHARLESTON, SC 29403  
 TMS: 459-09-03-078  
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**SHEET NAME**  
 SOUTH ELEVATION  
**REVISION**  
 12/01/19  
**SHEET NUMBER**

**A202**



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ACR ASSOCIATES, LLC  
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 305-798-4969

**PROJECT NAME**

45 SOUTH STREET  
 SINGLE FAMILY RESIDENCE  
 CHARLESTON, SC 29403  
 TMS: 459-09-03-078  
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**SHEET NAME**

EAST ELEVATION

**REVISION**

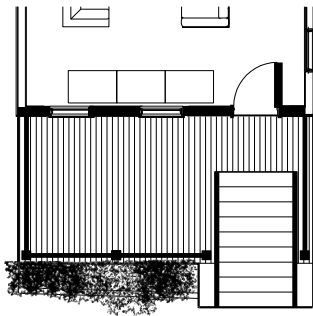
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**SHEET NUMBER**

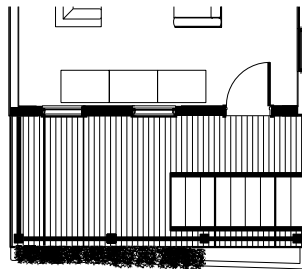
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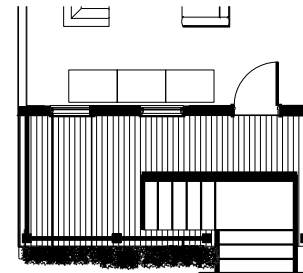
OPTION A



OPTION B



OPTION C



**PROJECT ARCHITECT**

ACR ASSOCIATES, LLC  
 384 HUGER ST UNIT B  
 CHARLESTON, SC 29403  
 ERIK HUTSON  
 INFO@BUILDACR.COM  
 305-798-4969

**PROJECT NAME**

45 SOUTH STREET  
 SINGLE FAMILY RESIDENCE  
 CHARLESTON, SC 29403  
 TMS: 459-09-03-078  
 RUSTY GRIFFIN  
 TREMONT SPECIALTY, LLC.  
 704-517-7501

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STAIR OPTIONS  
 1/8" = 1'-0"

**SHEET NAME**

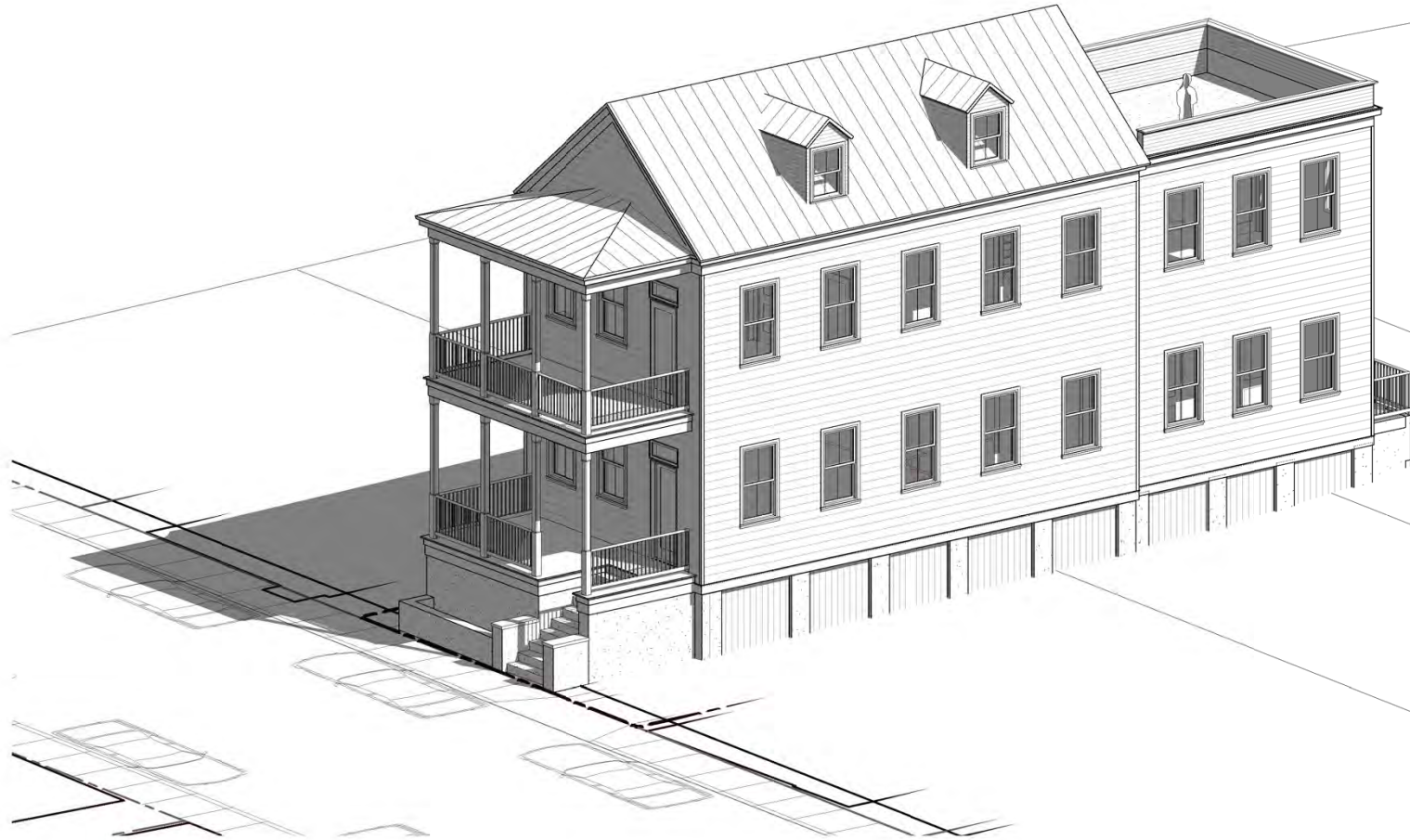
STAIR OPTIONS

**REVISION**

12/02/19

**SHEET NUMBER**

A210



**PROJECT ARCHITECT**

ACR ASSOCIATES, LLC  
384 HUGER ST UNIT B  
CHARLESTON, SC 29403  
ERIK HUTSON  
[INFO@BUILDACR.COM](mailto:INFO@BUILDACR.COM)  
305-798-4969

**PROJECT NAME**

45 SOUTH STREET  
SINGLE FAMILY RESIDENCE  
CHARLESTON, SC 29403  
TMS: 459-09-03-078  
RUSTY GRIFFIN  
TREMONT SPECIALTY, LLC.  
704-517-7501

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**SHEET NAME**

PERSPECTIVE

**REVISION**

12/04/19

**SHEET NUMBER**

**A211**



④ PREVIOUS EAST ELEVATION  
3/32" = 1'-0"



③ PREVIOUS WEST ELEVATION  
3/32" = 1'-0"

- TO ROOF  
33'-2"
- 33'-3"
- G2V  
29'-8"
- 29'-10"
- 26'-3"

● SECOND  
17'-0"

● FIRST  
6'-0"

● FOOR PRINT AREA  
0'-0"



① CURRENT EAST ELEVATION  
3/32" = 1'-0"



② CURRENT WEST ELEVATION  
3/32" = 1'-0"

**PROJECT ARCHITECT**  
ACR ASSOCIATES, LLC  
384 HUGER ST UNIT B  
CHARLESTON, SC 29403  
ERIK HUTSON  
INFO@BUILDACR.COM  
305-798-4969

**PROJECT NAME**  
45 SOUTH STREET  
SINGLE FAMILY RESIDENCE  
CHARLESTON, SC 29403  
TMS: 459-09-03-078  
RUSTY GRIFFIN  
TREMONT SPECIALTY, LLC.  
704-517-7501

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**SHEET NAME**  
ELEVATION CHANGES  
**REVISION**  
12/05/19  
**SHEET NUMBER**

**A212**



① NORTH STREET ELEVATION  
1/8" = 1'-0"

② STREET SCAPE  
1/8" = 1'-0"

**PROJECT ARCHITECT**  
 ACR ASSOCIATES, LLC  
 384 HUGER ST UNIT B  
 CHARLESTON, SC 29403  
 ERIK HUTSON  
 INFO@BUILDACR.COM  
 305-798-4969

**PROJECT NAME**  
 45 SOUTH STREET  
 SINGLE FAMILY RESIDENCE  
 CHARLESTON, SC 29403  
 TMS: 459-09-03-078  
 RUSTY GRIFFIN  
 TREMONT SPECIALTY, LLC.  
 704-517-7501

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**SHEET NAME**  
 STREET ELEVATION  
**REVISION**  
 12/05/19  
**SHEET NUMBER**

**A213**



① NORTH-STREET ELEVATION  
1/8" = 1'-0"

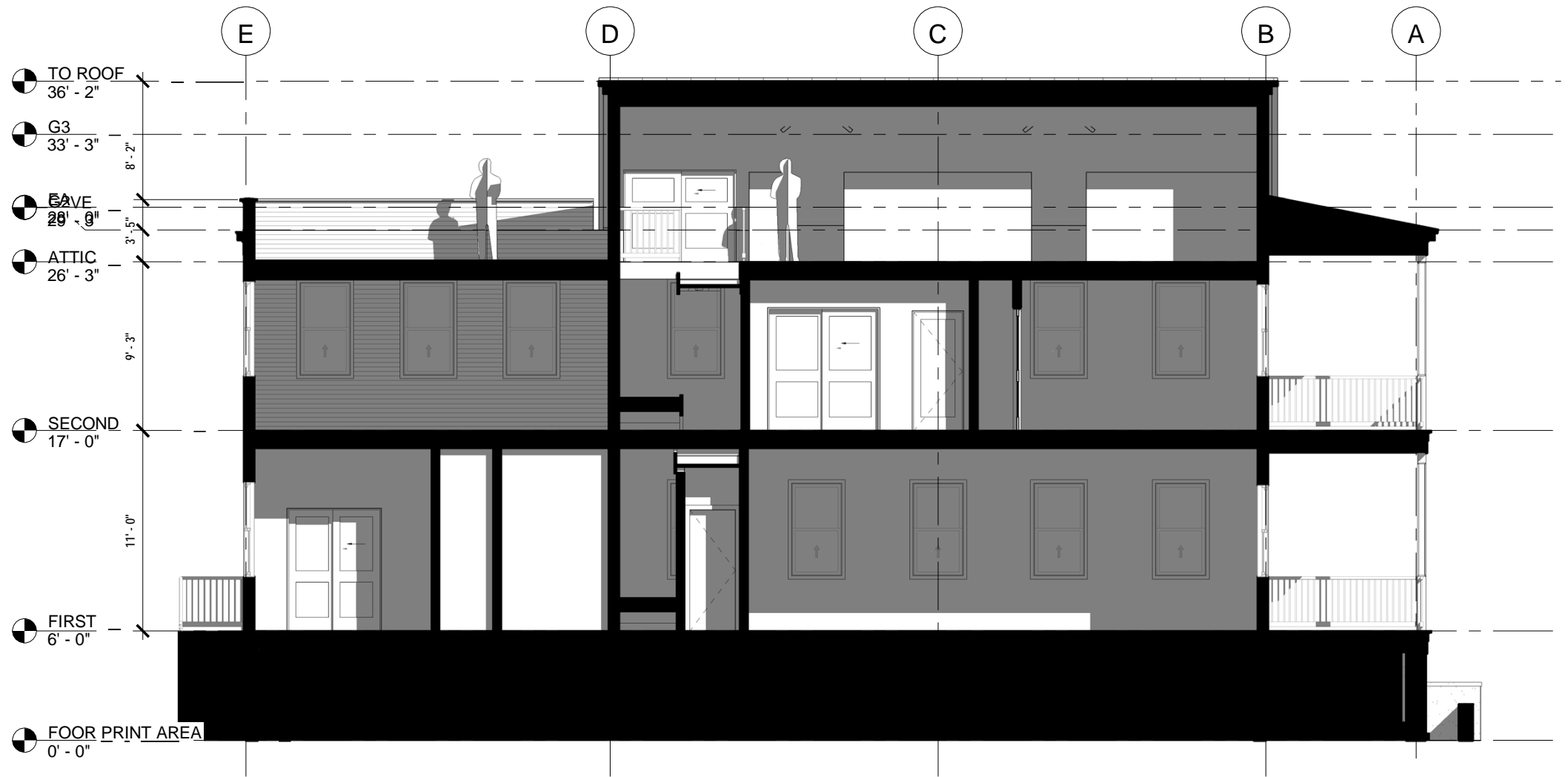
**PROJECT ARCHITECT**  
ACR ASSOCIATES, LLC  
384 HUGER ST UNIT B  
CHARLESTON, SC 29403  
ERIK HUTSON  
INFO@BUILDACR.COM  
305-798-4969

**PROJECT NAME**  
45 SOUTH STREET  
SINGLE FAMILY RESIDENCE  
CHARLESTON, SC 29403  
TMS: 459-09-03-078  
RUSTY GRIFFIN  
TREMONT SPECIALTY, LLC.  
704-517-7501

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**SHEET NAME**  
STREET ELEVATION STUDY  
**REVISION**  
12/16/19  
**SHEET NUMBER**

A214



**PROJECT ARCHITECT**  
 ACR ASSOCIATES, LLC  
 384 HUGER ST UNIT B  
 CHARLESTON, SC 29403  
 ERIK HUTSON  
 INFO@BUILDACR.COM  
 305-798-4969

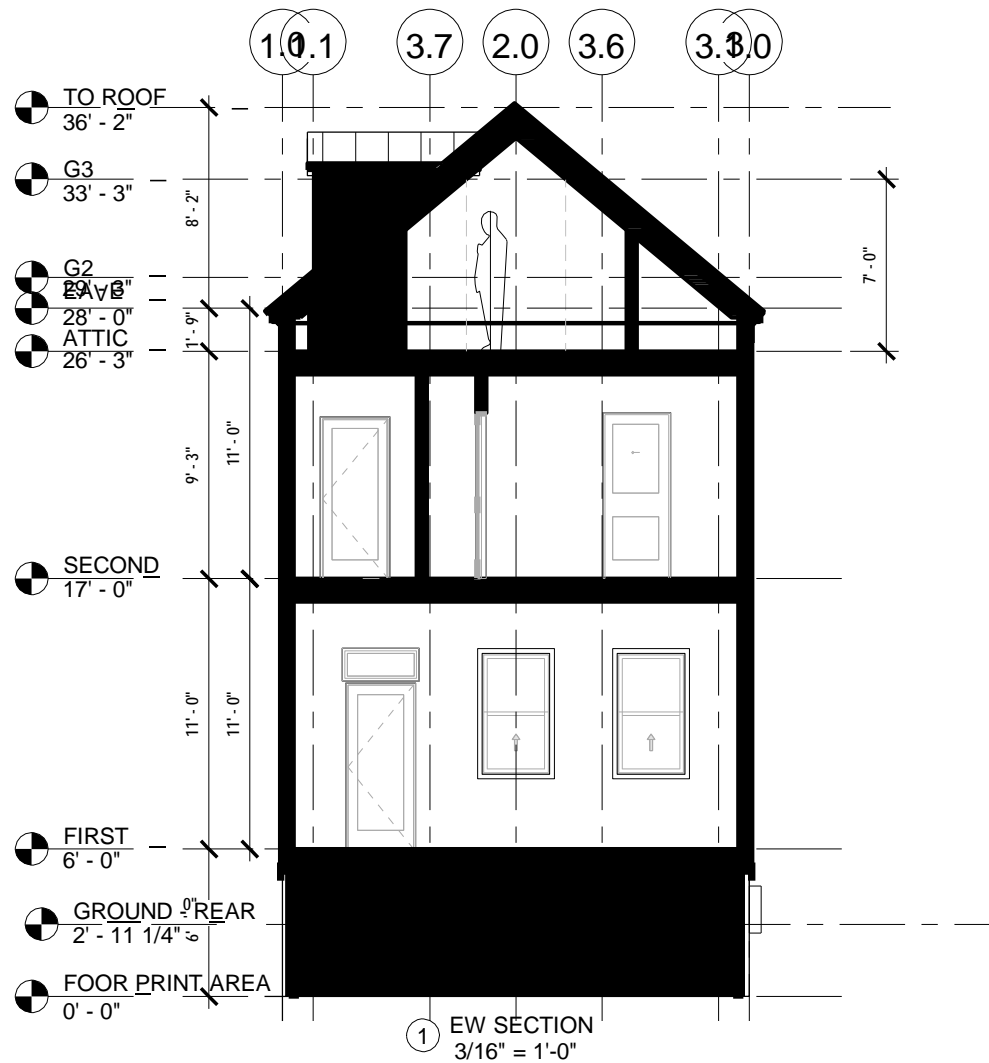
**PROJECT NAME**  
 45 SOUTH STREET  
 SINGLE FAMILY RESIDENCE  
 CHARLESTON, SC 29403  
 TMS: 459-09-03-078  
 RUSTY GRIFFIN  
 TREMONT SPECIALTY, LLC.  
 704-517-7501

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**SHEET NAME**  
 NS SECTION  
**REVISION**  
 12/01/19  
**SHEET NUMBER**

**A301**





① EW SECTION  
3/16" = 1'-0"

**PROJECT ARCHITECT**

ACR ASSOCIATES, LLC  
384 HUGER ST UNIT B  
CHARLESTON, SC 29403  
ERIK HUTSON  
INFO@BUILDACR.COM  
305-798-4969

**PROJECT NAME**

45 SOUTH STREET  
SINGLE FAMILY RESIDENCE  
CHARLESTON, SC 29403  
TMS: 459-09-03-078  
RUSTY GRIFFIN  
TREMONT SPECIALTY, LLC.  
704-517-7501

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SHEET NAME \_\_\_\_\_

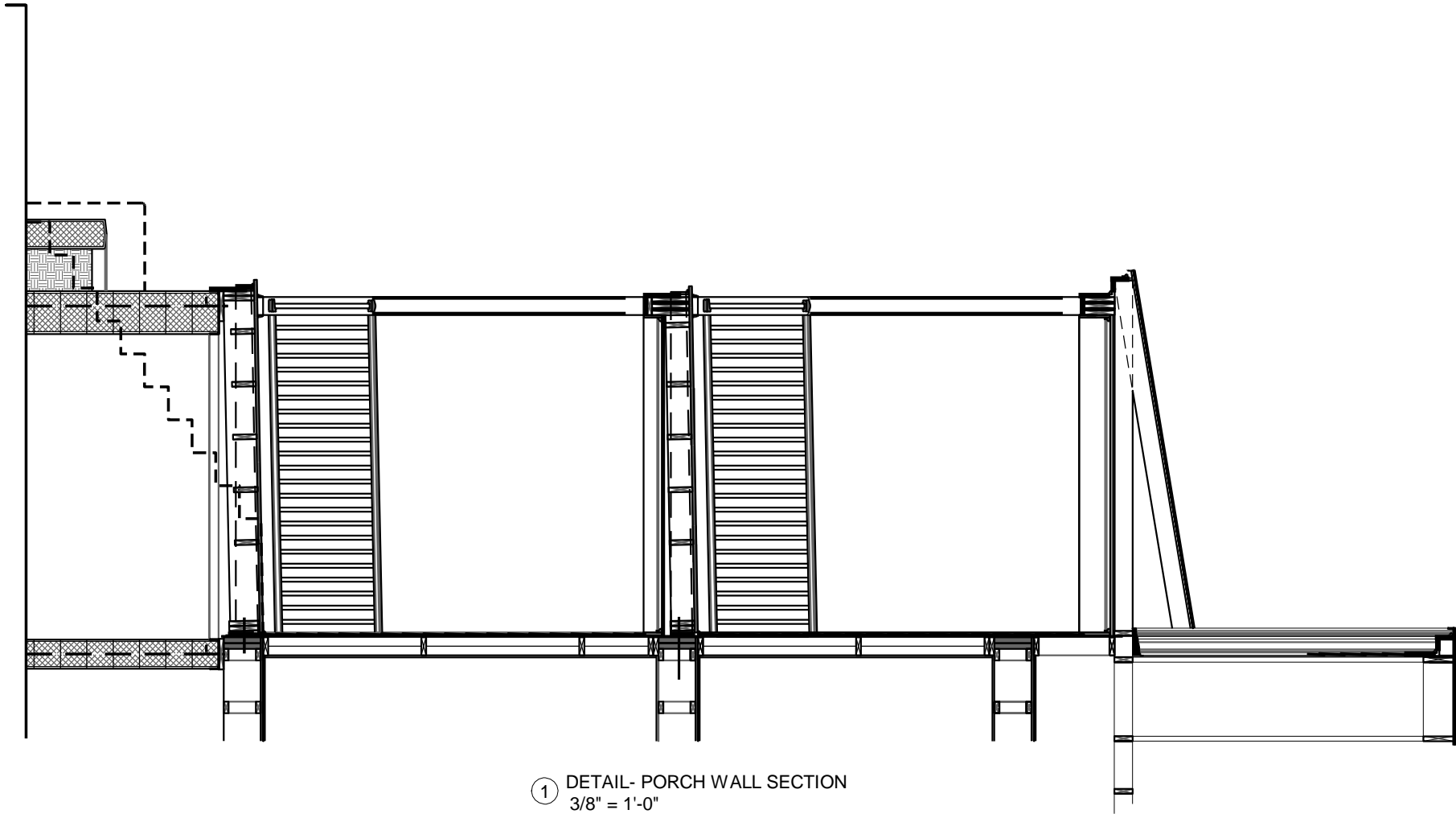
EW SECTION

REVISION \_\_\_\_\_

12/01/19

SHEET NUMBER \_\_\_\_\_

**A302**



① DETAIL- PORCH WALL SECTION  
3/8" = 1'-0"

**PROJECT ARCHITECT**

ACR ASSOCIATES, LLC  
384 HUGER ST UNIT B  
CHARLESTON, SC 29403  
ERIK HUTSON  
[INFO@BUILDACR.COM](mailto:INFO@BUILDACR.COM)  
305-798-4969

**PROJECT NAME**

45 SOUTH STREET  
SINGLE FAMILY RESIDENCE  
CHARLESTON, SC 29403  
TMS: 459-09-03-078  
RUSTY GRIFFIN  
TREMONT SPECIALTY, LLC.  
704-517-7501

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**SHEET NAME**

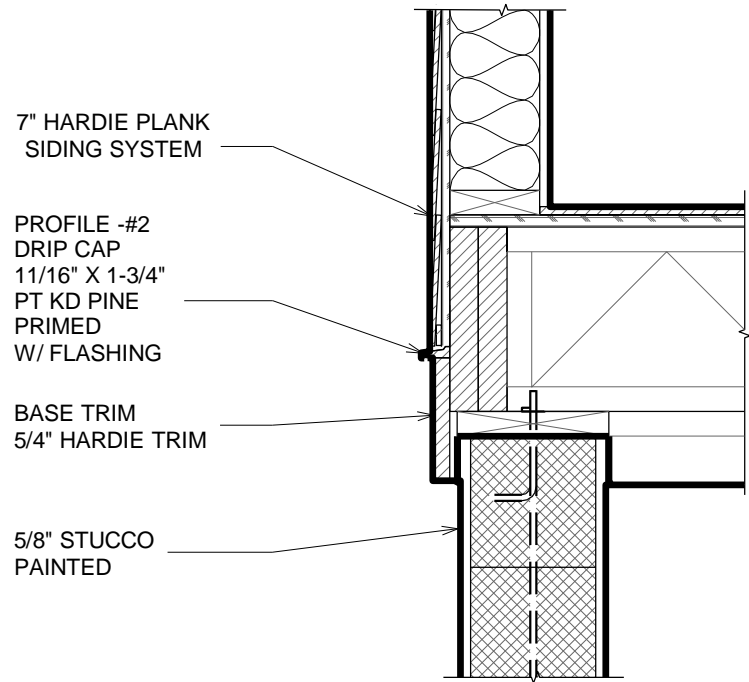
PORCH WALL SECTION

**REVISION**

12/30/19

**SHEET NUMBER**

A305



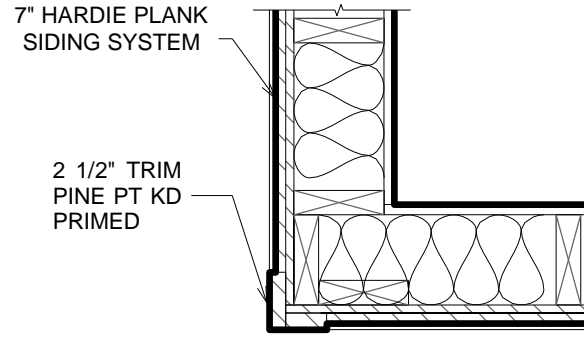
7" HARDIE PLANK  
SIDING SYSTEM

PROFILE -#2  
DRIP CAP  
11/16" X 1-3/4"  
PT KD PINE  
PRIMED  
W/ FLASHING

BASE TRIM  
5/4" HARDIE TRIM

5/8" STUCCO  
PAINTED

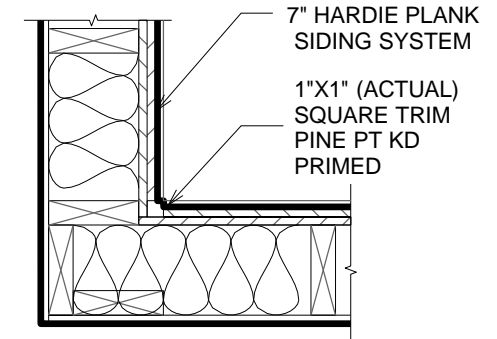
① DETAIL - BO WALL  
1 1/2" = 1'-0"



7" HARDIE PLANK  
SIDING SYSTEM

2 1/2" TRIM  
PINE PT KD  
PRIMED

OUTSIDE CORNER



7" HARDIE PLANK  
SIDING SYSTEM

1"X1" (ACTUAL)  
SQUARE TRIM  
PINE PT KD  
PRIMED

INSIDE CORNER

② DETAIL- EXTERIOR CORNERS  
1 1/2" = 1'-0"

**PROJECT ARCHITECT**

ACR ASSOCIATES, LLC  
384 HUGER ST UNIT B  
CHARLESTON, SC 29403  
ERIK HUTSON  
INFO@BUILDACR.COM  
305-798-4969

**PROJECT NAME**

45 SOUTH STREET  
SINGLE FAMILY RESIDENCE  
CHARLESTON, SC 29403  
TMS: 459-09-03-078  
RUSTY GRIFFIN  
TREMONT SPECIALTY, LLC.  
704-517-7501

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**SHEET NAME**

EXTEIOR WALL DETAILS

**REVISION**

12/02/19

**SHEET NUMBER**

A900

TO CORNICE  
HARDIE TRIM  
4/4" X 5 1/2"

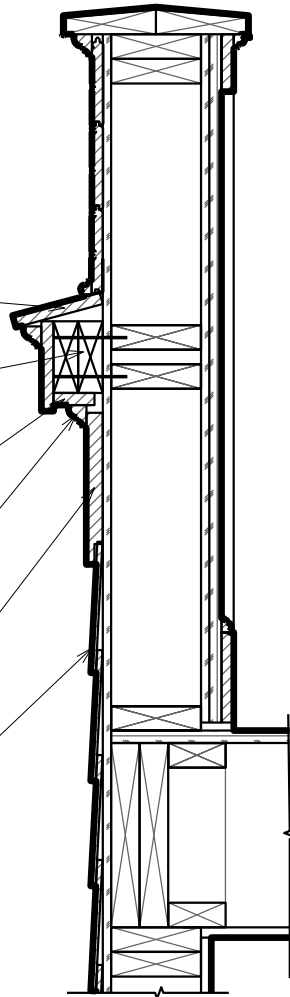
CORNICE  
4/4 HARDIE 5 1/2"  
W/ (2X) 2X4 PT  
BLOCKING

BO CORNICE  
HARDIE TRIM  
4/4" X 3 1/2"

PROFILE - #1  
7/8" BASE CAP  
PT KD PINE  
PRIMED

ENTABLATURE  
5/4" HARDIE TRIM

7" HARDIE PLANK  
SIDING SYSTEM



① DETAIL- PARAPET / EAVE  
1 1/2" = 1'-0"

5V CRIMP  
METAL ROOFING  
W 2-1/2" DRIP  
EDGE

GUTTER  
5" HALF ROUND  
WHITE STEEL

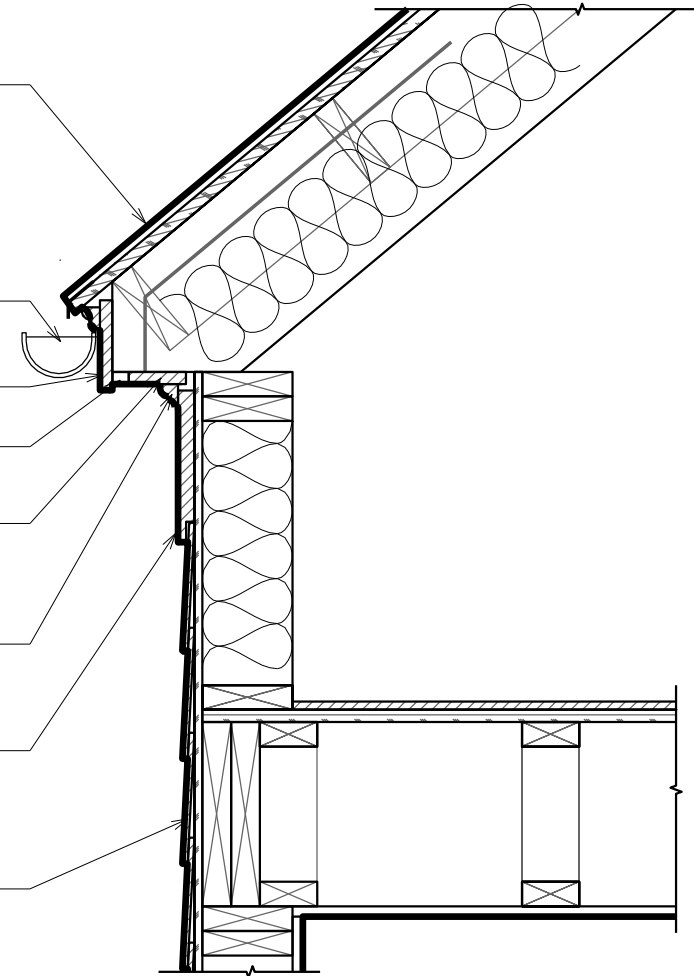
CORNICE  
4/4 HARDIE 5 1/2"  
VENTILATION  
STRIP - 1" PVC

BO CORNICE  
HARDIE TRIM  
4/4" X 3 1/2"

PROFILE - #4  
1-3/4" BED  
MOULDING  
PT KD PINE  
PRIMED

ENTABLATURE  
5/4" HARDIE TRIM

7" HARDIE PLANK  
SIDING SYSTEM



**PROJECT ARCHITECT**

ACR ASSOCIATES, LLC  
384 HUGER ST UNIT B  
CHARLESTON, SC 29403  
ERIK HUTSON  
INFO@BUILDACR.COM  
305-798-4969

**PROJECT NAME**

45 SOUTH STREET  
SINGLE FAMILY RESIDENCE  
CHARLESTON, SC 29403  
TMS: 459-09-03-078  
RUSTY GRIFFIN  
TREMONT SPECIALTY, LLC.  
704-517-7501

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**SHEET NAME**

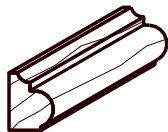
PARAPET AND EAVE DETAILS

**REVISION**

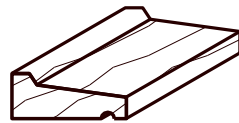
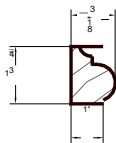
12/30/19

**SHEET NUMBER**

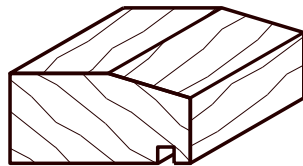
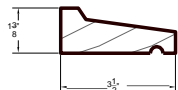
A902



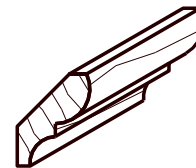
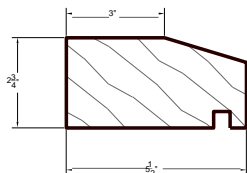
**PROFILE #1**  
**7/8" BASE CAP**  
**MOULDING**  
**WITH COVE**



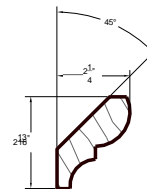
**PROFILE #2**  
**11/16" X 1-3/4"**  
**DRIP CAP**



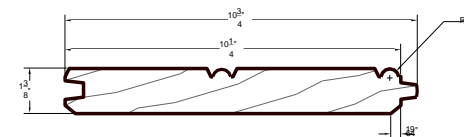
**PROFILE #3**  
**1-3/8" X 2-3/4"**  
**DRIP CAP**



**PROFILE #4**  
**1-3/4" BED**  
**MOULDING**



**PROFILE #5**  
**1X8 TNG**



① **DETAIL - MILLWORK PROFILES**  
**3" = 1'-0"**

**PROJECT ARCHITECT**

ACR ASSOCIATES, LLC  
 384 HUGER ST UNIT B  
 CHARLESTON, SC 29403  
 ERIK HUTSON  
[INFO@BUILDACR.COM](mailto:INFO@BUILDACR.COM)  
 305-798-4969

**PROJECT NAME**

45 SOUTH STREET  
 SINGLE FAMILY RESIDENCE  
 CHARLESTON, SC 29403  
 TMS: 459-09-03-078  
 RUSTY GRIFFIN  
 TREMONT SPECIALTY, LLC.  
 704-517-7501

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**SHEET NAME**

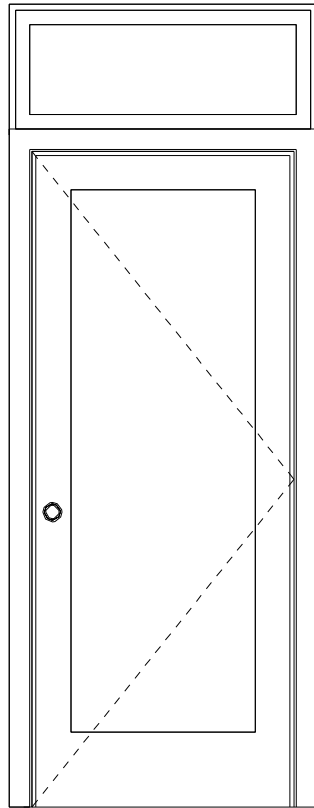
MILLWORK PROFILES

**REVISION**

12/30/19

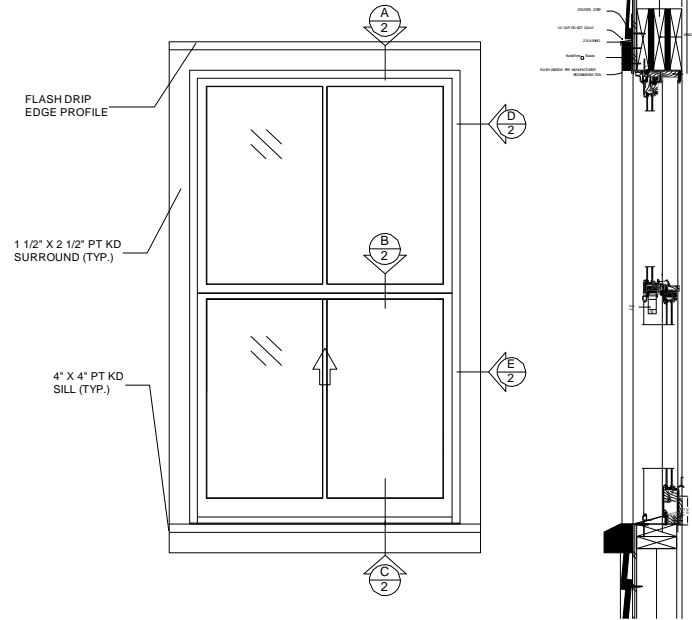
**SHEET NUMBER**

**A904**

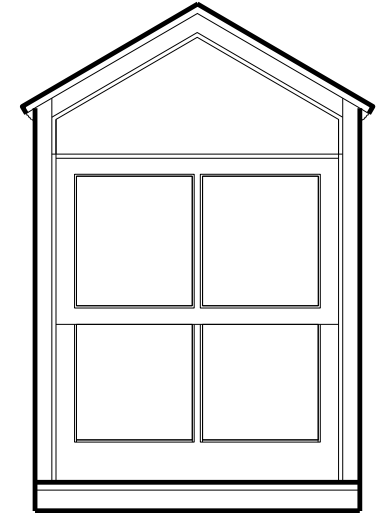


① SINGLE PANEL DOOR DETAILS  
3/4" = 1'-0"

SIERRA PACIFIC MONUMENT ALUMINUM  
WOOD SINGLE HUNG WINDOWS,  
OPERATING



② WINDOW DETAILS  
3/4" = 1'-0"



③ DORMER DETAILS  
3/4" = 1'-0"

**PROJECT ARCHITECT**

ACR ASSOCIATES, LLC  
384 HUGER ST UNIT B  
CHARLESTON, SC 29403  
ERIK HUTSON  
INFO@BUILDACR.COM  
305-798-4969

**PROJECT NAME**

45 SOUTH STREET  
SINGLE FAMILY RESIDENCE  
CHARLESTON, SC 29403  
TMS: 459-09-03-078  
RUSTY GRIFFIN  
TREMONT SPECIALTY, LLC.  
704-517-7501

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**SHEET NAME**

DOOR WINDOW AND DORMER  
DETAILS

**REVISION**

12/05/19

**SHEET NUMBER**

A907



# Agenda Item #11

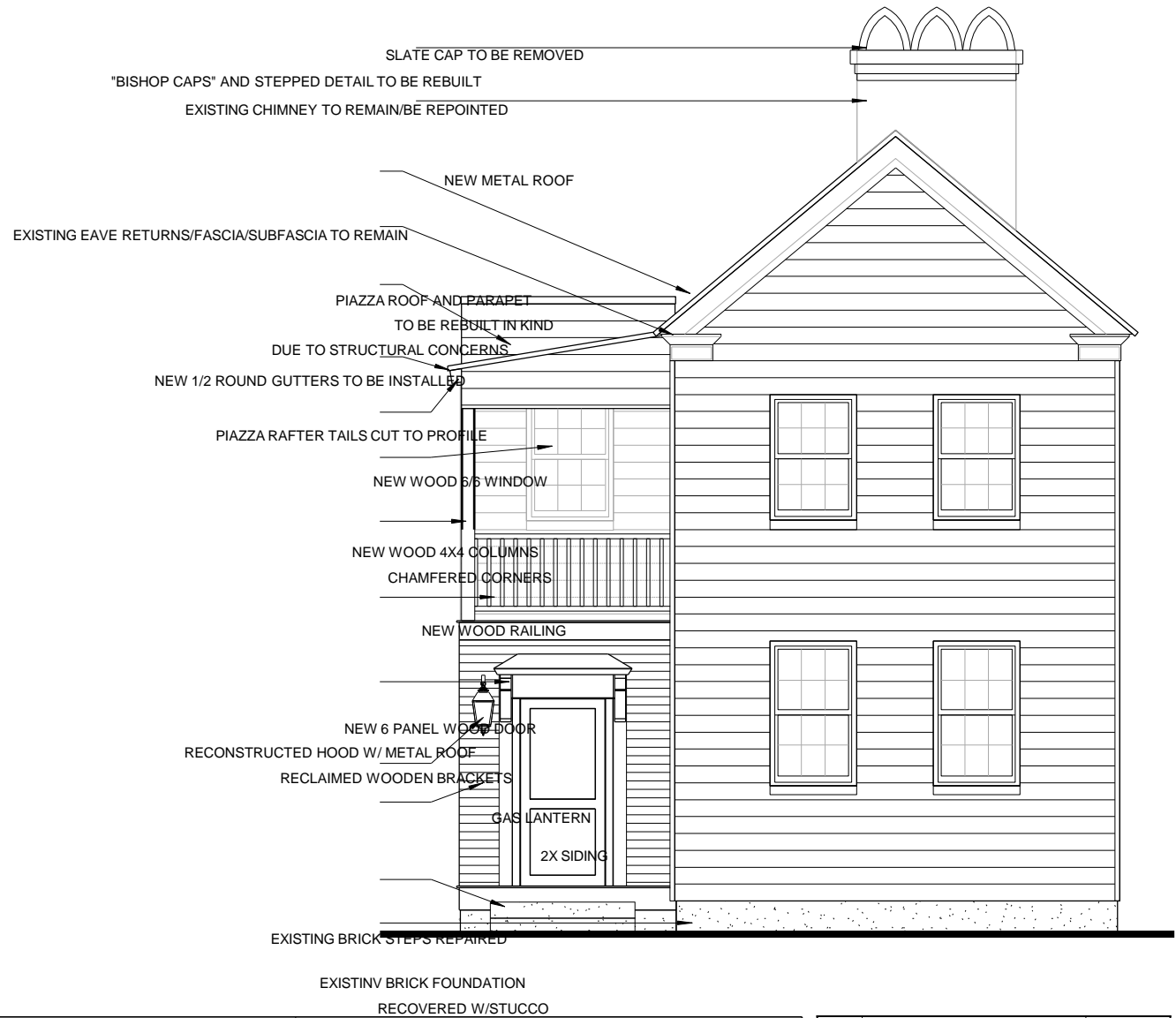
---

42 SOUTH STREET  
TMS # 459-09-03-031

Requesting conceptual approval for the renovation of a single-family dwelling.

Category 4 / East Side / c. pre-1872 / Old City District





42 SOUTH STREET

M



No.	Description	Date

EXISTING SOUTH ELEVATION		
Project number	CHS42	<b>A1</b>
Date	Issue Date	
Drawn by	Author	
Checked by	Checker	
		Scale 1/4" = 1'-0"



42 SOUTH STREET

MULBERRY STREET DEVELOPMENT



No.	Description	Date

**EXISTING WEST ELEVATION**

Project number	CHS42	<b>A2</b>
Date	Issue Date	
Drawn by	Author	
Checked by	Checker	
		Scale 1/4" = 1'-0"



EXISTING CHIMNEY  
TO BE REBUILT

SEE EAST AND WEST ELEVATIONS FOR  
SECTION OF ROOF TO BE REBUILT

NEW 1/2" WOOD FASCIA/DROP  
AND EAVE BED MOULDING

NEW WOOD 66 WIDOWS  
TYPICAL

REAR WALL REBUILT  
EXISTING FOOTPRINT AND ORIENTATION  
ALL OPENINGS ARE NEW

NEW WOOD LAP SIDING  
7" EXPOSURE TO MATCH EXISTING

NEW FIBREGLASS REAR PATIO DOORS  
68 X 50

AC COMPRESSOR SCREENED  
SCREEN NOT SHOWN FOR CLARITY

42 SOUTH STREET

MULBE  
RR



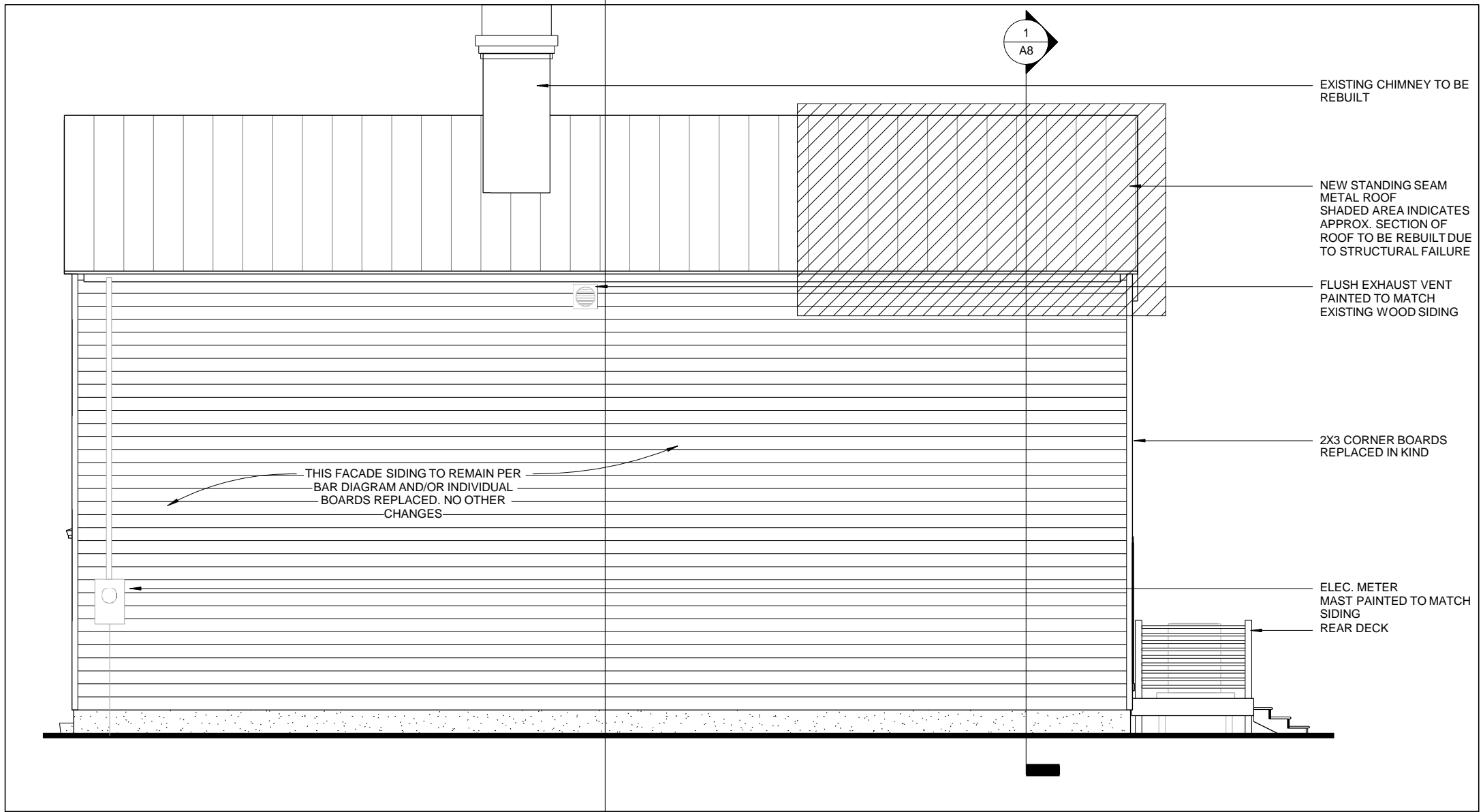
No.	Description	Date

**EXISTING NORTH ELEVATION**

Project number	CHS42
Date	Issue Date
Drawn by	Author
Checked by	Checker

**A3**

Scale 1/4" = 1'-0"



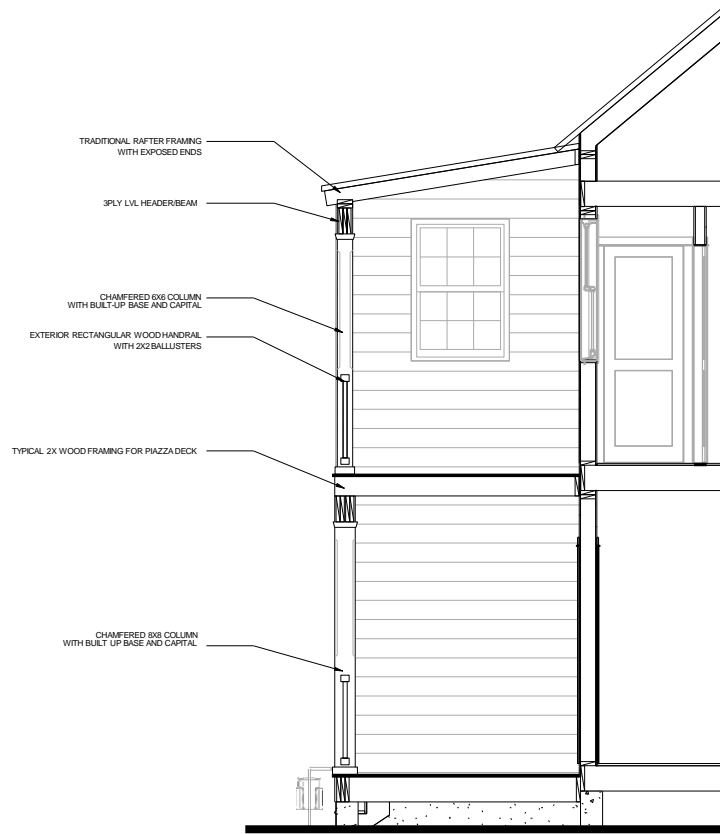
42 SOUTH STREET

MULBERRY STREET  
DEVELOPMENT

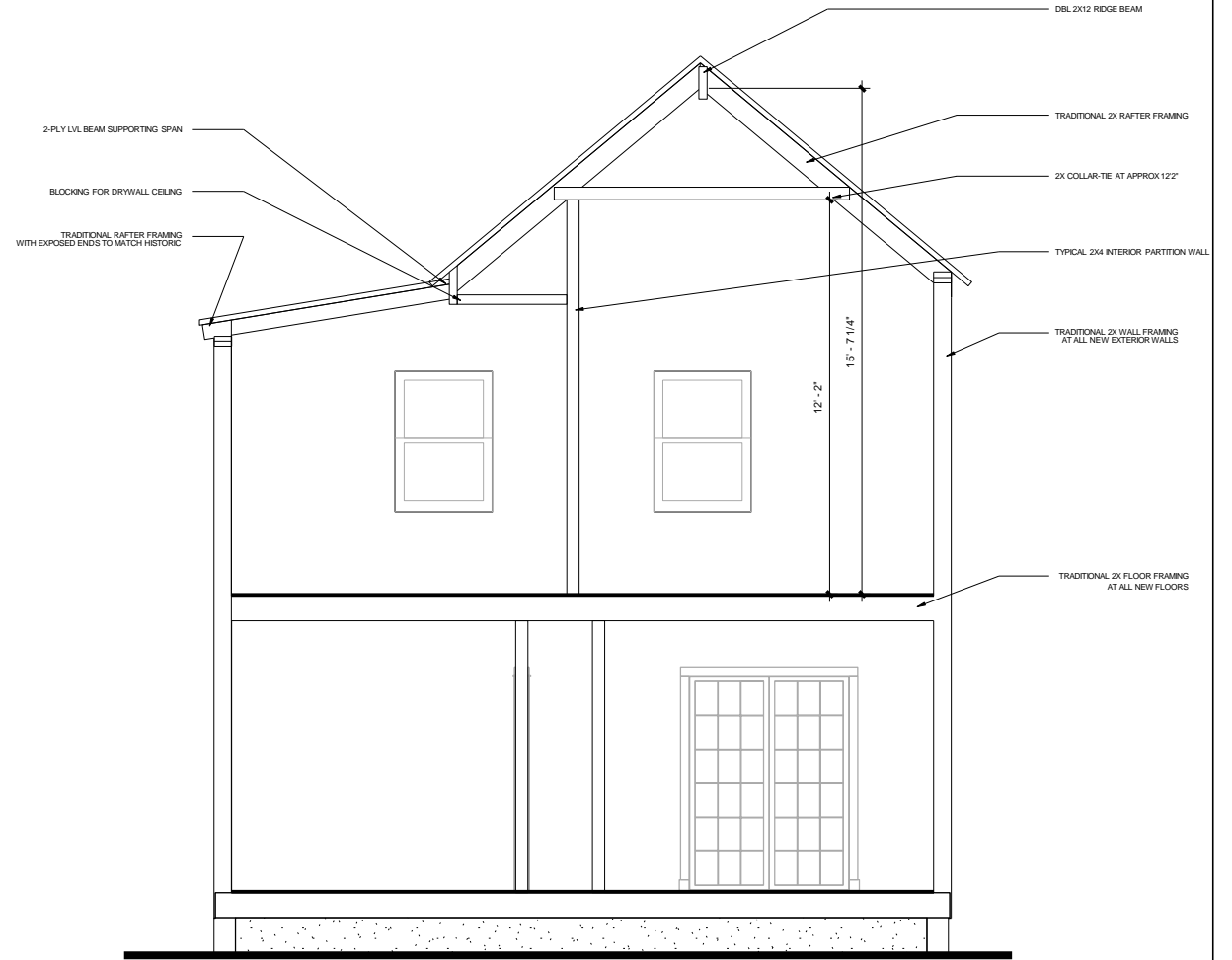


No.	Description	Date

EXISTING EAST ELEVATION		
Project number	CHS42	<b>A4</b>
Date	Issue Date	
Drawn by	Author	
Checked by	Checker	
		Scale 1/4" = 1'-0"



2 Section thru Piazza  
1/4" = 1'-0"



1 Section Thru Rear  
1/4" = 1'-0"

42 SOUTH STREET

MULBERRY STREET  
DEVELOPMENT



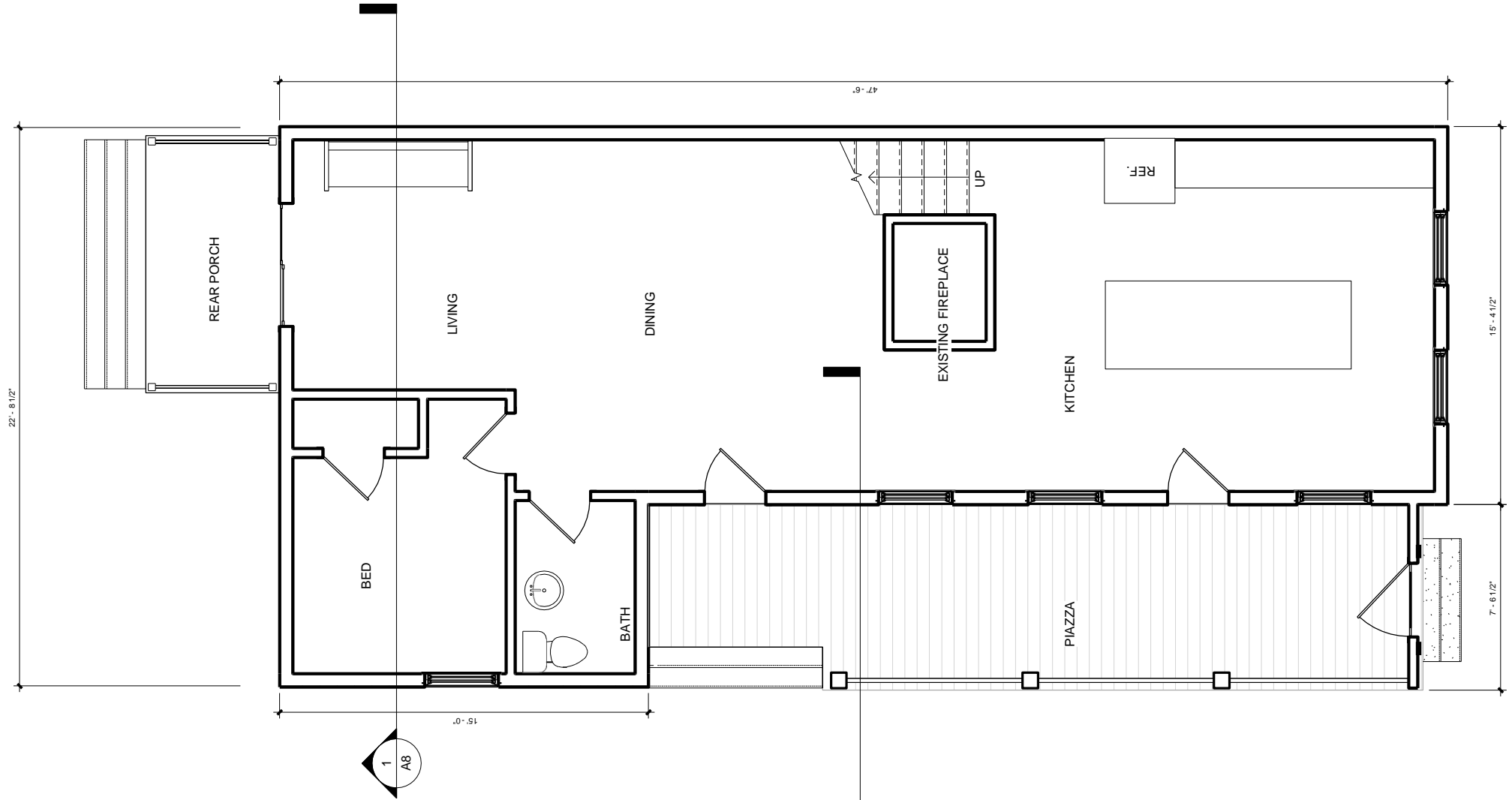
No.	Description	Date

Construction Details

Project number	CHS42
Date	Issue Date
Drawn by	Author
Checked by	Checker

A8

Scale 1/4" = 1'-0"



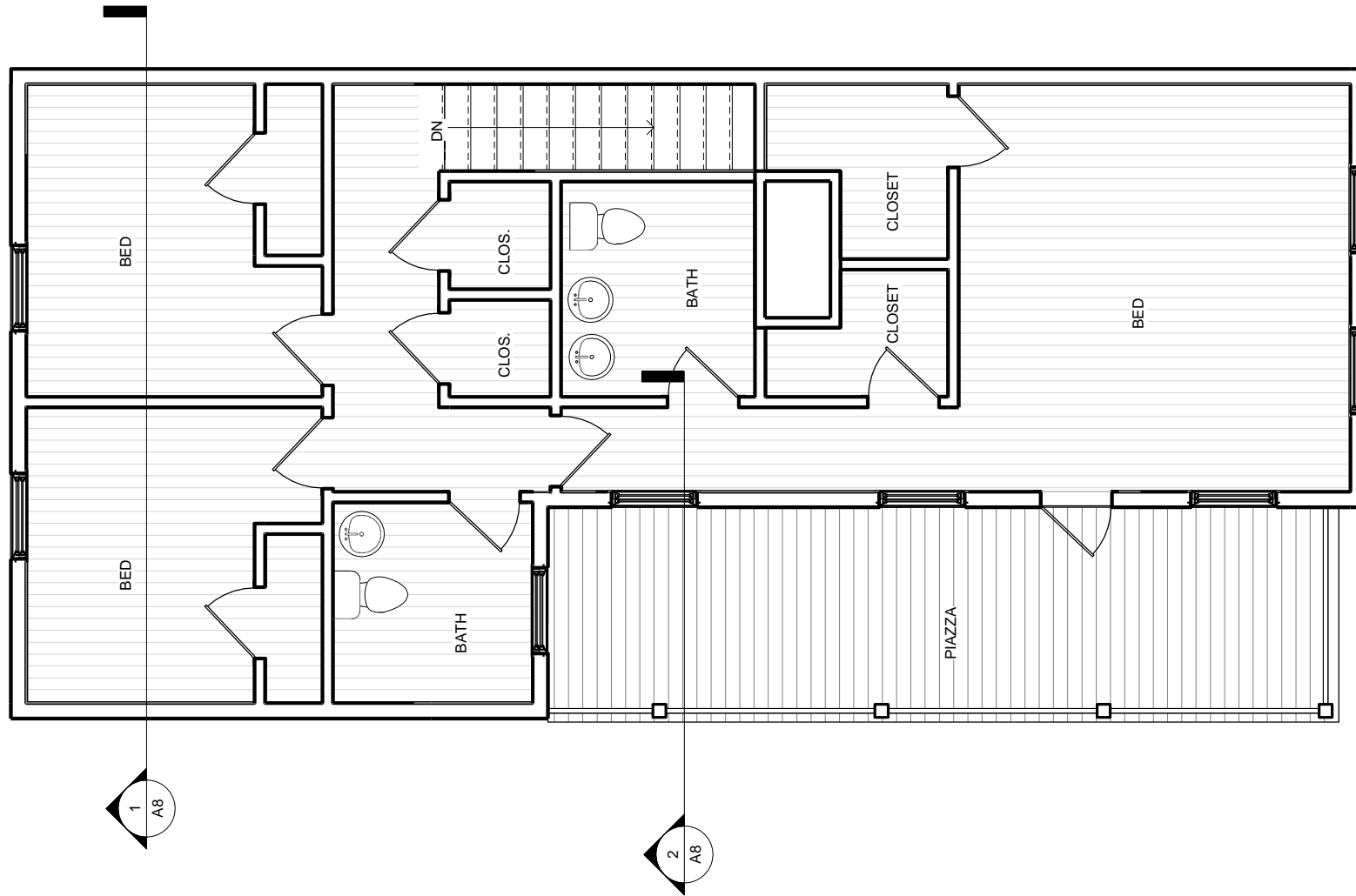
42 SOUTH STREET

MULBERRY STREET  
DEVELOPMENT



No.	Description	Date
3	A8	

FIRST FLOOR PLANS		
Project number	CHS42	A5
Date	Issue Date	
Drawn by	WWE	Scale 1/4" = 1'-0"
Checked by		



42 SOUTH STREET

MULBERRY STREET  
DEVELOPMENT



No.	Description	Date

SECOND FLOOR PLAN		
Project number	CHS42	A6
Date	Issue Date	
Drawn by	Author	Scale 1/4" = 1'-0"
Checked by	Checker	





# Agenda Item #12

---

47 GIBBES STREET  
TMS # 457-11-02-020

Requesting conceptual approval for rear addition.

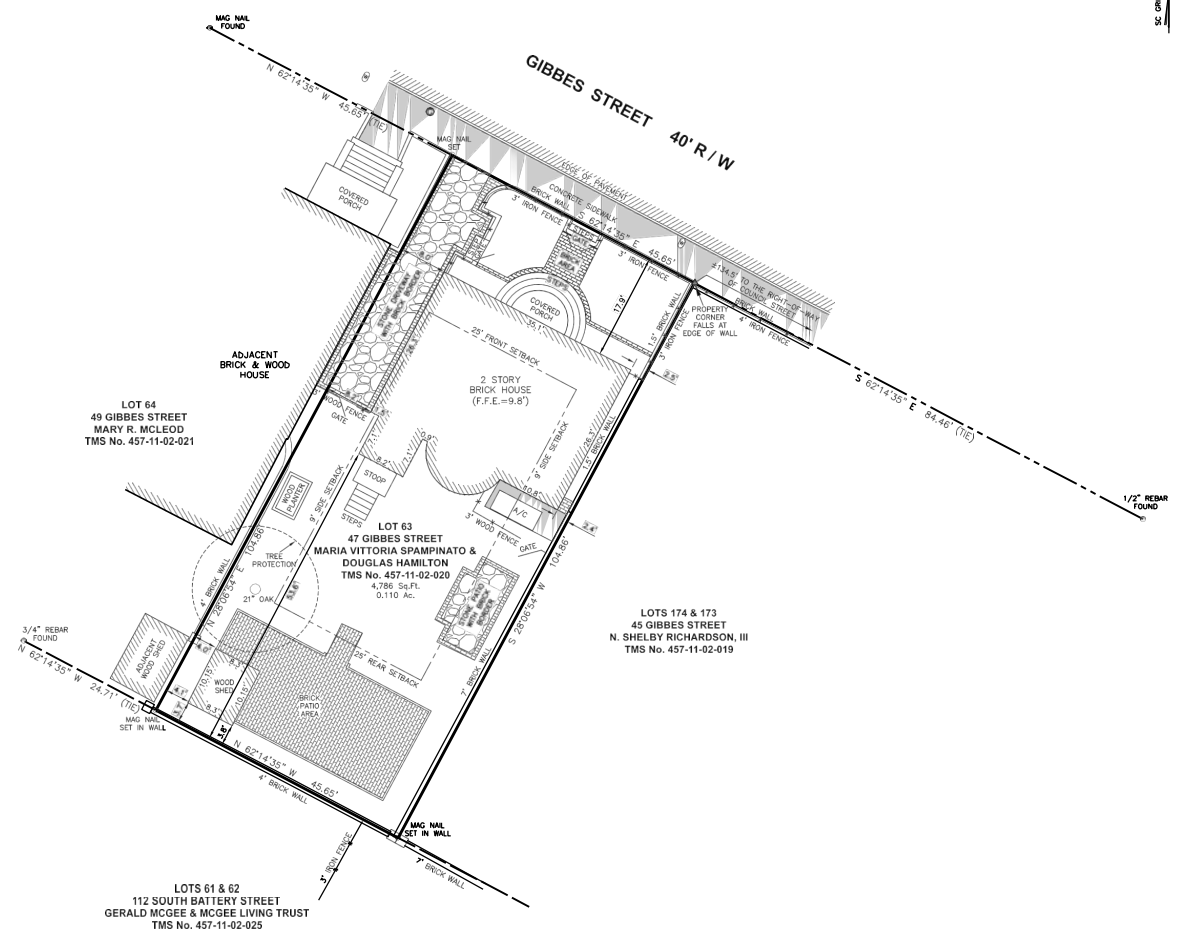
Not Surveyed / Charlestowne / c. 1940/ Old and Historic District

**LEGEND**

- - PROPERTY CORNER FOUND (AS DESCRIBED)
- - PROPERTY CORNER SET (AS DESCRIBED)
- △ - CALCULATED POINT (NO MARKER SET/FOUND)
- ⊕ - WATER METER
- ⊕ - GAS VALVE
- +—+—+— - FENCE LINE
- +—+—+— - TREE PROTECTION
- +—+—+— - PROPERTY LINE
- +—+—+— - ADJACENT PROPERTY LINE
- +—+—+— - RIGHT-OF-WAY
- +—+—+— - SETBACK LINE
- ▨ - CONCRETE

**EXISTING LOT COVERAGE:**

LOT 50 FT = 4,786 SQ. FT.  
 IMPERVIOUS AREA = 2,632 SQ. FT.  
 HOUSE AREA = 1,039 SQ. FT.  
 PORCH, STOOP & STEPS AREA = 167 SQ. FT.  
 STONE & BRICK AREA = 1,135 SQ. FT.  
 BRICK WALL AREA = 144 SQ. FT.  
 AC & CONCRETE AREA = 64 SQ. FT.  
 WOOD SHED AREA = 84 SQ. FT.  
 TOTAL LOT COVERAGE = 54,995



**VICINITY MAP (NOT TO SCALE)**

**FLOOD NOTE**

THIS PROPERTY IS LOCATED IN FLOOD ZONE  
 HE (E. 14), PER FEMA FLOOD MAP PANEL NO.  
 45018C014L, COMMUNITY NO. 455412  
 (CITY OF CHARLESTON)  
 EFFECTIVE DATE: 11-17-2004.

**NOTES**

- 1) ELEVATIONS ARE BASED ON NGVD 29 DATUM.
- 2) COORDINATES ARE BASED ON SOUTH CAROLINA STATE PLANE GRID NO. 83 (2011).
- 3) ALL 8" & LARGER TREES OF ALL SPECIES ARE SHOWN HEREON. TREE SIZES SHOWN HEREON ARE IN INCHES OF DIAMETER. TREE IDENTIFICATIONS ARE NOT MADE BY A CERTIFIED ARBORIST.
- 4) DISTANCES SHOWN HEREON ARE HORIZONTAL GROUND DISTANCES.
- 5) ANYTHING SHOWN OUTSIDE THE DEFINED BOUNDARY IS FOR DESCRIPTIVE PURPOSES ONLY.
- 6) THIS PLAT OR SURVEY SHOWS ALL UTILITIES EVIDENT AT THE TIME OF THE SURVEY; NO UNDERGROUND UTILITY INVESTIGATION WAS MADE AT THIS TIME.
- 7) NO SUBSURFACE OR ENVIRONMENTAL INVESTIGATION WAS PERFORMED FOR THIS PLAT OR SURVEY; THEREFORE, THIS PLAT OR SURVEY DOES NOT REFLECT THE EXISTENCE OR NONEXISTENCE OF HAZARDOUS CONTAMINATION, OR OTHER CONDITIONS WHICH MAY AFFECT THIS PROPERTY.
- 8) THE PUBLIC RECORDS REFERENCED ON THIS PLAT OR SURVEY ARE ONLY USED AND/OR NECESSARY TO THE ESTABLISHMENT OF THE BOUNDARY OF THIS PROPERTY; THEY ARE NOT AND DO NOT CONSTITUTE A TITLE SEARCH.
- 9) THIS PROPERTY IS LOCATED IN THE CITY OF CHARLESTON ZONING DISTRICT SR-2 (SINGLE-FAMILY RESIDENTIAL DISTRICT).
- 10) SETBACKS PER SR-2 (SINGLE-FAMILY RESIDENTIAL DISTRICT) ARE AS FOLLOWS:  
 FRONT = 25'  
 REAR = 20'  
 SIDE = 18' TOTAL  
 (9' SOUTH/WEST) (9' NORTH/EAST)

**REFERENCES**

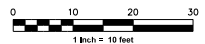
- 1) PROPERTY DEED FOR TMS No. 457-11-02-020, RECORDED AT CHARLESTON COUNTY ROD, DEED BOOK 0459, PAGE 161.
- 2) PLAT ENTITLED "MAP OF THE SOUTHWESTERN SECTION OF THE CITY OF CHARLESTON, SOUTH CAROLINA, SHOWING THE LOCATION OF THE PROPOSED SEA WALL AND THE DIVISION OF THE SUBDIVISION INTO STREETS AND BUILDING LOTS OF THE MAR LANDS LYING BETWEEN SAME AND THE PRESENT SHORELINE", DATED: JUNE, 1909  
 BY: JAMES O'HEAR, C.E. & SURVEYOR  
 RECORDED AT CHARLESTON COUNTY ROD, PLAT BOOK C, PAGE 080.
- 3) PLAT ENTITLED "PLAT OF A SURVEY SHOWING THE COMBINATION OF LOTS 173 AND 174, SHOWING AS NO. 45 GIBBES STREET, CITY OF CHARLESTON, OWNED BY A JACKSON CRUMBLEY, III AND PATRICIA T. CRUMBLEY", DATED: NOVEMBER 25, 1998  
 REVISOR: JUNE 15, 1999  
 BY: HERBERT A. NIEMEYER, JR., S.C.P.L.S.  
 SC. REG. NO. 249  
 RECORDED AT CHARLESTON COUNTY ROD, PLAT BOOK 69, PAGE 991.
- 4) PLAT ENTITLED "PLAT SHOWING THE ADJUSTMENT OF THE PROPERTY LINE BETWEEN LOTS 173 & 174, KNOWN AS NO. 45 GIBBES STREET, CITY OF CHARLESTON, CHARLESTON COUNTY, SOUTH CAROLINA", DATED: SEPTEMBER 14, 1989  
 BY: F. STEVEN JOHNSON, R.L.S.  
 SC. REG. NO. 10038  
 RECORDED AT CHARLESTON COUNTY ROD, PLAT BOOK 6X, PAGE 136.
- 5) PLAT ENTITLED "PLAT SHOWING THE PROPERTY LINE ADJUSTMENT OF LOTS 62, 66 & PART OF LOT 65 INTO NEW LOTS 66 & 67, CITY OF CHARLESTON, CHARLESTON COUNTY, S.C.", DATED: JUNE 28, 2000  
 REVISOR: AUGUST 4, 2006  
 BY: FORSMAN J. ANDERSON, R.L.S.  
 SC. REG. NO. 12250  
 RECORDED AT CHARLESTON COUNTY ROD, PLAT BOOK 07, PAGE 457.

**LOCAL LAND SURVEYING, LLC**

1075 WINSLOW DRIVE  
 CHARLESTON, SC 29412  
 PHONE: (843) 990-6328  
 EMAIL: jhance@localandsurveying.com

I HEREBY STATE THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE STANDARDS OF PRACTICE MANUAL FOR SURVEYING IN SOUTH CAROLINA, MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN.

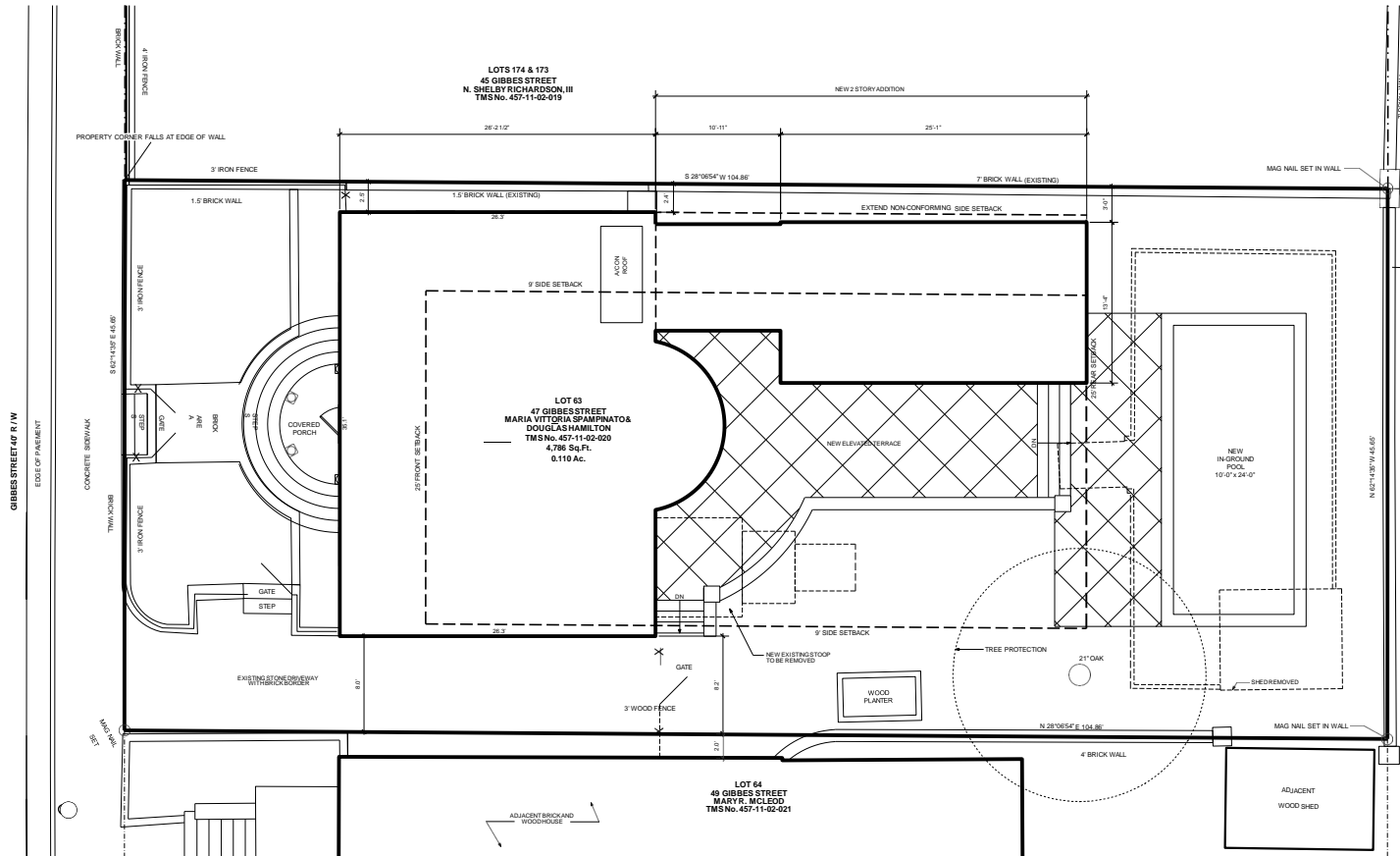
*JOSHUA W. HANCE*  
 JOSHUA W. HANCE, PLS  
 S.C.P.L.S. No. 26006  
 DATE: 6-26-2018  
 THIS PLAT OR SURVEY IS VALID ONLY IF IT BEARING THE ORIGINAL SIGNATURE AND CHANGED SEAL OF THE ABOVE STATED SURVEYOR.



**BOUNDARY, TREE & AS-BUILT SURVEY  
 SHOWING LOT 63  
 47 GIBBES STREET  
 TMS No. 457-11-02-020**  
 OWNED BY: MARIA VITTORIA SPAMPINATO & DOUGLAS HAMILTON  
 LOCATED IN THE  
 CITY OF CHARLESTON  
 CHARLESTON COUNTY, SOUTH CAROLINA  
 DATE: JUNE 26, 2018 SCALE: 1"=10' PROJECT No. 18065



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LOTS 174 & 173  
 45 GIBBS STREET  
 N. SHELBY RICHARDSON, III  
 TMS No. 457-11-02-019

LOT 63  
 47 GIBBS STREET  
 MARIA VITTORIA SPAMPINATO &  
 DOUGLAS HAMILTON  
 TMS No. 457-11-02-020  
 4,786 Sq.Ft.  
 0.110 Ac.

LOT 64  
 49 GIBBS STREET  
 MARY S. MCLEOD  
 TMS No. 457-11-02-021

<b>47 GIBBS STREET</b>	
TMS #	457-11-02-020
LOT SIZE	4,786 SF
LOT WIDTH	46.85'
LOT DEPTH	104.86'
FLOODZONE	AE 34
ZONING	SR-2
<b>SETBACKS</b>	
FRONT	25'
REAR	25'
SIDE SOUTHWEST	7'
SIDE NORTHEAST	9'
COMBINED SIDE	18'
<b>LOT COVERAGE (BUILDINGS AND ANY UNCOVERED TERRACES/STEPS ABOVE IN HEIGHT)</b>	
ALLOWED	30% = 1,435 SF
EXISTING	29% = 1,381 SF
PROPOSED	42% = 2,000 SF (2% INCREASE)

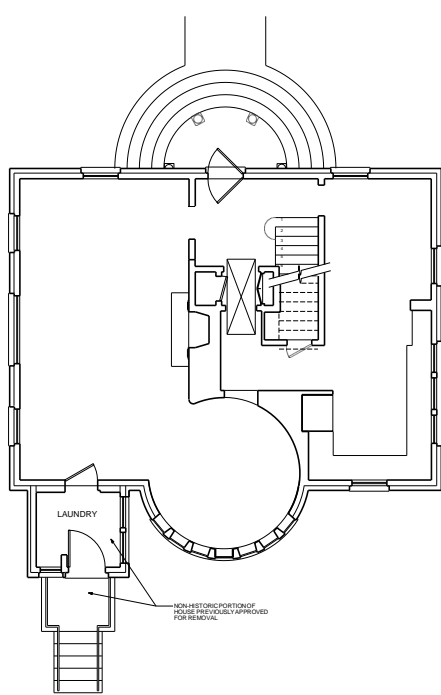
SITE INFORMATION, INCLUDING SURVEY, RECORDS, LOCATION, AND LABELS, NEIGHBORHOODS, CITY, COUNTY, SURVEY, SCALE, DATE, JAN 24, 2018.

B. E. A. U.  
 C. LOWNEY  
 architects

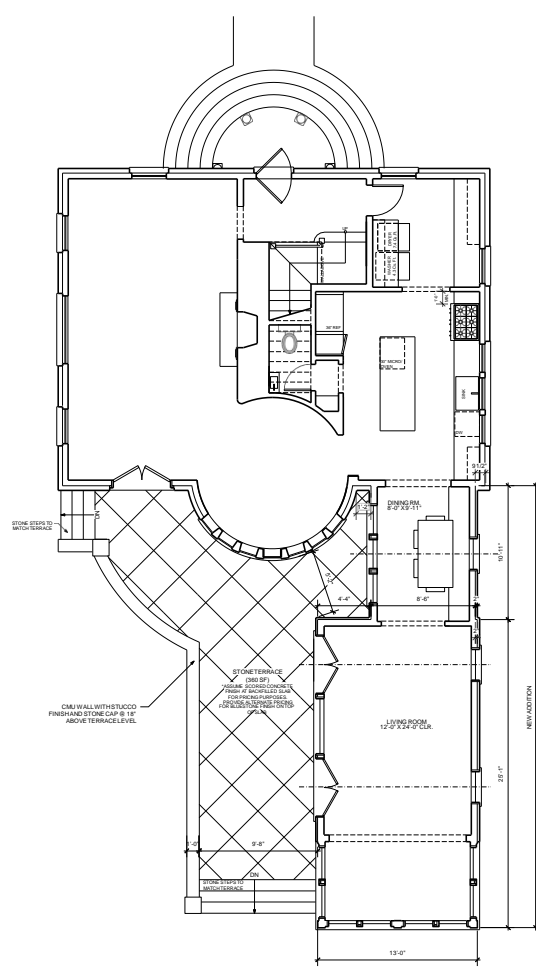
443.722.2040  
 HAMILTON RESIDENCE  
 47 GIBBS STREET  
 CHARLESTON, SC  
 PROPOSED SITE PLAN  
 1/8" = 1'-0"  
 12.30.18

A0.1

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1  
1.1  
EXISTING FIRST FLOOR PLAN

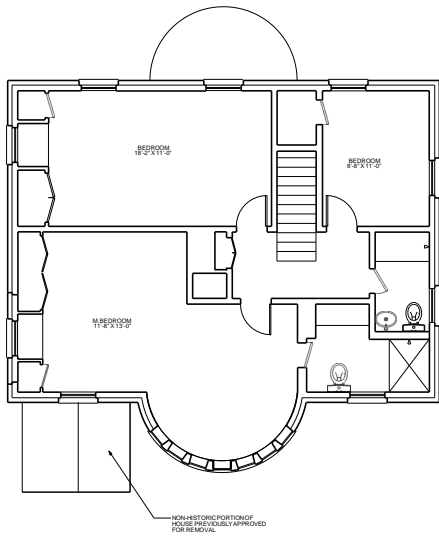


2  
1.1  
PROPOSED FIRST FLOOR PLAN

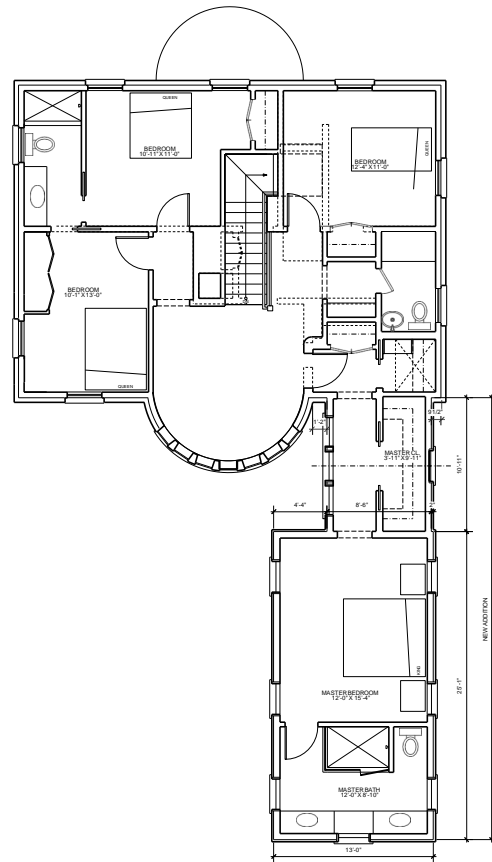
NOTE: DIMENSIONS SHOWN ARE FROM  
FACE OF STUD UNLESS NOTED  
OTHERWISE

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C L O W N E Y  
a r c h i t e c t s  
843.722.2040  
HAMILTON RESIDENCE  
47 GIBBES STREET  
CHARLESTON, SC  
FIRST FLOOR PLAN  
1/8" = 1'-0"  
12.30.19

A1.1



1  
1.1  
EXISTING SECOND FLOOR PLAN



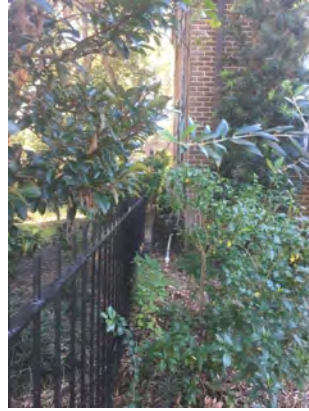
2  
1.2  
PROPOSED SECOND FLOOR PLAN

  
NOTE: DIMENSIONS SHOWN ARE FROM  
FACE OF STUD UNLESS NOTED  
OTHERWISE

B E A U  
C L O W N E Y  
a r c h i t e c t s  
843.722.2040  
HAMILTON RESIDENCE  
47 GIBBS STREET  
CHARLESTON, SC  
SECOND FLOOR PLAN 1  
7/8" = 1'-0"  
12.30.19



EAST AND NORTH ELEVATION (GIBBES STREET)



EAST PROPERTY LINE SETBACK PHOTO AT FRONT



EAST PROPERTY LINE SETBACK PHOTO AT REAR

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SOUTH ELEVATION PHOTO OF REAR



EAST ELEVATION PHOTO OF REAR



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C. L O W N E Y  
*architects*  
843.722.2040  
HAMILTON RESIDENCE  
47 GIBBES STREET  
CHARLESTON, SC  
PHOTOGRAPHS  
12.30.19

EX 2.0



B. E. A. U.

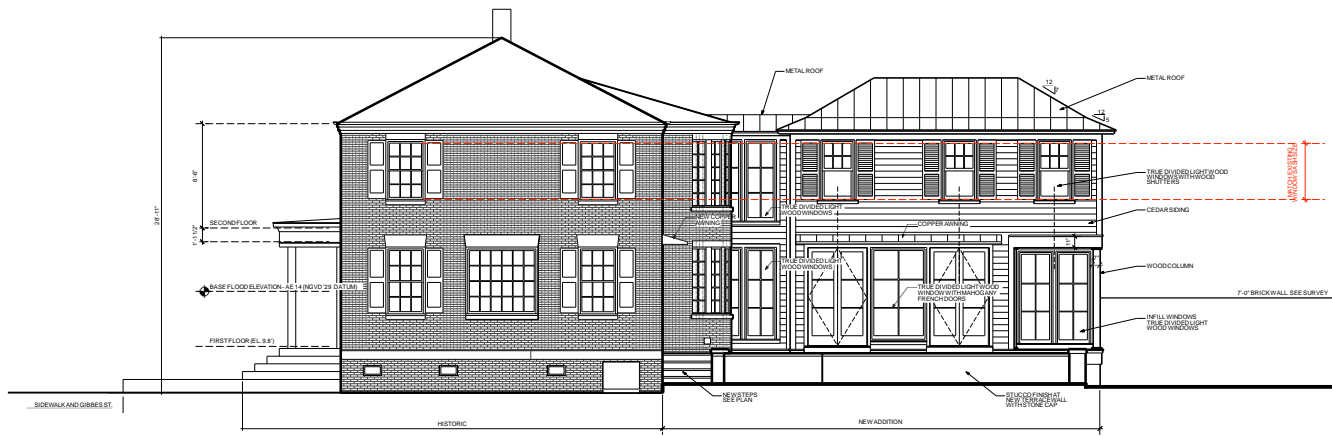
C. L. O. W. N. E. Y

architects

843.722.2040

HAMILTON RESIDENCE  
4701 BEECH STREET  
CHARLESTON, SC  
EXISTING EXTERIOR ELEVATION  
1/8" = 1'-0"  
12.30.18

EX 2.1



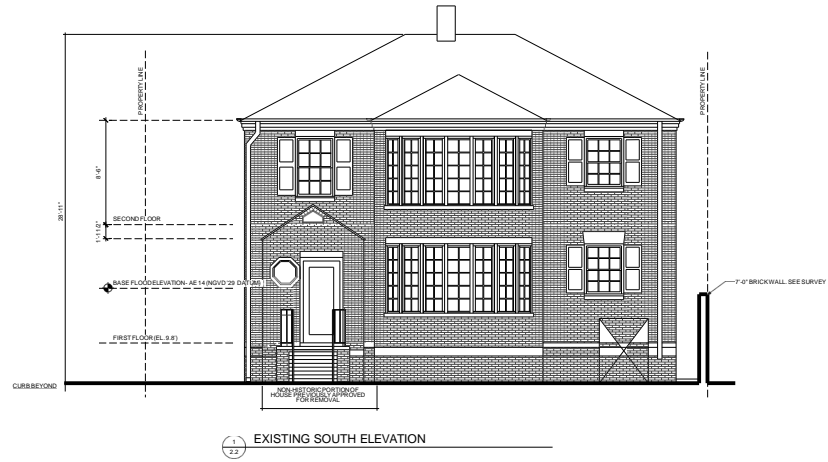
1  
21  
PROPOSED WEST ELEVATION



2  
21  
PREVIOUSLY PROPOSED WEST ELEVATION 11-19-19 BAR BOARD REVIEW

B E A U  
C L O W N E Y  
a r c h i t e c t s  
443.722.2040  
HAMILTON RESIDENCE  
47 GIBBES STREET  
CHARLESTON, SC  
EXTERIOR ELEVATION  
1/8" = 1'-0"  
12.30.19

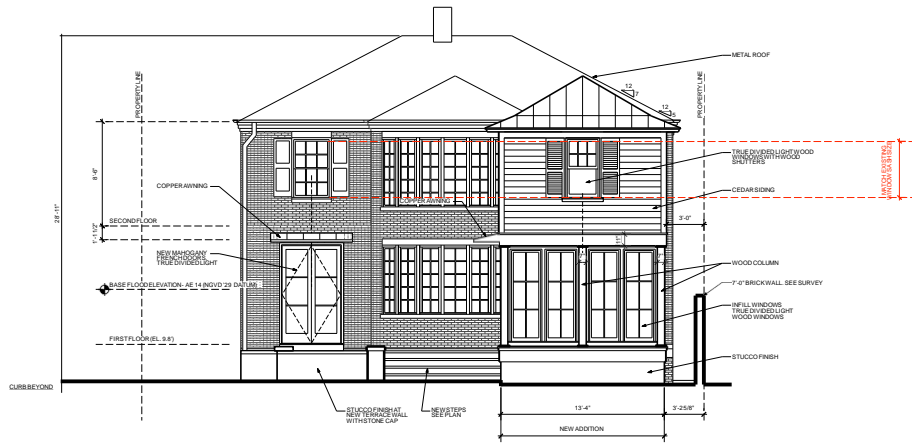




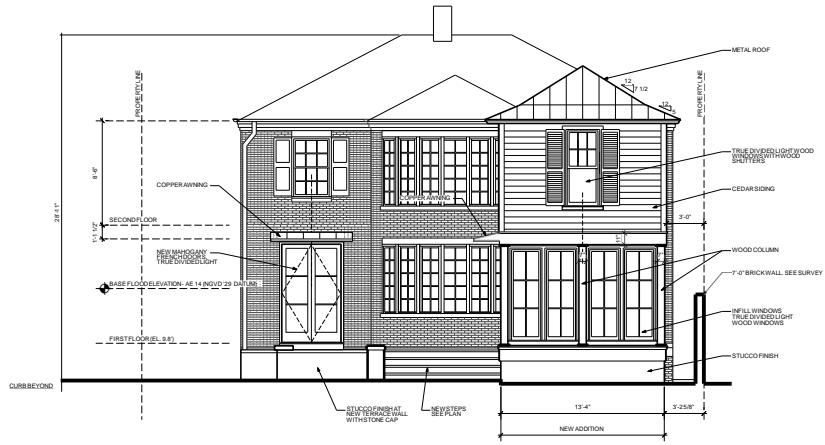
B. E. A. U.  
C. L. O. W. N. E. Y.  
architects  
843.722.2040  
HAMILTON RESIDENCE  
4701 BEECH STREET  
CHARLESTON, SC  
EXISTING SOUTH ELEVATION  
178 - 11 - 0  
12.30.19

EX 2.2

BETHUNE CLOWNEY ARCHITECTS, LLC  
 11-19-19 BAR BOARD REVIEW  
 12.30.19



1  
27 PROPOSED SOUTH ELEVATION



1  
27 PREVIOUSLY PROPOSED SOUTH ELEVATION 11-19-19 BAR BOARD REVIEW

B E A U  
 CLOWNEY  
 architects

843.722.2040  
 HAMILTON RESIDENCE  
 47 GIBBES STREET  
 CHARLESTON, SC  
 EXTERIOR ELEVATION  
 1/8" = 1'-0"  
 12.30.19

A2.2



1  
2.3  
EXISTING EAST ELEVATION



2  
2.3  
EXISTING EAST ELEVATION SHOWING BRICK WALL AT PROPERTY LINE

B. E. A. U.

C. L O W N E Y

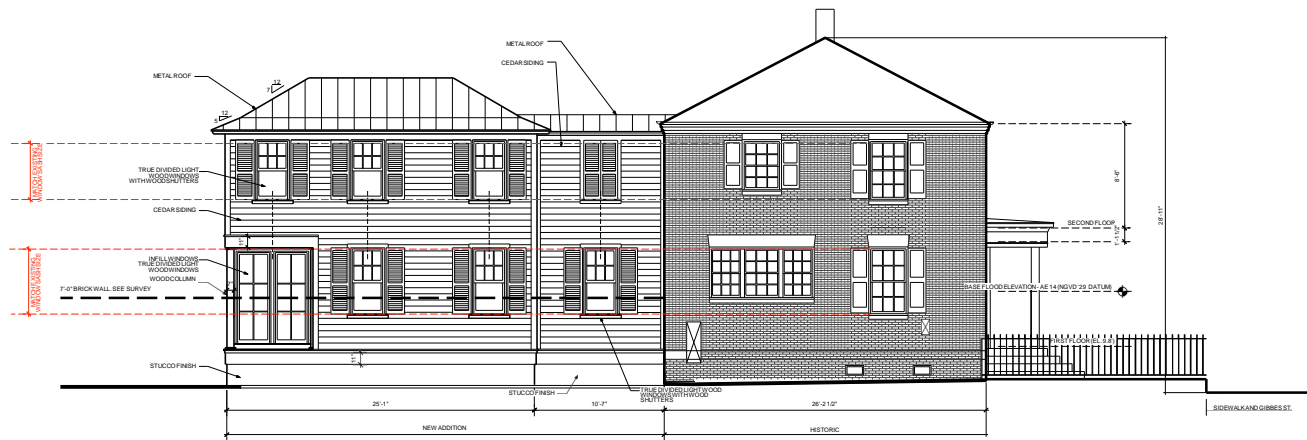
architects

843.722.2040

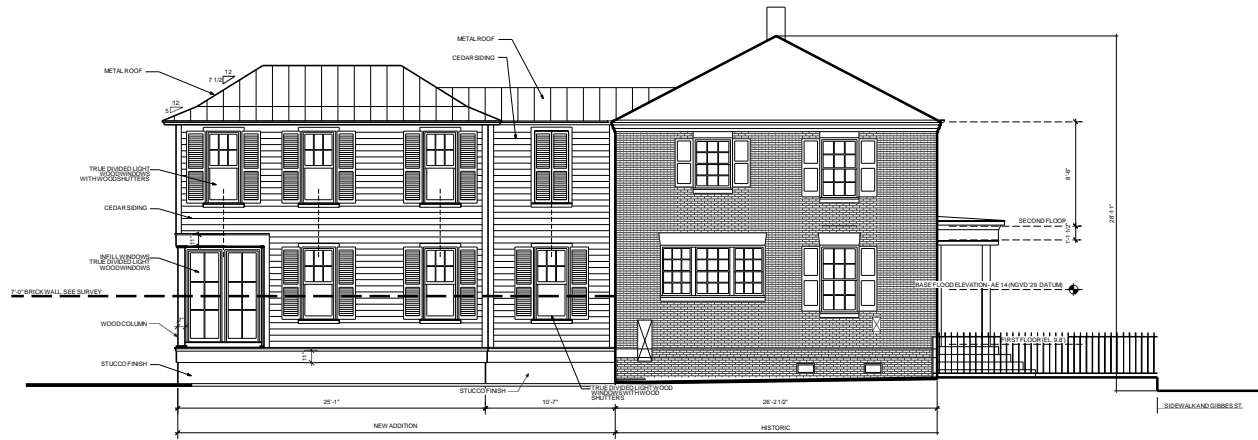
HAMILTON RESIDENCE  
47 GIBBES STREET  
CHARLESTON, SC  
EXISTING EAST ELEVATION  
1/8" = 1' - 0"  
12.30.19

EX 2.3

B E A U C L O W N E Y A R C H I T E C T S, L L C  
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1  
 PROPOSED EAST ELEVATION



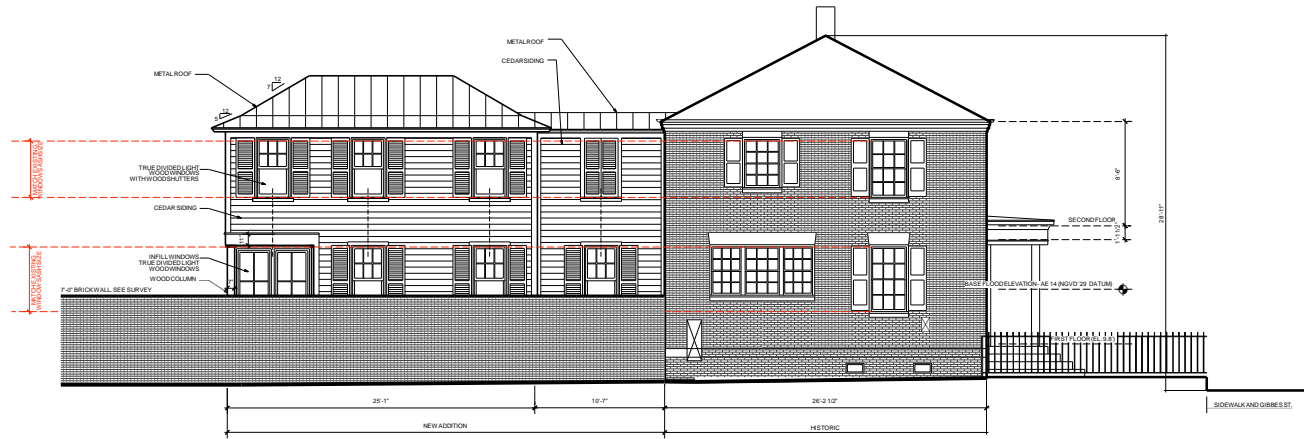
2  
 PREVIOUSLY PROPOSED EAST ELEVATION 11-19-19 BAR BOARD REVIEW

B E A U  
 C L O W N E Y  
 architects

443.722.2040

HAMILTON RESIDENCE  
 47 GIBBES STREET  
 CHARLESTON, SC  
 EXTERIOR ELEVATION  
 1/8" = 1'-0"  
 12.30.19

A2.3



1  
2.5  
PROPOSED EAST ELEVATION SHOWING WALL AT PROPERTY LINE

B. E. A. U.

C. L. O. W. N. E. Y

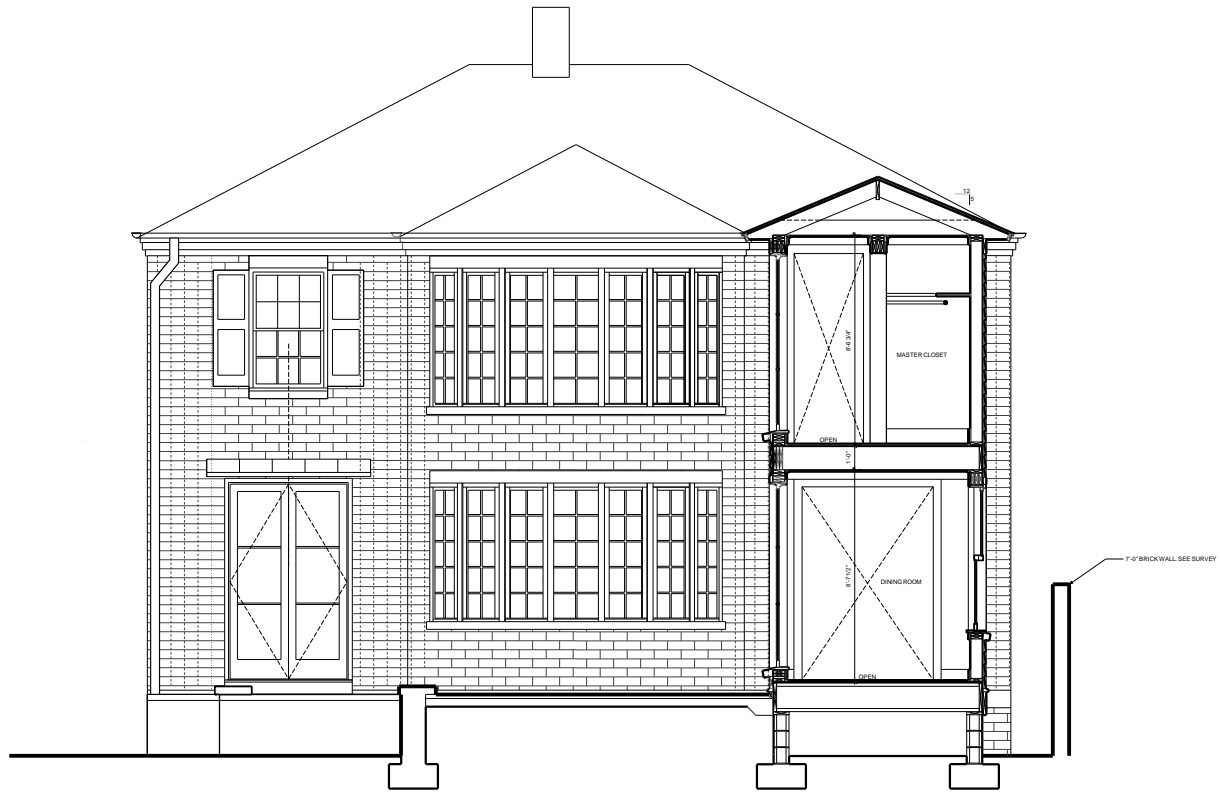
architects

843.722.2040

HAMILTON RESIDENCE  
 4701 BIRCH STREET  
 CHARLESTON, SC  
 EXTERIOR ELEVATION  
 1/8" = 1'-0"  
 12.30.19

A2.4

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3.1  
3.1 P R I O R S E C T I O N @ H Y P H E N ( A S P R O P O S E D F O R 1 1 - 1 9 - 1 9 B A R M E E T I N G )  
SCALE: 1/2" = 1'-0"

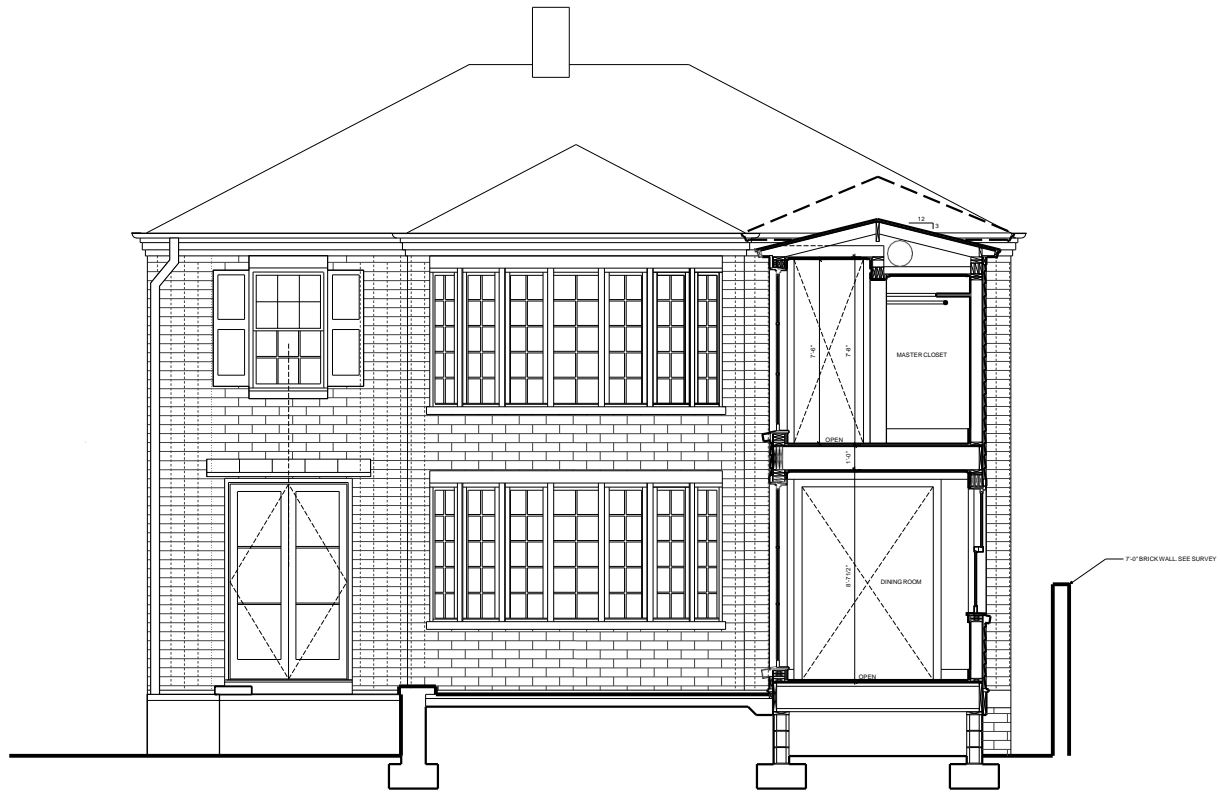
B E A U  
C L O W N E Y  
a r c h i t e c t s

843.722.2040

HAMILTON RESIDENCE  
47 GIBBESTREE  
CHARLESTON, SC  
BUILDING SECTIONS  
1/2" = 1'-0"  
12.30.19

A3.1

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NEW SECTION @ HYPHEN  
SCALE: 1/2" = 1'-0"

B E A U

C L O W N E Y

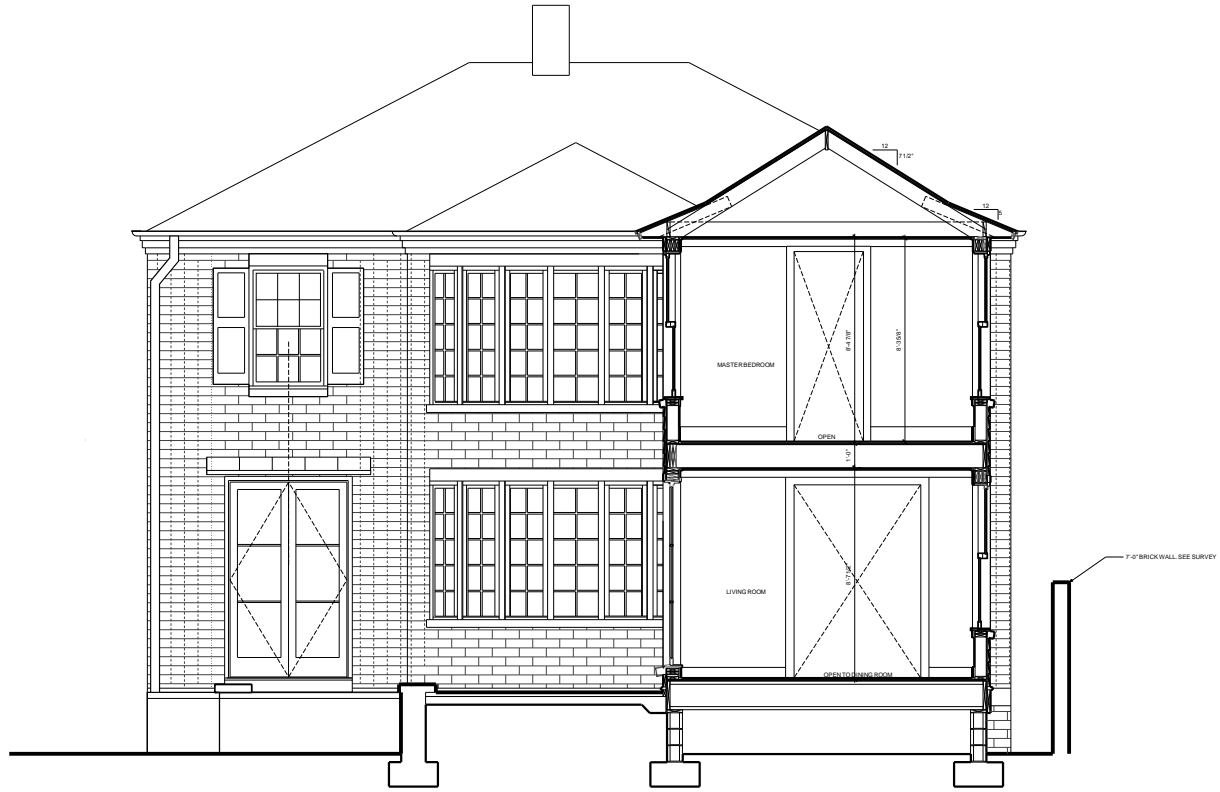
*architects*

843.722.2040

HAMILTON RESIDENCE  
4701 BEEBEE STREET  
CHARLESTON, SC  
BUILDING SECTIONS  
1/2" = 1'-0"  
12.30.19

A3.2

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3.1 PRIOR SECTION @ LIVING ROOM/ MASTER BEDROOM (AS PROPOSED FOR 11-19-19 BAR MEETING)  
SCALE: 1/2" = 1'-0"

B E A U

C L O W N E Y

*architects*

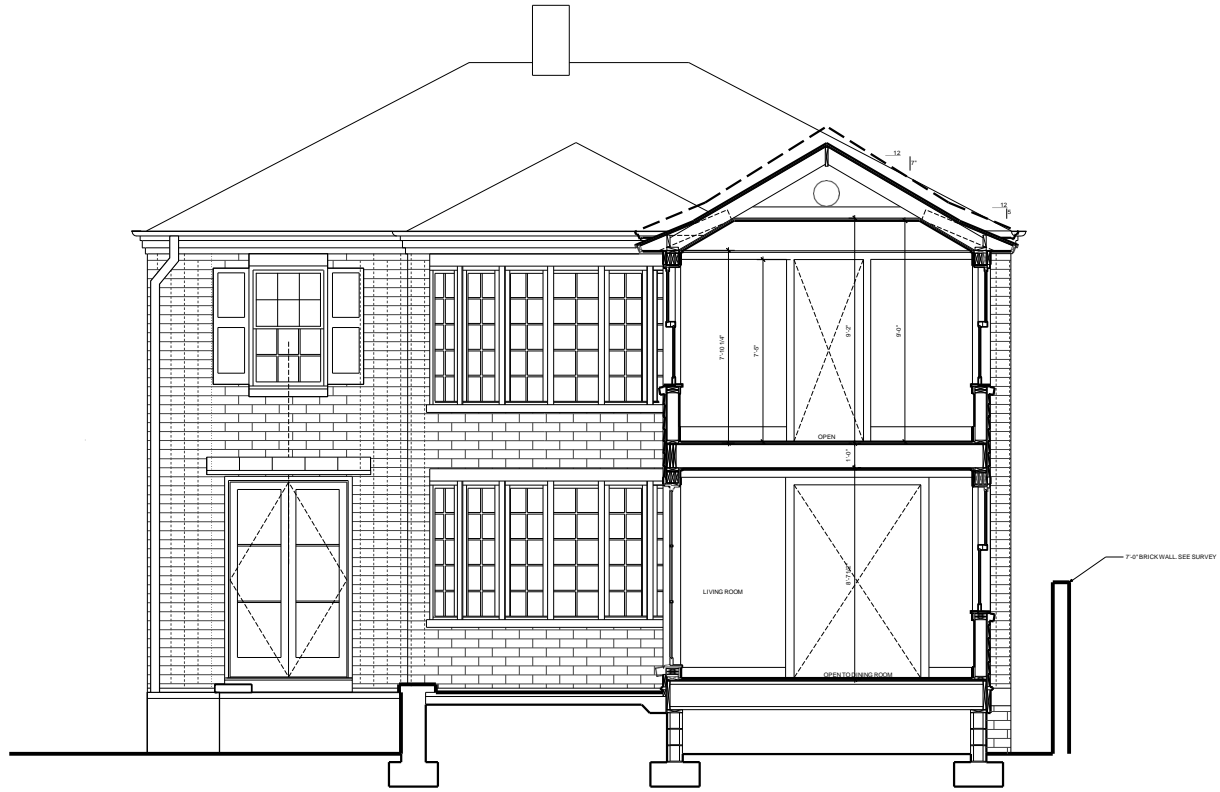
843.722.2040

HAMILTON RESIDENCE  
47 GIBBES STREET  
CHARLESTON, SC  
BUILDING SECTIONS  
1/2" = 1'-0"  
12.30.19

A3.3



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NEW SECTION @ LIVING ROOM/ MASTER BEDROOM  
SCALE: 1/2" = 1'-0"

B E A U  
C L O W N E Y  
a r c h i t e c t s  
8 4 3 . 7 2 2 . 2 0 4  
0  
HAMILTON RESIDENCE  
4708 BEECH STREET  
CHARLESTON, SC  
BUILDING SECTIONS  
1/2" = 1'-0"  
12.30.19  
  
A3.4



# Agenda Item #13

---

122 S. BATTERY  
TMS # 457-11-01-029

Requesting conceptual approval for the new construction of a detached two-car garage.

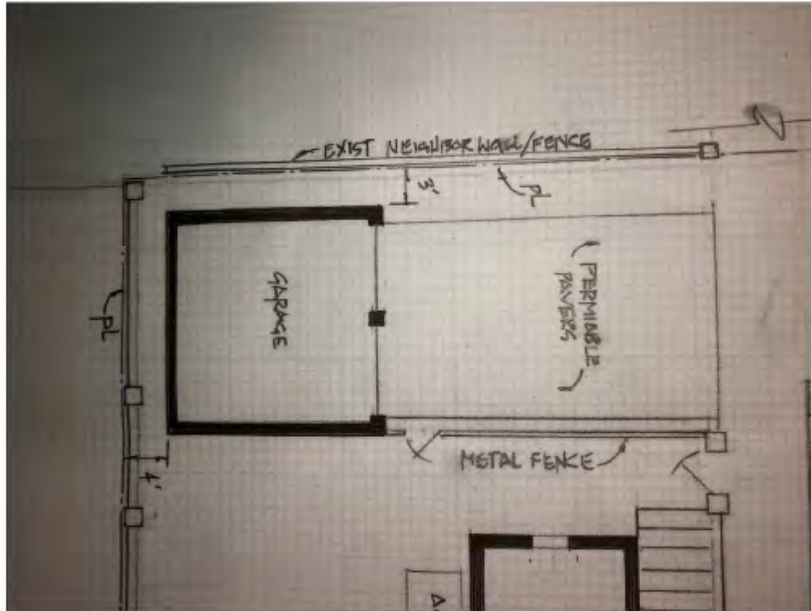
Not Rated/ Charlestowne / c. 1922 / Old and Historic District



GARAGE ADDITION

**122 south battery**





## CONCEPTUAL REVIEW

GARAGE  
FOR  
122 SOUTH BATTERY

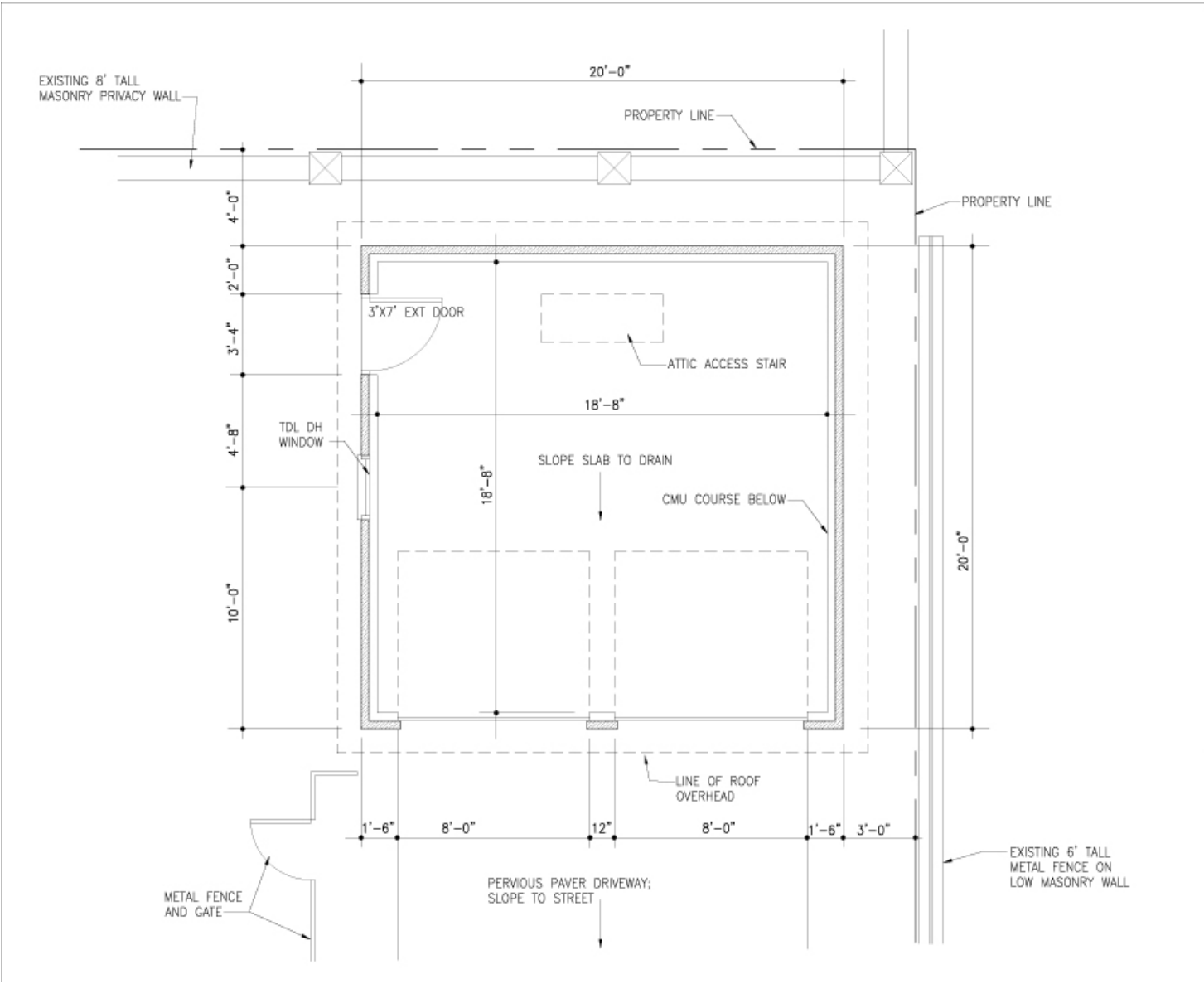
DENISE PAGANO  
122 SOUTH BATTERY  
CHARLESTON, SOUTH CAROLINA

SITE PLAN  
NOT TO SCALE



A 1

12.10.2019



ALAN JACKSON  
ARCHITECT LLC

---

MT PLEASANT SOUTH CAROLINA  
843 230 4466  
alan@alanjackson.com

# CONCEPTUAL REVIEW

GARAGE  
FOR  
122 SOUTH BATTERY

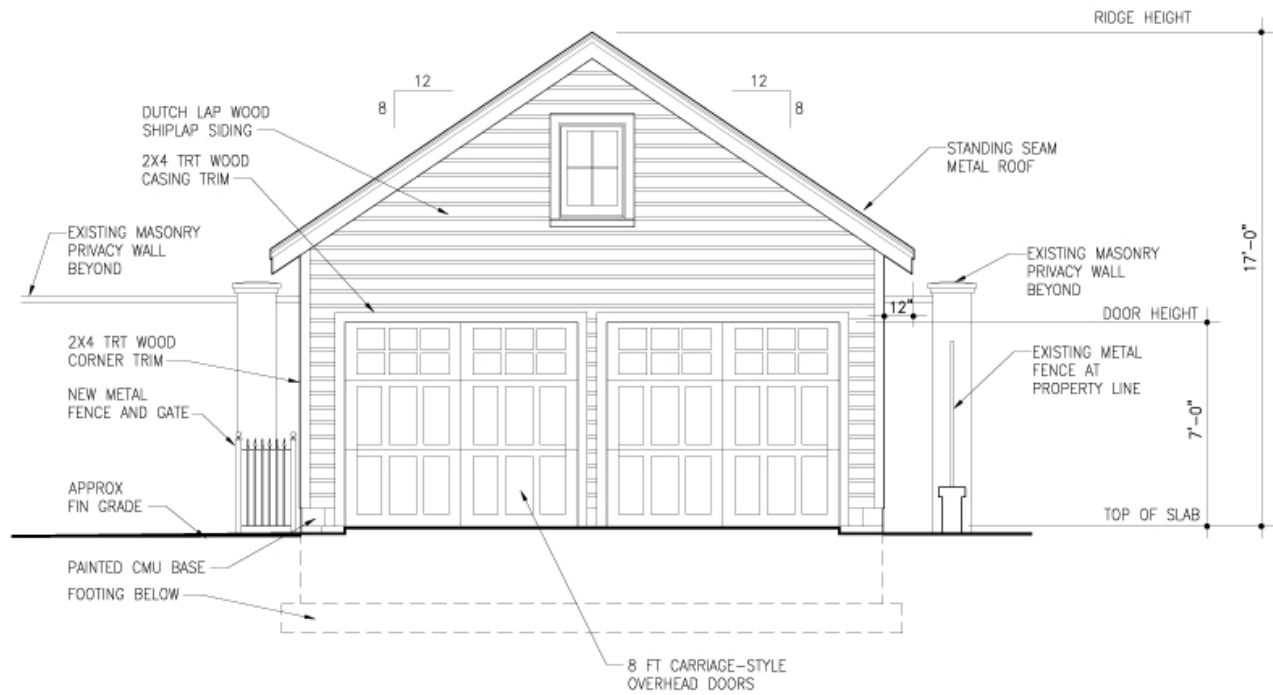
DENISE PAGANO  
122 SOUTH BATTERY  
CHARLESTON, SOUTH CAROLINA

FLOOR PLAN  
1/4" = 1'-0"



A 2

12.10.2019



ALAN JACKSON  
ARCHITECT LLC

---

117 PLEASANT SOUTH CAROLINA  
29320 4462  
alajackson@comcast.net

**CONCEPTUAL  
REVIEW**

**GARAGE  
FOR  
122 SOUTH BATTERY**

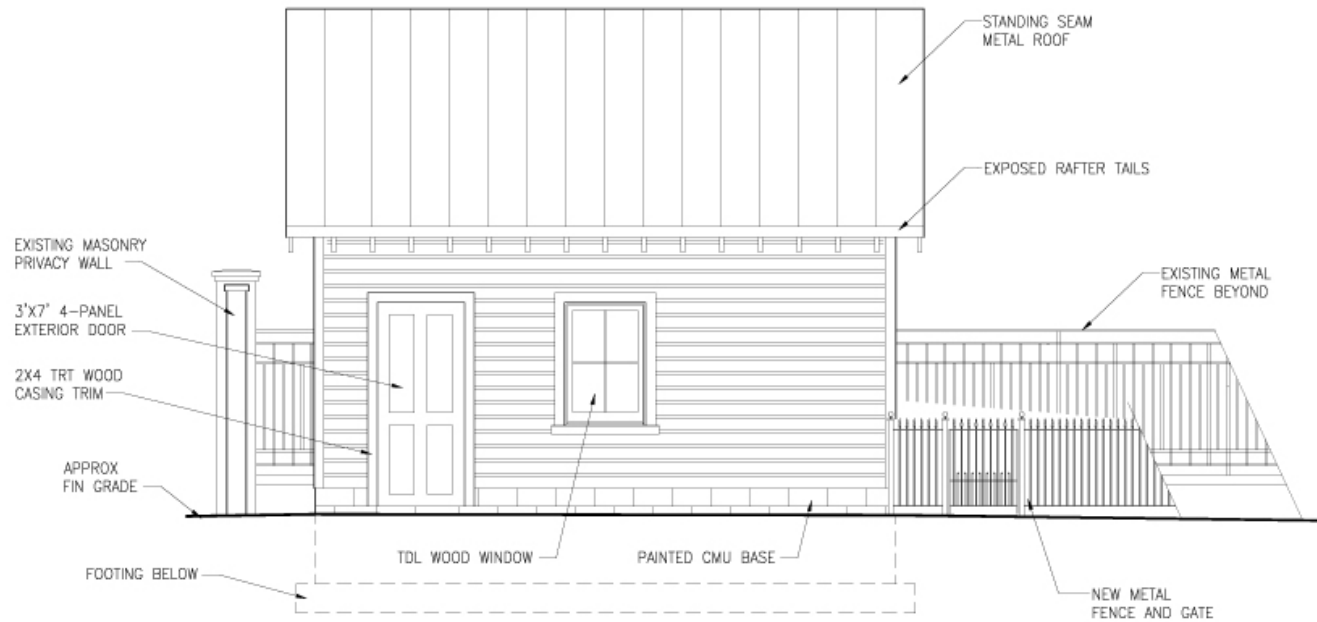
**DENISE PAGANO  
122 SOUTH BATTERY  
CHARLESTON, SOUTH CAROLINA**

**FRONT (NORTH) ELEVATION  
1/4" = 1'-0"**

**A 3**

**12.10.2019**





**CONCEPTUAL  
 REVIEW**

**GARAGE  
 FOR  
 122 SOUTH BATTERY**

**DENISE PAGANO  
 122 SOUTH BATTERY  
 CHARLESTON, SOUTH CAROLINA**

**LEFT SIDE (WEST) ELEVATION  
 1/4" = 1'-0"**

**A 4**

**12.19.2019**

ALAN JACKSON  
ARCHITECT LLC

117 PLEASANT SOUTH CAROLINA  
29320 4462  
alan@alanjackson.com

## CONCEPTUAL REVIEW

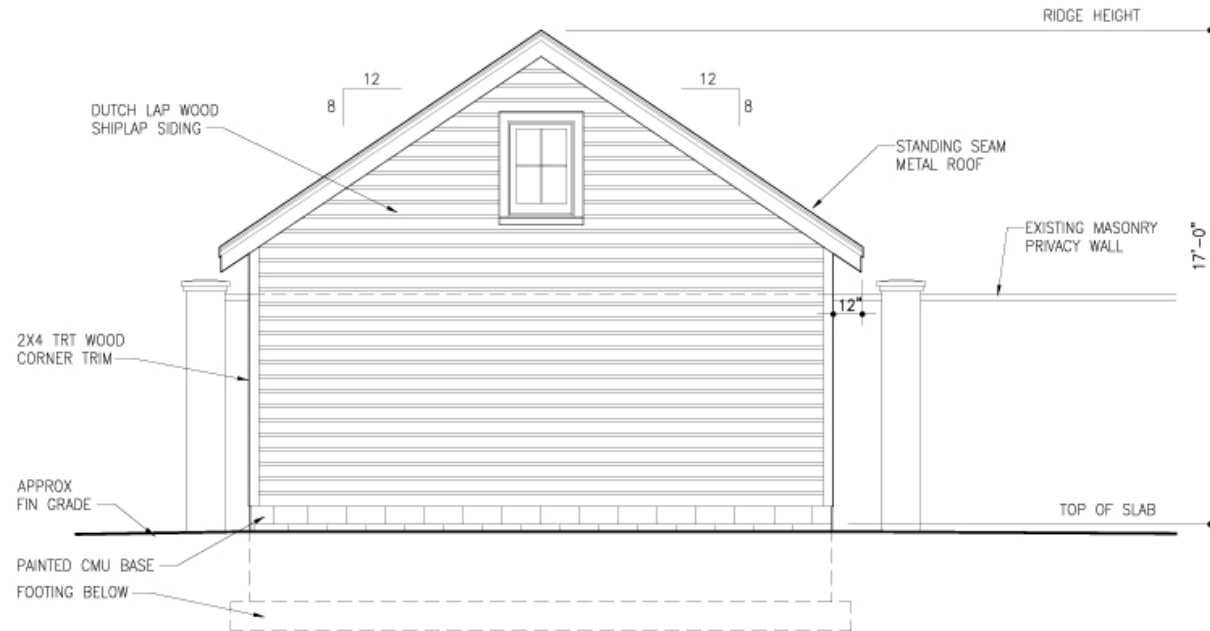
GARAGE  
FOR  
122 SOUTH BATTERY

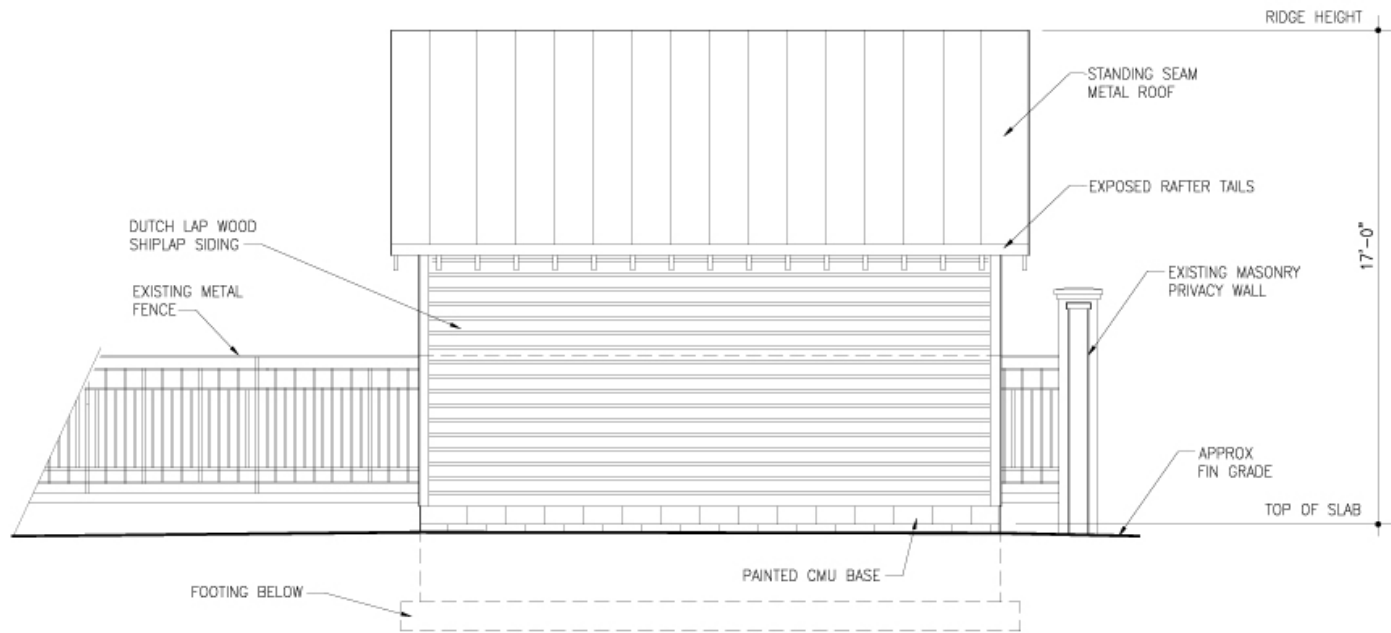
DENISE PAGANO  
122 SOUTH BATTERY  
CHARLESTON, SOUTH CAROLINA

BACK (SOUTH) ELEVATION  
1/4" = 1'-0"

A 5

12.19.2019





## CONCEPTUAL REVIEW

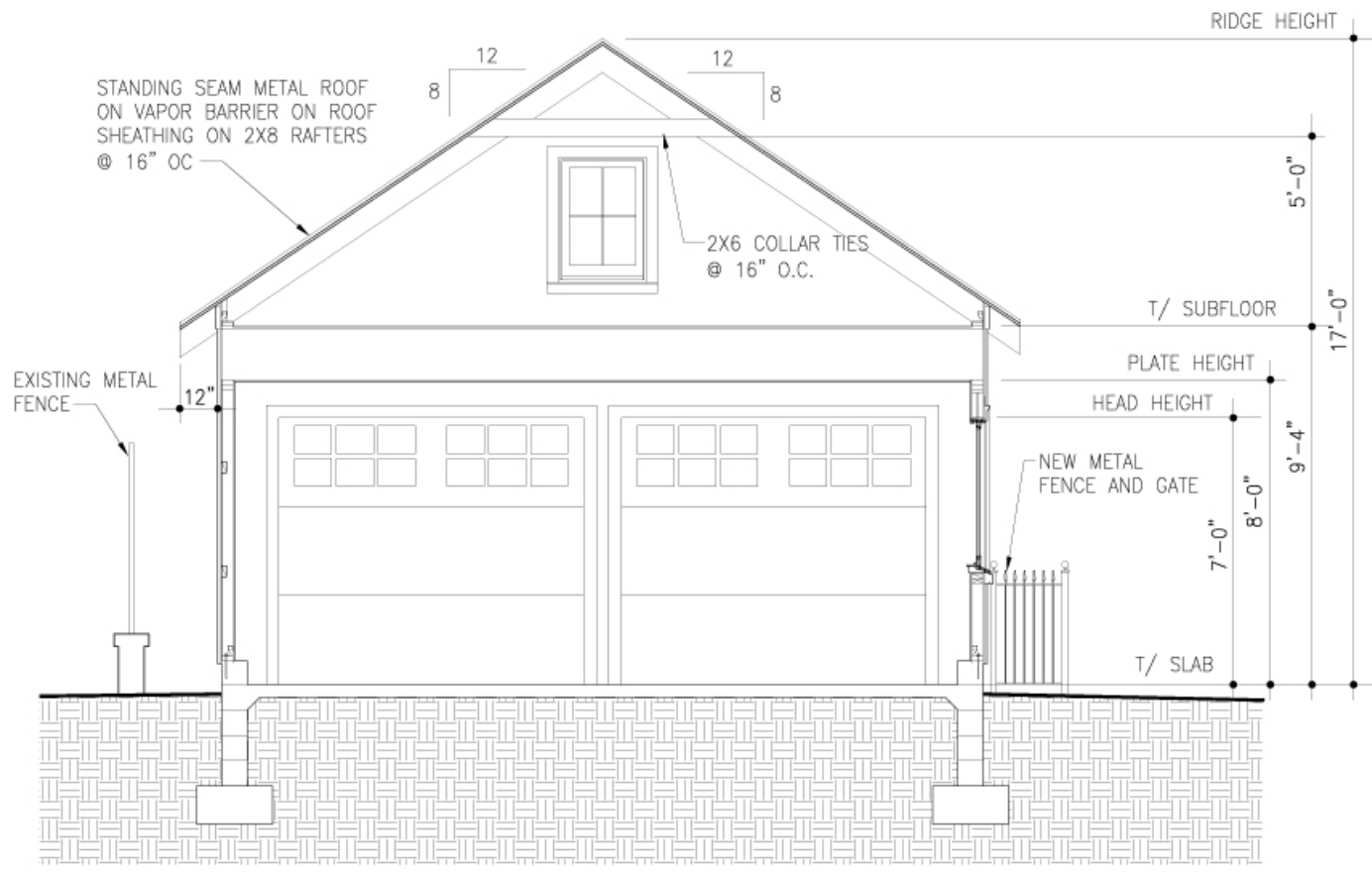
GARAGE  
FOR  
122 SOUTH BATTERY

DENISE PAGANO  
122 SOUTH BATTERY  
CHARLESTON, SOUTH CAROLINA

RIGHT SIDE (EAST) ELEVATION  
1/4" = 1'-0"

A 6

12.19.2019



ALAN JACKSON  
ARCHITECT LLC

---

MFLDGBMT SOUTH CAROLINA  
#42204466  
ajackson@correal.net

**CONCEPTUAL  
REVIEW**

**GARAGE  
FOR  
122 SOUTH BATTERY**

**DENISE PAGANO  
122 SOUTH BATTERY  
CHARLESTON, SOUTH CAROLINA**

**BUILDING SECTION  
3/8" = 1'-0"**

**A 7**

**12.10.2019**



# Agenda Item #14

---

21 MONTAGU STREET  
TMS # 457-03-04-101

Requesting final approval for new hardscape and landscape including walls and paving.

Category 3 / Charlestowne / c. pre-1872 / Old and Historic District

# McCutchen Residence | 21 Montagu

Existing Site Photos



# McCutchen Residence | 21 Montagu

Existing Site Photos



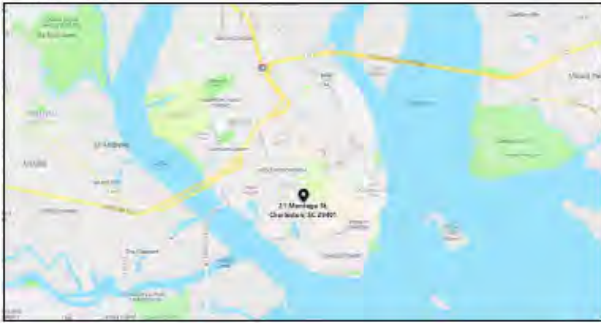


McCutchen Residence | 21 Montagu

Existing Site Photos



VICINITY MAP



PROJECT DESCRIPTION

Work includes, but is not limited to, installation of new hardscapes, carpentry, minor grading, drainage, plantings, and irrigation systems.

THOMAS AND RAVEN McCUTCHEN

# GARDEN

CHARLESTON, SOUTH CAROLINA

LANDSCAPE CONSTRUCTION DOCUMENTS  
PROGRESS SET

ISSUED: November 19th, 2019

SET NO.: 1

LOCATION MAP



SHEET INDEX

Sheet No. Sheet Title

LANDSCAPE DRAWINGS:

10-00 Cover Sheet

EXISTING CONDITIONS AND DEMOLITION

11-00 Existing Conditions  
11-01 Removals Plan

SITE MATERIALS PLAN

12-00 Site Materials Plan

SITE LAYOUT PLAN

13-00 Site Layout Plan

SITE GRADING AND DRAINAGE PLAN

14-00 Site Grading and Drainage Plan

SITE DETAILS

15-00 Masonry Details  
15-01 Masonry Details  
15-02 Carpentry Details  
15-03 Carpentry Details

PLANTING PLAN

16-00 Planting Plan

PLANTING SCHEDULE AND DETAILS

17-00 Planting Schedule and Details

ABLES  
LANDSCAPES

4527 HWY 162  
Hollywood, SC  
Tel.: 843.571.4973



McCUTCHEN RESIDENCE  
21 Montagu Street  
Charleston, SC 29401

DATE	DATE
SITE ANALYSIS	3.25.2019 JC
CONCEPTUAL	5.21.2019 MB
SCHEMATIC	7.02.2019 MB
CDS	8.02.2019 CH+MB
REVISION	11.19.2019 CH+MB



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OWNER:

THOMAS AND RAVEN  
McCUTCHEN  
21 Montagu Street  
Charleston, SC 29401

LANDSCAPE  
ARCHITECT:

MADISON RICE, RLA  
ABLES LANDSCAPES  
4527 HWY 162  
Hollywood, SC 29449  
TEL: 843.300.2159

LANDSCAPE  
CONTRACTOR:

ABLES LANDSCAPES  
4527 HWY 162  
Hollywood, SC 29449  
TEL: 843.571.4973



**McCUTCHEN RESIDENCE**  
21 Montagu Street  
Charleston, SC 29401

DATE	DESCRIPTION
3.25.2019	PRE ANALYSIS
1.21.2019	CONCEPTUAL
7.22.2019	SC-PAVING
8.02.2019	CH-48
11.19.2019	CH-48

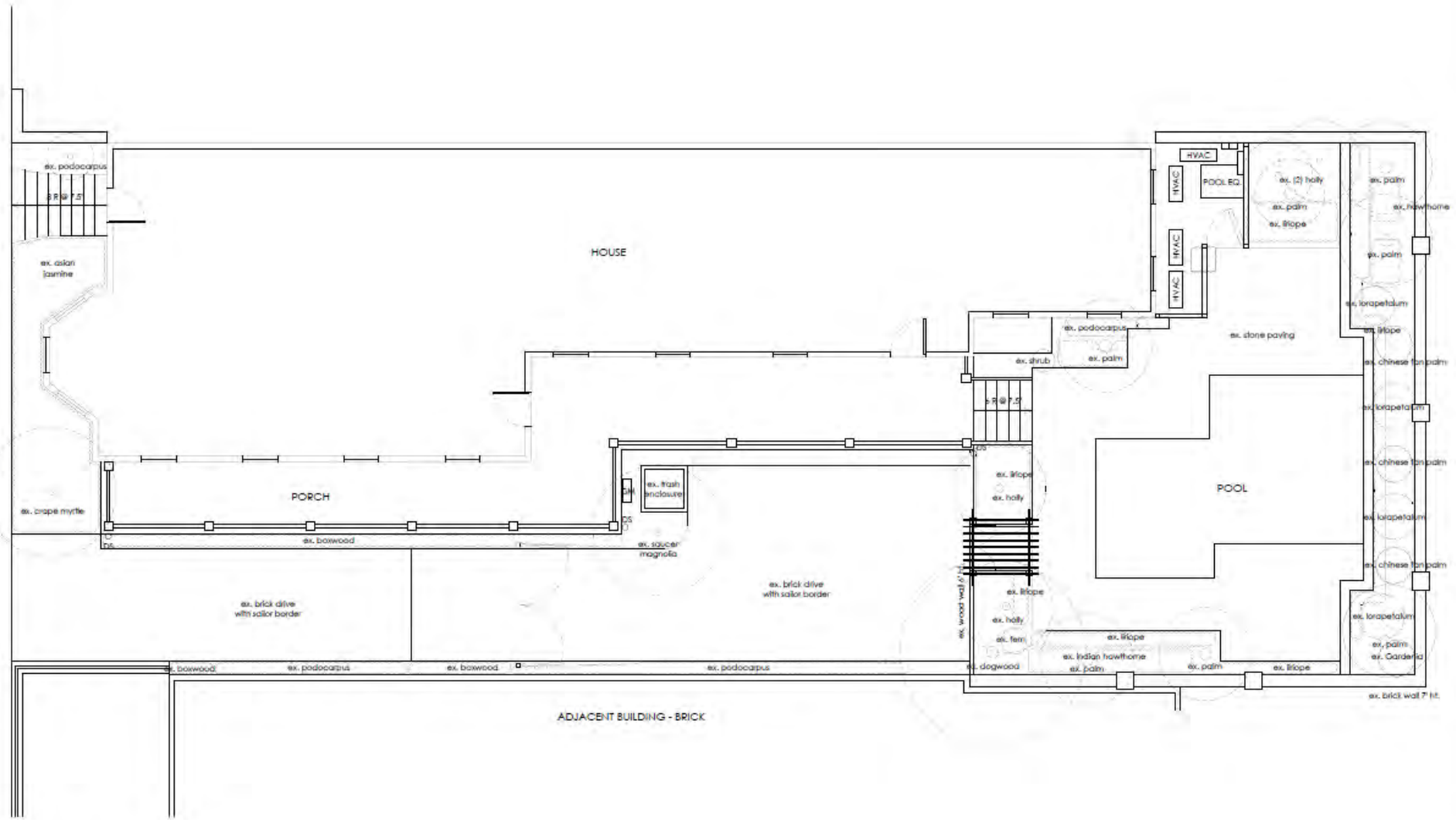


EXISTING CONDITIONS PLAN  
SCALE: 1/4" = 1' - 0"



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MONTAGU STREET





**McCUTCHEN RESIDENCE**  
21 Montagu Street  
Charleston, SC 29401

DATE	REVISION
3.25.2019 JC	3.25.2019 JC
5.21.2019 WE	5.21.2019 WE
7.23.2019 WE	7.23.2019 WE
8.02.2019 CHMB	8.02.2019 CHMB
11.19.2019 CHMB	11.19.2019 CHMB

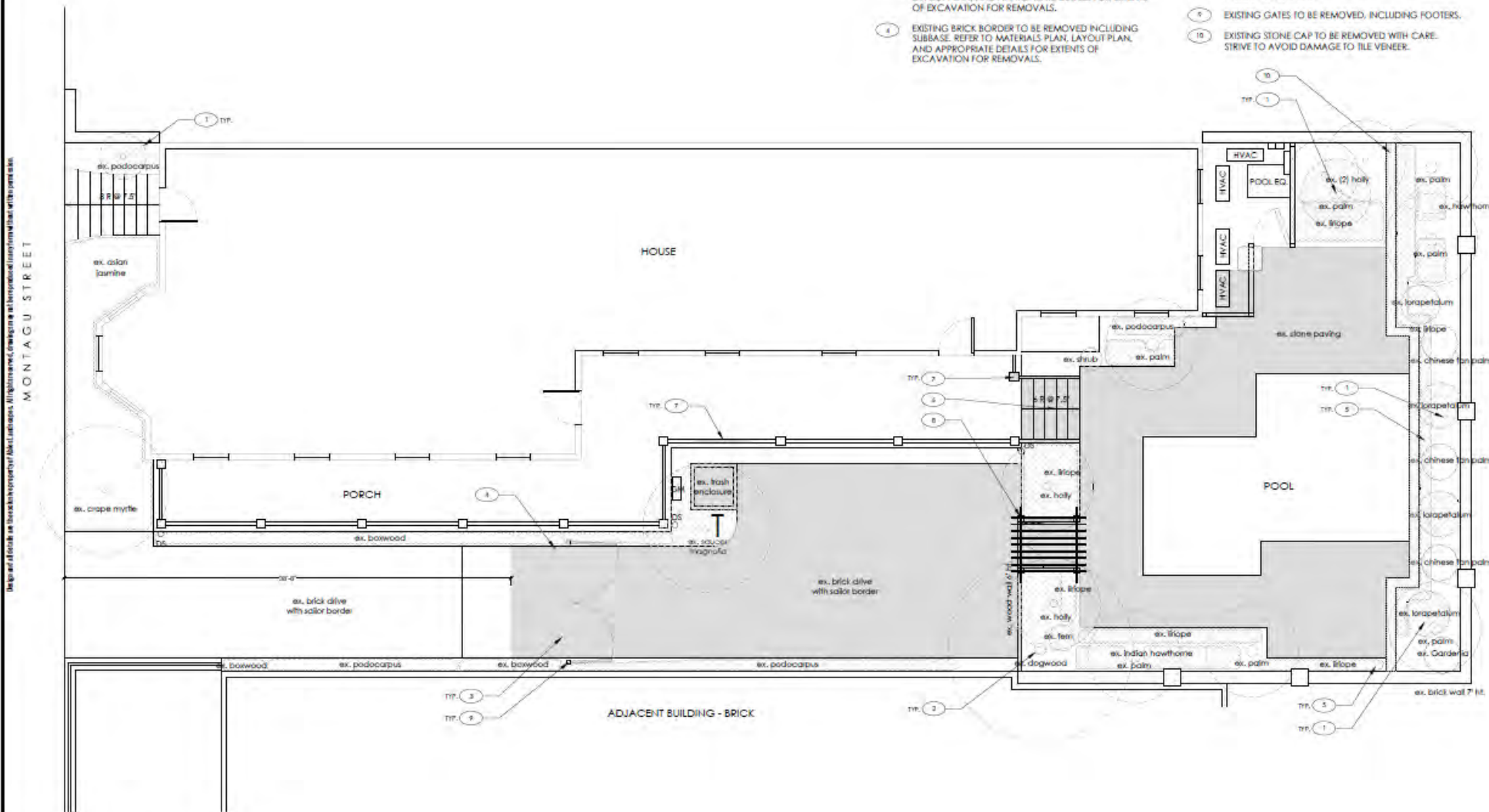


REMOVALS PLAN  
SCALE: 1/4" = 1'-0"



**SITE DEMOLITION REFERENCE NOTES:**

- 1 EXISTING SHRUBS AND TREES TO BE REMOVED, INCLUDING STUMPS AND LARGE ROOTS
- 2 EXISTING TREES TO REMAIN AND BE PROTECTED. MINIMIZE ACTIVITY WITHIN ROOT ZONE.
- 3 EXISTING BRICK PAVERS TO BE REMOVED AND SALVAGED FOR REUSE. DAMAGED AND BROKEN PAVERS TO BE DISPOSED OF. REFER TO MATERIALS PLAN, LAYOUT PLAN, AND APPROPRIATE DETAILS FOR EXTENTS OF EXCAVATION FOR REMOVALS.
- 4 EXISTING BRICK BORDER TO BE REMOVED INCLUDING SUBBASE. REFER TO MATERIALS PLAN, LAYOUT PLAN, AND APPROPRIATE DETAILS FOR EXTENTS OF EXCAVATION FOR REMOVALS.
- 5 EXISTING GROUNDCOVERS TO BE REMOVED, INCLUDING ROOTS.
- 6 EXISTING STAIRS TO BE REMOVED, INCLUDING FOOTER.
- 7 EXISTING HANDRAILS TO BE REMOVED, AND SALVAGED FOR REUSE. REFER TO MATERIALS PLAN, LAYOUT PLAN, AND APPROPRIATE DETAILS FOR EXTENTS OF REMOVAL.
- 8 EXISTING ARBOR AND FENCE TO BE REMOVED, INCLUDING FOOTERS.
- 9 EXISTING GATES TO BE REMOVED, INCLUDING FOOTERS.
- 10 EXISTING STONE CAP TO BE REMOVED WITH CARE. STRIVE TO AVOID DAMAGE TO TILE VENEER.



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**McCUTCHEN RESIDENCE**  
 21 Montagu Street  
 Charleston, SC 29401

DATE: 03.2019 JC  
 SITE ANALYSIS: 1.3.2019 AB  
 CONCEPTUAL: 1.3.2019 AB  
 SCHEMATIC: 7.22.2019 AB  
 CDD: 10.22.2019 CHAB  
 REVISION: 11.17.2019 CHAB



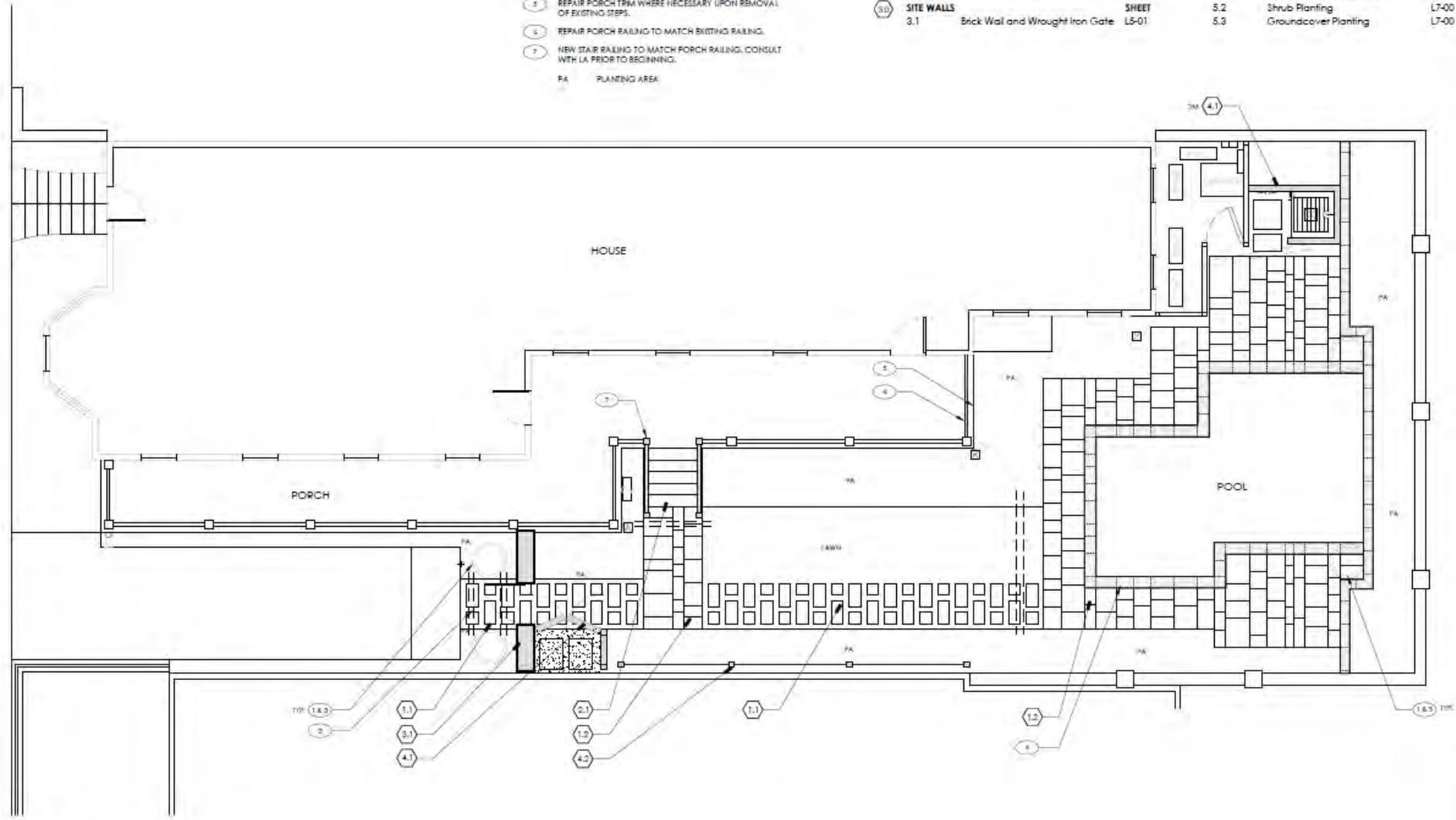
SITE MATERIALS  
 SCALE: 1/4" = 1'-0"



**SITE DETAIL KEY NOTES:**

<b>1.0 PAVEMENTS</b>	<b>SHEET</b>	<b>4.0 CARPENTRY</b>	<b>SHEET</b>
1.1 Stepping Stones	L5-00	4.1 Wood Trash Enclosure	L5-02
1.2 Stone Paving	L5-00	4.2 Wood Trellis	L5-03
<b>2.0 STEPS</b>	<b>SHEET</b>	<b>5.0 PLANTING AND LANDSCAPE</b>	<b>SHEET</b>
2.1 Stair Type 1	L5-00	5.1 Deciduous Tree Planting	L7-00
<b>3.0 SITE WALLS</b>	<b>SHEET</b>	5.2 Shrub Planting	L7-00
3.1 Brick Wall and Wrought Iron Gate	L5-01	5.3 Groundcover Planting	L7-00

- SITE MATERIALS REFERENCE NOTES:**
- 1 PLANTING POTS TO BE SELECTED BY OWNER.
  - 2 SLEEVES - (2) 4" PVC BURIED 12" BELOW GRADE AND EXTEND 6" BEYOND EDGE OF PAVING.
  - 3 PROVIDE IRRIGATION TO POTS.
  - 4 ALL STONE PIECES THAT MAKE UP POOL COPING AND RETAINING WALL COPING SHALL BE 2" THICK WITH EASED EDGE.
  - 5 REPAIR PORCH TRIM WHERE NECESSARY UPON REMOVAL OF EXISTING STEPS.
  - 6 REPAIR PORCH RAILING TO MATCH EXISTING RAILING.
  - 7 NEW STAIR RAILING TO MATCH PORCH RAILING. CONSULT WITH LA PRIOR TO BEGINNING.
- PA PLANTING AREA



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**McCUTCHEN RESIDENCE**  
21 Montagu Street  
Charleston, SC 29401

DATE	DESCRIPTION
3/25/2019	JOE JIC - SITE ANALYSIS
3/25/2019	WILLIAM W. ALES - CONCEPTUAL
7/22/2019	WILLIAM W. ALES - SC-PA/PLAT
8/28/2019	CHAD HARRIS - CITY
11/19/2019	CHAD HARRIS - REVISION

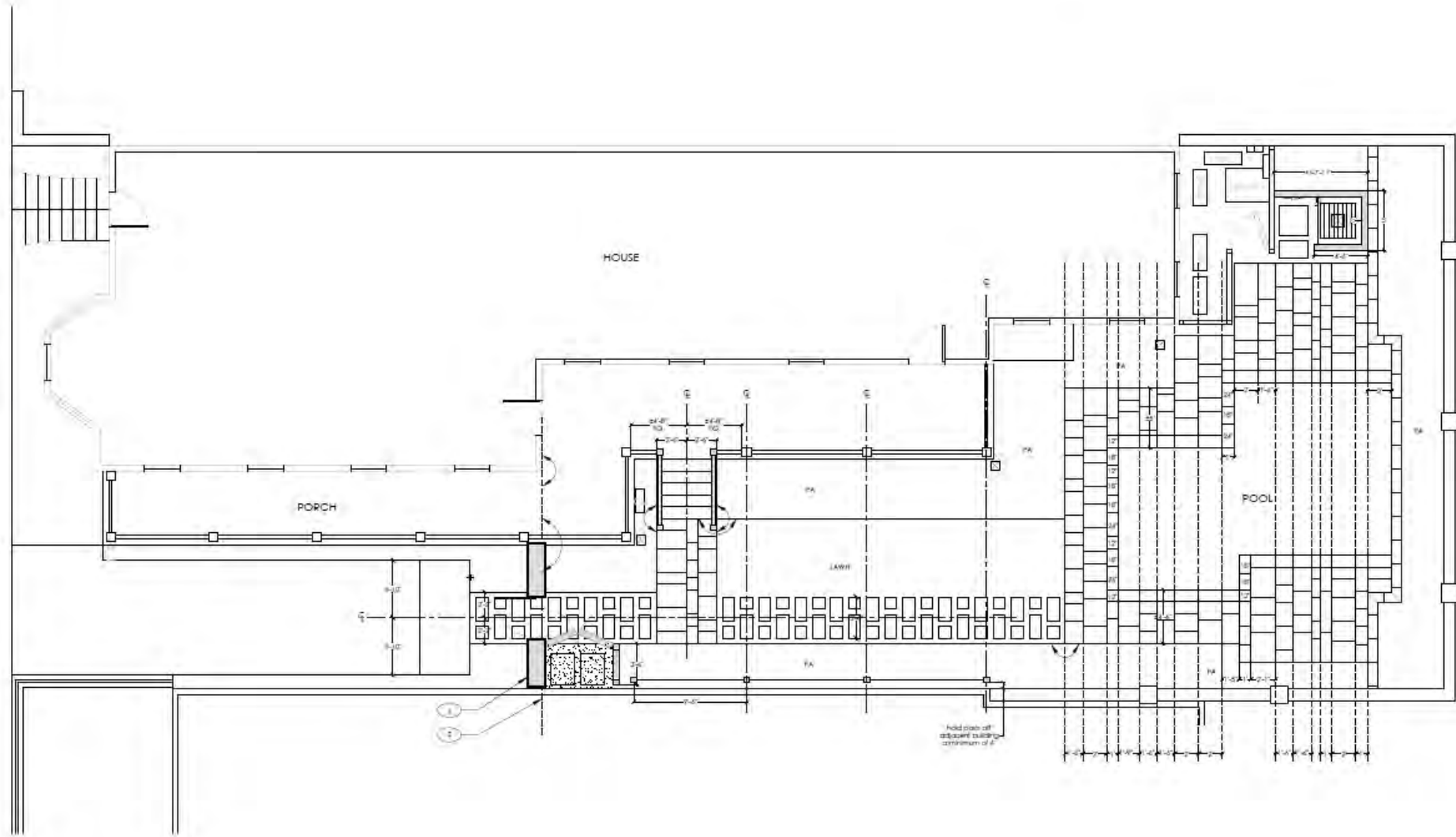


SITE LAYOUT PLAN  
SCALE: 1/4" = 1' - 0"

**L3-00**

**SITE LAYOUT REFERENCE NOTES:**

- FACE OF BRICK WALL TO BE HELD OFF ADJACENT BUILDING 3". NOTIFY LA IF EXISTING SITE CONDITIONS PROHIBIT PLACEMENT.
- FACE OF BRICK WALL TO ALIGN WITH FACE OF HOUSE FACADE AS INDICATED IN PLAN.



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MONTAGU STREET



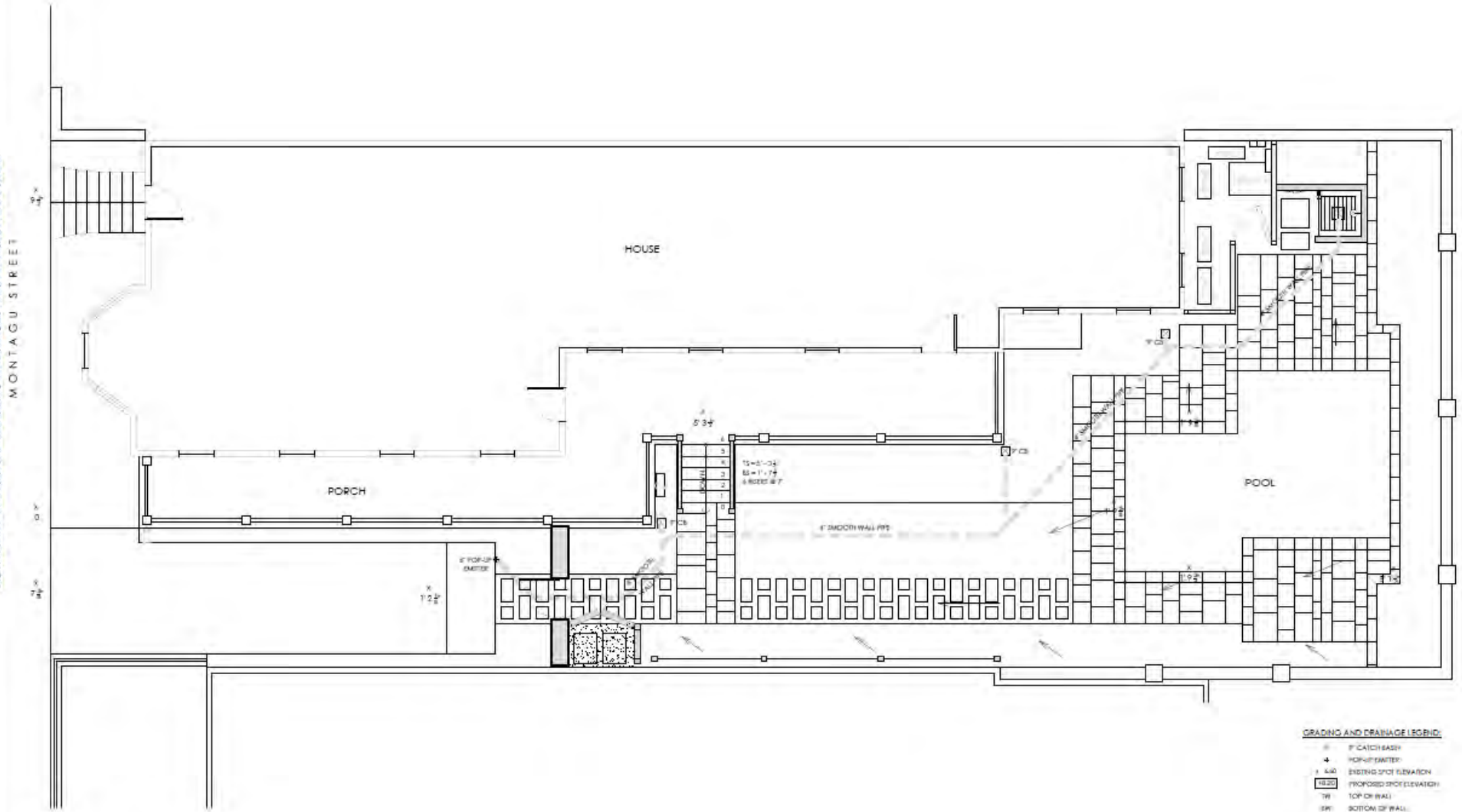
**McCUTCHEN RESIDENCE**  
21 Montagu Street  
Charleston, SC 29401

DATE: 3/25/09 JC  
SITE ANALYSIS: 3/25/09 JC  
CONCEPTUAL: 3/31/09 MB  
L1-DRAWING: 7/22/09 MB  
L2-DRAWING: 10/22/09 CHMB  
REVISION: 11/19/09 CHMB

**GRADING & DRAINAGE PLAN**  
SCALE: 1/4" = 1' - 0"



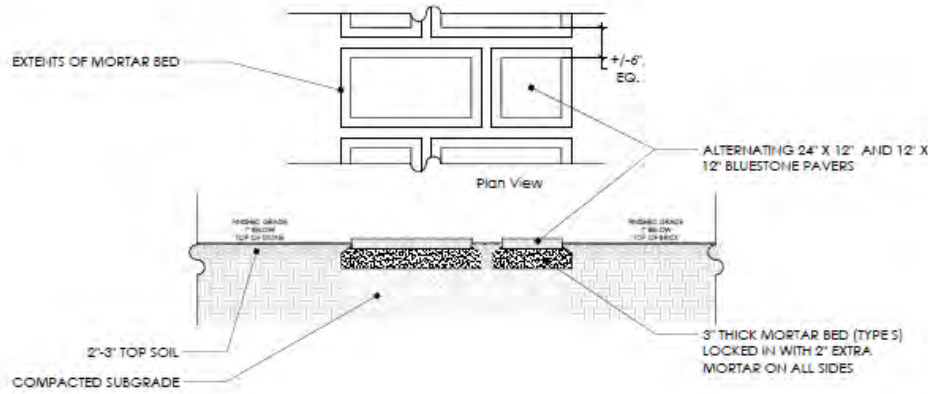
All proposed alterations are the sole responsibility of A. Bles Landscapes. All dimensions, drawings or representations of any kind shall be in accordance with the approved plan.



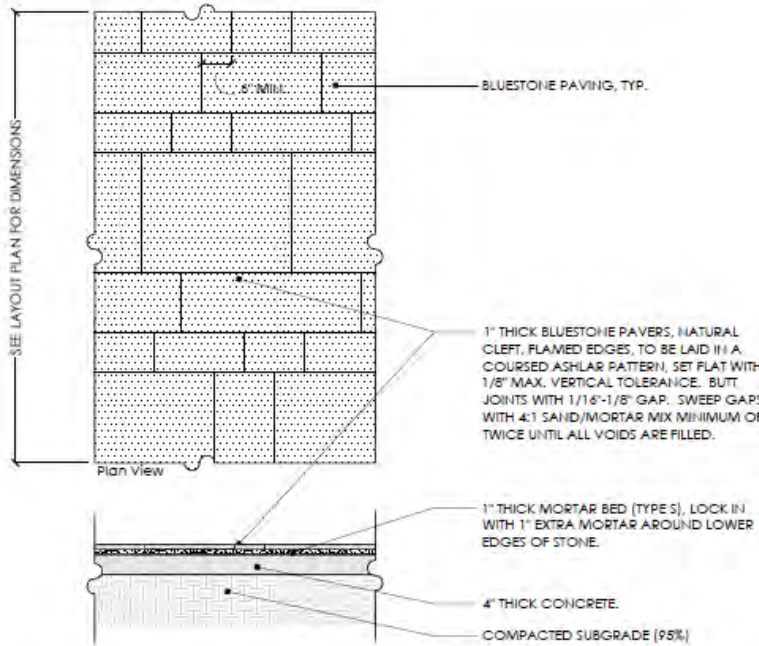
- GRADING AND DRAINAGE LEGEND:**
- 4" CATCH BASIN
  - ⊕ HOPUP EMITTER
  - ▲ EXISTING SPOT ELEVATION
  - PROPOSED SPOT ELEVATION
  - ▭ TOP OF WALL
  - ▭ BOTTOM OF WALL
  - ▭ TOP OF STEPS
  - ▭ BOTTOM OF STEPS



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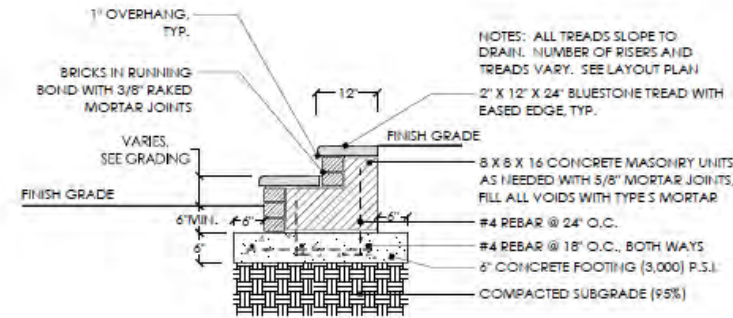
**1** STEPPING STONES 1  
Scale 1"=1'-0"  
**11** Section



**2** STONE PAVING  
Scale 1"=1'-0"  
**12** Section

SITE DETAIL KEY NOTES:

<b>1.0 PAVEMENTS</b>	<b>SHEET</b>	<b>4.0 CARPENTRY</b>	<b>SHEET</b>
1.1 Stepping Stones	L5-00	4.1 Wood Trash Enclosure	L5-02
1.2 Stone Paving	L5-00	4.2 Wood Trellis	L5-03
<b>2.0 STEPS</b>	<b>SHEET</b>	<b>5.0 PLANTING AND LANDSCAPE</b>	<b>SHEET</b>
2.1 Stair Type 1	L5-00	5.1 Deciduous Tree Planting	L7-00
<b>3.0 SITE WALLS</b>	<b>SHEET</b>	5.2 Shrub Planting	L7-00
3.1 Brick Wall and Wrought Iron Gate	L5-01	5.3 Groundcover Planting	L7-00



**3** STAIR TYPE 1  
Scale 1"=1'-0"  
**21** Section



**McCUTCHEM RESIDENCE**  
21 Montagu Street  
Charleston, SC 29401

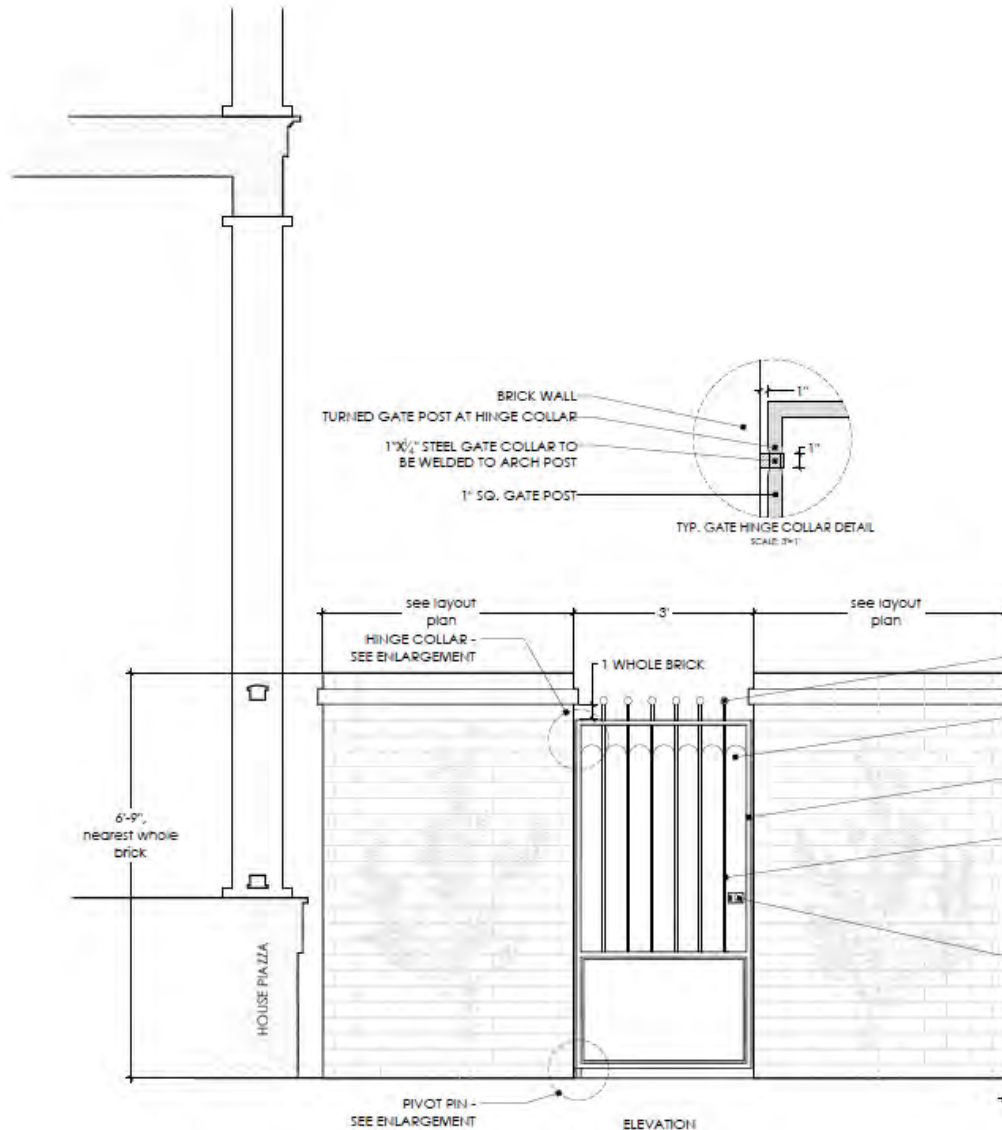
DATE	3/25/2019 JC
CONCEPTUAL	3/25/2019 AB
SCHEMATIC	7/22/2019 AB
CDP	10/22/2019 CHAB
REVISION	11/12/2019 CHAB

SITE DETAILS  
SCALE: REFER TO DETAIL





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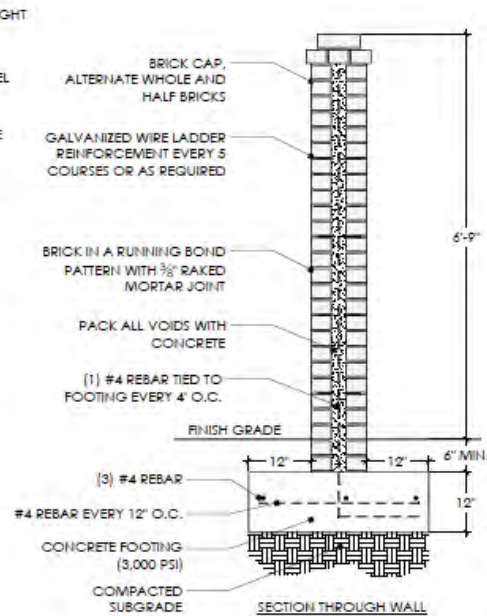
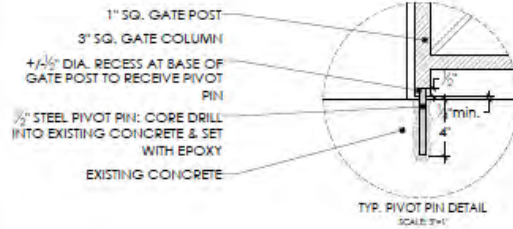


NOTE:  
ALL BRICKS TO BE OLD CAROLINA,  
COLOR TO BE PLANTATION MIX:  
(50% SAVANNAH GREY/ 50%  
GEORGETOWNE)

**1** BRICK WALL AND WROUGHT IRON GATE  
Scale: 1"=1'-0"

SITE DETAIL KEY NOTES:

<b>1.0 PAVEMENTS</b>	<b>SHEET</b>	<b>4.0 CARPENTRY</b>	<b>SHEET</b>
1.1 Stepping Stones	L5-00	4.1 Wood Trash Enclosure	L5-02
1.2 Stone Paving	L5-00	4.2 Wood Trellis	L5-03
<b>2.0 STEPS</b>	<b>SHEET</b>	<b>5.0 PLANTING AND LANDSCAPE</b>	<b>SHEET</b>
2.1 Stair Type 1	L5-00	5.1 Deciduous Tree Planting	L7-00
<b>3.0 SITE WALLS</b>	<b>SHEET</b>	5.2 Shrub Planting	L7-00
3.1 Brick Wall and Wrought Iron Gate	L5-01	5.3 Groundcover Planting	L7-00



**McCUTCHEN RESIDENCE**  
21 Montagu Street  
Charleston, SC 29401

DATE	DATE
SITE ANALYSIS 3.25.2019 JC	CONCEPTUAL 1.21.2019 MB
SC-PHASE 7.22.2019 MB	CDP 8.02.2019 CHMB
REVISION 11.19.2019 CHMB	

SITE DETAILS  
SCALE: REFER TO DETAIL

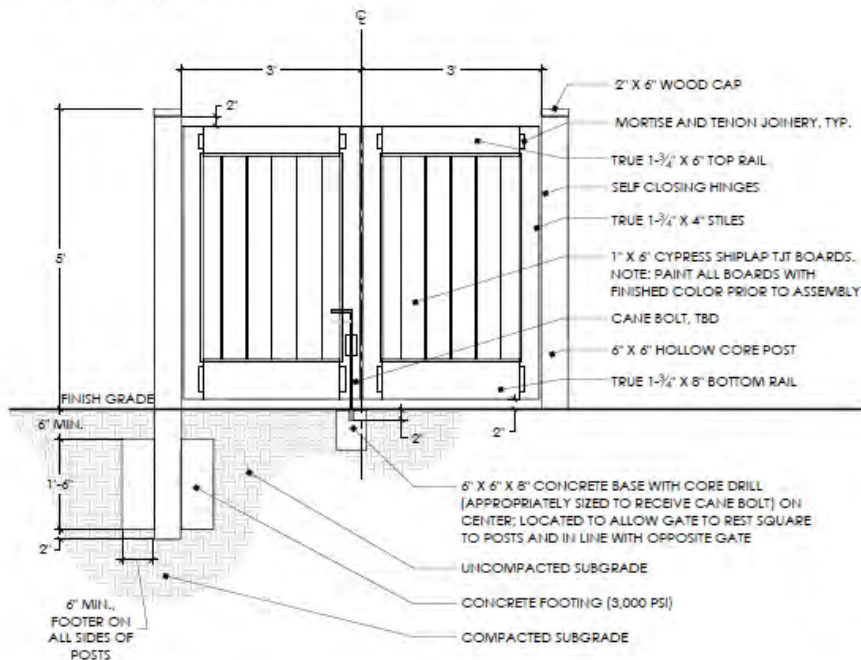




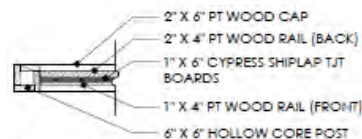
SITE DETAIL KEY NOTES:

1.0 PAVEMENTS	SHEET	4.0 CARPENTRY	SHEET
1.1 Stepping Stones	L5-00	4.1 Wood Trash Enclosure	L5-02
1.2 Stone Paving	L5-00	4.2 Wood Trellis	L5-03
2.0 STEPS	SHEET	5.0 PLANTING AND LANDSCAPE	SHEET
2.1 Stair Type 1	L5-00	5.1 Deciduous Tree Planting	L7-00
3.0 SITE WALLS	SHEET	5.2 Shrub Planting	L7-00
3.1 Brick Wall and Wrought Iron Gate	L5-01	5.3 Groundcover Planting	L7-00

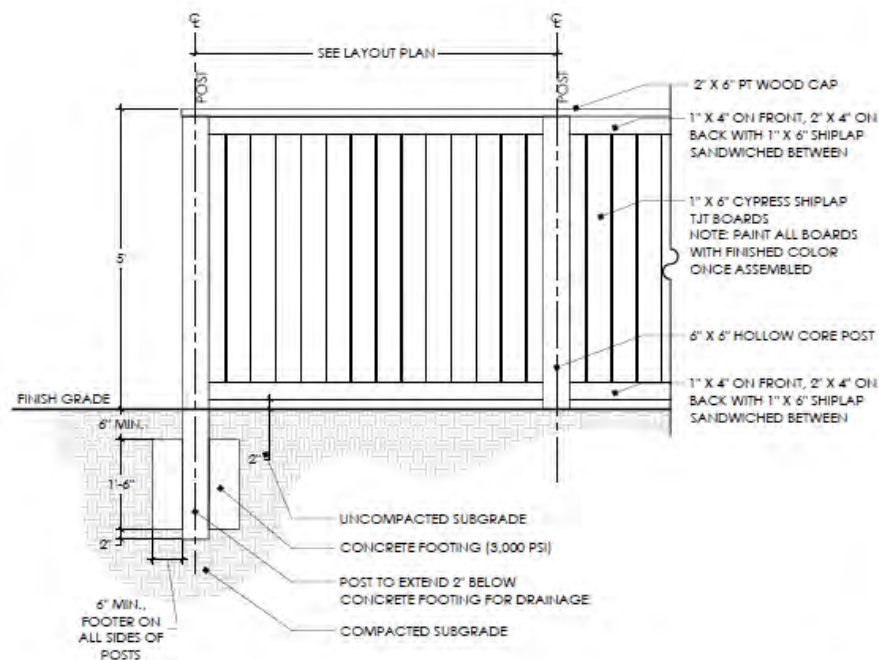
NOTE:  
1. GATE FRAME TO BE ROUTED OUT TO RECEIVE SHIPLAP  
2. MORTISE AND TENON JOINERY AT ALL GATE FRAME CONNECTIONS



**4** WOOD GATE  
Scale 1" = 1'-0"



PLAN VIEW



**4** WOOD FENCE  
Scale 1" = 1'-0"



McCUTCHEN RESIDENCE  
21 Montagu Street  
Charleston, SC 29401

DATE	BY
3.25.2019	JC
3.23.2019	WB
7.22.2019	WB
8.02.2019	CHMB
11.19.2019	CHMB

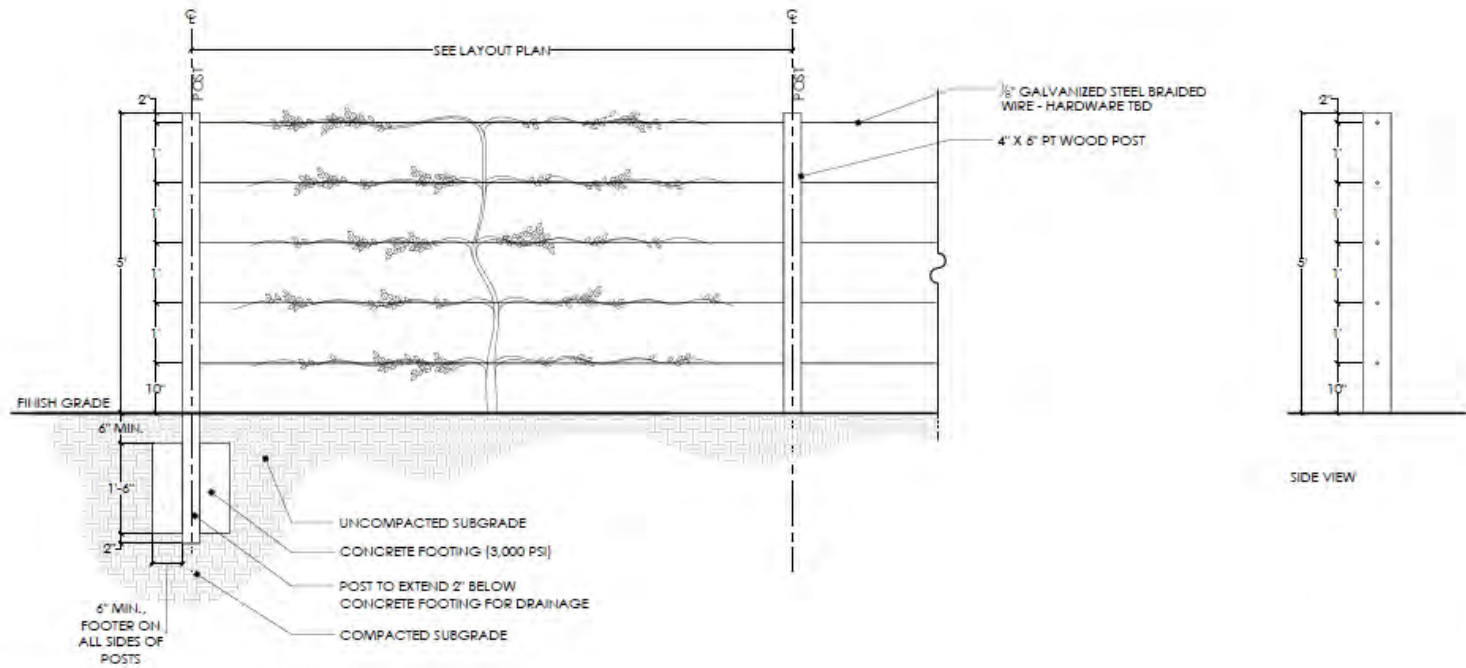
SITE DETAILS  
SCALE: REFER TO DETAIL



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SITE DETAIL KEY NOTES:

<b>1.0 PAVEMENTS</b>	<b>SHEET</b>	<b>4.0 CARPENTRY</b>	<b>SHEET</b>
1.1 Stepping Stones	L5-00	4.1 Wood Trash Enclosure	L5-02
1.2 Stone Paving	L5-00	4.2 Wood Trellis	L5-03
<b>2.0 STEPS</b>	<b>SHEET</b>	<b>5.0 PLANTING AND LANDSCAPE</b>	<b>SHEET</b>
2.1 Stair Type 1	L5-00	5.1 Deciduous Tree Planting	L7-00
<b>3.0 SITE WALLS</b>	<b>SHEET</b>	5.2 Shrub Planting	L7-00
3.1 Brick Wall and Wrought Iron Gate	L5-01	5.3 Groundcover Planting	L7-00



SIDE VIEW

**4** WOOD AND WIRE TRELLIS  
Scale 1"=1'-0"



**McCUTCHEN RESIDENCE**  
21 Montagu Street  
Charleston, SC 29401

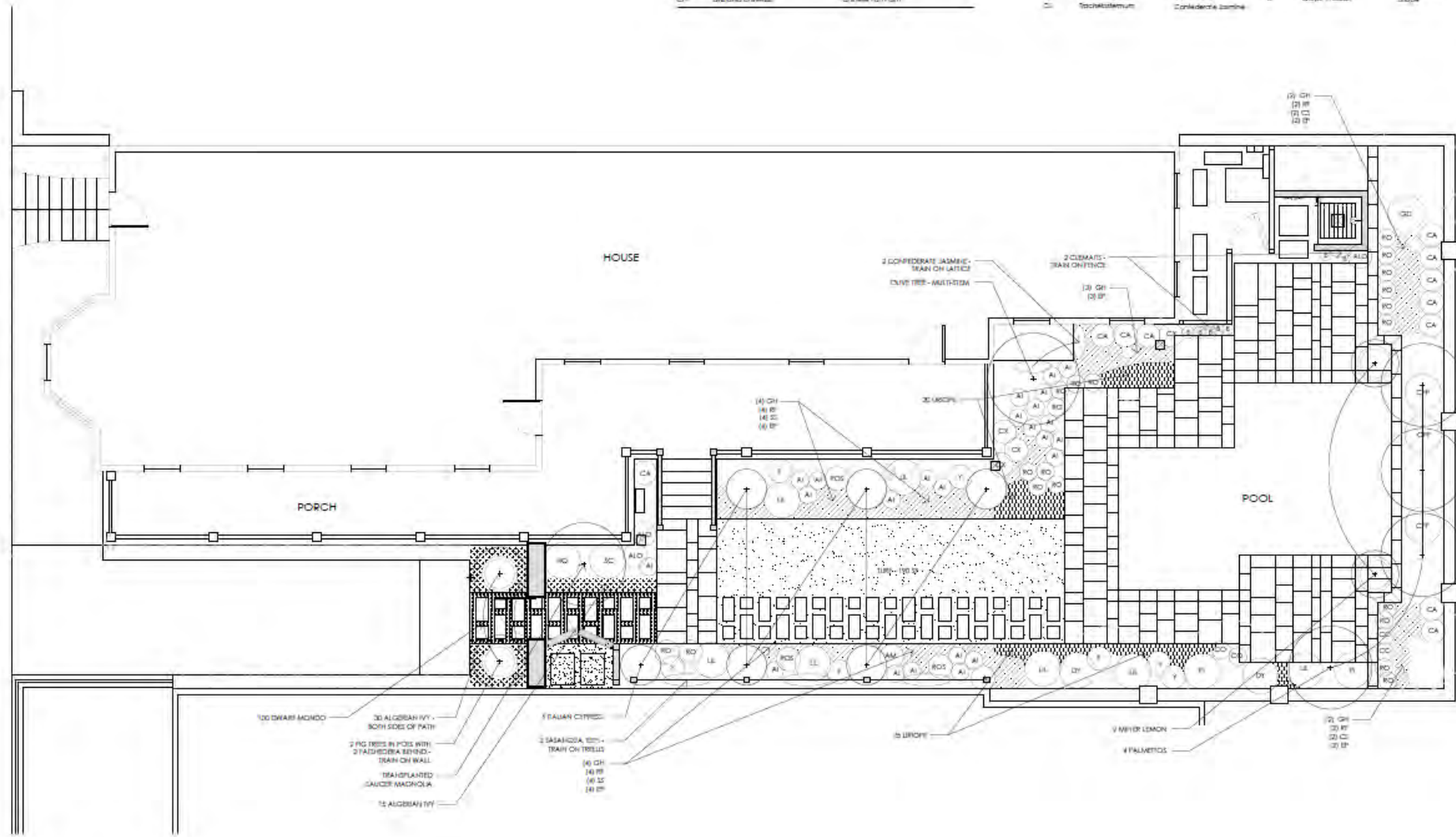
DATE	DATE
SITE ANALYSIS	3.25.2019 JC
CONCEPTUAL	2.3.2019 AB
SC-PHASE	7.30.2019 AB
CDP	10.20.2019 CHAB
REVISION	11.19.2019 CHAB

SITE DETAILS  
SCALE: REFER TO DETAIL



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MONTAGU STREET



SHRUB PLANTING KEY LEGEND		
ABBR.	BOTANICAL NAME	COMMON NAME
DECIDUOUS & EVERGREEN SHRUBS		
SAI	<i>Cornelia sericea</i>	Saxifrage
HO	<i>Hydrangea quercifolia</i>	Munich's Hydrangea
OY	<i>Ilex vomitoria</i>	Dwarf Yaupon Holly
GG	<i>Gardenia</i>	Gardenia
PI	<i>Pittosporum tobira</i>	Whiskey Dwarf Pittosporum
PALMS		
CFP	<i>Chlorophytum complanatum</i>	Chinese Fan Palm

PERENNIALS, GRASSES, & GROUNDCOVERS					
ALD	<i>Alcornoque japonica</i>	Dwarf Elephant Ear	GH	<i>Guiera hirsuta</i>	Giant
Y	<i>Yucca filamentosa</i>	Golden Sword Yucca	CS	<i>Carex elacostera</i>	Carex
CA	<i>Cyperus alternifolius</i>	Papyrus	CC	<i>Carex</i>	Carex
IS	<i>Ilia europae</i>	Little Blue Olive	PF	<i>Panicum purpureo</i>	Purple Coneflower
AI	<i>Arctostaphylos</i>	African Ivy	BF	<i>Bouteloua bigelovii</i>	Black-Tipped Swan
ROF	<i>Rosa rugosa</i>	Rosemary-Flair	AM	<i>Andropogon miscanthus</i>	Miscanthus
F	<i>Fountainia sordida</i>	Purple Fountain Grass	SC	<i>Stachytarpheta</i>	Soft Cone Mahonia
RO	<i>Rosa rugosa</i>	Creeping Rosemary	B	<i>Bouteloua</i>	Blue Flag W
CO	<i>Cyperus vulgaris</i>	Creeping Cyperus	CL	<i>Clematis americana</i>	Clematis
OD	<i>Ornithoglossum japonicum</i>	Mondo Grass	SS	<i>Salvia gmelina</i>	Salvia
R	<i>Rubus idaeus</i>	Rubus	S	<i>Sida</i>	Sida
TL	<i>Tradescantia virginiana</i>	Tradescantia	L	<i>Liriodendron</i>	Liriodendron
CS	<i>Cortaderia selloana</i>	Confederate Tansy			

**ABLES**  
LANDSCAPES  
4527 HWY 160  
FALLS CHURCH, VA  
TEL: 843.571.8573



**McCutchen Residence**  
21 Montagu Street  
Charleston, SC 29401

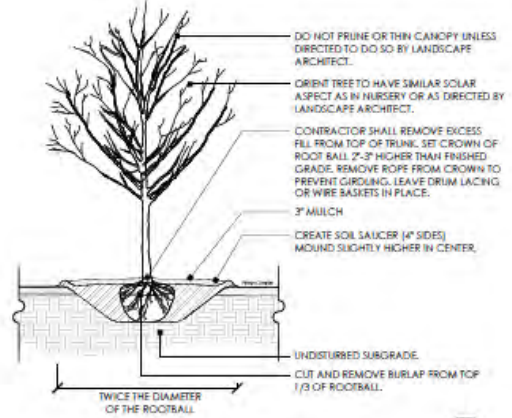
DATE	REVISION
3/25/2019 JC	PRELIMINARY
3/25/2019 WE	CONCEPTUAL
7/30/2019 WE	SC-PAVING
10/22/2019 CH/MS	FINAL
11/12/2019 CH/MS	REVISED



PLANTING PLAN  
SCALE: 1/4" = 1'-0"

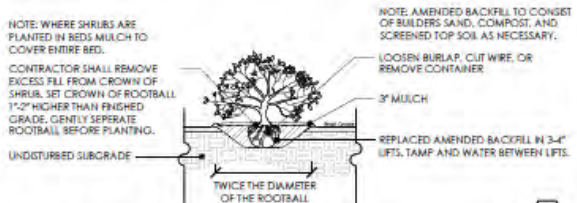
**L6-00**

All quantities are based on the manufacturer's specifications. All quantities are based on the manufacturer's specifications. All quantities are based on the manufacturer's specifications.



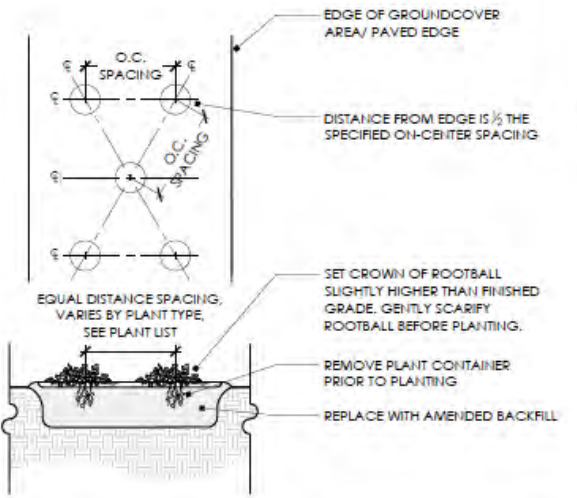
### 1 DECIDUOUS TREE PLANTING 3.1

Not to Scale



### 2 SHRUB PLANTING 3.2

Not to Scale



### 3 GROUNDCOVER PLANTING 3.3

Scale: 1" = 1'-0"

## PLANTING LIST

ABBR.	QUANTITY	BOTANICAL NAME	COMMON NAME	TYPE	SIZE	SPACING	NOTES
<b>TREES</b>							
CS-3	4	Cupressus sempervirens	Italian Cypress	DOBT.		as shown	FULL PLANTS
CM	2	Citrus x meyeri	Meyer Lemon	DOBT.	5'-6' HT.	as shown	FULL PLANTS
FC	2	Ficus carica	Fig tree	DOBT.	5'-6' HT.	as shown	FULL PLANTS
<b>DECIDUOUS &amp; EVERGREEN SHRUBS</b>							
HG-3	1	Hydrangea quercifolia	Munchkin® Hydrangea	DOBT.	3 GAL.	as shown	FULL PLANTS
GD-3	1	Gardenia	Gardenia	DOBT.	3 GAL.	as shown	FULL PLANTS
NV-3	2	Ilex vomitoria 'Manis'	Dwarf Yaupon Holly	DOBT.	3 GAL.	24" O.C.	FULL PLANTS
SA-3	3	Camellia Sasanqua	Sasanqua Camellia	DOBT.	3 GAL.	as shown	FULL PLANTS
OE-3	7	Olea europaea 'Morita'	Little Olea Dwarf Olive	DOBT.	3 GAL.	24" O.C.	FULL PLANTS
R	2	Rhipsalys tiliifolia 'Wheeler's Dwarf'	Wheeler's Dwarf Rhipsalys	DOBT.	3 GAL.	as shown	FULL PLANTS
<b>PALMS</b>							
LC-7	3	Livistonia chinensis	Chinese Fan Palm	DOBT.	7 GAL.	as shown	FULL PLANTS
SP	4	Sabal Palmetto	Palmetto	DOBT.		as shown	CANDLESTICK
<b>PERENNIAL, GRASSES, &amp; GROUNDCOVERS</b>							
AM	2	Adagio Metanthis	Miscanthus	DOBT.	1 GAL.		FULL PLANTS
AG-7	3	Alcornoque 'California'	Dwarf Elephant Ear	DOBT.	1 GAL.		FULL PLANTS
CA-7	11	Cyperus alternifolius	Papyrus	DOBT.	1 GAL.		FULL PLANTS
CS-1	4	Carex sp.	Tickseed	DOBT.	1 GAL.		FULL PLANTS
CB-1	4	Carex buchananii 'Red Rooster'	Red Rooster Sedge	DOBT.	1 GAL.		FULL PLANTS
DI-1	24	Dieffenbachia	African Lily	DOBT.	1 GAL.		FULL PLANTS
EP-1	15	Echinacea purpurea	Purple Coneflower	DOBT.	1 GAL.		FULL PLANTS
GH-1	15	Gaura hexandra	Gaura	DOBT.	1 GAL.		FULL PLANTS
QJN-1	100	Diplazium (Japanese) 'Watusi'	Dwarf Mondo Grass	DOBT.	4" POTS		FULL PLANTS
OW-1	4	Origanum vulgare	Oregano	DOBT.	1 GAL.		FULL PLANTS
RF-1	12	Rudbeckia fulgida	Black-eyed Susan	DOBT.	1 GAL.		FULL PLANTS
RO-1	20	Rosmarinus officinalis 'Prostratus'	Trailing Rosemary	DOBT.	1 GAL.		FULL PLANTS
RO-1	3	Rosmarinus officinalis	Rosemary	DOBT.	1 GAL.		FULL PLANTS
TJ-1	2	Trochilodermis jamaicensis	Confederate Jasmine	DOBT.	1 GAL.		FULL PLANTS
YF-1	4	Yucca filamentosa	Yucca	DOBT.	1 GAL.		FULL PLANTS
FL-1	2	Fatsia elaeagnifolia	Fatsia elaeagnifolia	DOBT.	1 GAL.		FULL PLANTS
CL-1	2	Clematis armandii	Clematis	DOBT.	1 GAL.		FULL PLANTS
HA-1	45	Hedera helix	Algerian Ivy	DOBT.	1 GAL.		FULL PLANTS
LJ-1	45	Liriodendron tulipifera	Liriodendron	DOBT.	1 GAL.		FULL PLANTS
SS-1	8	Salvia sylvestris	Salvia	DOBT.	1 GAL.		FULL PLANTS
B-1	7	Isis versicolor	Blue Flag Iris	DOBT.	1 GAL.		FULL PLANTS
DC-1	1	Mahonia eurybracteata	Soft Caress Mahonia	DOBT.	1 GAL.		FULL PLANTS
PF-1	3	Pennisetum Setaceum	Purple Fountain Grass	DOBT.	1 GAL.		FULL PLANTS
<b>TURFGRASS AND EDGING</b>							
190 SF	TURF	TURFGRASS SPEC: EMPIRE ZOYSIA					

**ABLES LANDSCAPES**  
 4527 HWY 162  
 Hollywood, SC  
 Tel.: 843.571.4973



**McCUTCHEEN RESIDENCE**  
 21 Montagu Street  
 Charleston, SC 29401

DATE: 3/25/2019 JC  
 SITE ANALYSIS: 3/25/2019 JC  
 CONCEPTUAL: 1/31/2019 AB  
 SCHEMATIC: 7/22/2019 AB  
 LOTS: 8/22/2019 CHMB  
 REVISION: 11/19/2019 CHMB

PLANTING LIST AND DETAILS  
 SCALE: N/A





# Agenda Item #15

---

243 ST. PHILIP STREET  
TMS # 460-08-02-083

Requesting final approval for the new construction of three previously approved  
and expired single-family dwellings.

New Construction / Cannonborough | Elliottborough / Old City District

243 St. Philip





**243 St. Philip Site**



**243 St. Philip Site 2**



**243 St. Philip Site 3**



## **165 Line St**

Same design as 243 St. Philip



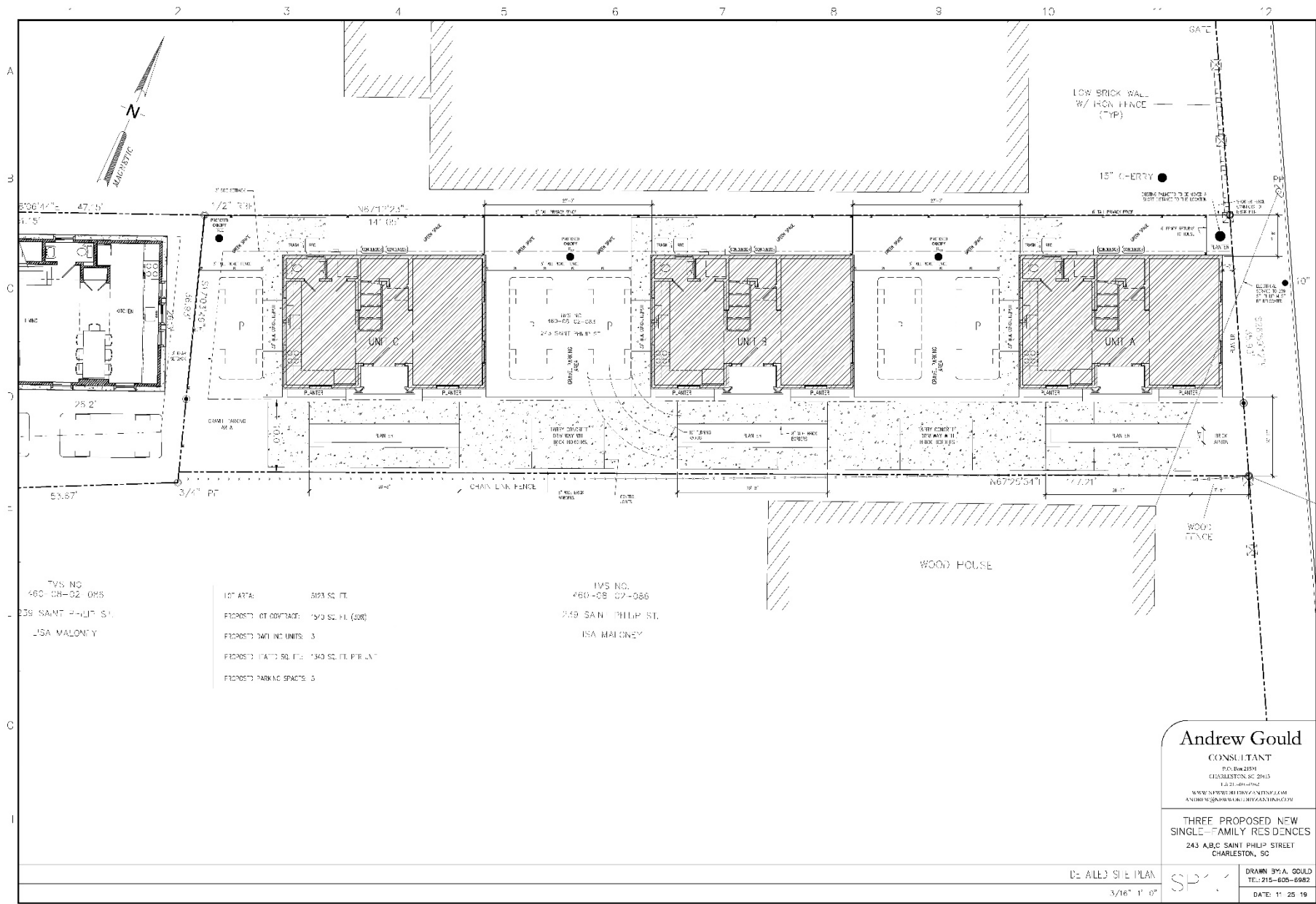
**165 Line St**



**165 Line St**



**165 Line St**



TVS NO  
460-08-02-085  
339 SAINT PHILIP ST.  
LISA MALONEY

10' RTA  
FLOORF: 01 COV'TAGE: 150 SQ. FT. (00%)  
FLOORF: 02 UNIT NO. UNITS: 3  
FLOORF: 03 PATIO SQ. FT.: 130 SQ. FT. (P.B.L.A.)  
FLOORF: 04 PARKING SPACES: 3

TVS NO.  
460-08-02-086  
339 SAINT PHILIP ST.  
LISA MALONEY

**Andrew Gould**  
CONSULTANT  
P.O. Box 2104  
Charleston, SC 29413  
803-799-0100  
WWW.ANGRGOULD.COM  
A STATE LICENSED ARCHITECT AND ENGINEER

THREE PROPOSED NEW  
SINGLE-FAMILY RESIDENCES  
243 A,B,C SAINT PHILIP STREET  
CHARLESTON, SC

DETAILED SITE PLAN  
3/16" = 1' 0"

SP

DRAWN BY: A. GOULD  
TEL: 215-605-6992  
DATE: 11-25-19





#238

PROPOSED #243A

#249

SANITIFIED STREET SCALING

1/4" = 1'



PROPOSED #241  
(ALREADY APPROVED)

PROPOSED #243C

PROPOSED #243B

PROPOSED #243A

SECTION THROUGH MICHIGAN AVENUE

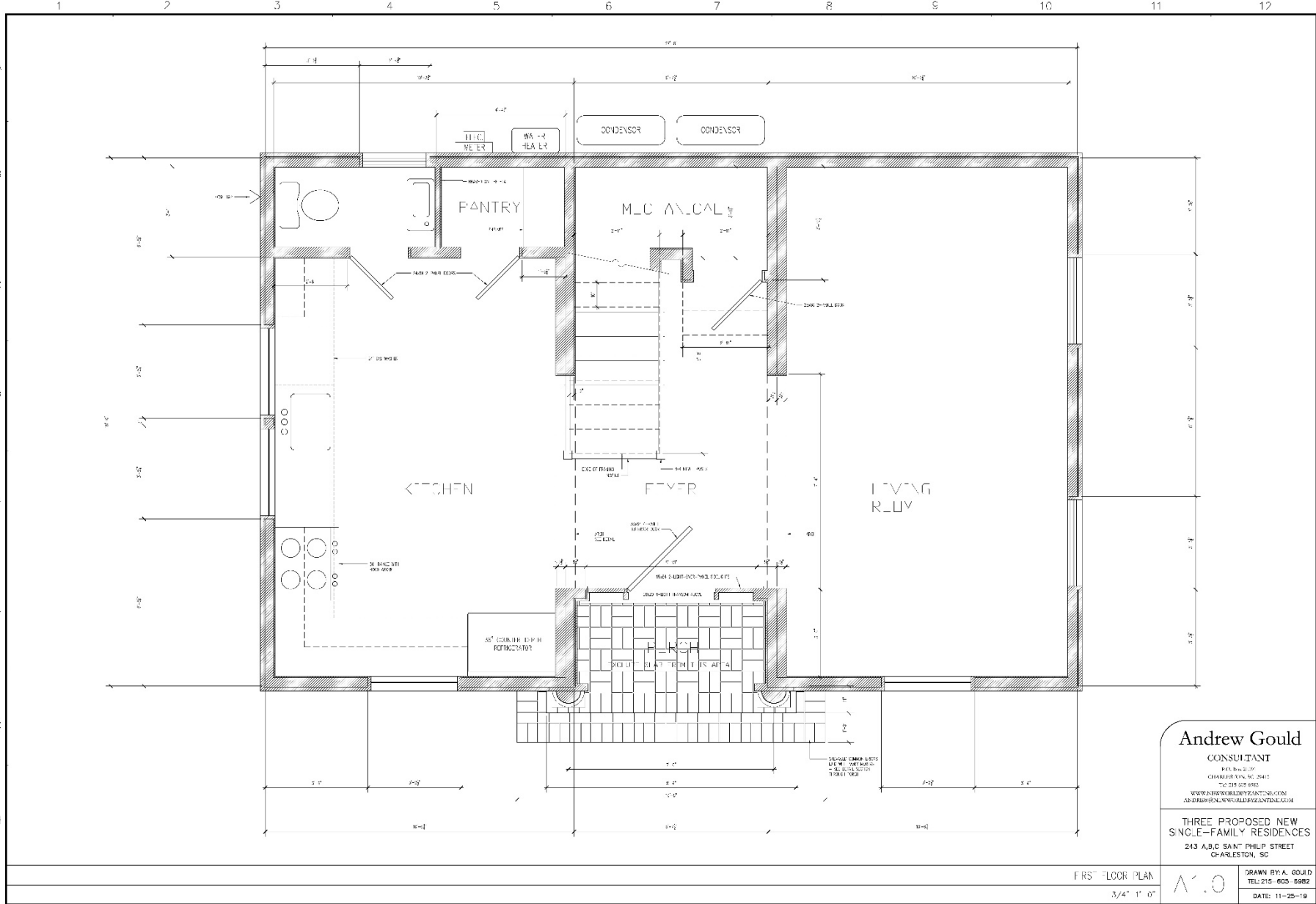
11/19

**Andrew Gould**  
CONSULTANT  
603 BR. 2101  
FLEMING ST. 2031  
TEL: 215 605 6982  
WWW.ANDREWGOULDARCHITECTURE.COM  
ANDREWGOULDARCHITECTURE.COM

THREE PROPOSED NEW  
SINGLE-FAMILY RESIDENCES  
243 A,B,C SAINT PHILIP STREET  
CHARLESTON, SC

SS' 1.0

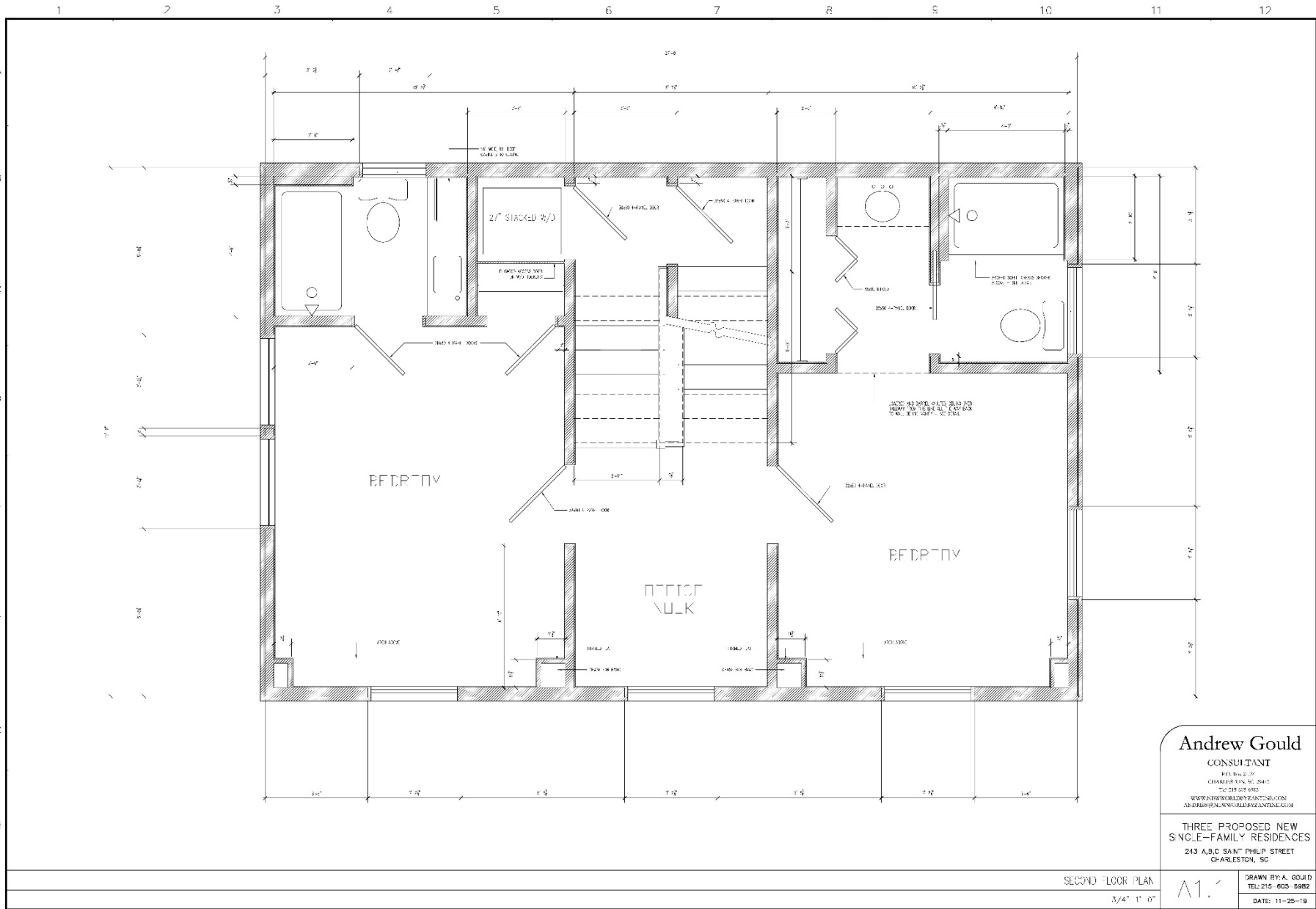
DRAWN: S.A. GOULD  
TEL: 215 605 6982  
DATE: 11-25-19



**Andrew Gould**  
 CONSULTANT  
 P.O. Box 205  
 Charleston, SC 29402  
 TEL 215 605 8882  
 WWW.ANDREWGOULDARCHITECT.COM  
 ANDREW@ANDREWGOULDARCHITECT.COM

THREE PROPOSED NEW  
 SINGLE-FAMILY RESIDENCES  
 215 A,B,C SAINT PHILIP STREET  
 CHARLESTON, SC

FIRST FLOOR PLAN  
 3/4" = 1' 0"  
 DRAWN BY: A. GOULD  
 TEL: 215 605 8882  
 DATE: 11-25-19



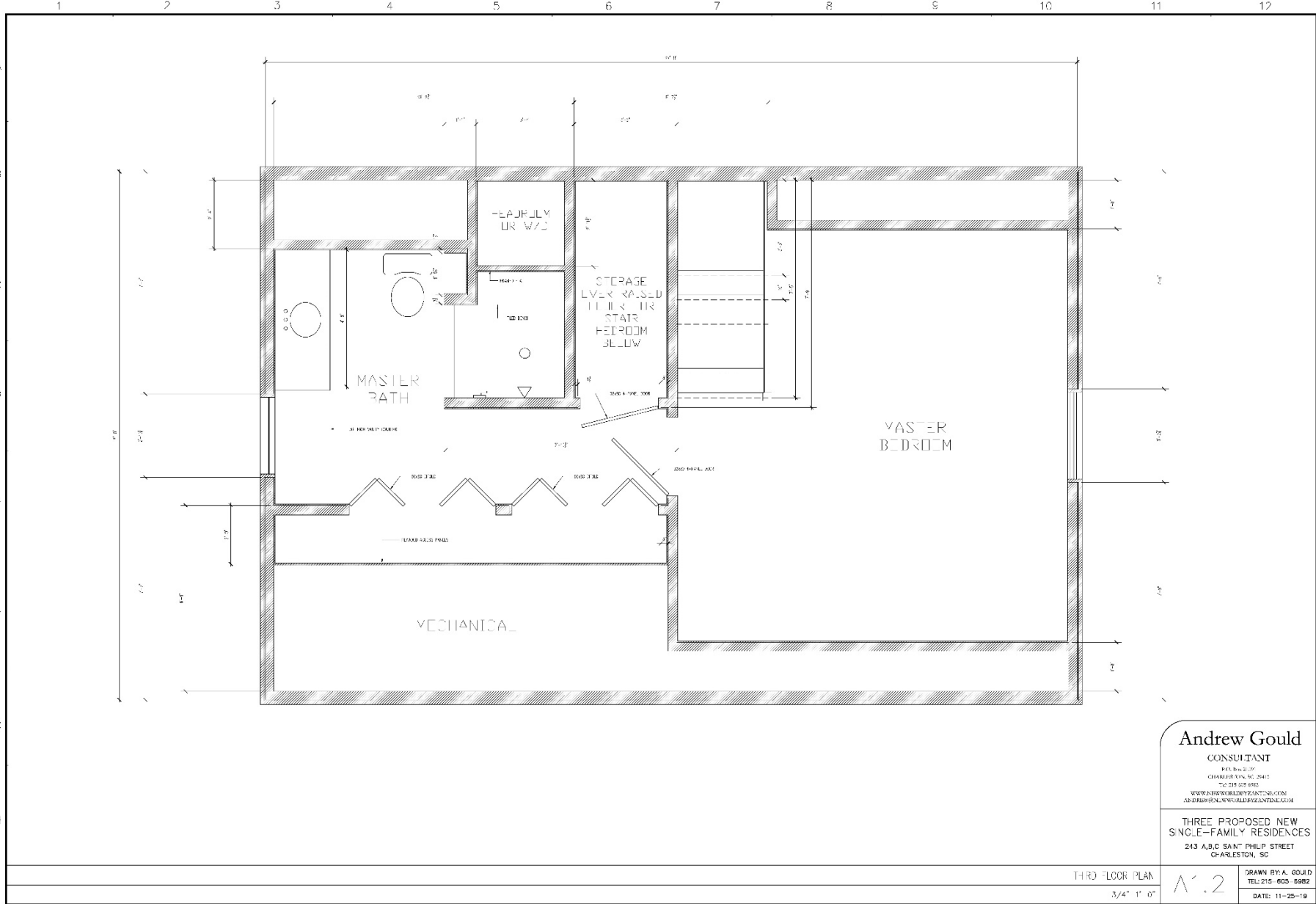
**Andrew Gould**  
 CONSULTANT  
 P.C. No. 235  
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THREE PROPOSED NEW  
 SINGLE-FAMILY RESIDENCES  
 243 A,B,C SAINT PHILIP STREET  
 CHARLESTON, SC

SECOND FLOOR PLAN  
 3/4" = 1' 0"

A1

DRAWN BY: A. GOULD  
 TEL: 215-805-8882  
 DATE: 11-25-19



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THREE PROPOSED NEW  
 SINGLE-FAMILY RESIDENCES  
 215 A,B,C SAINT PHILIP STREET  
 CHARLESTON, SC

THIRD FLOOR PLAN  
 3/4" = 1' 0"  
 DRAWN BY: A. GOULD  
 TEL: 215 605 6882  
 DATE: 11-25-19

A.2



SOUTH ELEVATION  
(UNIT A)

EAST ELEVATION  
(UNIT A)

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THREE PROPOSED NEW  
SINGLE-FAMILY RESIDENCES  
215 A,B,C SAINT PHILIP STREET  
CHARLESTON, SC

ELEVATIONS  
1/2" = 1' - 0"

A2.0

DRAWN BY: A. GOULD  
TEL: 215 605 6882  
DATE: 11-25-19



SOUTH ELEVATION  
(LV S 3 & C)

WEST ELEVATION  
(LV W 3 & C)

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---

THREE PROPOSED NEW  
 SINGLE-FAMILY RESIDENCES  
 243 A,B,C SANIT PHILIP STREET  
 CHARLESTON, SC

---

ELEVATIONS  
 1/2" = 1' 0"

**A2.1**

DRAWN BY: A. GOULD  
 TEL: 215 603 6982  
 DATE: 11-25-19



NORTH ELEVATION  
(ALL UNITS)

WEST ELEVATION  
(ALL UNITS)

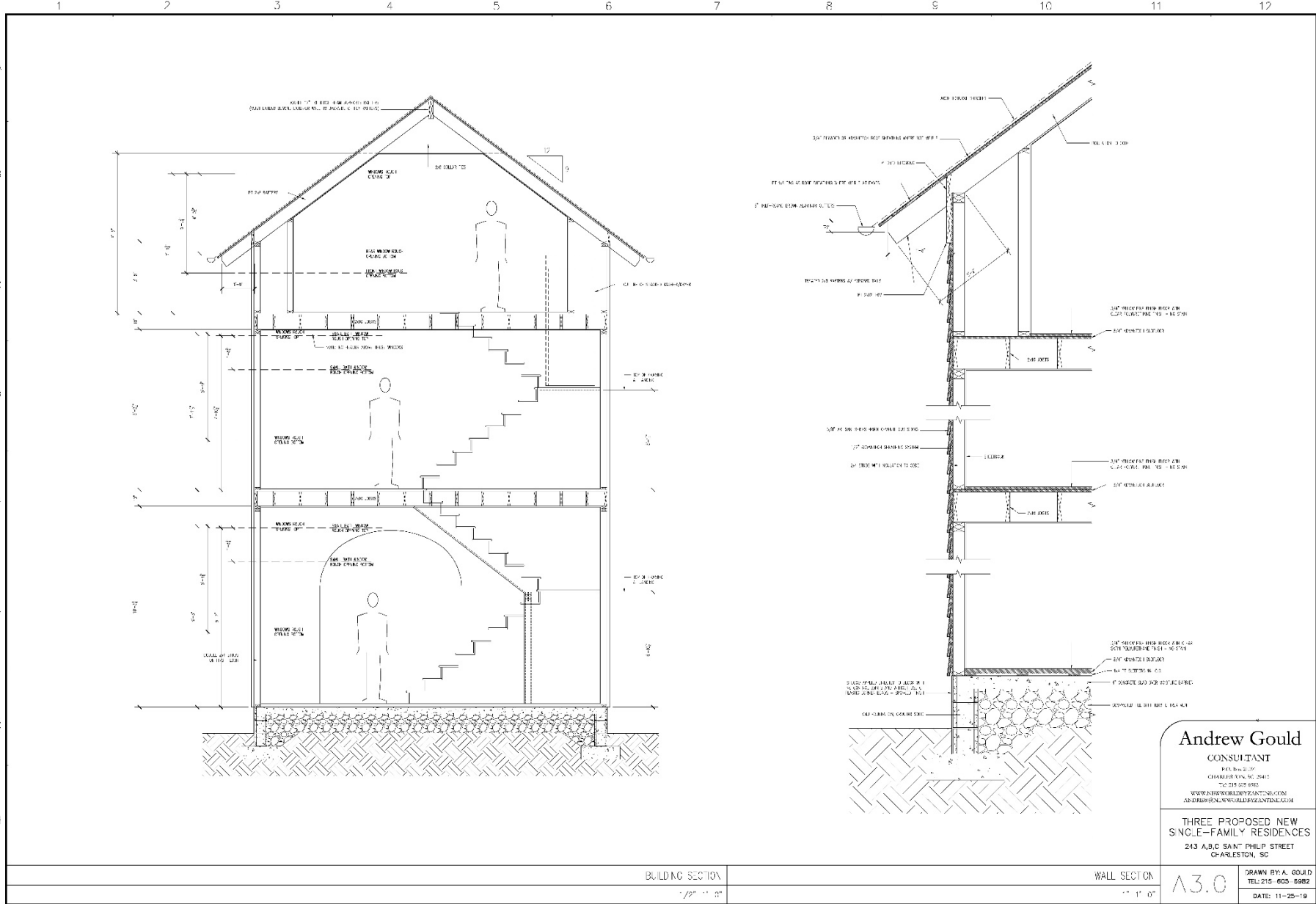
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THREE PROPOSED NEW  
 SINGLE-FAMILY RESIDENCES  
 243 A,B,C SANT PHILIP STREET  
 CHARLESTON, SC

ELEVATIONS  
 1/2" = 1'-0"

A2.2

DRAWN BY: A. GOULD  
 TEL: 215-603-5982  
 DATE: 11-25-19



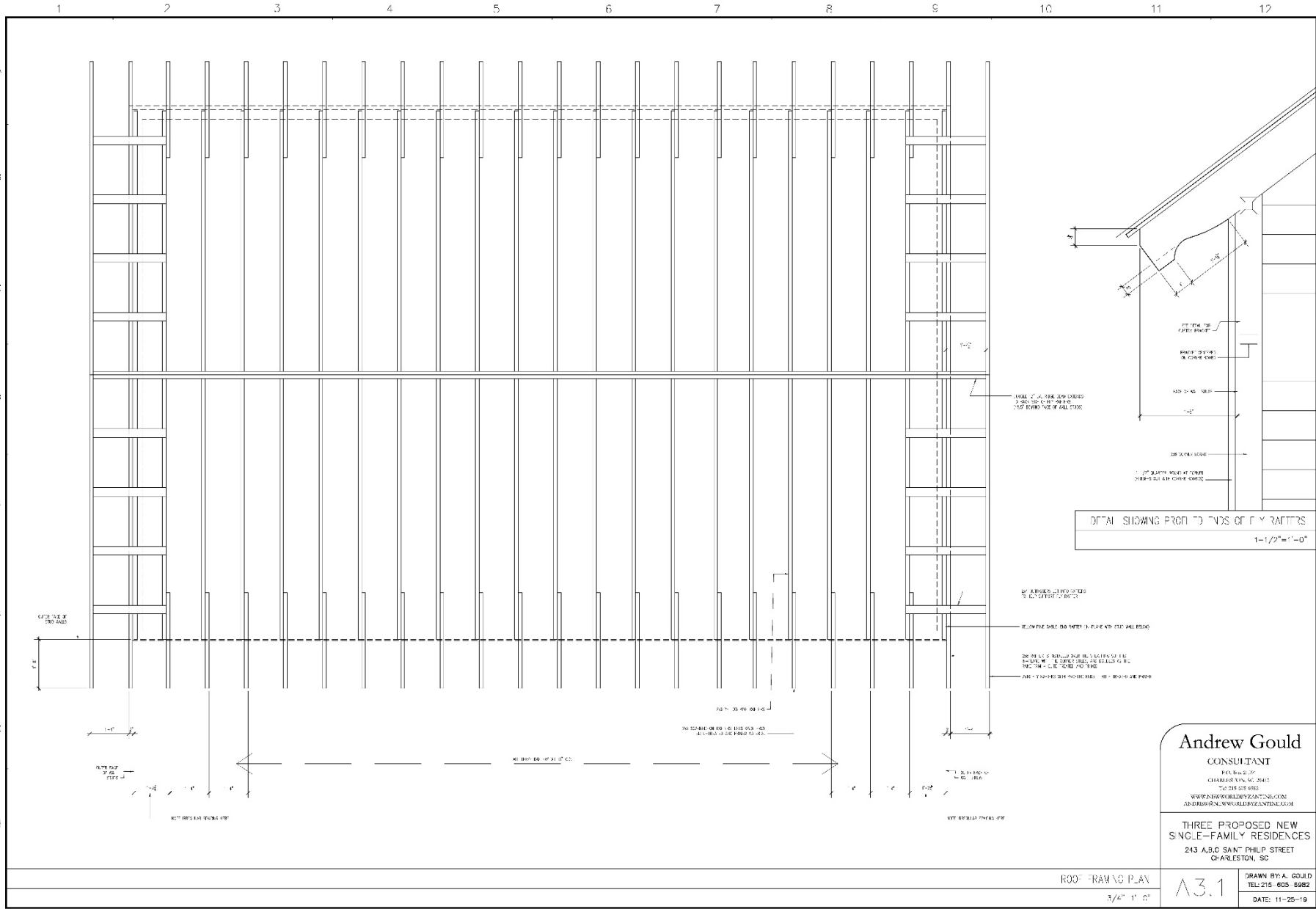
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andrew@andrewgouldconsultant.com

THREE PROPOSED NEW  
SINGLE-FAMILY RESIDENCES  
243 A,B,C SAINT PHILIP STREET  
CHARLESTON, SC

DRAWN BY: A. GOULD  
TEL: 215 505 8982  
DATE: 11-25-19

A3.0





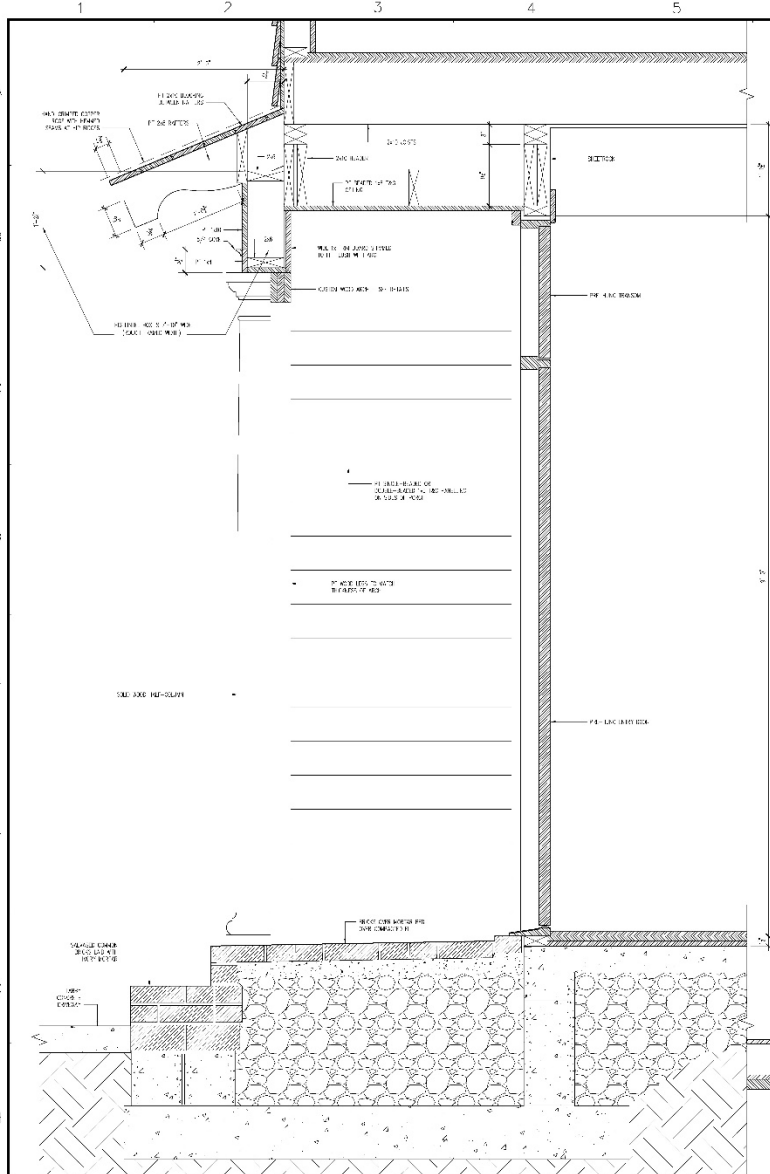
**Andrew Gould**  
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THREE PROPOSED NEW  
 SNO-E-FAMILY RESIDENCES  
 243 A,B,C SAINT PHILIP STREET  
 CHARLESTON, SC

ROOF TRUSS PLAN  
 1/4" = 1'-0"

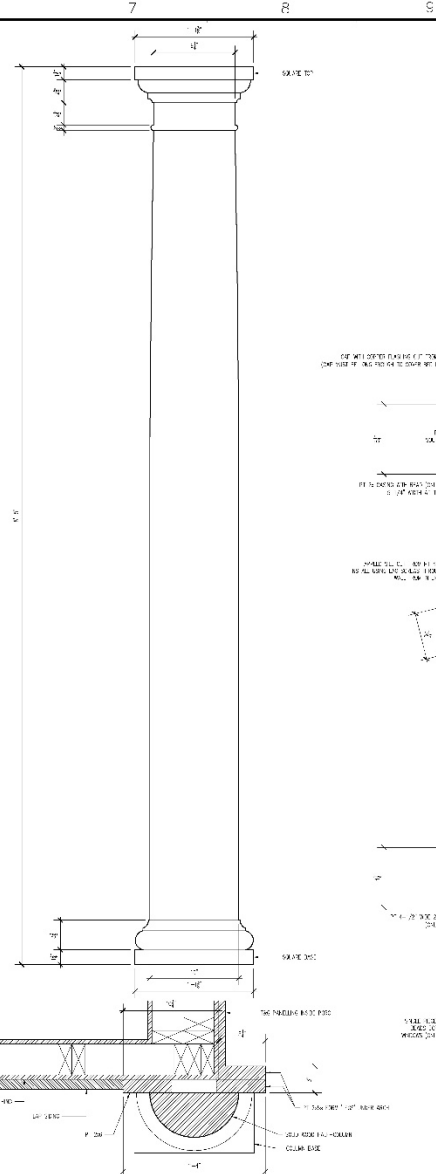
A3.1

DRAWN BY: A. GOULD  
 TEL: 215-603-6882  
 DATE: 11-25-19



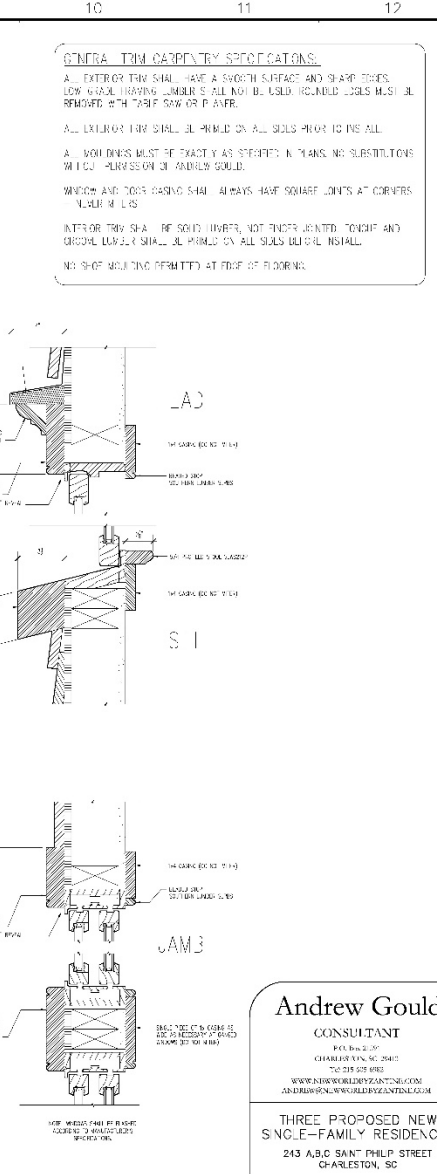
DETAILED SECTION THROUGH ENTRY PORCH

1/2" = 1'-0"



PROFILE OF HALF-COLUMNS AND PLAN VIEW SHOWING INSTALLATION

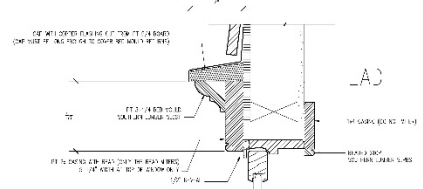
3/8" = 1'-0"



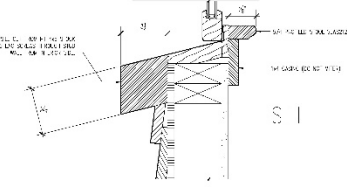
DETAILED SECTION THROUGH WINDOWS

3/8" = 1'-0"

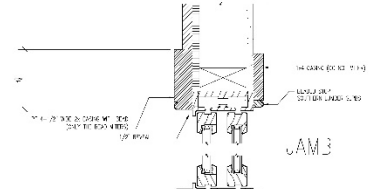
**GENERAL CARPENTRY SPECIFICATIONS:**  
 A. EXTERIOR TRIM SHALL HAVE A SMOOTH SURFACE AND SHARP EDGES. LOW GRADE TRAVELING LUMBER SHALL NOT BE USED. ROUNDED JOISTS MUST BE REMOVED WITH TABLE SAW OR PLANER.  
 B. EXTERIOR TRIM SHALL BE REBUILT ON ALL SIDES PRIOR TO INSTALLATION.  
 C. JOINTS MUST BE EXACTLY AS SPECIFIED IN PLANS. NO SUBSTITUTIONS WITHOUT PERMISSION OF ARCHITECT.  
 WINDOW AND DOOR CASING SHALL ALWAYS HAVE SQUARE JOINTS AT CORNERS. SQUARE JOINTS.  
 EXTERIOR TRIM SHALL BE SOLID WOOD, NOT ENGINEERED LUMBER AND CRACKED LUMBER SHALL BE REMOVED ON ALL SIDES BEFORE INSTALLATION.  
 NO SHEET ROOFING PERMITTED AT FINISH OF FLOORING.



JAMB



JAMB



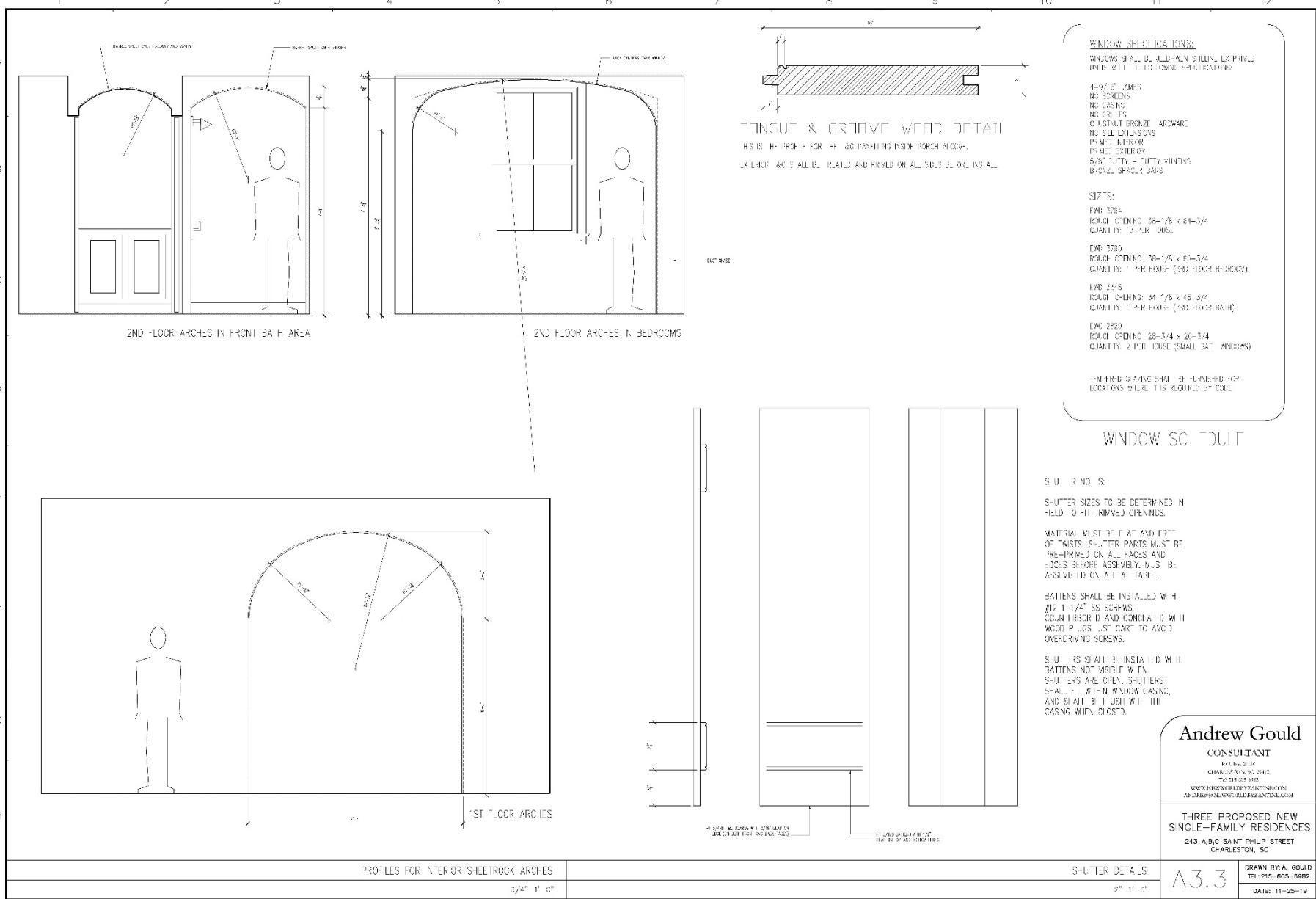
JAMB

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THREE PROPOSED NEW  
 SINGLE-FAMILY RESIDENCES  
 243 A.B.C. SAINT PHILIP STREET  
 CHARLESTON, SC

A3.2

DRAWN BY: A. GOULD  
 TEL: 215-605-8882  
 DATE: 11-25-19



**WINDOW SPECIFICATIONS:**  
 WINDOWS SHALL BE ALUMINUM-SIMULATED VINYL UNITS WITH THE FOLLOWING SPECIFICATIONS:  
 4-9/16" JAMBS  
 NO SCREENS  
 NO CASING  
 NO COULTERS  
 CUSTOM BRONZE HARDWARE  
 NO SILL DRAINAGE  
 PRIME INTERIOR  
 PRIME EXTERIOR  
 5/8" SIFTY - TUFFY SHIFTERS  
 BRONZE SCREEN BARS

**SIZES:**  
 FWR 1764  
 ROUGH OPENING: 36-1/8" x 64-3/4"  
 QUANTITY: 1 PER HOUSE

DWR 1769  
 ROUGH OPENING: 36-1/8" x 60-3/4"  
 QUANTITY: 1 PER HOUSE (2ND FLOOR BEDROOM)

FWR 1775  
 ROUGH OPENING: 34-1/8" x 48-3/4"  
 QUANTITY: 1 PER HOUSE (2ND FLOOR BATH)

DWR 2259  
 ROUGH OPENING: 28-3/4" x 38-3/4"  
 QUANTITY: 2 PER HOUSE (SMALL BATH WINDOWS)

TEMPERED GLASS SHALL BE FURNISHED FOR LOCATIONS WHERE THIS IS REQUIRED BY CODE

**TONGUE & GROOVE WOOD DETAIL**  
 THIS IS THE PROFILE FOR THE ARCH FRAMING IN THE PORCH AREA.  
 JOIST AND SILL BE REALD AND FINISH ON ALL SIDES OF JOISTS ALL

**WINDOW SCHEDULE**

**SHUTTERS:**

SHUTTER SIZES TO BE DETERMINED IN FIELD OF THE WINDOW OPENINGS.

MATERIAL MUST BE 1" AND 1/2" OF TWISTS. SHUTTER PARTS MUST BE PRE-PRIMED ON ALL FACES AND JOINTS BEFORE ASSEMBLY. MUST BE ASSEMBLED ON A FLAT TABLE.

BATTENS SHALL BE INSTALLED WITH #10 1-1/2" SS SCREWS. COULTER BOARD AND CONDENSATION WOOD JOISTS MUST BE TO AVOID OVERDRIVING SCREWS.

SHUTTERS SHALL BE INSTALLED WITH BATTENS NOT VISIBLE WHEN SHUTTERS ARE OPEN. SHUTTERS SHALL BE WITHIN WINDOW CASING, AND SHALL BE TIGHT WITH THE CASING WHEN CLOSED.

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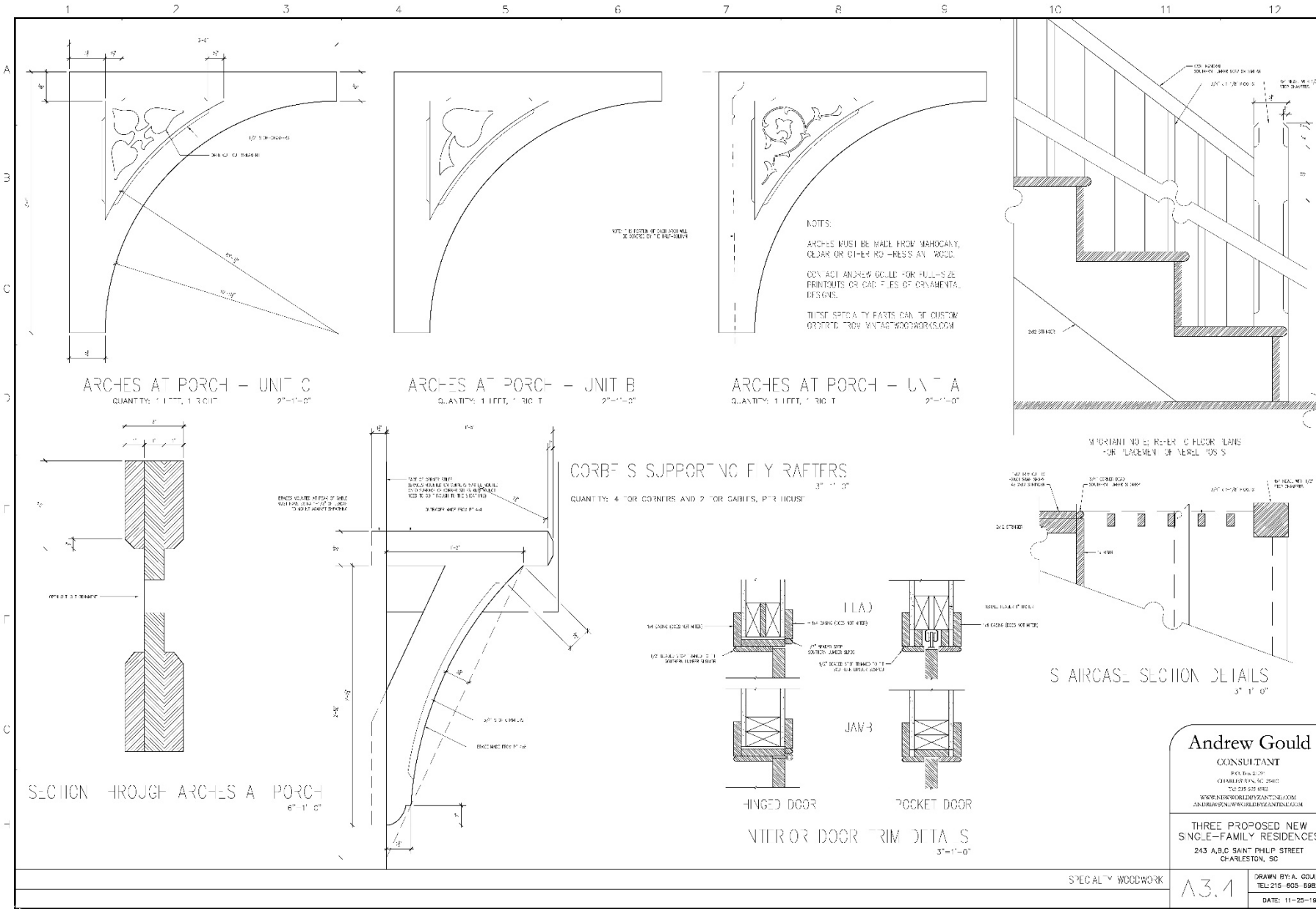
THREE PROPOSED NEW SINGLE-FAMILY RESIDENCES  
 215 A.B.C. SAINT PHILIP STREET  
 CHARLESTON, SC

DRAWN BY: A. GOULD  
 TEL: 215 605 6962  
 DATE: 11-25-19

PROFILES FOR INTERIOR SHEETROCK ARCHES  
 3/4" x 1" 0"

SHUTTER DETAILS  
 2" x 1" 0"

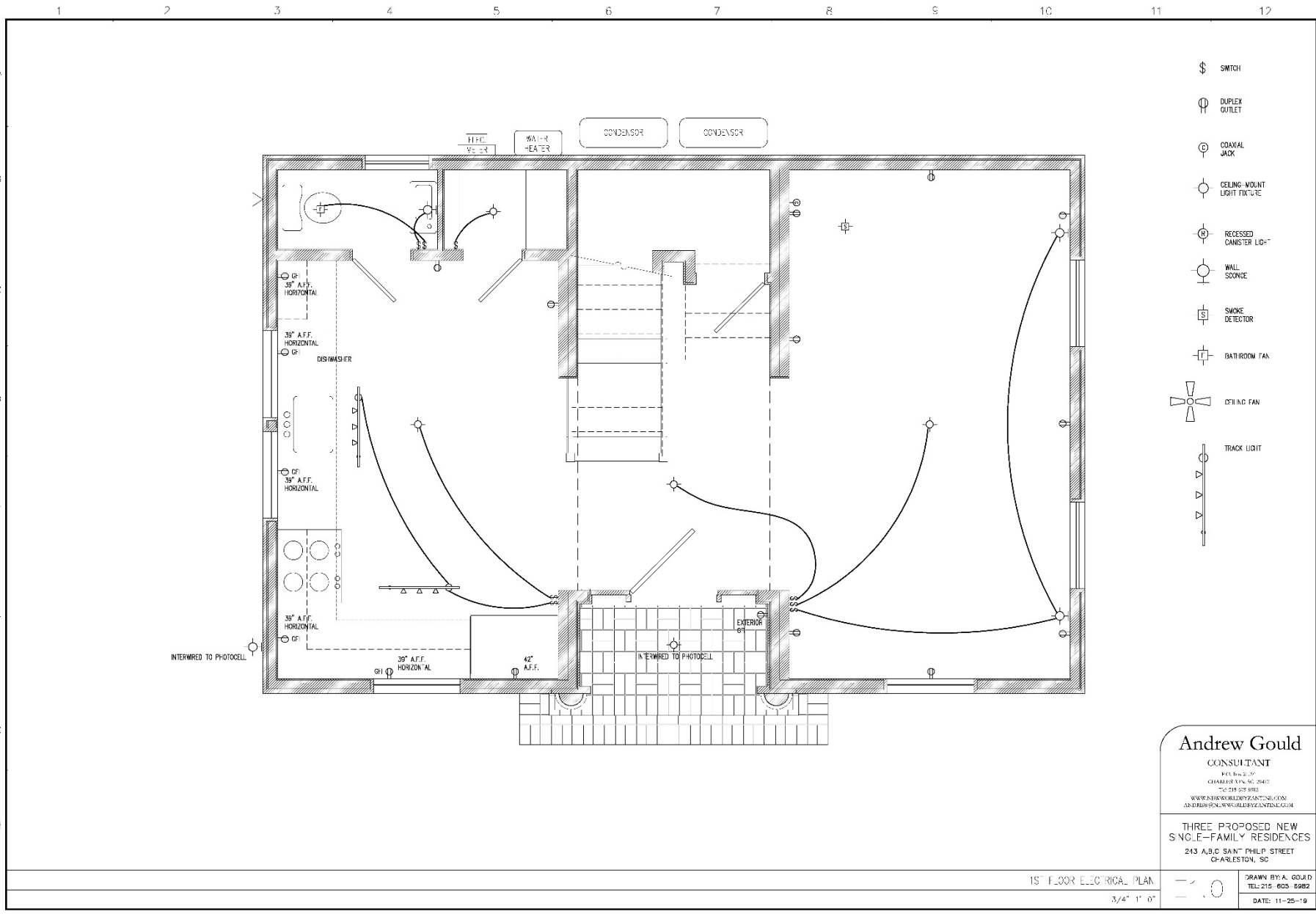
A3.3



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THREE PROPOSED NEW  
SINGLE-FAMILY RESIDENCES  
243 ABIGAIL SAINT PHILIP STREET  
CHARLESTON, SC

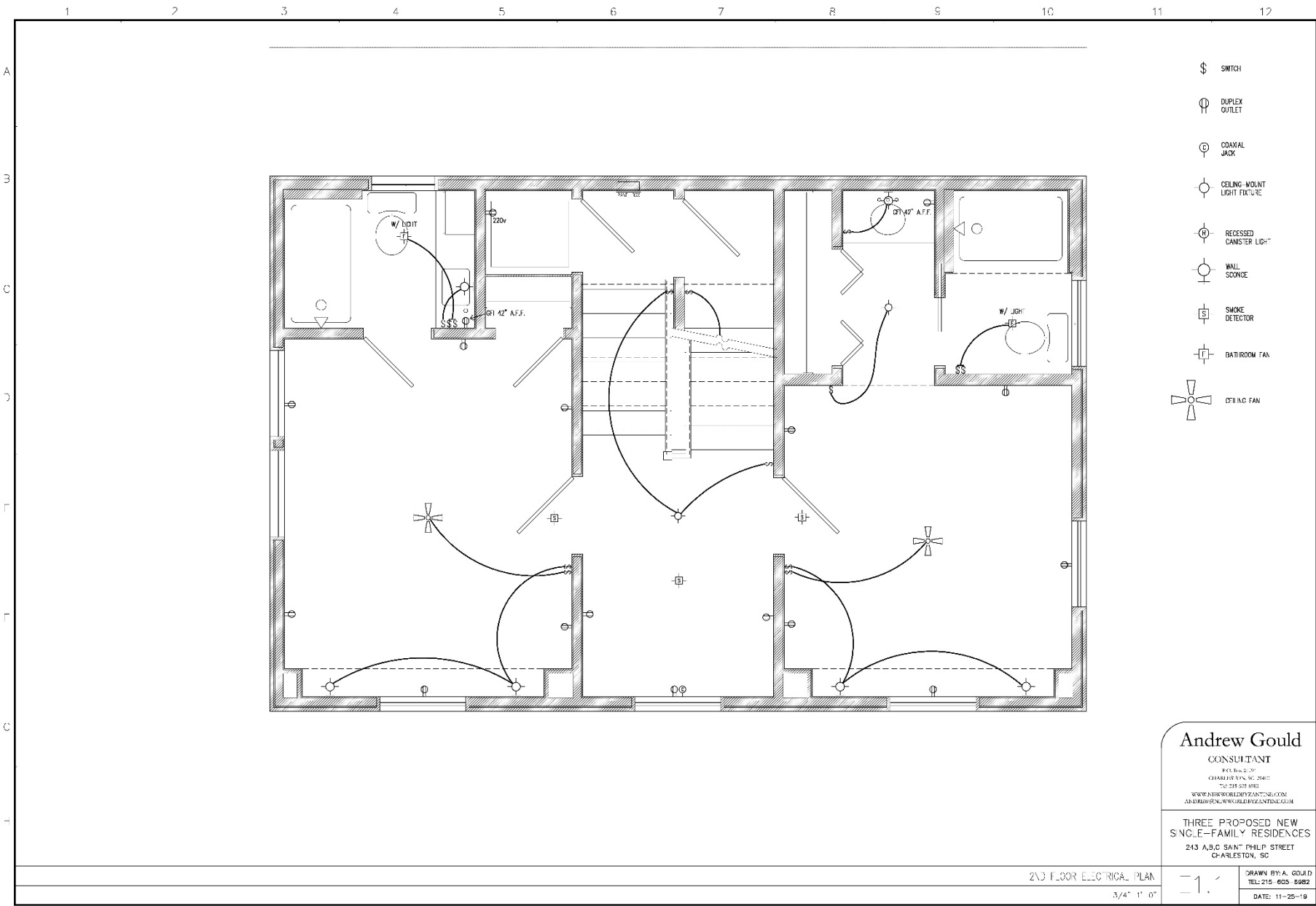
SPECIALTY WOODWORK  
A3.1  
DRAWN BY: A. GOULD  
TEL: 215-605-8882  
DATE: 11-25-19



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THREE PROPOSED NEW  
 SINGLE-FAMILY RESIDENCES  
 215 A,B,C SAINT PHILIP STREET  
 CHARLESTON, SC

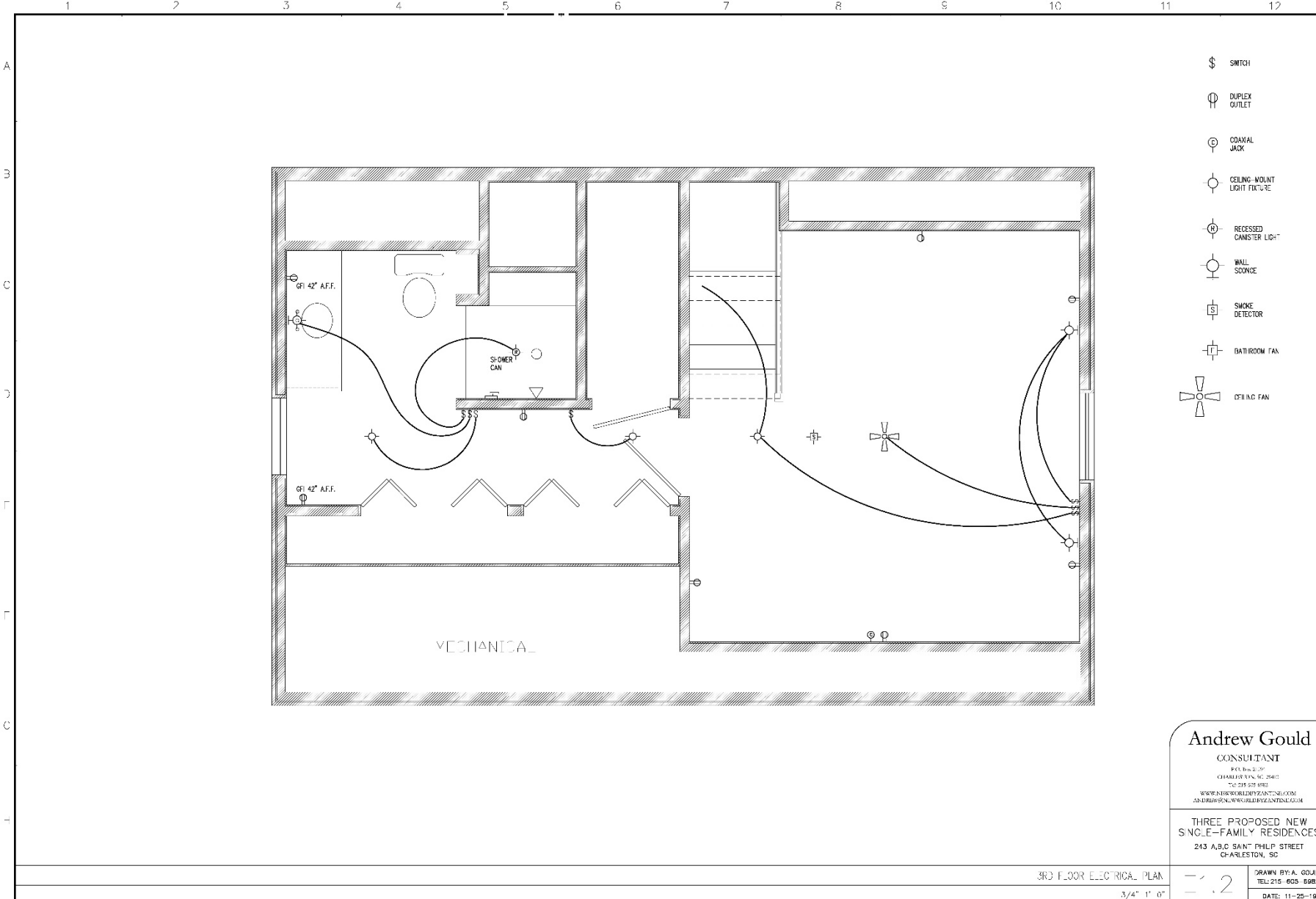
1ST FLOOR ELECTRICAL PLAN  
 3/4" = 1' 0"  
 DRAWN BY: A. GOULD  
 TEL: 215 525 0182  
 DATE: 11-25-19



- Ⓢ SWITCH
- Ⓛ DUPLEX OUTLET
- ⓐ COAXIAL JACK
- Ⓞ CEILING-MOUNT LIGHT FIXTURE
- Ⓡ RECESSED CANISTER LIGHT
- Ⓜ WALL SCONCE
- Ⓢ SMOKE DETECTOR
- Ⓛ BATHROOM FAN
- Ⓛ CEILING FAN

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THREE PROPOSED NEW  
 SINGLE-FAMILY RESIDENCES  
 243 A,B,C SANIT PHILIP STREET  
 CHARLESTON, SC



- Ⓢ SWITCH
- Ⓛ DUPLEX OUTLET
- Ⓞ COAXIAL JACK
- Ⓞ CEILING-MOUNT LIGHT FIXTURE
- Ⓞ RECESSED CANISTER LIGHT
- Ⓞ WALL SCONCE
- Ⓢ SMOKE DETECTOR
- Ⓛ BATHROOM FAN
- Ⓛ LIVING FAN

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THREE PROPOSED NEW  
 SINGLE-FAMILY RESIDENCES  
 215 A,B,C SAINT PHILIP STREET  
 CHARLESTON, SC

3RD FLOOR ELECTRICAL PLAN  
 3/4" = 1' 0"  
 DRAWN BY: A. GOULD  
 TEL: 215 605 8982  
 DATE: 11-25-19





# Agenda Item #16

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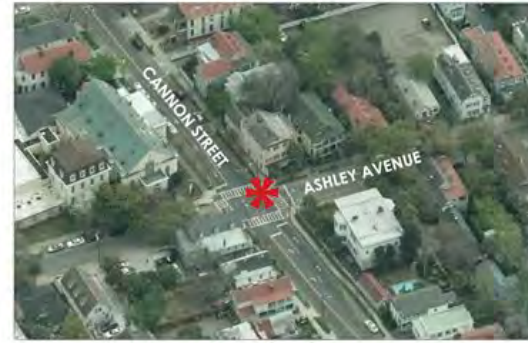
216 ASHLEY AVENUE  
TMS # 460-15-02-123

Requesting final approval conceptual approval for the  
renovation of single house.

Category 3 / Cannonborough/Elliottborough / c. pre-1872  
Old City District



ARCH DETAIL © PIAZZAS



AERIAL VIEW

RENOVATION OF HISTORIC MULTI-FAMILY RESIDENCE  
**216 ASHLEY AVENUE**  
 CHARLESTON, SOUTH CAROLINA

TMS #: 460-15-02-123  
 ZONING DISTRICT: LB  
 GOVERNING CODE: IBC 2018  
 FLOOD ZONE: AE (13)

**SCOPE OF WORK:**

- RENOVATION OF HISTORIC (MULTI-FAMILY) RESIDENCE TO INCLUDE:
- REMOVAL OF NON-HISTORIC ADDITIONS + INFILL ELEMENTS
  - INTERIOR RECONFIGURATION AS INDICATED IN PLANS
  - CORRECTIVE ADJUSTMENTS @ EXTERIOR ELEVATIONS
  - NEW NFPA-13 SPRINKLER SYSTEM
  - LANDSCAPE + HARDSCAPE IMPROVEMENTS
  - MISC. REPAIRS + REPAINTING AS NEEDED

**DRAWING SCHEDULE:**

- |       |                                     |
|-------|-------------------------------------|
| A-001 | TITLE + DRAWING SCHEDULE            |
| A-002 | EXISTING CONDITIONS PHOTOS          |
| A-003 | EXISTING CONDITIONS PHOTOS          |
| A-004 | SANBORN MAP EXCERPTS + HISTORY INFO |
| A-005 | SITE LAYOUT (EXISTING + PROPOSED)   |
| A-101 | EXISTING + PROPOSED 1st FLOOR PLANS |
| A-102 | EXISTING + PROPOSED 2nd FLOOR PLANS |
| A-103 | EXISTING + PROPOSED 3rd FLOOR PLANS |
| A-201 | EXISTING + PROPOSED WEST ELEVATIONS |
| A-202 | EXISTING SOUTH ELEVATION            |
| A-203 | PROPOSED SOUTH ELEVATION            |
| A-204 | EXISTING + PROPOSED EAST ELEVATIONS |
| A-205 | EXISTING NORTH ELEVATION            |
| A-206 | PROPOSED NORTH ELEVATION            |



ZONING MAP EXCERPT

JULIA F. MARTIN ARCHITECTS

210 BUTLER AVENUE, 2nd FLOOR • CHARLESTON, SC 29403  
 P: 843.537.3275 WWW.JFMARCHITECTS.COM



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MULTI-FAMILY RENOVATION AT  
**216 ASHLEY AVE**  
 CHARLESTON, SC

PROJECT NO: 2019-05  
 DATE: 30 DEC 2019  
 DRAWN BY: KSL/JFM  
 CHECKED BY: JFM

TITLE +  
 DRAWING  
 SCHEDULE

A-001



WEST / FRONT (ASHLEY AVENUE) ELEVATION + PIAZZAS



EAST END OF MAIN HOUSE: SERIAL ADDITIONS @ KITCHEN HOUSE (SOUTH ELEVATION)



NORTH / SIDE (CANNON STREET) ELEVATION: EAST END @ KITCHEN HOUSE + HYPHEN



NORTH / SIDE (CANNON STREET) ELEVATION: WEST END

JULIA F MARTIN ARCHITECTS

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MULTI-FAMILY RENOVATION AT  
216 ASHLEY AVE  
CHARLESTON, SC

PROJECT NO: 2019-05  
DATE: 20 DEC, 2019  
DRAWN BY: E.S.J./J.A.S.  
CHECKED BY: J.M.A.

EXISTING  
CONDITIONS  
(PHOTOS)

A-002



WEST ELEVATION (w/ BOTH ADDITIONS)



WEST ELEVATION (w/ EARLIER ADDITION)



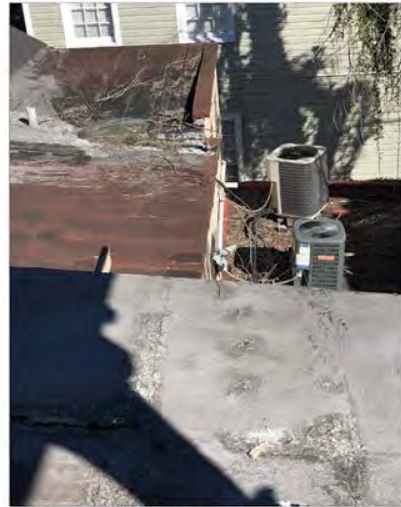
MAIN ENTRY PORTICO



PIAZZA HIERARCHY



KITCHEN HOUSE ROOF (SLATE @ NORTH ONLY)



ROOFS @ KITCHEN HOUSE ADDITIONS (+ PIAZZA INFILL)



TYP. PIAZZA DOOR, SHUTTERS, CLG. DETAIL



MISC. INFILL @ SOUTH SIDE OF HYPHEN

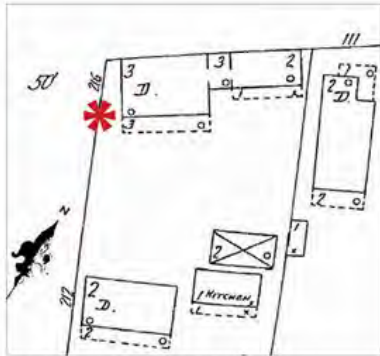
JULIA F MARTIN ARCHITECTS  
 216 BAYVIEW AVENUE, 3RD FLOOR, CHARLESTON, SC 29403  
 P: 803.577.3225 WWW.JFMARTINARCHITECTS.COM

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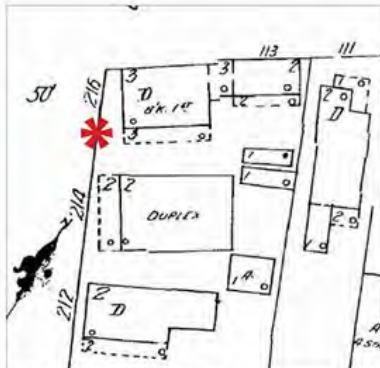
MULTI-FAMILY RENOVATION AT  
**216 ASHLEY AVE**  
 CHARLESTON, SC

PROJECT NO: 2019-35  
 DATE: 29 DEC. 2019  
 DRAWN BY: ELLIJAE  
 CHECKED BY: JFM

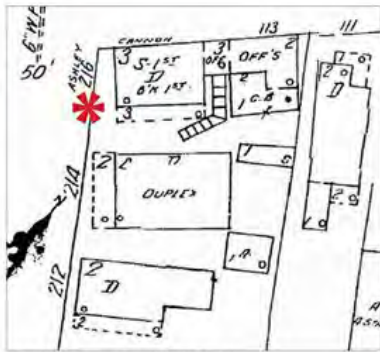
EXISTING  
 CONDITIONS  
 (PHOTOS)



SANBORN MAP EXCERPT (1902)



SANBORN MAP EXCERPT (1944)



SANBORN MAP EXCERPT (1951)

S.C. DEPARTMENT OF ARCHIVES AND HISTORY  
 SITE No.: c-460-15-2:123  
 HISTORIC NAME:  
 COMMON NAME:  
 ADDRESS: 216 Ashley Avenue  
 CLASSIFICATION: Building  
 TYPE: residence  
 ARCHITECT/CONTRACTOR:  
 DESCRIPTION: 2 s. frame hse set on a fully raised brick ground story; modified single hse design w/ plan expanded to include a side passage & a facade door opening directly into hse; 3rd bays w/ a side passage/double-parlor plan; gable roof w/ bracketed box cornice w/ full return; facade symponus clad in horiz. flushboard siding w/ a central tripartite\*  
 OUTBUILDINGS: none  
 RELATIONSHIP TO SURROUNDINGS: Urban; largely residential  
 HISTORICAL SIGNIFICANCE: built by Thomas R. Waring, banker, c. 1853, cashier, Bank of SC  
 POTENTIAL: NHL NR NRHD NAER LISTED: NHL NR NRHD NAER S.C. MARKER PROGRAM  
 OWNER/ADDRESS: John Gulgouin 17 Savannah Hwy.  
 PRESENT USE: residence  
 CONDITION: good  
 CONSTRUCTION: frame  
 HISTORICAL SIGNIFICANCE: built by Thomas R. Waring, banker, c. 1853, cashier, Bank of SC  
 POTENTIAL: NHL NR NRHD NAER LISTED: NHL NR NRHD NAER S.C. MARKER PROGRAM  
 OWNER/ADDRESS: John Gulgouin 17 Savannah Hwy.  
 PRESENT USE: residence  
 CONDITION: good  
 CONSTRUCTION: frame  
 BIBLIOGRAPHIC & RELATED DATA: *Hess & Courcier*; 7/16/BI; Mills Lane, Arch. of the Old South.  
 INVENTORY/ADDRESS: S.C. (orig. drawing reproduced)  
 RECORDED BY: Geier Brown Renfrow Architects, Wash. D.C. DATE: 6/10/85 INITIALED: RW  
 EVALUATION: 3 PHOTO. DATA: 1 (46:20, 21) [e47]  
 ADDRESS: 216 Ashley Avenue REGION: B-C-D  
 NAME: CITY: Charleston  
 \* window; weatherboard clad; 6/6 window w/ louvered shutters, transomed French doors (shuttered) @ porch elev.; 3-tiered porch has brick piers @ ground s. & sq. wood posts supported by semi-circular arches @ the upper 2-s.; porch has turned balusters bracketed cornices; facade parapet; facade has @ portico w/ fluted col's & Tower of the Winds capitals @ principal door w/ sidelights & transom; 2-s. rear wing w/ gable roof & 2 interior chimneys; core has 2 interior chimneys, 1 w/ Gothic hood.  
 \*\* main hse connected to orig. service bldg. by a flat roofed infill structure of 3-s. w/ 1 room per s.; ground s. of facade re fenestrated S. of portico; porch enclosed @ ground s.

GEIER BROWN RENFROW SURVEY CARD (1985)



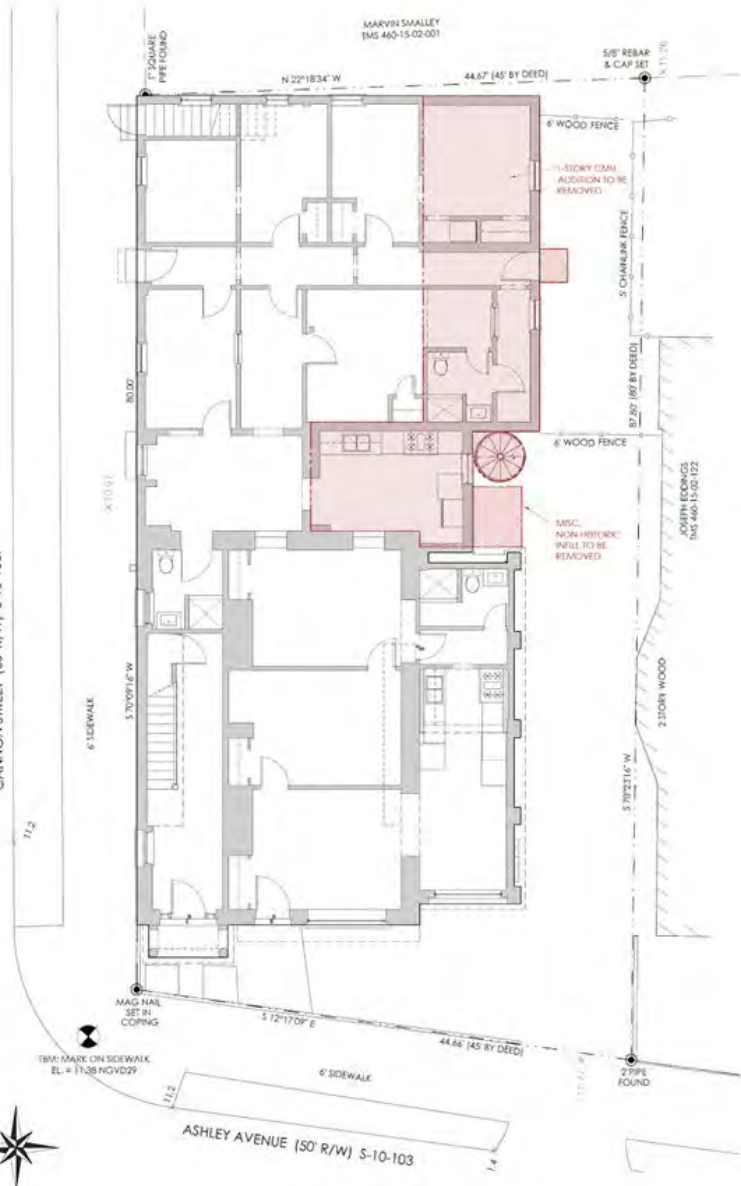
GEIER BROWN RENFROW SURVEY PHOTO c. 1985



HISTORIC CHARLESTON FOUNDATION SURVEY PHOTO c. 1972

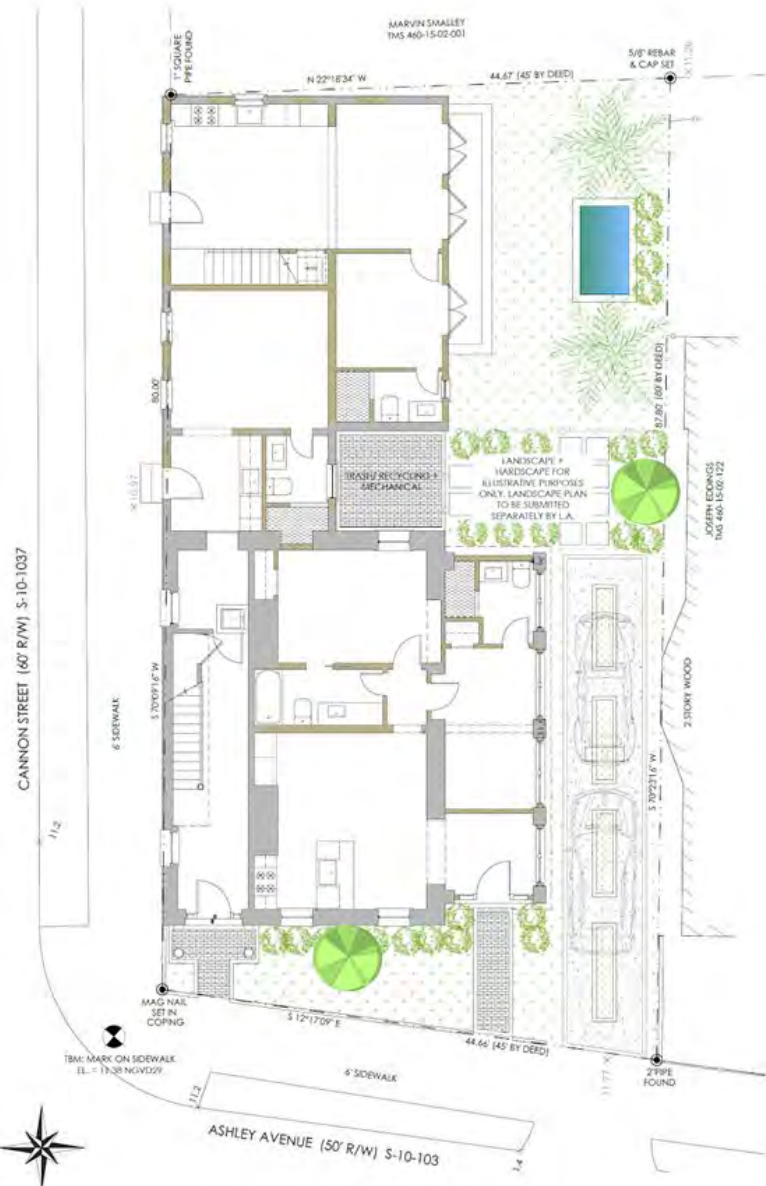
- CONSTRUCTED BY CHARLESTON BANKER, THOMAS R. WARING, IN 1853
- 2½ STORIES OVER A RAISED BASEMENT; TYPICAL MID-19TH CENTURY HALL + PARLOR PLAN
- PROPERTY INCLUDES A KITCHEN HOUSE CONNECTED TO THE MAIN BUILDING BY A PRE-1902 THREE-STORY ADDITION
- GROUND FLOOR OF MAIN HOUSE CONVERTED TO STORE c. 1944-1951
- MULTIPLE MID-20TH CENTURY ADDITIONS TO KITCHEN HOUSE (FORMERLY USED AS AN OFFICE)
- RENOVATED AS APARTMENTS IN 1978

CANNON STREET (60' R/W) S-10-1037



**EXISTING SITE LAYOUT**  
 SCALE: 3/16" = 1'-0" (3/32" IF HALF SIZE)  
 TOTAL FOOTPRINT, incl. porches/steps/hvac - 2,571 SF  
 LOT SF: 3,729.5 SF  
 EXISTING LOT COVERAGE: = 69%

CANNON STREET (60' R/W) S-10-1037



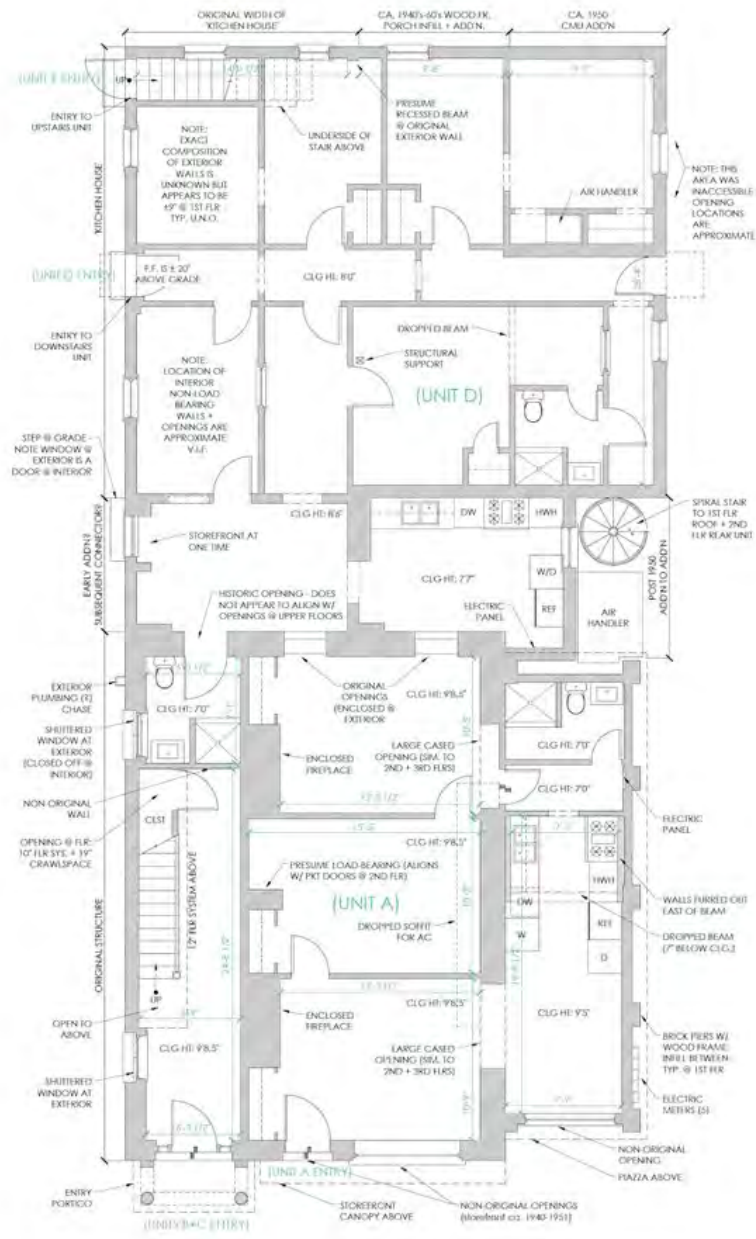
**PROPOSED SITE LAYOUT**  
 SCALE: 3/16" = 1'-0" (3/32" IF HALF SIZE)  
 TOTAL FOOTPRINT, incl. porches/steps/hvac - 2,099 SF  
 LOT SF: 3,729.5 SF  
 PROPOSED LOT COVERAGE: = 55%

MULTI-FAMILY RENOVATION AT  
**216 ASHLEY AVE**  
 CHARLESTON, SC

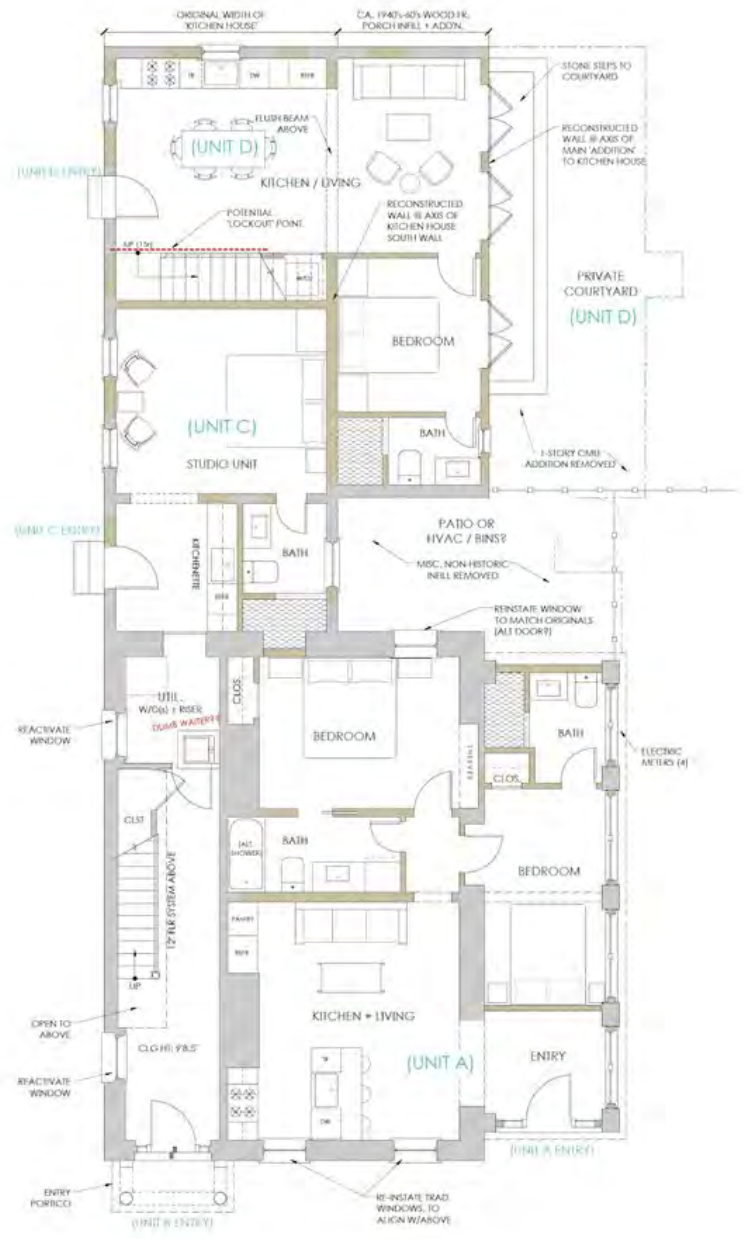
PROJECT NO.: 2019-30  
 DATE: 20 DEC., 2019  
 DRAWN BY: K.S.J./J.M.  
 CHECKED BY: J.F.M.

EXISTING +  
 PROPOSED SITE  
 LAYOUT

A-005



EXISTING FIRST FLOOR PLAN  
1/4" = 1'-0" (1/8" = HALF SIZE)



PROPOSED FIRST FLOOR PLAN  
1/4" = 1'-0" (1/8" = HALF SIZE)

JULIA F. MARTIN ARCHITECTS  
210 BUTLER AVENUE, 2ND FLOOR • CHARLESTON, SC 29403  
P: 843.573.2075 WWW.JFMARCHITECTS.COM



MULTI-FAMILY RENOVATION AT  
**216 ASHLEY AVE**  
CHARLESTON, SC

PROJECT NO.: 2019-05  
DATE: 2/20/2020  
DRAWN BY: J.S.M./J.M.  
CHECKED BY: J.F.M.

EXISTING + PROPOSED 1st FLOOR PLAN

A-101

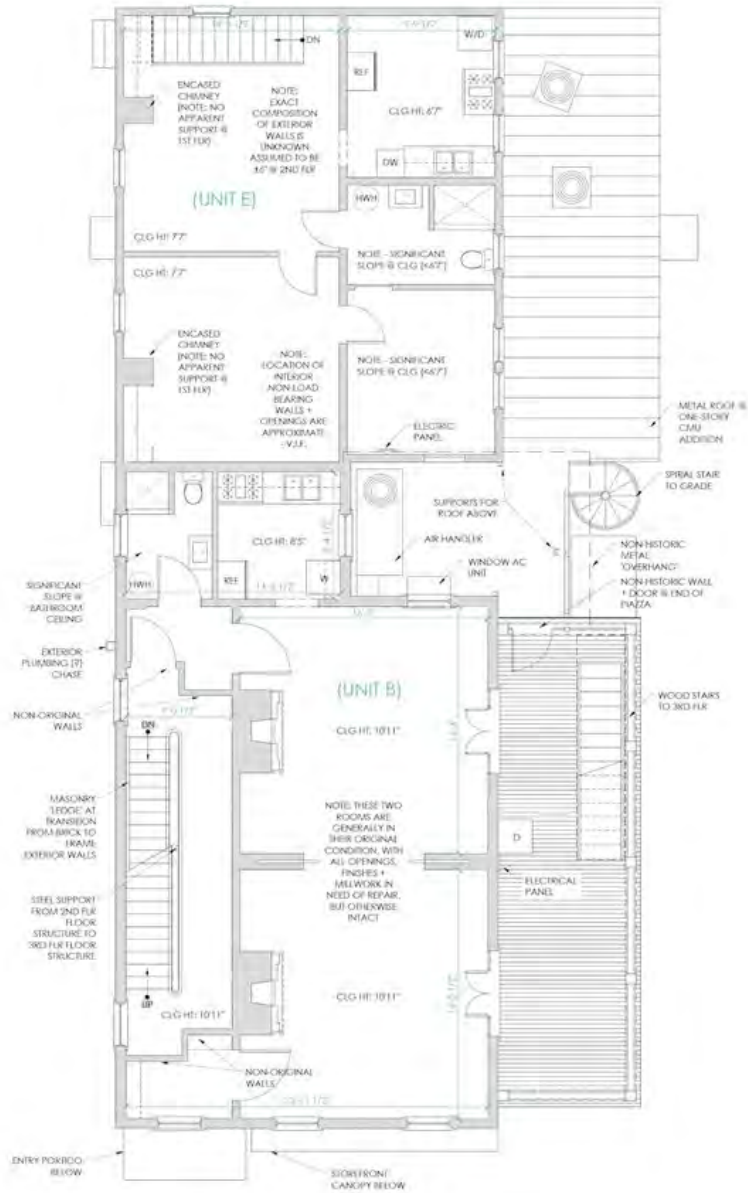
All dimensions are to the center of the wall unless otherwise noted. All dimensions are to the center of the wall unless otherwise noted. All dimensions are to the center of the wall unless otherwise noted.

MULTI-FAMILY RENOVATION AT  
**216 ASHLEY AVE**  
 CHARLESTON, SC

PROJECT NO: 2019-03  
 DATE: 26 DEC. 2019  
 DRAWN BY: T.J.J.F.M.  
 CHECKED BY: J.F.M.

EXISTING +  
 PROPOSED 2nd  
 FLOOR PLAN

A-102









ORIGINAL BRICK CHIMNEYS (original gulfic hood no longer present)

3 PANE WINDOW @ GABLE END

GABLE BRACKETS SIM TO CORNICE

SHUTTER @ GABLE

14 WOOD TR WINDOWS THROUGHOUT - TYP

7' EXPOSURE WOOD LAP SIDING - TYP

LOUVERED SHUTTERS @ FRONT FACADE (missing 1 in SHUTTER @ upper to bal. of least partially salvaged)

ORIGINAL PORNICO W/ TOWER OF THE WINDS COLUMN CAPITALS (note original columns + pedastals were 6' tall)

CANOPY @ GROUND FLOOR BEYOND

NON HISTORIC DOOR IN TACORED OPENING

c. 1944 1951 STOREFRONT + CANOPY (per Sarah M. Mass)

MASONRY CORNING WALL @ SIDEWALK (spans sign area elevated beyond)

7 PANELED PARAPET @ PIAZZA (steps up 3 sides to hide hippest roof)

ENTABLATURE BRACKETS (distinct from cornice + 2nd floor)

ARCHED CORNICES @ PIAZZA (held in metal siding + 6' exposure)

8" SQUARE COLUMNS w/ DECORATIVE 35M CAPITALS (note capitals + bases are damaged/drop + missing throughout)

TURNED BALUSTERS

ENTABLATURE BRACKETS (distinct from cornice + 3rd floor - partially missing @ east + west facades)

NON HISTORIC WOOD STAIR BEYOND

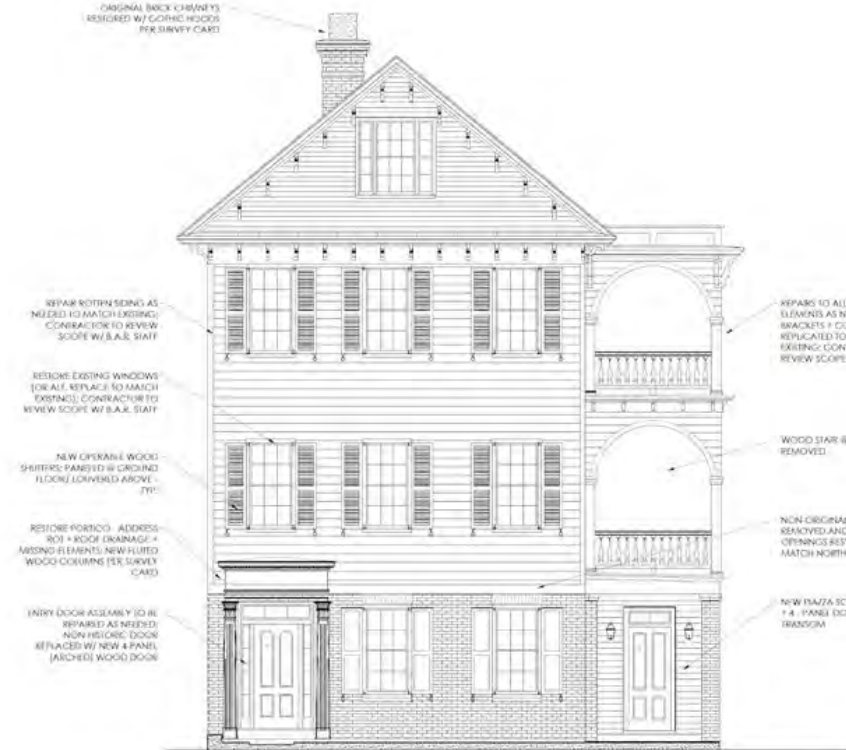
NON ORIGINAL WINDOW @ GROUND FLOOR

CEAU ADDITION BEYOND

RAISED BRICK FOUNDATION

NOVELTY SIDING BELOW WINDOW

EXISTING WEST ELEVATION  
1/4" = 1'-0" (1/8" @ HALF-SIZED)



ORIGINAL BRICK CHIMNEYS (REMOVED W/ GOTHIC HOODS PER SARVEY CARD)

REPAIR ROTTED SIDING AS NEEDED TO MATCH EXISTING; CONTRACTOR TO REVIEW SCOPE W/ B.A.R. STAFF

REMOVE EXISTING WINDOWS (OR ALL, REPLACE TO MATCH EXISTING); CONTRACTOR TO REVIEW SCOPE W/ B.A.R. STAFF

NEW OPERABLE WOOD SHUTTERS; PANESLED @ GROUND FLOOR (UNIVERSAL ABOVE - TYP)

RESTORE PORNICO - ADDRESS - NO + KIDG DRAINAGE + MISSING ELEMENTS; NEW FLUTED WOOD COLUMNS (PER SARVEY CARD)

ENTRY DOOR ASSEMBLY TO BE REPAIRED AS NEEDED; NON HISTORIC DOOR REPLACED BY NEW 4 PANEL (ARCHED) WOOD DOOR

REPAIRS TO ALL WOOD PORCH ELEMENTS AS NEEDED; MISSING BRACKETS + COLUMN CAPS REPLICATED TO MATCH EXISTING; CONTRACTOR TO REVIEW SCOPE W/ B.A.R. STAFF

WOOD STAIR @ 2ND FLOOR REMOVED

NON ORIGINAL STOREFRONT REMOVED AND WINDOW OPENINGS RESTORED TO MATCH NORTH ELEVATION

NEW PIAZZA SOUTH ENTRY + 4 - PANEL DOOR W/ TRANSOM

PROPOSED WEST ELEVATION  
1/4" = 1'-0" (1/8" @ HALF-SIZED)



MULTI-FAMILY RENOVATION AT  
216 ASHLEY AVE  
CHARLESTON, SC

PROJECT NO: 2019-03  
DATE: 04/06/2019  
DRAWN BY: J.S.L./J.M.  
CHECKED BY: J.F.M.

EXISTING + PROPOSED WEST ELEVATIONS



EXISTING SOUTH ELEVATION  
 1/4" = 1'-0" (1/8" = HALF-SHEET)

MULTI-FAMILY RENOVATION AT  
**216 ASHLEY AVE**  
 CHARLESTON, SC

PROJECT NO.: 2018/15  
 DATE: 05/06/2018  
 DRAWN BY: ELLIOTT M.  
 CHECKED BY: JFM

EXISTING SOUTH ELEVATION



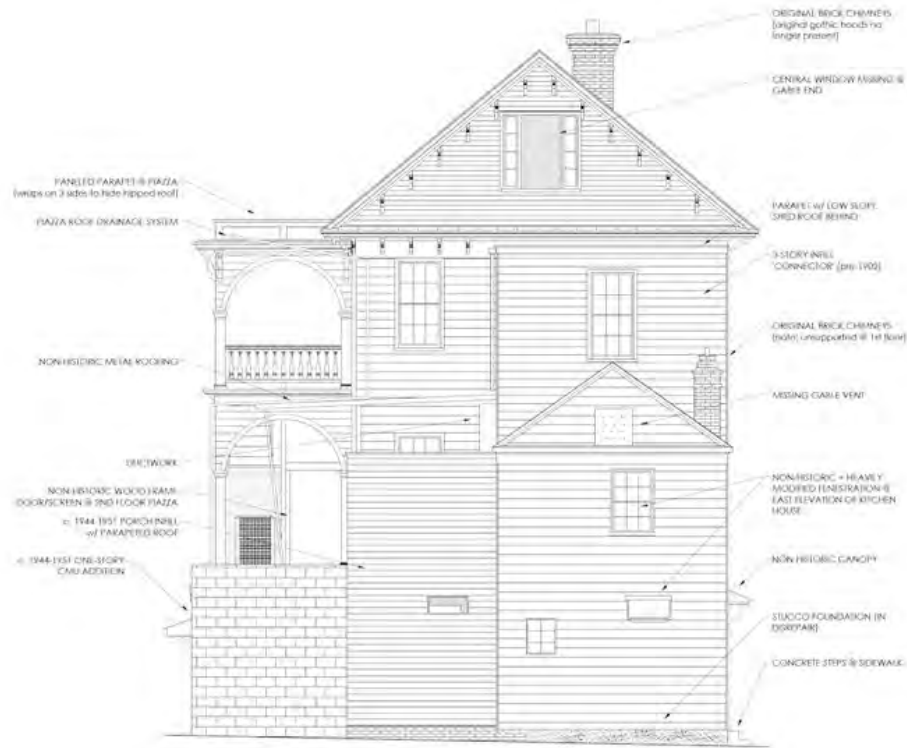
PROPOSED SOUTH ELEVATION  
1/4" = 1'-0" (1/8" IF HALF-SIZED)

MULTI-FAMILY RENOVATION AT  
**216 ASHLEY AVE**  
CHARLESTON, SC

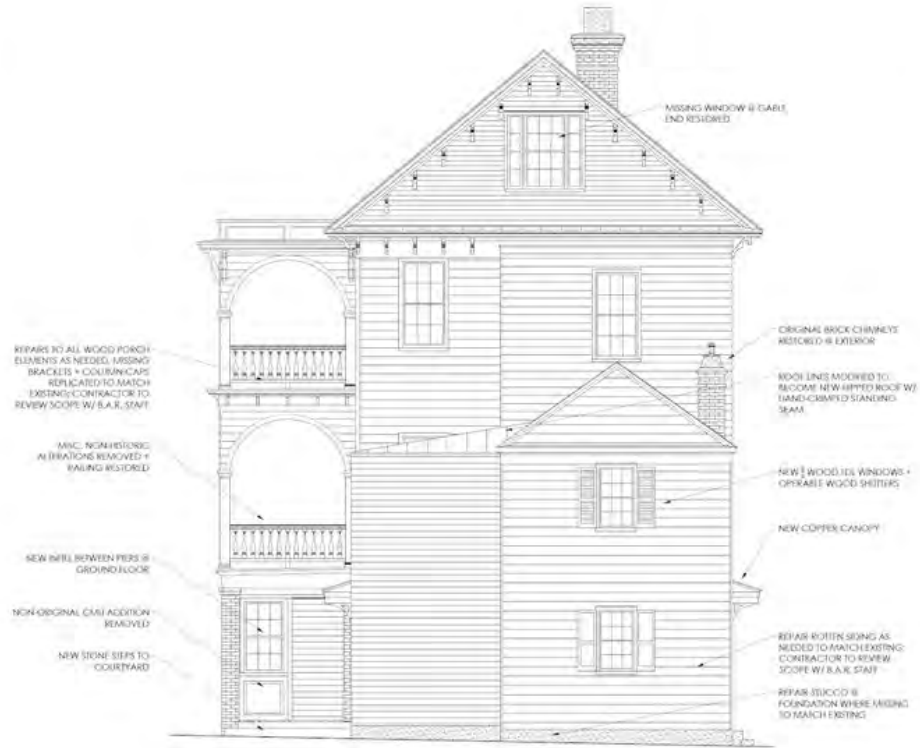
PROJECT NO: 2019-10  
DATE: 08/06/2019  
DRAWN BY: ELLIOTT  
CHECKED BY: JFM

PROPOSED SOUTH ELEVATION

A-203



EXISTING EAST ELEVATION  
 (1/4" = 1'-0" (1/8" IF HALF-SIZED))



PROPOSED EAST ELEVATION  
 (1/4" = 1'-0" (1/8" IF HALF-SIZED))

PROJ. NO.: 216-05  
 DATE: 21 DEC. 2019  
 DRAWN BY: ESK/JFM  
 CHECKED BY: JFM

EXISTING +  
 PROPOSED EAST  
 ELEVATIONS



EXISTING NORTH ELEVATION  
 1/4" = 1'-0" (1/8" B. BASE SIZE)

ALL DIMENSIONS UNLESS OTHERWISE NOTED.  
 DIMENSIONS IN PARENTHESES ARE APPROXIMATE.  
 DIMENSIONS IN SQUARE BRACKETS ARE APPROXIMATE.  
 DIMENSIONS IN CIRCLES ARE APPROXIMATE.

MULTI-FAMILY RENOVATION AT  
**216 ASHLEY AVE**  
 CHARLESTON, SC

PROJECT NO.	2019-13
DATE	JUNE 2024
DRAWN BY	ELIZABETH
CHECKED BY	JFM

EXISTING  
 NORTH  
 ELEVATION



PROPOSED NORTH ELEVATION  
 1/8" = 1'-0" (1/8" @ HALF-SPEED)



MULTI-FAMILY RENOVATION AT  
**216 ASHLEY AVE**  
 CHARLESTON, SC

PROJECT NO.: 2019-05  
 DATE: 2/20/2020  
 DRAWN BY: JULIA M.  
 CHECKED BY: J.F.M.

PROPOSED  
 NORTH  
 ELEVATION

