



City of Charleston

Board of Architectural Review-SMALL

October 24, 2019

DEPARTMENT OF PLANNING, PRESERVATION & SUSTAINABILITY

Agenda Item 1:

Approval of minutes from the August 29, 2019 meeting.

Agenda Item 2:

5 Bogard Street - - TMS # 460-08-02-052

Request approval for complete demolition of the building.

Category 4 / (Cannonborough / Elliottborough) / c.1882

Old City District



8421 Dorchester Road  
Suite 109/158  
N. Charleston, SC 29420

Phone: 843.452.8891

"...We Believe in Intelligent Design"

## 5 BOGARD STREET STRUCTURAL EVALUATION

Charleston, SC



SLG Project: 19-017  
Project Manager: SLG  
Report Prepared By: SLG  
Date: September 17, 2019





### Introduction

The structure located at 5 Bogard Street in Charleston, SC was evaluated for structural stability and overall structural condition. The building is a two-story, wood-framed, single family dwelling unit. According to the Charleston County GIS database, the home was constructed in 1872. The home has a stick framed gable roof that appears to bear on load-bearing exterior walls. The second and first floor are framed with a combination of 2x floor joist and floor beams. The building rests on a crawl space foundation formed with masonry piers at the perimeter of the home and at select interior locations. There is a wood framed front porch at the northeast corner and a single-story addition that wraps the original construction.

SLG Consulting was contracted to perform a visual observation and evaluation of the building. The scope did not include destructive investigation and there was no destructive or non-destructive testing accomplished.

### Observation

#### Roof:

The roof was observed from the exterior as there was no attic access to observe the framing from below. The roof consists of a gable framed roof over the main portion of the home with a hip roof over the single-story addition and a shed roof over the porch. The roof is presumed to be framed with timber stick framing. The roof appears to be sheathed with 1x6 decking and it is covered with a 5V metal roof.

There were not any apparent maladies in the roofing. The roof lines appeared generally straight however, there were some indications of slight deflection or ponding. The framing could not be observed directly.

#### Second Floor:

The second floor walls appear to be 2x stud walls. In those areas where the framing was visible, it appears to be in fair to poor condition. The walls were deflected or there are indications of termite damage in the wall framing.

The second floor framing appears to be 2x wood joist at a regular spacing. The joists appear to span from the east (side) of the home to the west wall of the home. The joists themselves appear to be in poor to fair condition. There is significant deflection in the second floor with indications of both water damage and termite damage. There are portions of the second floor that cannot safely support any loading and are on the verge of collapse.

#### First Floor:

The first floor walls are framed with timber 2x studs spaced at roughly 16" o.c. There are areas where the studs are visible from the exterior. In those locations, typically at the building corners and near windows, the studs are in very poor condition. The studs exhibit signs of water damage and termite infestation. Many of the studs have lost considerable material and are completely failed. As we move away from the

corners and the windows, the condition of the studs improves. At present, we estimate that 50 to 60 percent of the studs at the first floor walls are in poor or failing condition.

The first floor framing consists of timber 2x joists that span from the one exterior sidewall to the other sidewall. The joists are supported at the perimeter by rim beams that span masonry piers. The rim beams appear to be heavy timber members. There are also timber beams beneath the interior load bearing wall. The condition of the joists at the first floor varies from fair to very poor. The perimeter beams are in very poor condition, suffering from a combination of water damage and insect infestation. Many of these beams are completely failed and have deflected several inches.

#### **Porches:**

The front porch is framed in a similar manner as the home. The joists span from side to side as well. The joists are supported by perimeter beams. The joists are in fair to poor condition, while the perimeter beams are in fair condition. The porch roof is framed with timber 2x framing that appears to be in fair to poor condition. The roof deck is timber 1x framing that is in fair condition.

#### **Foundation:**

The home is founded on a crawl space foundation with brick masonry piers. The piers are approximately 12"x12" in size. The masonry piers are generally in poor condition. Most piers have loose bricks and some are listing and out of plumb. It is unclear if the piers are supported by concrete footings, but given the condition of the piers, the foundation system should be considered failed.

#### **Recommendations**

Due to the condition of the primary structural systems, we recommend that immediate actions be taken to shore the home against collapse. Currently, there are several piers that are leaning or severely damaged. Additionally, the floor beams supporting load bearing walls and the perimeter floor beams are in disrepair. Furthermore, the second-floor framing has failed and the second floor walls are in need of repair. These systems must be repaired or replaced or the structural stability of the entire home could be compromised. In addition to the replacement of failed systems, sheathing should be added to the roofing and exterior walls. Given the wholesale replacement of the 2<sup>nd</sup> floor walls, 2<sup>nd</sup> floor framing, 1<sup>st</sup> floor walls, first floor framing, and foundation systems, demolition and reconstruction may be a more viable option. There is very little of the existing structure that can be salvaged.

#### **Limitations of the Report**

This report is based on our observation of the structure. This observation was visual in nature and did not involve any destructive investigation or any destructive or non-destructive testing. The results of this report apply only to those areas specifically observed and referenced in this report and no warranty or guarantee is expressed or implied for areas beyond the scope of this report.





























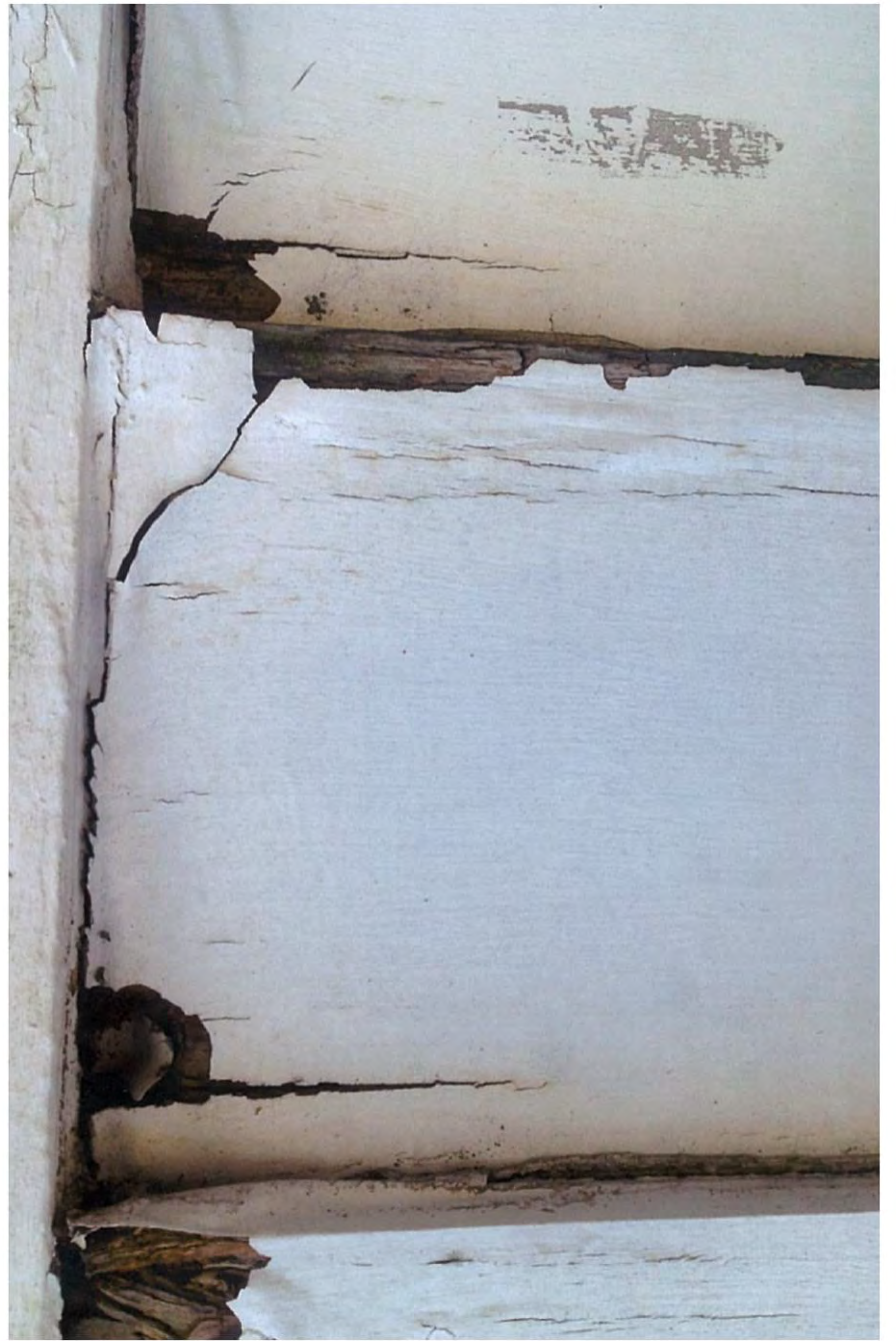














### Agenda Item 3:

171 Moultrie Street - - TMS # 460-02-04-001

Request approval to demolish an addition from  
the rear of the building.

Category 3 / (Hampton Park) / c.1921 / Line to Mt. Pleasant Street



**REQUESTING PERMISSION FOR PARTIAL DEMOLITION AT 171 MOULTRIE STREET.**

THE ORIGINAL BUILDING WAS CONSTRUCTED C. 1921 AND A REAR ADDITION WAS ADDED AFTER 1967. THE STRUCTURE WAS LEFT ABANDONED FOR 20+ YEARS AND FELL INTO DISREPAIR. REQUESTING PERMISSION TO DEMOLISH THE NON-ORIGINAL REAR ADDITION AND MINOR DEMOLITION AT THE ORIGINAL STRUCTURE IN ORDER TO REHABILITATE.



LS3P

**171 MOULTRIE RENOVATION**  
BAR-S DEMOLITION SUBMITTAL

**COVER SHEET**  
OCTOBER 14, 2019

**D.1**



## SHEET INDEX

COVER SHEET	<b>D.1</b>
SHEET INDEX	<b>D.2</b>
AERIAL VIEW	<b>D.3</b>
STREET VIEWS	<b>D.4</b>
SANBORN MAPS	<b>D.5</b>
DEMOLITION SITE PLAN	<b>D.6</b>
FIRST FLOOR DEMOLITION PLAN	<b>D.7</b>
SECOND FLOOR DEMOLITION PLAN	<b>D.8</b>
ROOF DEMOLITION PLAN	<b>D.9</b>
DEMOLITION - NORTH ELEVATION	<b>D.10</b>
DEMOLITION - EAST ELEVATION	<b>D.11</b>
DEMOLITION - SOUTH ELEVATION	<b>D.12</b>
DEMOLITION - WEST ELEVATION	<b>D.13</b>
INTERIOR PHOTOGRAPHS AT	<b>D.14</b>
PROPOSED DEMOLITION	<b>D.14</b>
STRUCTURAL REPORT	<b>D.15</b>











NORTH ON ELMWOOD AVE



WEST ON MOULTRIE ST



WEST ON MOULTRIE ST



SOUTH ON ELMWOOD AVE

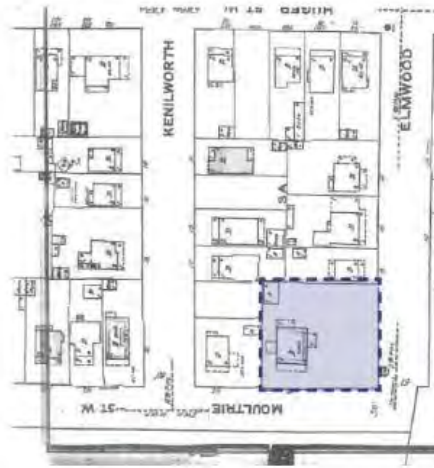


EAST ON MOULTRIE ST



VIEW OF SITE FROM CORNER



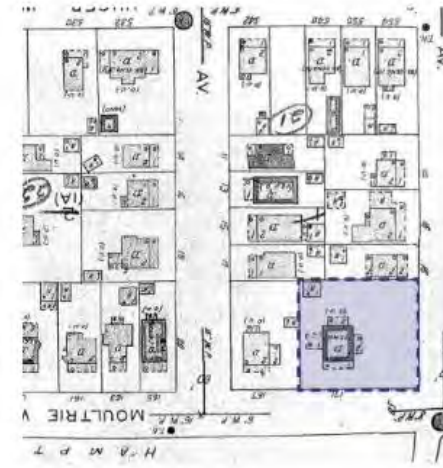


1921

ORIGINAL STRUCTURE & ACCESSORY BUILDING



1938



1944



1951



1967



1973

ORIGINAL STRUCTURE & ACCESSORY BUILDING  
FIRST APPEARANCE OF REAR ADDITION

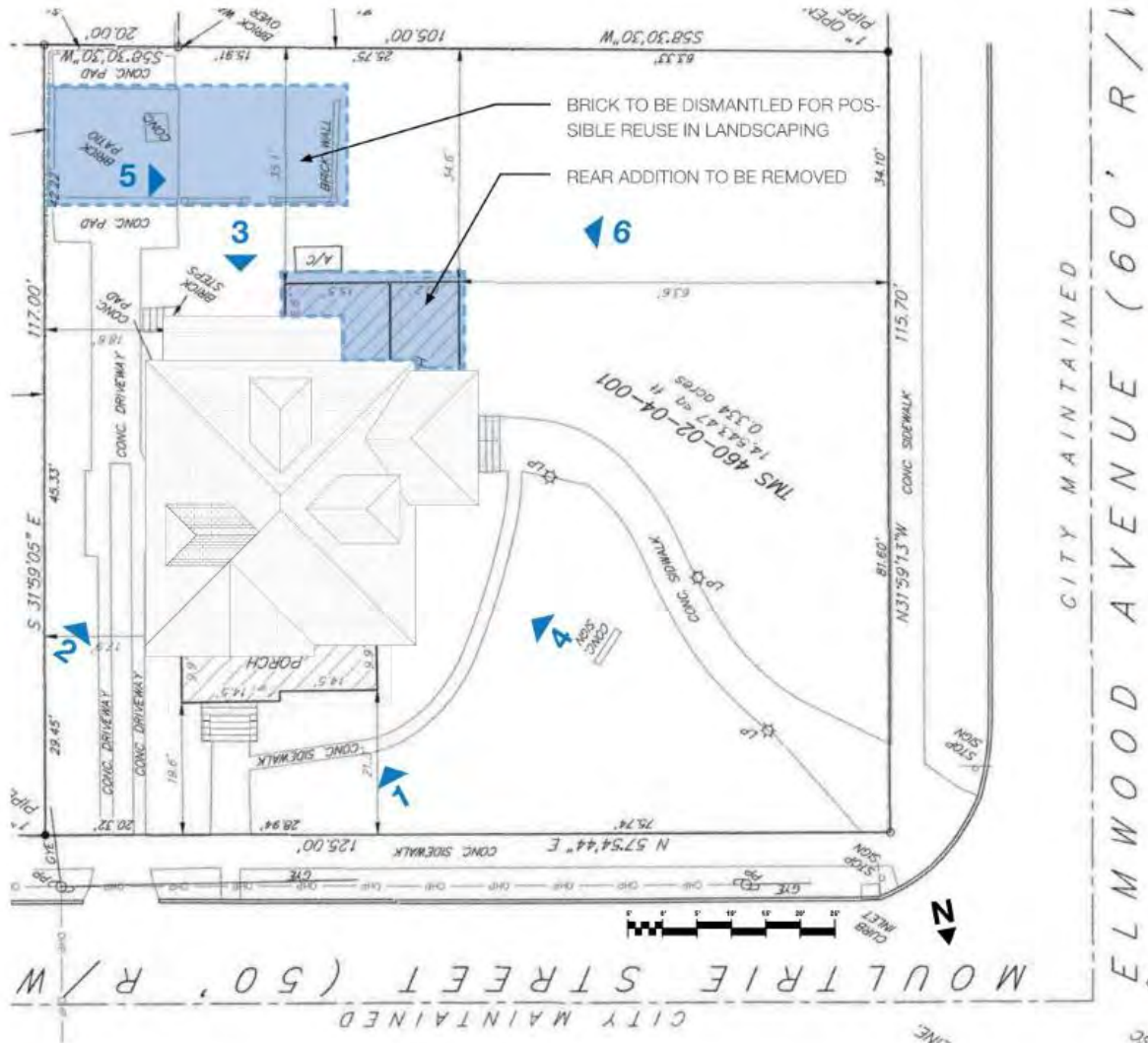


171 MOULTRIE RENOVATION  
BAR-S DEMOLITION SUBMITTAL

SANBORN MAPS  
OCTOBER 14, 2019

D.5





1 NORTH ELEVATION



2 EAST ELEVATION



3 SOUTH ELEVATION



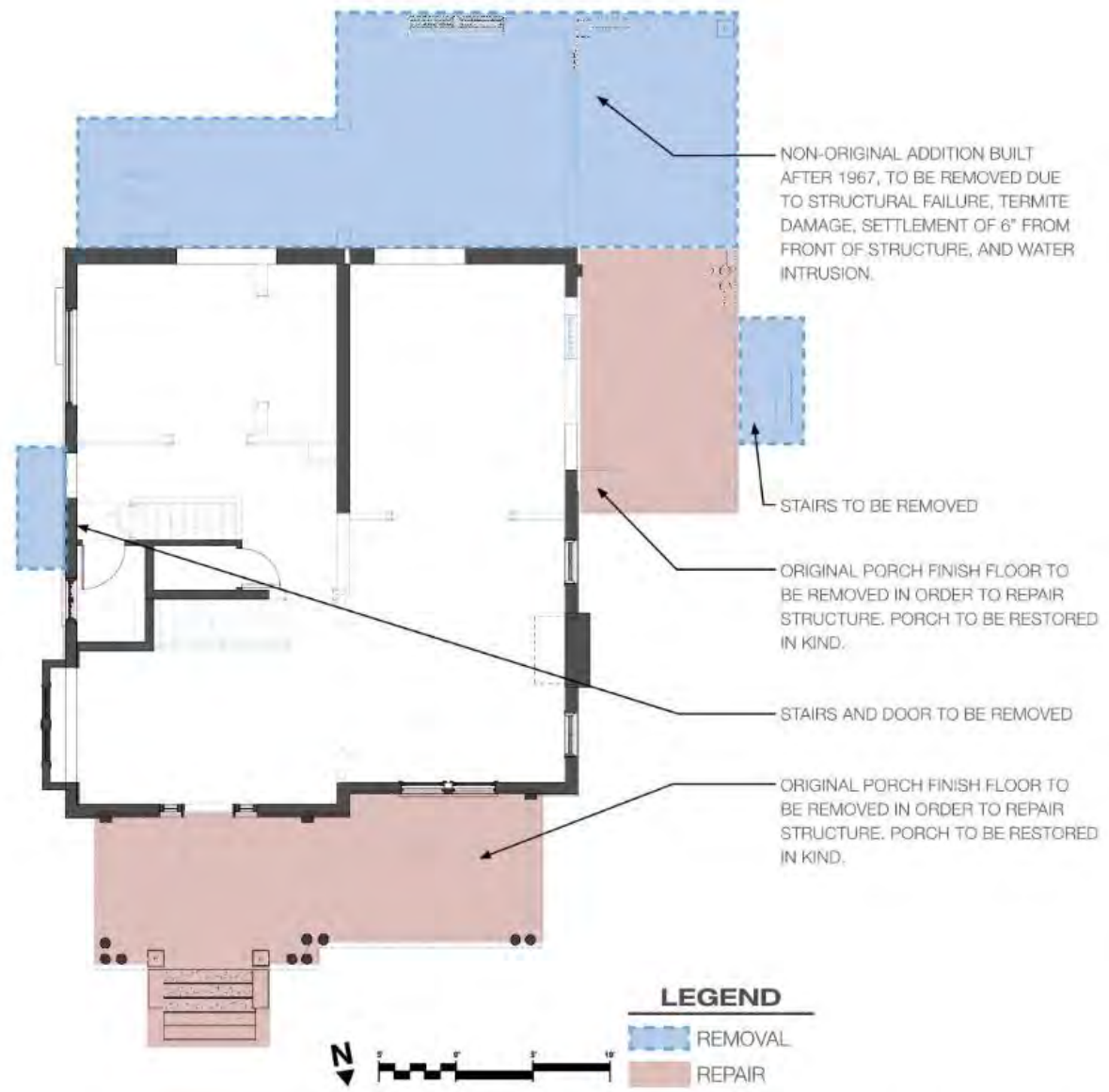
4 WEST ELEVATION



5 REMAINS OF PREVIOUSLY DEMOLISHED ACCESSORY BUILDING



6 REMAINS OF PREVIOUSLY DEMOLISHED ACCESSORY BUILDING





NON-ORIGINAL ADDITION BUILT AFTER 1967, TO BE REMOVED DUE TO STRUCTURAL FAILURE, TERMITE DAMAGE, SETTLEMENT OF 6" FROM FRONT OF STRUCTURE, AND WATER INTRUSION.

SEE SHEET D.9 FOR NOTES

**LEGEND**

-  REMOVAL
-  REPAIR

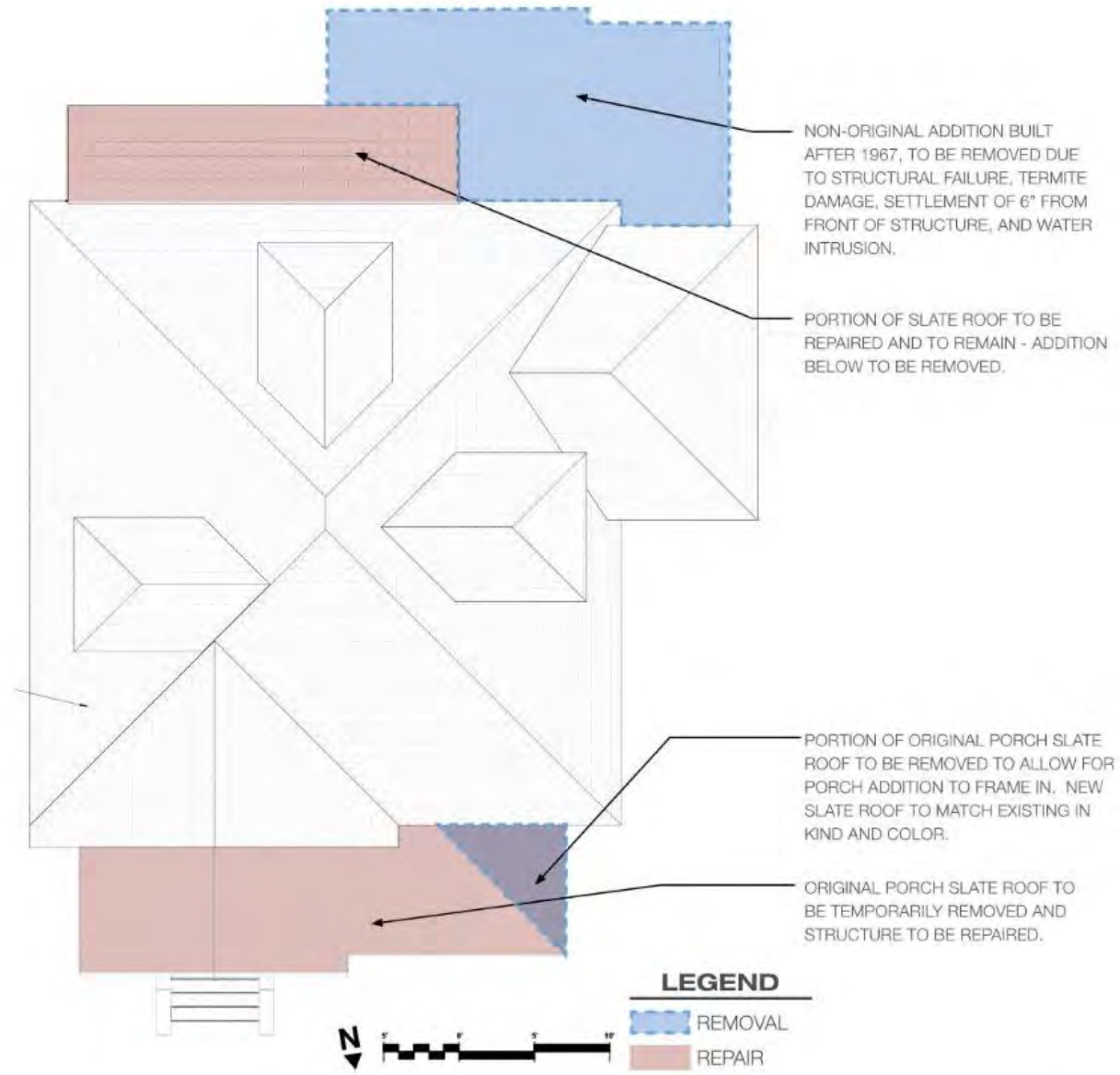


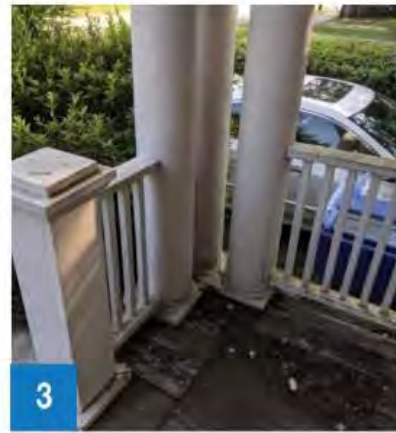
**171 MOULTRIE RENOVATION**  
 BAR-S DEMOLITION SUBMITTAL

**SECOND FLOOR DEMOLITION PLAN**  
 OCTOBER 14, 2019

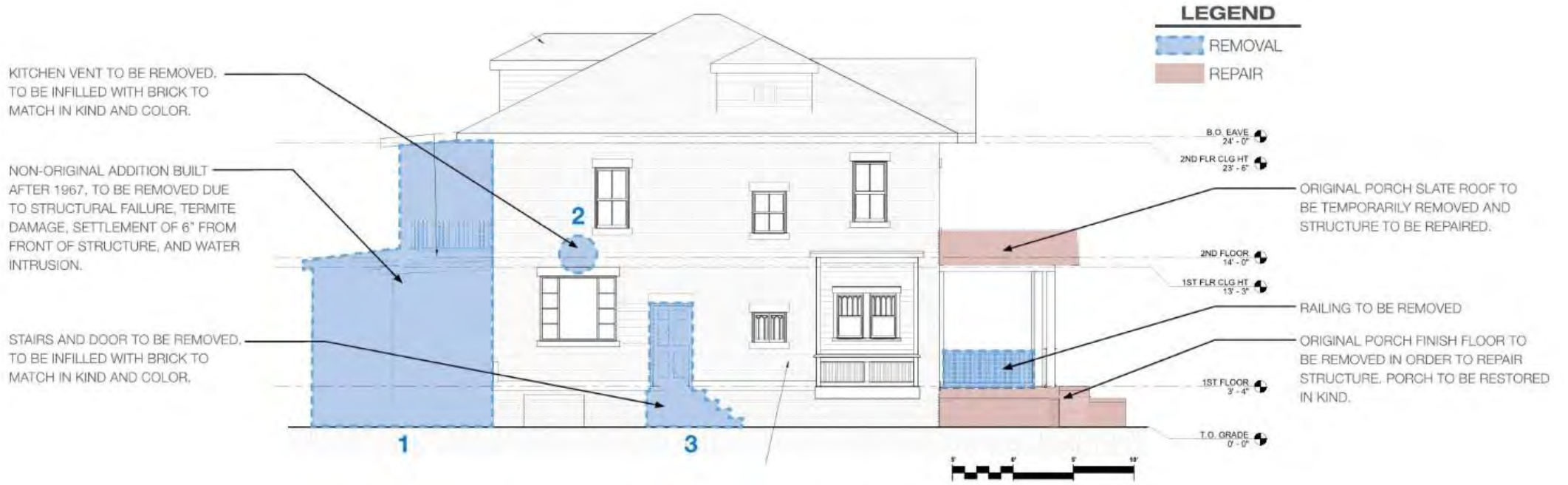
**D.8**











ORIGINAL PORCH SLATE ROOF TO BE REMOVED AND STRUCTURE TO BE REPAIRED. ROOF FINISH MATERIAL TO BE REPLACED WITH QUALITY MATERIAL OF THE PERIOD OF THE HOUSE.

COLUMNS TO BE REPAIRED WHERE POSSIBLE TO BE REMOVED/ REPLACED IN KIND IF STRUCTURAL FAILURE IS DISCOVERED.

RAILING TO BE REMOVED

PORCH ADDITION (DIFFERENTIATED BY TILE FINISH FLOOR) TO BE REMOVED.



**LEGEND**

-  REMOVAL
-  REPAIR

B.O. EAVE  
24' - 0"

2ND FLR CLG HT  
23' - 6"

PARTIAL REMOVAL OF PORTIONS OF WALL, WINDOWS, AND DOOR AT SECOND FLOOR. THIS WALL WILL BE INTERIOR AFTER NEW ADDITION.

2ND FLOOR  
14' - 0"

1ST FLR CLG HT  
13' - 3"

ORIGINAL DECORATIVE WINDOW TO BE SALVAGED AND USED AT NEW ADDITION.

1ST FLOOR  
3' - 4"

NON-ORIGINAL ADDITION BUILT AFTER 1967, TO BE REMOVED DUE TO STRUCTURAL FAILURE, TERMITE DAMAGE, SETTLEMENT OF 6" FROM FRONT OF STRUCTURE, AND WATER INTRUSION.

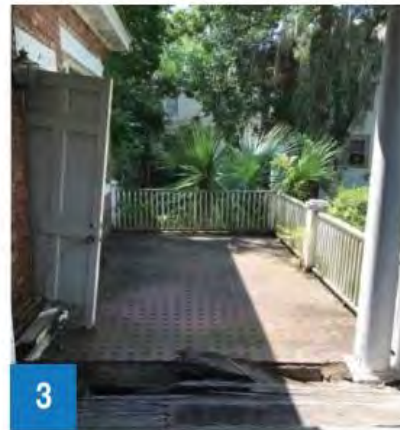
T.O. GRADE  
0' - 0"





**LEGEND**

- REMOVAL
- REPAIR





WATER INTRUSION DAMAGE AT REAR ADDITION



TEMPORARY WALL AT REAR ADDITION



DAMAGE AT REAR ADDITION



MOLD AT REAR ADDITION



TEMPORARY WALL AT REAR ADDITION - BUFFET AREA



REAR ADDITION - BUFFET AREA





October 1, 2019

Richard Bing  
LS3P Architects  
205 1/2 King Street  
Charleston, South Carolina 29401

Re: 171 Moultrie rear addition

Dear Richard,

As you know I have been working with LS3P to assess the structural condition of 171 Moultrie as part of the renovation plan for the house. I have spent field work time there looking at all parts of the structure and have prepared an assessment report of my observations and recommendations for repair.

As regards the addition to the house on the south side:

- 1) It is obvious to me this portion was an addition, at what date I do not know.
- 2) The construction is less than substantial and not in common with the original house. It has been framed somewhat haphazardly.
- 3) A portion has been demolished previously, and the opening created by that demolition was poorly sealed from the weather.
- 4) This in turn led to water infiltration, and extensive termite damage to the framing in the addition and even in the wood lath for plaster walls, and widespread wood rot. This termite damage has also extended into the south side of the original house.
- 5) The original house has settled from front to back (south side) resulting in the rear or south side of the house substantially lower than the north side. The soil conditions on the south side of the house are questionable, and it is obvious the addition has not fared well, as there is extensive veneer cracking within the addition and at its connection to the original house. It can be said that the addition has 'broken off' of the original house.

The addition is a poorly built, extensively deteriorated structure on a questionable foundation.

If you have any questions, please do not hesitate to contact me.

  
John Moore, PE

4SE, Inc. • 7 Roanoke Street, Suite 301 • Charleston, SC 29403 • phone (843.722.1992) • fax (843.722.1211) • www.4selinc.com

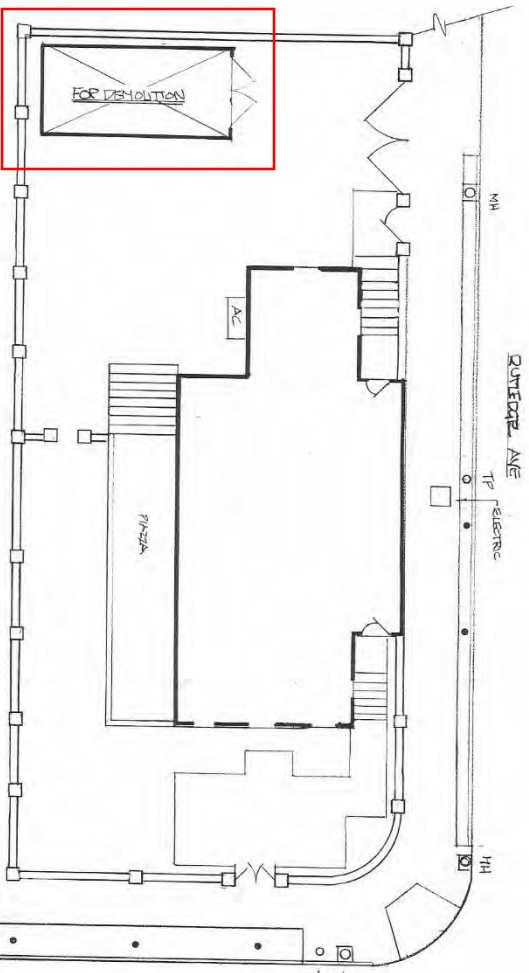


Agenda Item 4:

122 South Battery - - TMS # 457-11-01-029

Request approval for the demolition of a garage.

Not Rated / (Charlestowne) / c. 1922 / Old and Historic District



SITE PLAN - 122 S. BATTERY  
 SCALE: 1/4" = 10'-0"  
 TRAVIS B. BROWN/MA  
 10 SEPT. 18

LEGEND:  
 ● PATH  
 ○ MANHOLE  
 ○ TP TELEPHONE POLE

S. BATTERY  
 MH  
 TP  
 ELECTRIC































1921

[Print this item](#); Sheet 108



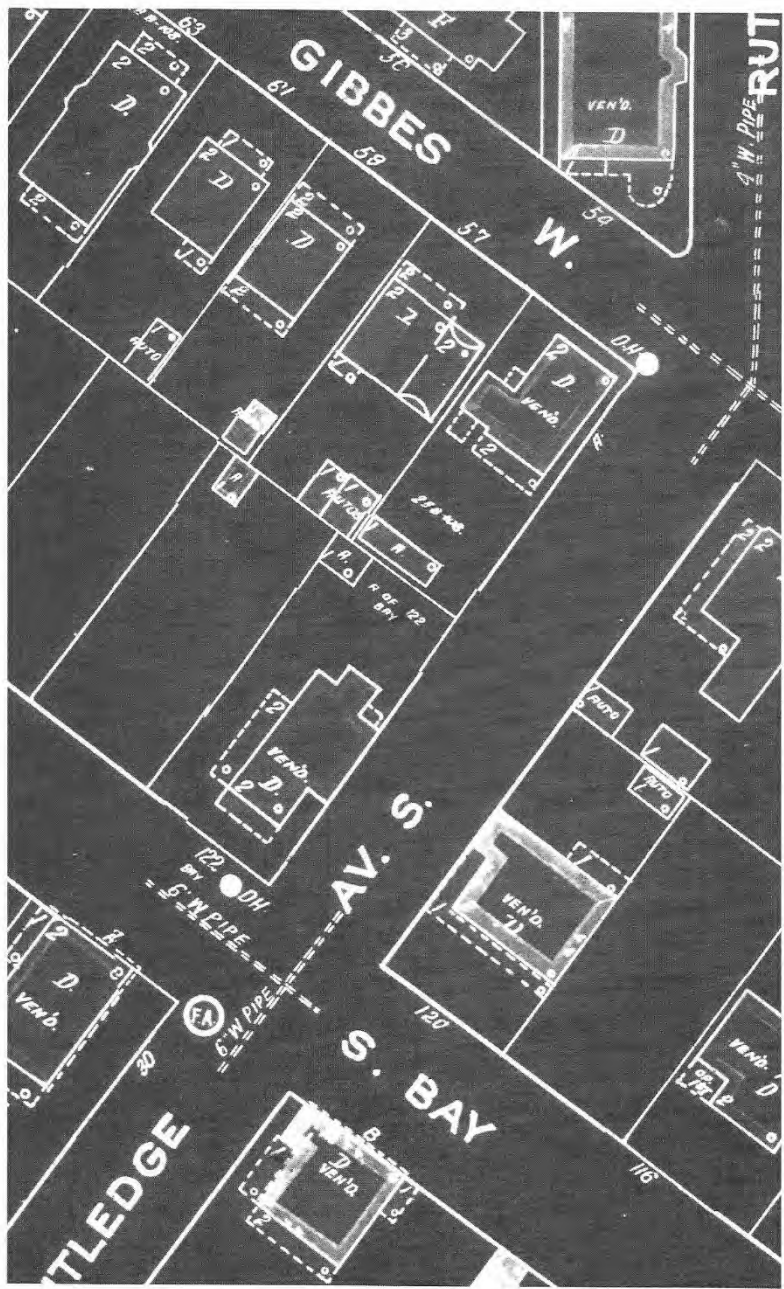




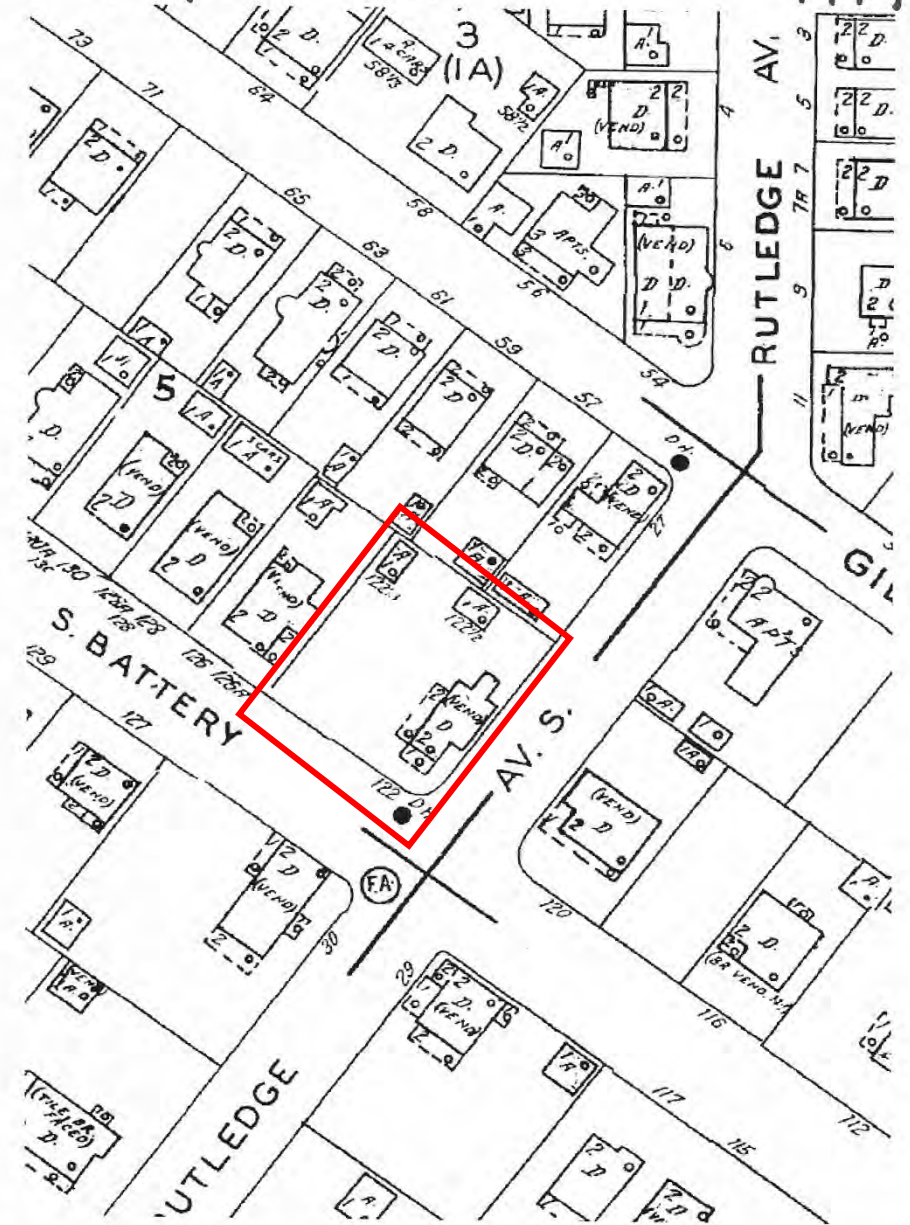
City of Charleston  
South Carolina

**City of Charleston**

**Sanborn Fire Map**  
**Charleston, SC**  
**1928**









## R-K Engineers & Builders

1941 Savage Road, 500-C  
Charleston, SC 29407  
(843) 573-2150

Civil / Structural Engineers

Bruce Robinson  
122 S. Battery Street  
Charleston, SC 29401

August 02, 2019

**Re: The Storage Building Building,  
122 S. Battery Street, SC  
Project # 219123**

Dear Mr. Robinson:

We visited the above site on July 09, 2019 to visually observe the existing garage/storage building and provide our recommendations. We were accompanied by you and Ed Heavey during the visit. The purpose of our visit was to determine the stability of the structure and feasibility to renovate the structure. We have following observations:

1. The existing structure is approx. 12'-0 x 20' wood structure (Photos 1 & 2).
2. The existing structure consists of 2x4 stud walls and is supported by concrete foundation. The concrete is only 6"x8" deep with no reinforcement. The concrete footing is cracked and broken (Photos 3 & 4).
3. The floor of the structure is supported on 4x4 laid on ground (Photo 5). The floor sheathing is rotted and floor is uneven.
4. The left side stud wall is bowed (Photo 6). The studs are rotted at bottom. Few studs have been sistered with 2x4. The sill plate is rotted and there are no anchors to the foundation concrete.
5. The rear side wall has substantial termite damaged to studs and wood siding members (Photos 7 & 8).
6. The metal roof is damaged and has excessive rust (Photo 9).
7. The roof rafters don't have any hurricane straps installed (Photo 10).
8. The Right side of building is in accessible (Photo 11). There is visible damage to the sill and studs.

The building has severely damaged foundation system and floor system supported on 4x4's. The foundation is cracked & settled and is unable to support the structure. The wall studs are rotted at base and are buckled creating bow and unstable conditions. The building floor is only 4" above ground level and floods during rains. The rain water is unable to flow under the building and ponds under the floor system resulting in high moisture in 4x4's and floor sheathing.

In our professional opinion, we recommend to demolish the existing structure and build new structure with properly designed foundation system & super structure on sloped grade for water runoff.

If you have any questions, please call me.

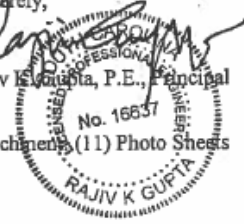


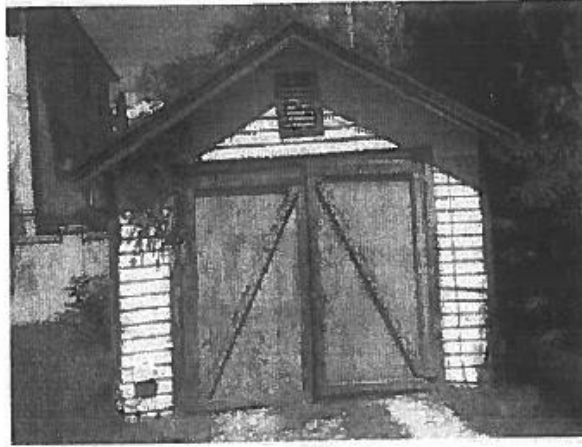
Thank You.

Sincerely,

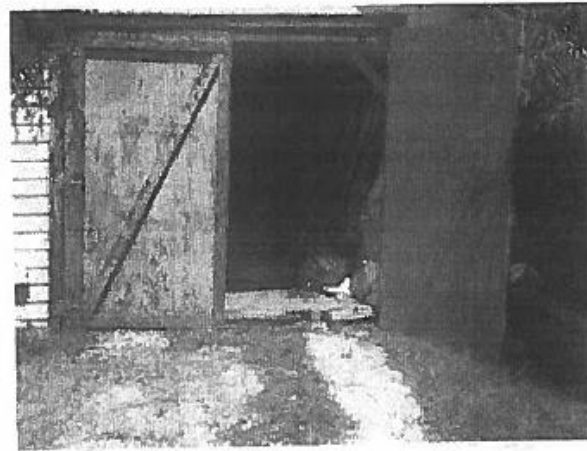
  
Rajiv K Gupta, P.E., Principal

Attachments (11) Photo Sheets



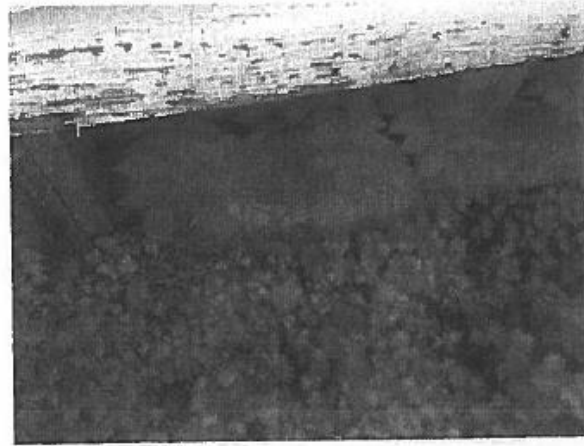


1. Front of the Storage Shed.

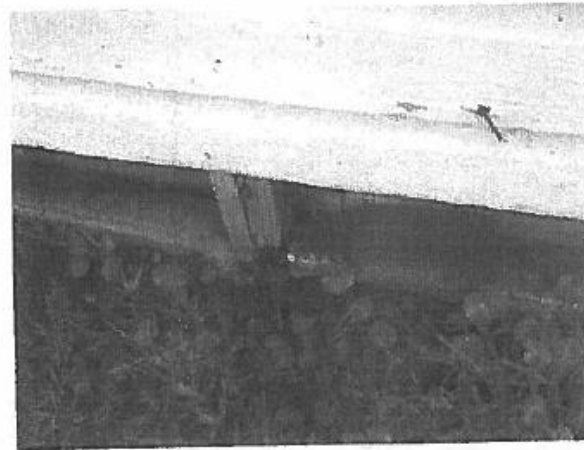


2. Front of the Storage Shed

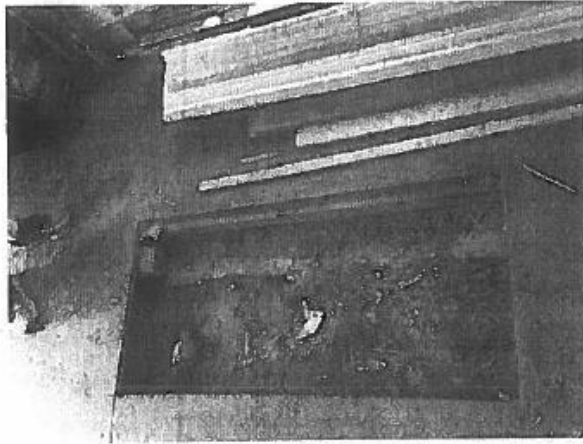




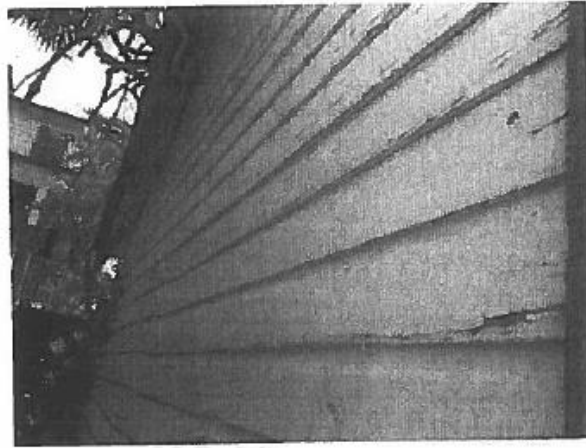
3. Left Side Exterior Stud Wall on Concrete Foundation.



4. Left Side Exterior Stud Wall on Concrete Foundation.

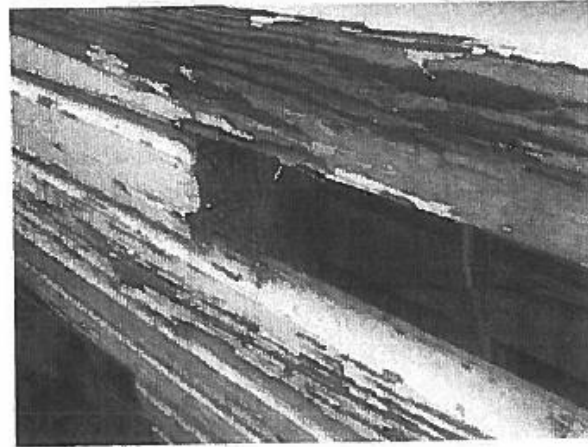


5. Storage Floor Supported with 4x4's on Ground.

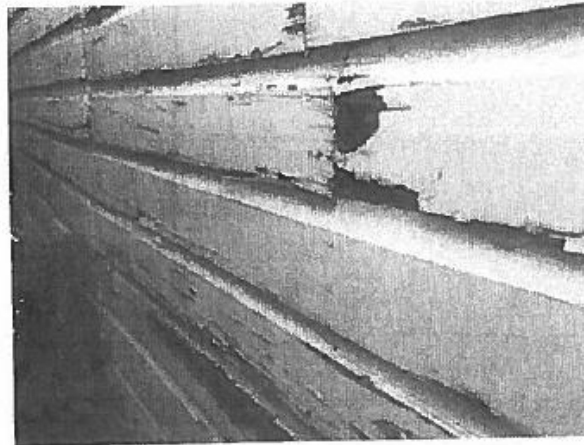


6. Left Side Wall is Bowed and Studs are Buckled.





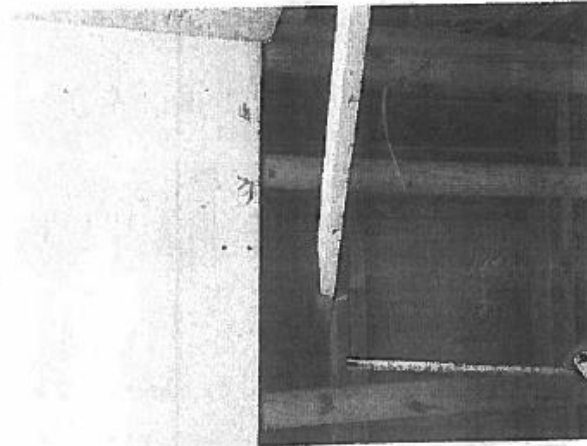
7. Rear Side Stud Wall is Termite Damaged.



8. Rear Wall is Termite Damaged.



9. Metal Roof with Rust .



10. Studs are rotted at bottom and are sistered with 2x4's.





11. Right Side Exterior Stud Wall with Trees Adjacent to it (Not Accessible).





Agenda Item 5:

842 Rutledge Avenue - - TMS # 463-11-02-034

Request approval for partial demolition for a master suite.

Category 3 / (North Central) / c. 1925 / Line to Mt. Pleasant Street

**Intensive Documentation Form**

**Identification**

Historic Name:  
Common Name:  
Address/Location: 842 Rutledge Ave.

City: Charleston County: Charleston  
Vicinity of: Quadrangle Name: Charleston  
Ownership: Private Category: Building  
Historical Use: Single dwelling  
Current Use: Single dwelling

**National Register of Historic Places Information**

SHPO National Register Determination: Recommended Individually Eligible  
Notes on National Register Status: Recommended Individually Eligible by Brockington and Associates, Inc. 2003

Charleston Architectural Rating: 3  
Other Designation:

**Property Description**

Construction Date: 1925 ca. Commercial Form: Stories: 1 1/2 stories  
Vernacular Form: Massed Plan, Side Gabled Historic Core Shape: rectangular

**Roof Features**

Shape: engaged  
Materials: composition shingle

**Porch Features**

Porch Width: full façade  
Shape: engaged

Construction Method: frame  
Exterior Walls: drop siding  
Foundation: stuccoed masonry

Significant Architectural Features: Central brick chimney with concrete details; gabled front inset dormer with glazed entry door flanked by 4-pane casement windows and balcony; 6/6 windows; wood shingles, doubled windows, and half-lunette casement windows in gambrel ends; drop siding post porch supports with brackets; north side shed squared bay window

Alterations: East side porch filled

Architect(s)/Builder(s):

Histo  
Histori



Source

Photo

Roll No.

12

12



**Program Management**

Recorded by: John Beaty, Brockington & Assoc. Inc.  
Date Recorded: 04/29/2003







North and West Elevations





Entrance on Rutledge – West Elevation



North Elevation – along Maple Street





South Elevation





South Elevation showing location of proposed new addition and area to demolished and infilled.



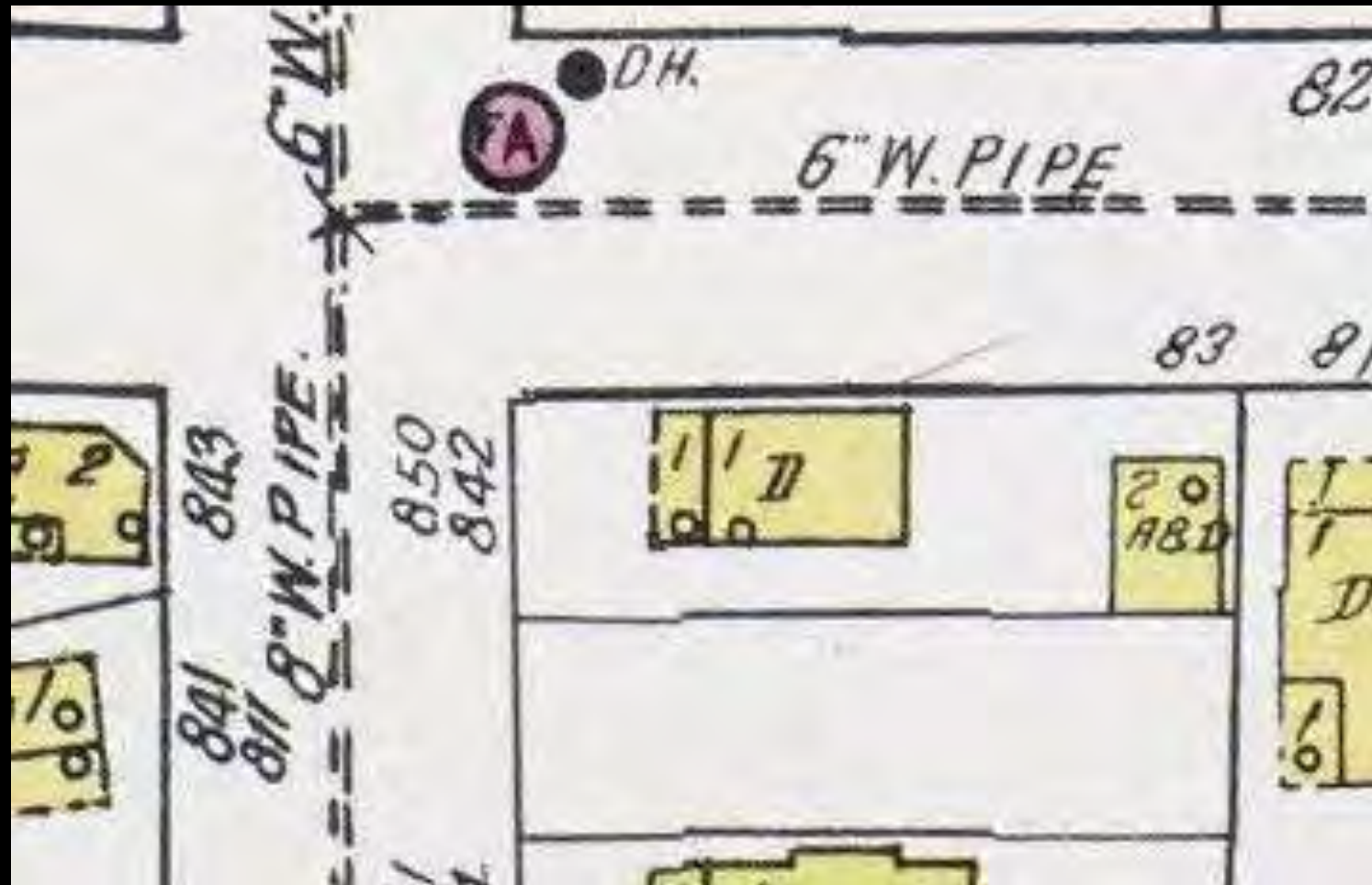


Area to be demolished



East Elevation





1944 Sanborn Map

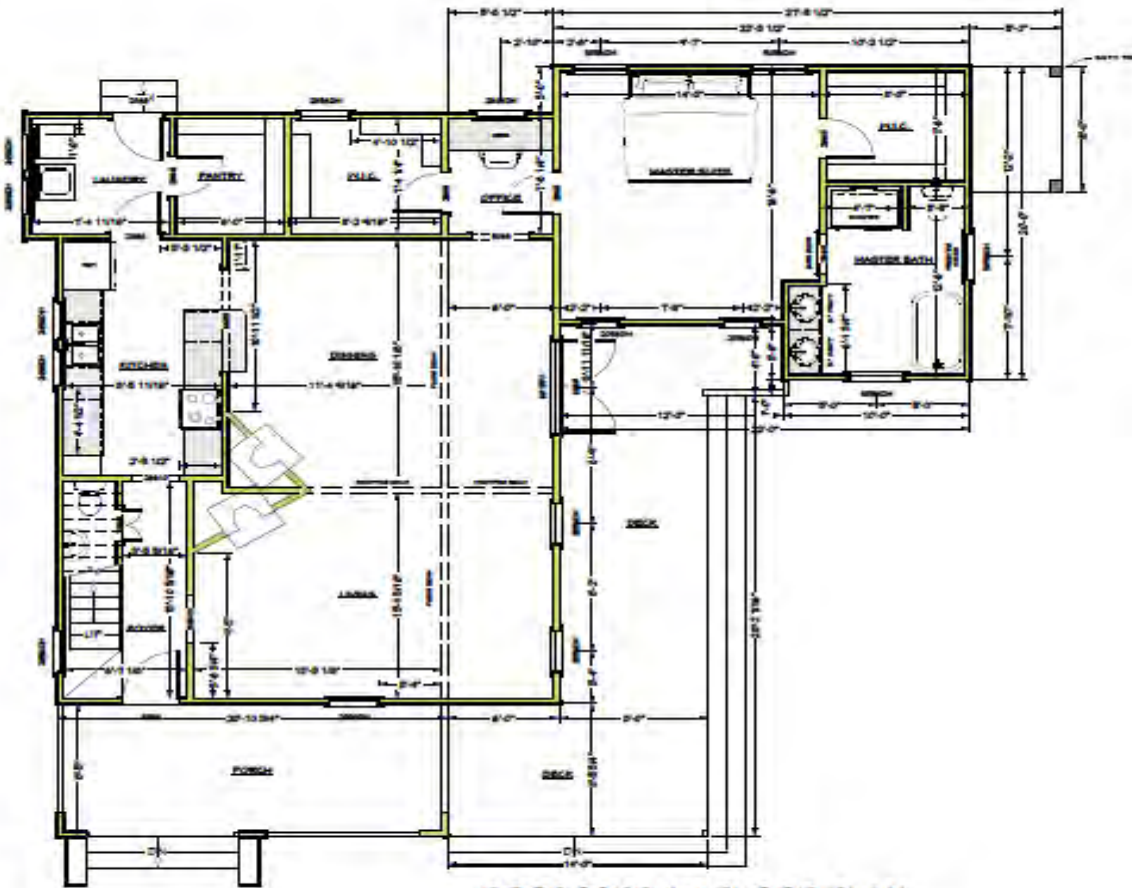






**EXISTING 1st FLOOR PLAN**

SCALE: 1/8"=1'-0"



**PROPOSED 1st FLOOR PLAN**

SCALE: 1/8"=1'-0"

NOTE: ALL DIMENSIONS SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION AND ANY DISCREPANCIES SHALL BE REPORTED TO COOK DESIGN STUDIO, INC. FOR JUSTIFICATION AND / OR CORRECTIONS. BUILDER/HOMEOWNER SHALL ASSUME LIABILITY FOR ERRORS THAT ARE NOT REPORTED. THE INFORMATION CONTAINED IN THESE PLANS ARE LIMITED TO THE OBSERVATION OF THE INFORMATION AND CONDITIONS AS PROVIDED BY YOU THE HOME OWNER. COOK DESIGN STUDIO, INC. ASSUMES NO LIABILITY FOR ANY CHANGES OF MODIFICATIONS MADE TO THESE PLANS IN WHOLE OR PART.

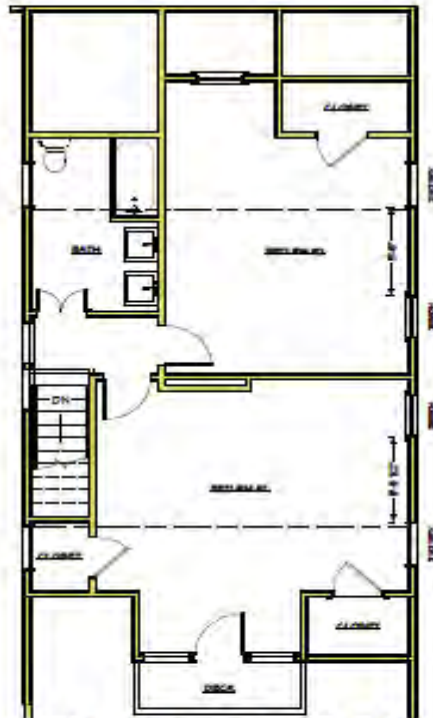
To the best of my knowledge these plans are shown to comply with owner's and/or builder's specifications and any change made on them after prints are made will be done at the owner's and/or builder's expense and responsibility. The contractor shall verify all dimensions and enclosed drawing. Cook Design Studio, Inc. is not liable for errors once construction has begun. While every effort has been made in the preparation of this plan to avoid mistakes, the maker can not guarantee against human error. The contractor of the job must check all dimensions and other details prior to construction and be solely responsible thereafter.

Homeowner will take the necessary precautions to remove or relocate items of value to be removed and/or added, or in any danger or being damaged due to construction process. Contractor shall verify all dimensions and conditions on site before construction begins. Any discrepancies shall be reported to Cook Design Studio, Inc. for corrections before proceeding with construction. Contractor and/or owner shall assume responsibility for errors that are not reported.



CHARLES S. BRIGHTWELL, P.E.  
318 LYNWOOD ROAD  
WALTERBORO, SC 29488

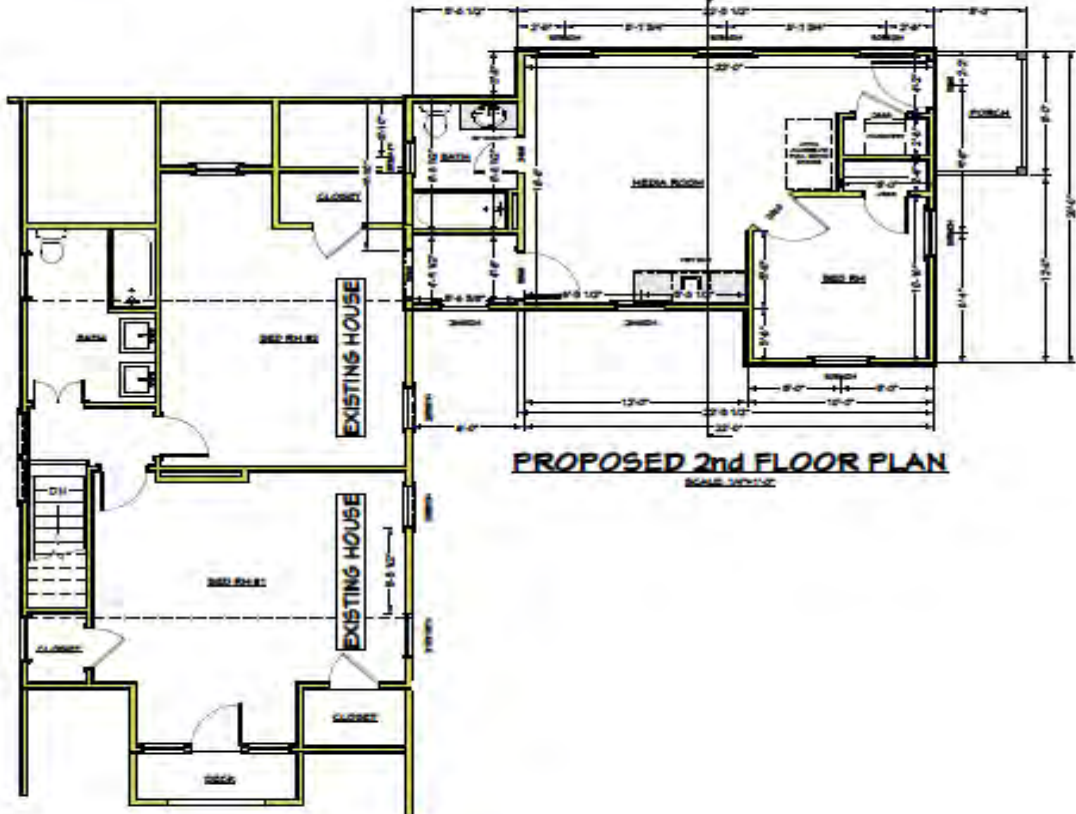
<p>NO. DATE REVISIONS</p>	
<p>MEMBER <b>A I B D</b> AMERICAN INSTITUTE OF BUILDING DESIGNERS</p>	
<p>PREPARED BY: <b>Jim Halls</b> 2412 Rutledge Ave. Charleston, SC 29403</p>	
DATE:	05-05-2014
SCALE:	1/4"=1'-0"
DESIGNED BY:	BSC
CHECKED BY:	CSB
DATE:	05-14-2014
<p><b>D2</b></p>	



**EXISTING 2nd FLOOR PLAN**

SCALE: 1/8"=1'-0"

NOTE: ALL DIMENSIONS SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION AND ANY DISCREPANCIES SHALL BE REPORTED TO COOK DESIGN STUDIO, INC. FOR JUSTIFICATION AND / OR CORRECTIONS. BUILDER/HOMEOWNER SHALL ASSUME LIABILITY FOR ERRORS THAT ARE NOT REPORTED. THE INFORMATION CONTAINED IN THESE PLANS ARE LIMITED TO THE OBSERVATION OF THE INFORMATION AND CONDITIONS AS PROVIDED BY YOU THE HOME OWNER. COOK DESIGN STUDIO, INC. ASSUMES NO LIABILITY FOR ANY CHANGES OR MODIFICATIONS MADE TO THESE PLANS IN WHOLE OR PART.



**PROPOSED 2nd FLOOR PLAN**

SCALE: 1/8"=1'-0"

In the best of my knowledge these plans are drawn to comply with owner's and/or builder's specifications and any changes made on them after prints are made will be done at the owner's and / or builder's expense and responsibility. The contractor shall verify all dimensions and enclosed drawing. Cook Design Studio, Inc. is not liable for errors once construction has begun. While every effort has been made in the preparation of this plan to avoid mistakes, the drafter can not guarantee against human error. The contractor of the job must check all dimensions and other details prior to construction and be solely responsible thereafter.

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CHARLES S. BRIGHTWELL, P.E.  
318 LYNWOOD ROAD  
WALTERSBORO, SC 29485

NO.	DATE	REVISIONS
 MEMBER <b>A I B D</b> <small>AMERICAN INSTITUTE OF BUILDING DESIGNERS</small>		
PREPARED FOR: <b>Jim Wade</b> 842 Rutledge Ave. Charleston, SC 29403		
DATE:	03-30-2014	
SCALE:	1/4" = 1'-0"	
DRAWN BY:	BEC	
CHECKED BY:	CSB	
DATE:	07-14-11-2014	
SCALE:		
D3		











**EXISTING SOUTH ELEVATION**

SCALE: 1/8"=1'-0"



**PROPOSED SOUTH ELEVATION**

SCALE: 1/8"=1'-0"

ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE. ALL FINISHES ARE TO BE DETERMINED BY THE ARCHITECT. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) AND THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC).

NO.	DATE	REVISIONS
1		



MEMBER  
**A I B D**  
AMERICAN INSTITUTE OF BUILDING DESIGNERS

PREPARED BY  
Jim Hilde  
342 Bullock Ave.  
Charleston, SC 29403

DATE: 08-01-2019  
SCALE: 1/8"=1'-0"  
PROJECT: 2019-01  
JOB: 2019-01  
SHEET: 2019-01-01

**D6**



CHARLES S. BRIGHTWELL, P.E.  
318 LYNWOOD ROAD  
WALTONBORO, NC 27482



**EXISTING NORTH ELEVATION**

SCALE: 1/8"=1'-0"



**PROPOSED NORTH ELEVATION**

SCALE: 1/8"=1'-0"

ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.  
 ALL FINISHES ARE TO BE DETERMINED BY THE ARCHITECT.  
 ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE APPROVED BY THE ARCHITECT.  
 ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) AND THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC).  
 ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL MECHANICAL AND PLUMBING CODE (IMC) AND THE LATEST EDITIONS OF THE INTERNATIONAL FIRE AND SAFETY CODE (IFSC).  
 ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ENERGY CONSERVATION CODE (IECC) AND THE LATEST EDITIONS OF THE INTERNATIONAL GREEN BUILDING CONSTRUCTION CODE (IGBC).  
 ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL SCHEDULING CODE (ISC) AND THE LATEST EDITIONS OF THE INTERNATIONAL CONTRACT DOCUMENTS (ICD).  
 ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL SPECIFICATIONS FOR ARCHITECTURAL AND ENGINEERING DRAWINGS (ISAEED).  
 ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL STANDARDS FOR ARCHITECTURAL AND ENGINEERING DRAWINGS (ISAED).  
 ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL STANDARDS FOR ARCHITECTURAL AND ENGINEERING DRAWINGS (ISAED).

REV. DATE REVISIONS

DATE: 08-05-2019



PREPARED BY  
 Jim Potts  
 842 Rutledge Ave.  
 Charleston, SC 29403

DATE: 08-05-2019

SCALE: 1/8"=1'-0"

PROJECT: EDC

NO: 000

REV. 004-110-2019

NO: 0

**D7**



CHARLES S. BRIGHTWELL, P.E.  
 316 LYNNWOOD ROAD  
 WALTERBORO, SC 29488







**FRONT 3D VIEW**



**REAR 3D VIEW**

NO. DATE REVISIONS

NO.	DATE	REVISIONS



MEMBER  
**A I  
B D**

Prepared for  
**Jim Miller**  
842 Rutledge Ave.  
Charleston, SC 29403

DATE: 08-20-2014  
SCALE: N.T.S.  
DRAWN BY: BSC  
CHECKED BY: GSB  
JOB NO: 3164-113-2014

Sheet #  
**D9**



CHARLES S. BRIGHTWELL, P.E.  
518 LYNNWOOD ROAD  
WALTERBORO, SC 29488





Agenda Item 6:

13 East Battery - - TMS # 457-16-04-085

**Request the replacement of concrete front porch with 16" square  
grey and white marble pavers.**

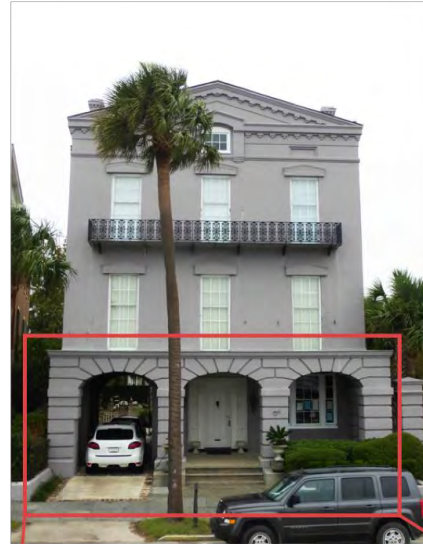
Category 2 / (Charlestowne) / c.1845 / Old and Historic District







2 EAST BATTERY ELEVATION-IN CONTEXT  
NO SCALE



1 EAST ELEVATION  
NO SCALE

REPLACE CONCRETE  
WITH 16"  
GRAY AND WHITE MARBLE PAVERS



3 EAST PORCH-DETAIL  
NO SCALE

**Glenn Keyes  
Architects**  
12 Vandenberg Street  
Charleston, South Carolina  
29403-7224-4100  
www.glennkeyesarchitects.com



**13 East Battery**  
*The William Ravenel House*  
c. 1845  
Charleston, South Carolina

**EXISTING  
CONDITIONS**

REV	DATE

PROJECT NUMBER  
1904

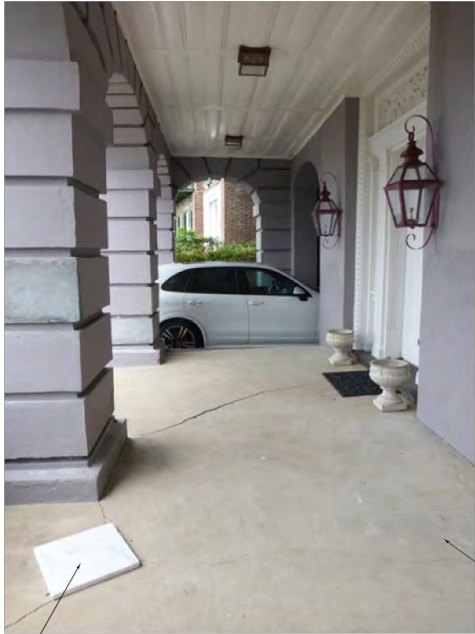
DRAWING DATE  
10/9/19

SHEET NUMBER  
**A-2**





1 EAST BATTERY—PORCH FROM SOUTH  
A-3 NO SCALE



2 EAST BATTERY—PORCH FROM NORTH  
A-3 NO SCALE



PHOTO KEY

REMOVE CONCRETE;  
PROPOSED PAVERS WILL BE AT LEVEL  
OF EXISTING FLOOR

**Glenn Keyes  
Architects**  
12 Vandenberg Street  
Charleston, SC 29403  
(843) 722-4100  
www.glennkeyesarchitects.com

**13 East Battery  
The William Ravenel House  
c. 1845  
Charleston, South Carolina**

**EXISTING  
CONDITIONS**

REV	DATE

PROJECT NUMBER  
1904

DRAWING DATE  
10/9/19

SHEET NUMBER  
**A-3**





Agenda Item 7:

40 Hasell Street - - TMS # 458-05-01-037

Request final approval for a first-floor piazza enclosure, steel windows, and modifications to an existing second-story piazza enclosure.

Category 3 / (Ansonborough) / c. 1840 / Old and Historic District

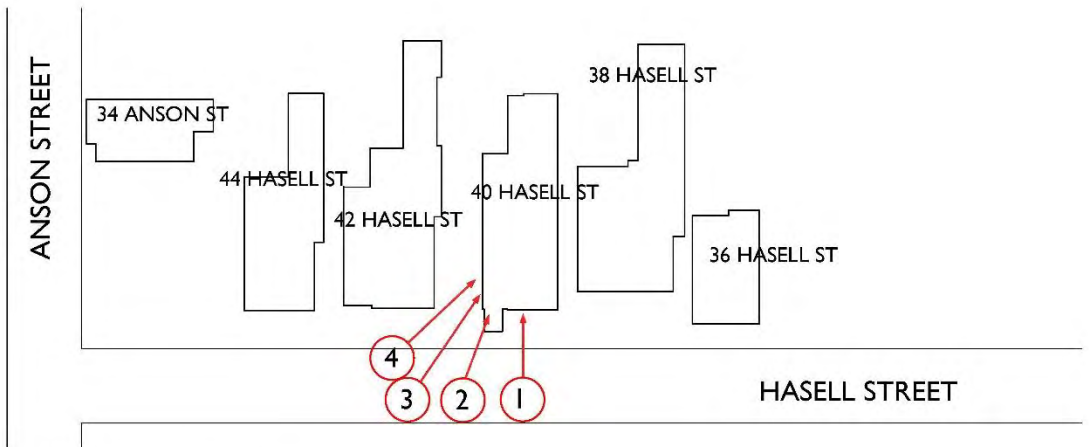


# BIASCOECHEA & CRUZ RESIDENCE

## INDEX

C1	EXTERIOR VIEWS
C2	EXTERIOR VIEWS
S1	SURVEY
S2	PROPOSED SITE PLAN
S3	SITE LOCATION
S4	STREETSCAPE
S5	STREETSCAPE
S6	SANBORN MAPS
S7	SANBORN MAPS AND SITE PLAN
S8	HISTORIC CARD
S9	HISTORIC DOCUMENTATION
X1.0	EXISTING FOUNDATION PLAN
X1.1	EXISTING FIRST FLOOR PLAN
X1.2	EXISTING SECOND FLOOR PLAN
X1.3	EXISTING THIRD FLOOR PLAN
X1.4	EXISTING ROOF PLAN
A1.0	PROPOSED FOUNDATION PLAN
P1.1	PREVIOUS FIRST FLOOR PLANS
A1.1	PROPOSED FIRST FLOOR PLAN
P1.2	PREVIOUS SECOND FLOOR PLANS
A1.2	PROPOSED SECOND FLOOR PLAN
A1.3	PROPOSED THIRD FLOOR PLAN
A1.4	PROPOSED ROOF PLAN
P2.1	PREVIOUS SOUTH ELEVATIONS
A2.1	EXISTING AND PROPOSED SOUTH ELEVATION
P2.2	PREVIOUS WEST ELEVATIONS
X2.2	EXISTING WEST ELEVATION
A2.2	PROPOSED WEST ELEVATION
P2.3	PREVIOUS NORTH ELEVATIONS
A2.3	EXISTING AND PROPOSED NORTH ELEVATION
P2.4	PREVIOUS EAST ELEVATIONS
X2.4	EXISTING EAST ELEVATION
A2.4	PROPOSED EAST ELEVATION
A2.5	PROPOSED SECTION E
A2.6	PROPOSED SECTION F AND G
A3.1	TYPICAL WALL ELEVATION, WALL SECTION AND STAIR SECTION
A4.1	DOOR AND WINDOW SCHEDULES
A4.2	DOOR AND WINDOW DETAILS
X2.0	EXISTING EXTERIOR IMAGES
X2.1	EXISTING EXTERIOR IMAGES
X2.2	EXISTING EXTERIOR IMAGES
X2.3	EXISTING EXTERIOR IMAGES
X2.4	EXISTING EXTERIOR IMAGES
X2.5	EXISTING EXTERIOR IMAGES





STREET CONTEXT PLAN

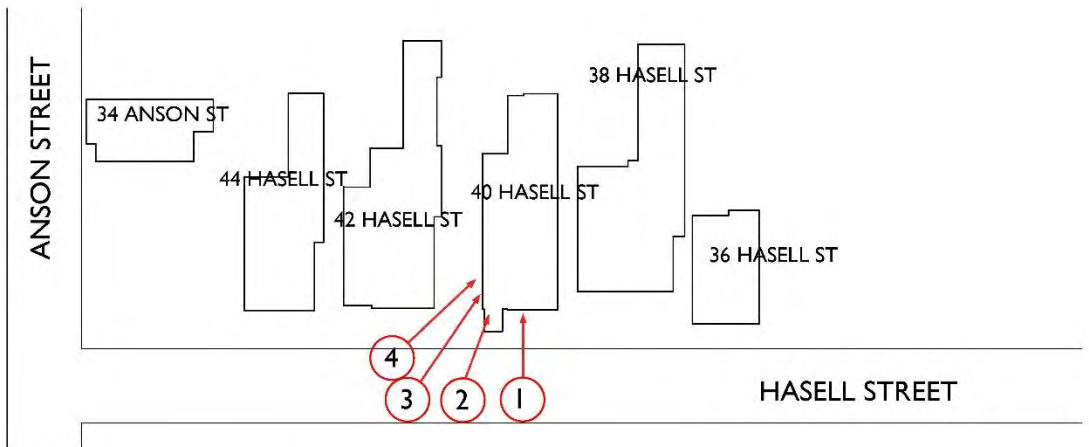


1



2





STREET CONTEXT PLAN



3



4





Bruce & Betsy Finley  
TMS 458-05-01-018

John Barr Trust  
TMS 458-05-01-019

Bruce & Betsy Finley  
TMS 458-05-01-018

John Barr Trust  
TMS 458-05-01-019



Stephen Hanson  
TMS 458-05-01-158

Gardner & Christina  
Dodd  
TMS 458-05-01-156

James Yarnell  
TMS 458-05-01-038

Stephen Hanson  
TMS 458-05-01-158

Gardner & Christina  
Dodd  
TMS 458-05-01-156

James Yarnell  
TMS 458-05-01-038

Total Area  
6468 Sq. Ft.  
0.148 Acre

Total Area  
6468 Sq. Ft.  
0.148 Acre

Brick Parking

Brick Parking

Sidewalk  
Curb

Sidewalk  
Curb

Hasell Street (R/W Varies)

Hasell Street (R/W Varies)

**EXISTING SITE PLAN**

scale 1/8"=1'-0"

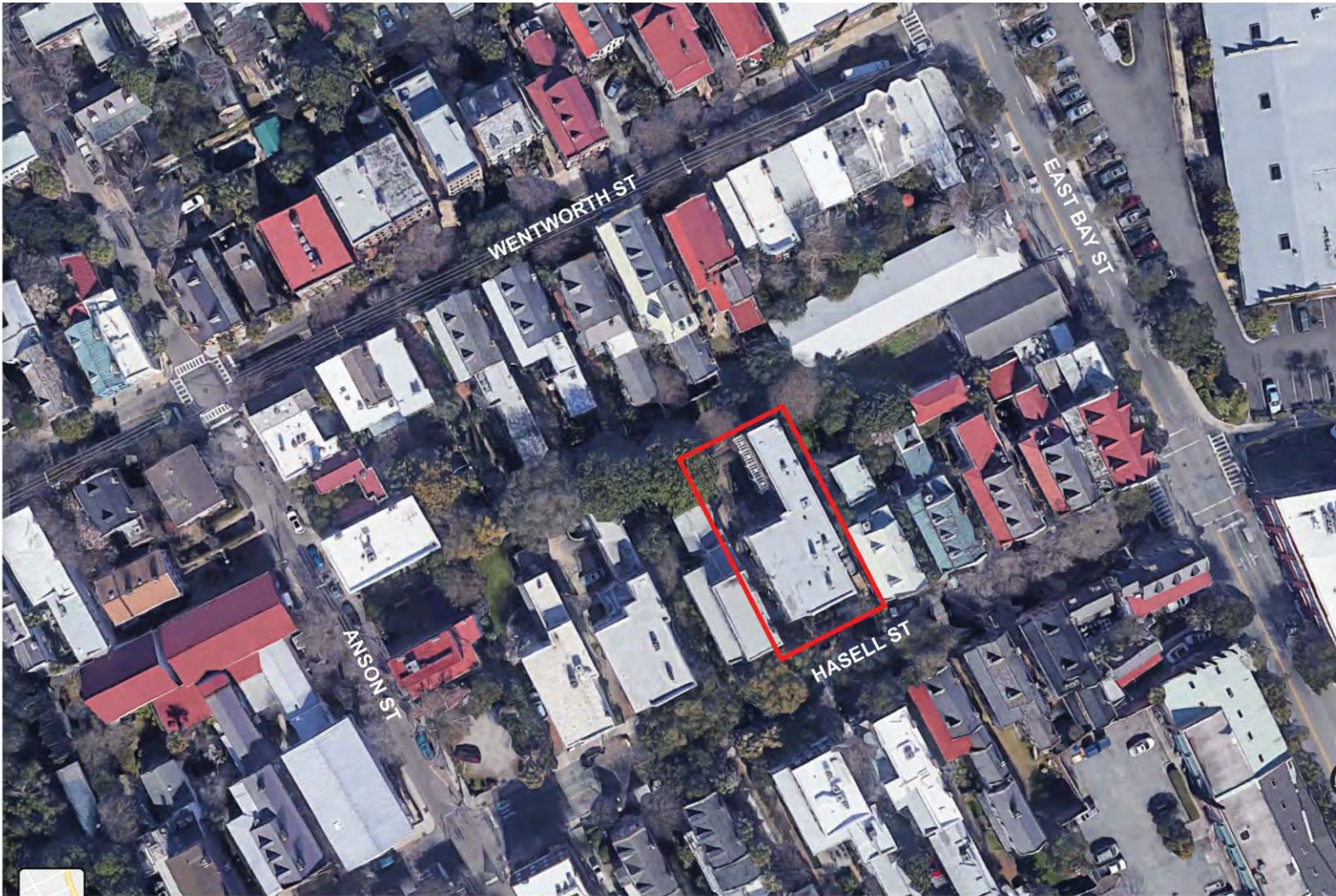


**PROPOSED SITE PLAN**

scale 1/8"=1'-0"



BAR-S FINAL : 10.24.19







27 HASELL



29 HASELL



31 HASELL



33 HASELL



35 HASELL



37 HASELL



41 HASELL



43 HASELL



45 HASELL



34 ANSON



44 HASELL



42 HASELL



40 HASELL



38 HASELL



36 HASELL



34 HASELL



32 HASELL



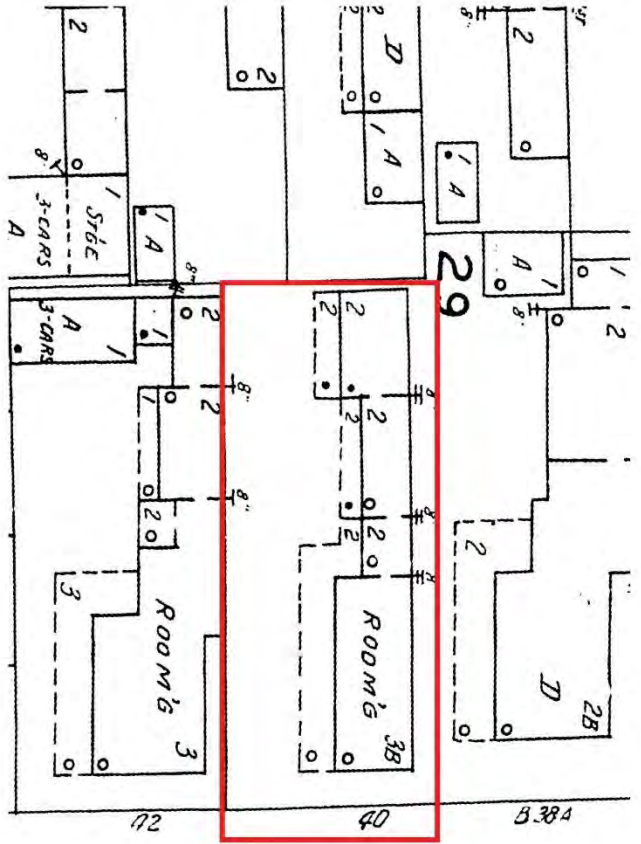
30 HASELL



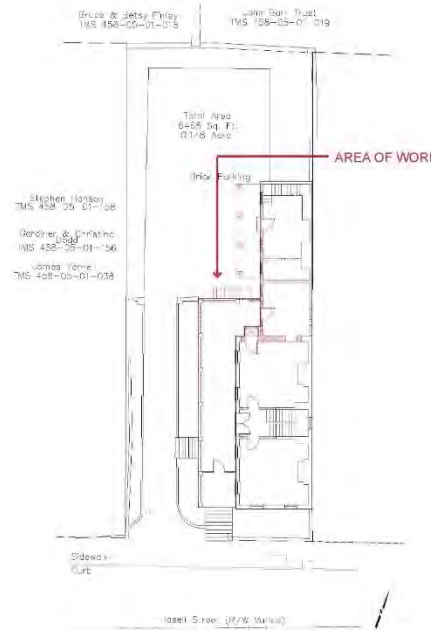
28 HASELL



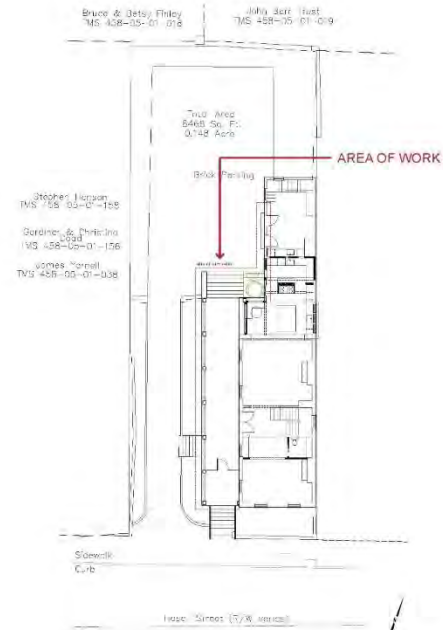




1951 SANBORN MAP  
scale 1/16" = 1'-0"



EXISTING SITE PLAN  
scale 1/16" = 1'-0"



PROPOSED SITE PLAN  
scale 1/16" = 1'-0"



CVF Buildings -- 40 Hasell St

From: Scrapbooks of Charleston, SC Architectural Inventory  
1973

**OWNERSHIP RECORD**

Present Owner .....

Mailing Address .....

Original Owner .....

Assessor Map H4581.5-1.1.132 .....

Approximate Lot Size 50 X 136 .....

or ..... Acres

Property Currently Zoned .....

Assessment: Land .....

Improvements .....

TOTAL .....

Physical Condition: Good Fair Poor

Structure .....

Grounds .....

Neighborhood .....

**PHYSICAL DESCRIPTION**

Facade Material Brick .....

Foundation Flat .....

Roof Form Flat .....

Porch or Veranda 1 Height 3 .....

Building Height in stories 3 .....

Roof Dormers .....

Chimneys: Where .....

Facade Emphasis .....

Window Sash: 1st ..... 2nd ..... 3rd .....

Entrance: Fan ..... Lintel ..... Trans .....

Sidelights ..... undecorated .....

**INTERIOR DETAILS**

Mantels ..... Overmantels .....

Staircase ..... Wainscoting .....

Interior Doors of Period .....

Door and Window Frames .....

Other Panelling .....

Ceiling Cornices .....

Chair Rails ..... Base Molds .....

Wallcoverings of Period .....

Hardware .....

Ceiling medallions .....

Original Floors .....

Other .....

Significant Outbuildings .....

Landscaping .....

CHARLESTON, SOUTH CAROLINA 3  
ARCHITECTURAL INVENTORY FORM UJGM

Address 40 Hasell St .....

Area .....

Architect/Builder .....

Date of Construction .....

Source of Date .....

Architectural Style .....

Present Use .....

Original Use .....

Incidence in Area .....

Importance to its neighborhood:  
Great ..... Moderate ..... Minor .....

Accessible to the Public .....

Historic Notes: .....

Architectural Significance  
National ..... Valuable to City .....

Valuable ..... Notable ..... Worthy of  
Mention ..... Other .....

Significance of Interiors .....

Significance of Landscaping .....

Historic Significance .....

Representation in Other Surveys W.C.M. .....

This is Charleston (page .....)  
National Register .....



HISTORIC CHARLESTON FOUNDATION  
HURRICANE HUGO DAMAGE ASSESSMENT FORM

Date of Survey: 11/21/81

Survey Team: .....

Members: Anson 2

Video: Reel/Frame .....

Camera: .....

Slides: [ ] .....

B. & W.: [ ] .....

Name of Property: (if any) .....

Street Address: 40 Hasell

Tax Map Number: 458-5-1-37

Current Owner: .....

**DESCRIPTION**

Principal Building  Dependency [ ] Other [ ]

No. of Stories: Basement [ ] 1 [ ] 2 [ ] 3 [ ] 4 [ ]

Attic or Half Story [ ]

**Material:**

Structure: Brick  Wood Frame [ ] Stone [ ] Metal [ ]  
Other [ ]:

Surface Covering: Stucco [ ] Wood Siding [ ] Other [ ]:

Roof Covering: Slate [ ] Metal [ ] Tile [ ] Asphalt [ ]  
Other [ ]: Flat built up

Piazza: Foundation: Brick  Stone [ ] Wood [ ]  
Other [ ]:

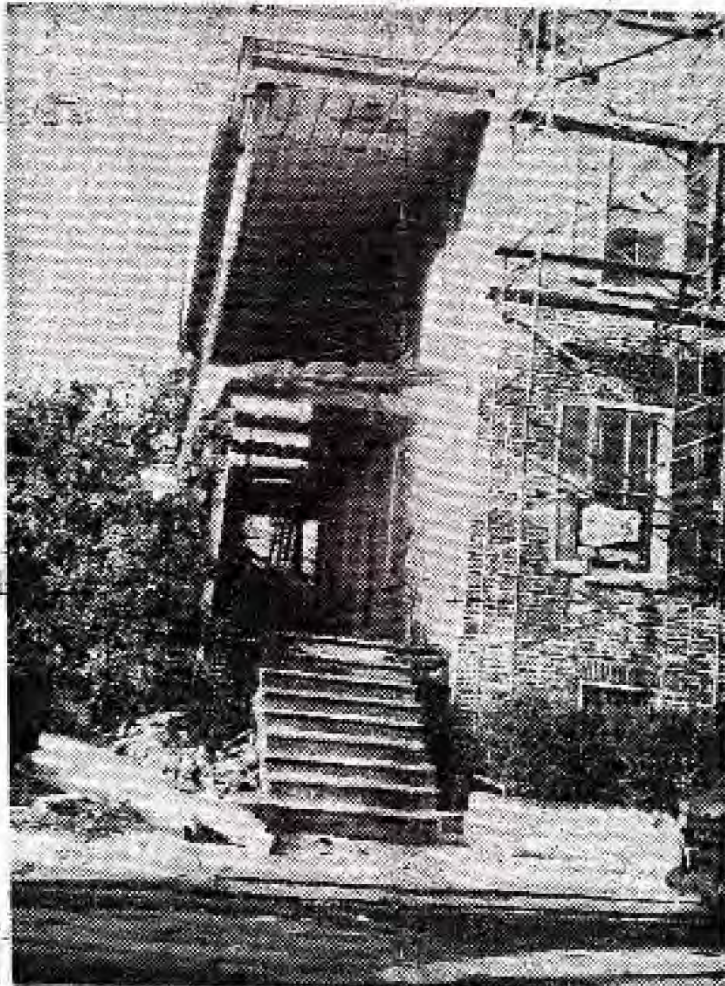
Main Piazza: Brick  Wood  Other [ ]

Roof Covering (if different from main building): .....

Chimneys: Brick  Brick & Stucco [ ] Stone [ ] Other [ ]

Comments: .....

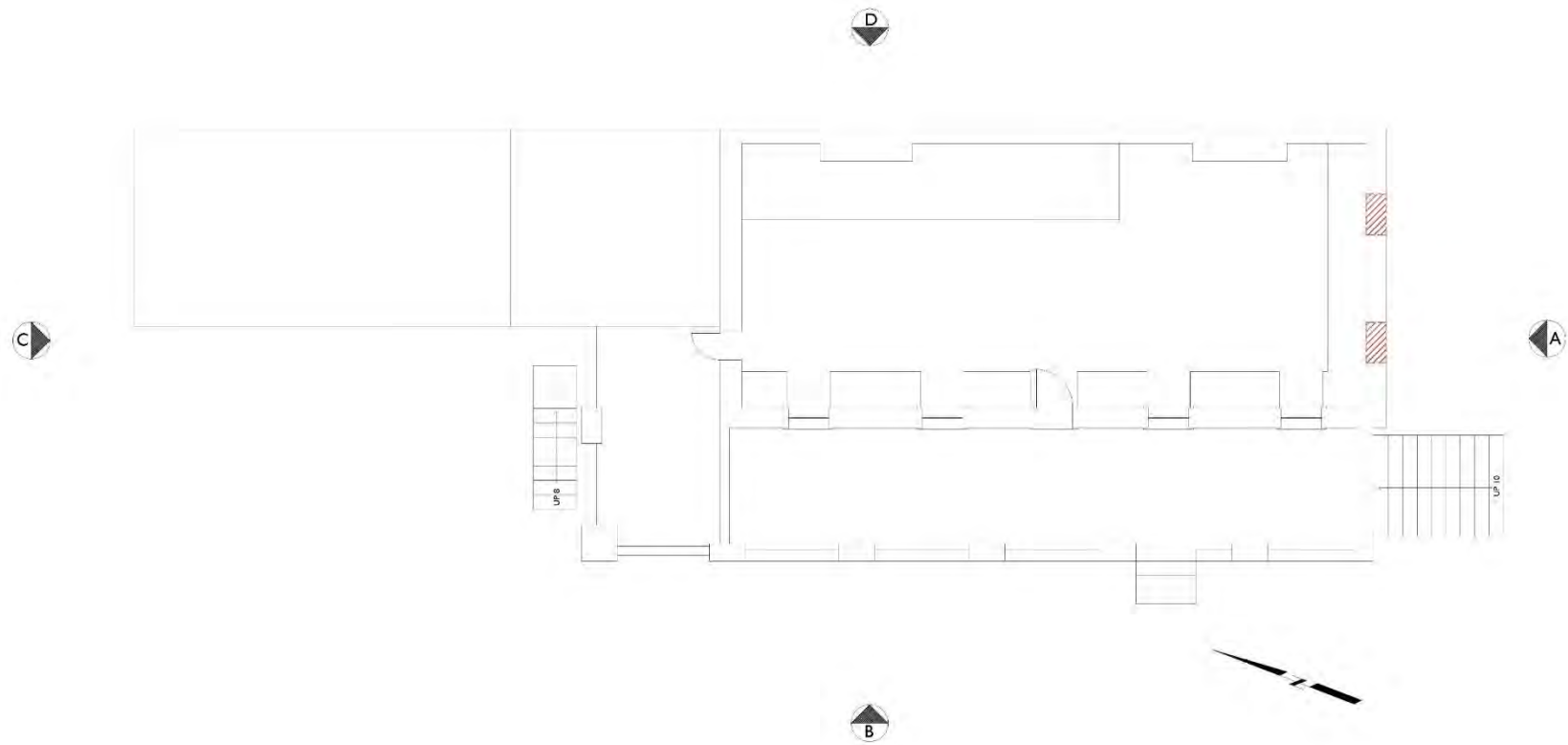




40 Hasell St. Before Restoration




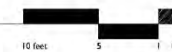


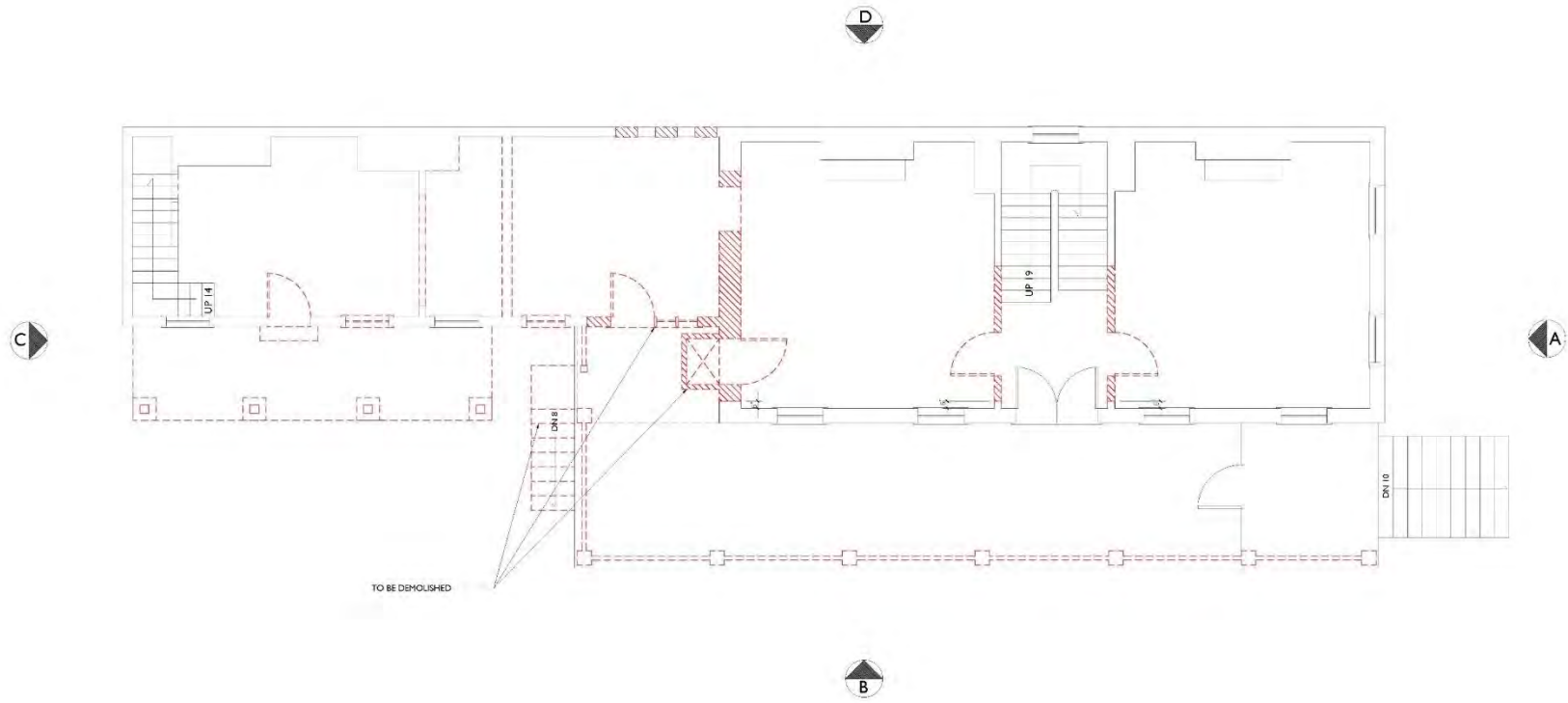


EXISTING FOUNDATION PLAN

scale 1/4"=1'-0"


 TO BE REMOVED





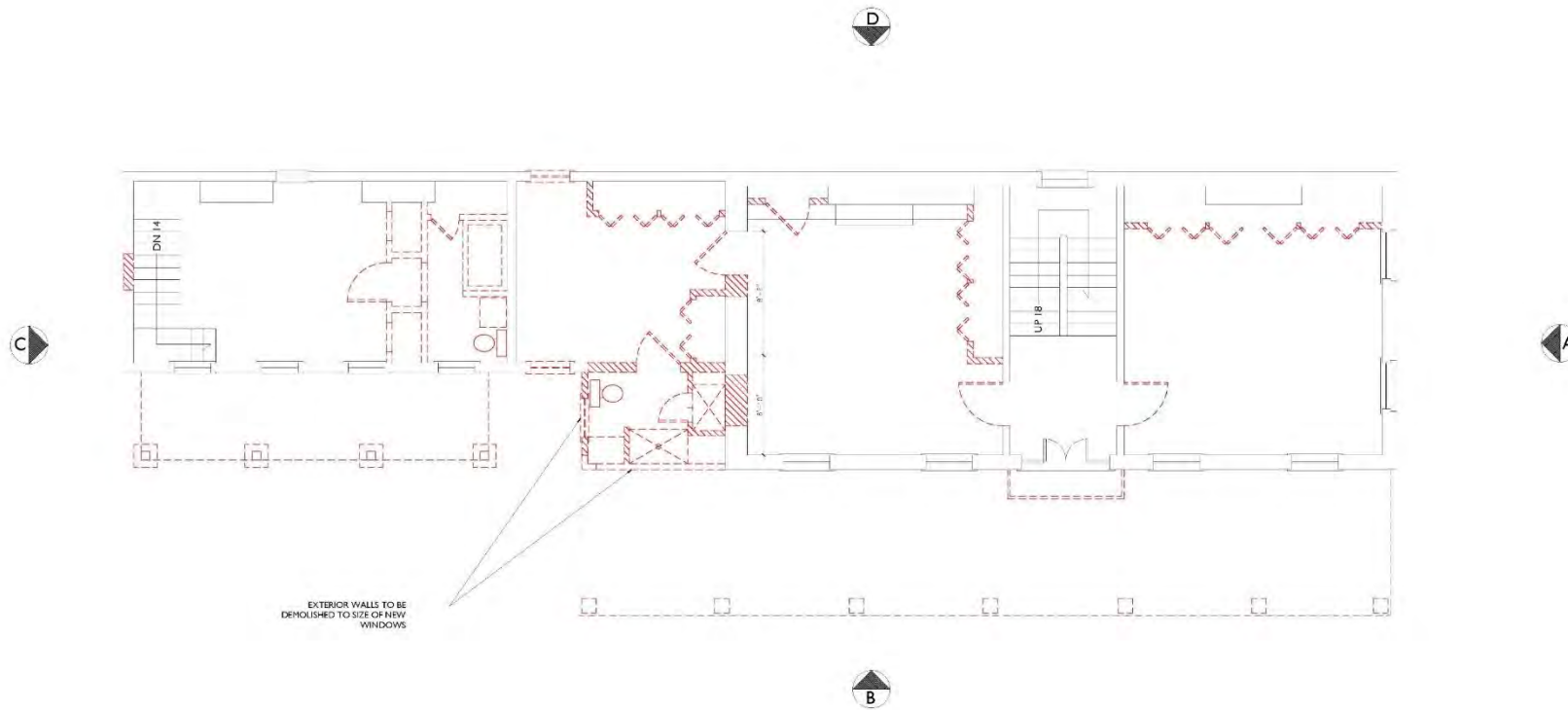
**EXISTING FIRST FLOOR PLAN**

scale 1/4"=1'-0"

 TO BE REMOVED








EXTERIOR WALLS TO BE  
 DEMOLISHED TO SIZE OF NEW  
 WINDOWS

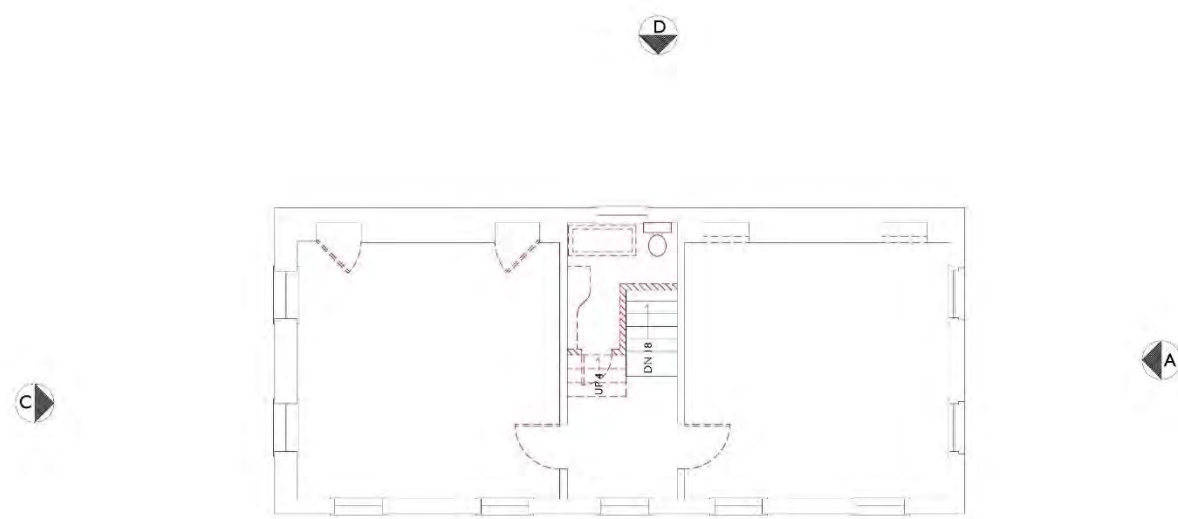
**EXISTING SECOND FLOOR PLAN**

scale 1/4"=1'-0"

 TO BE REMOVED




10 feet 5 1 0

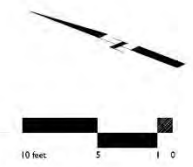


NO EXTERIOR CHANGES TO BE MADE TO THIRD FLOOR

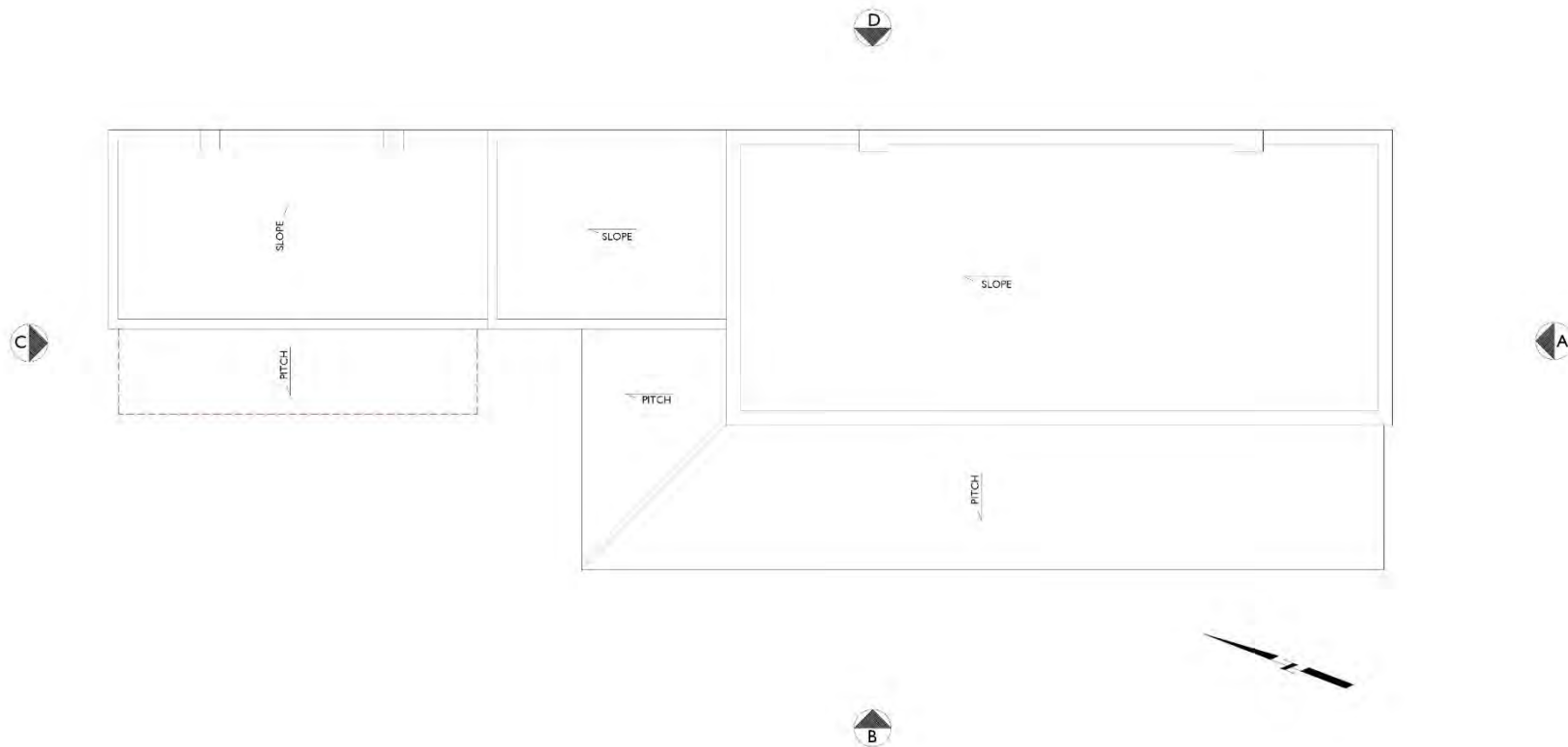
**EXISTING THIRD FLOOR PLAN**

scale 1/4"=1'-0"

 TO BE REMOVED






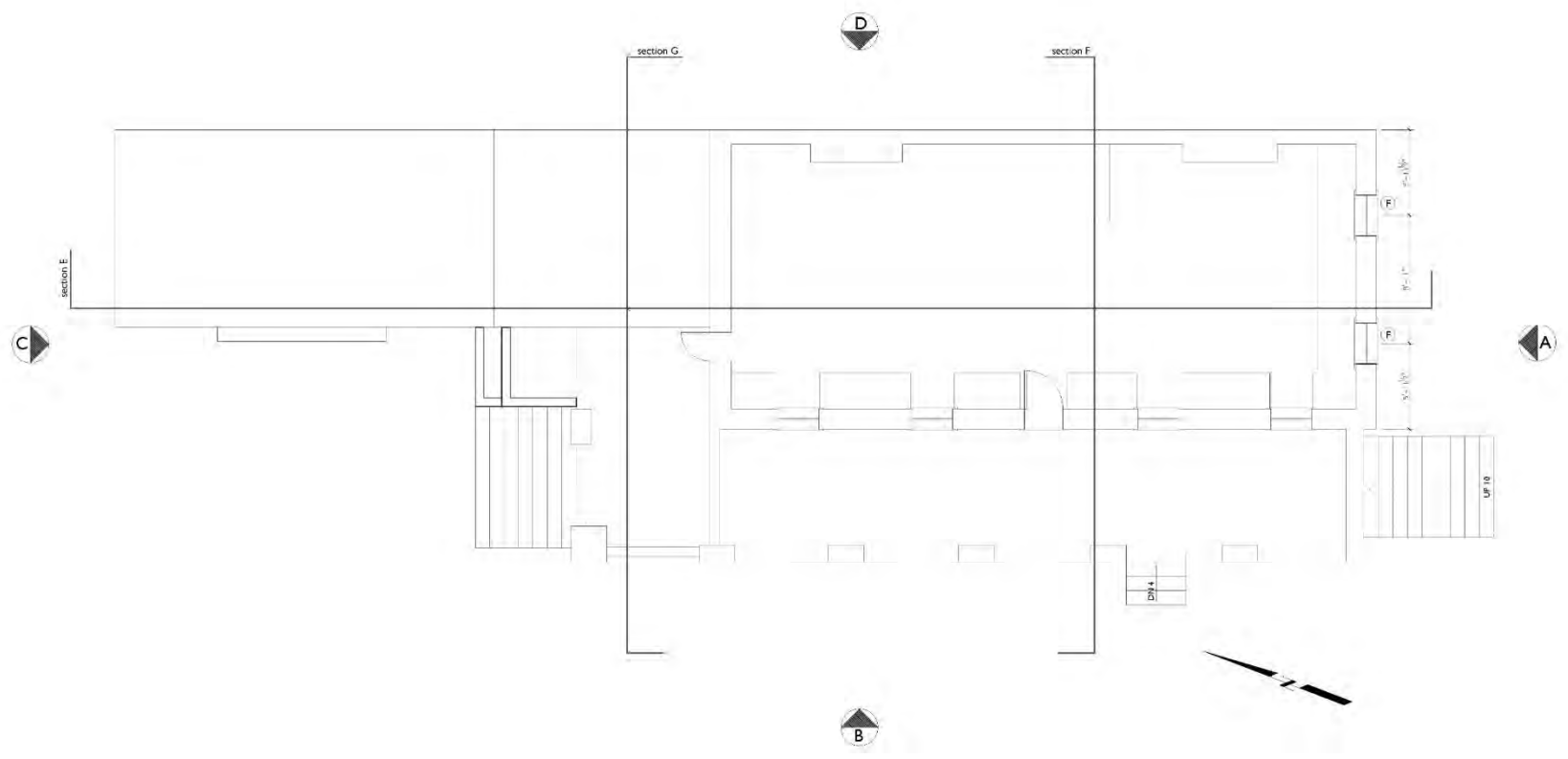


EXISTING ROOF PLAN

scale 1/4"=1'-0"

 TO BE REMOVED

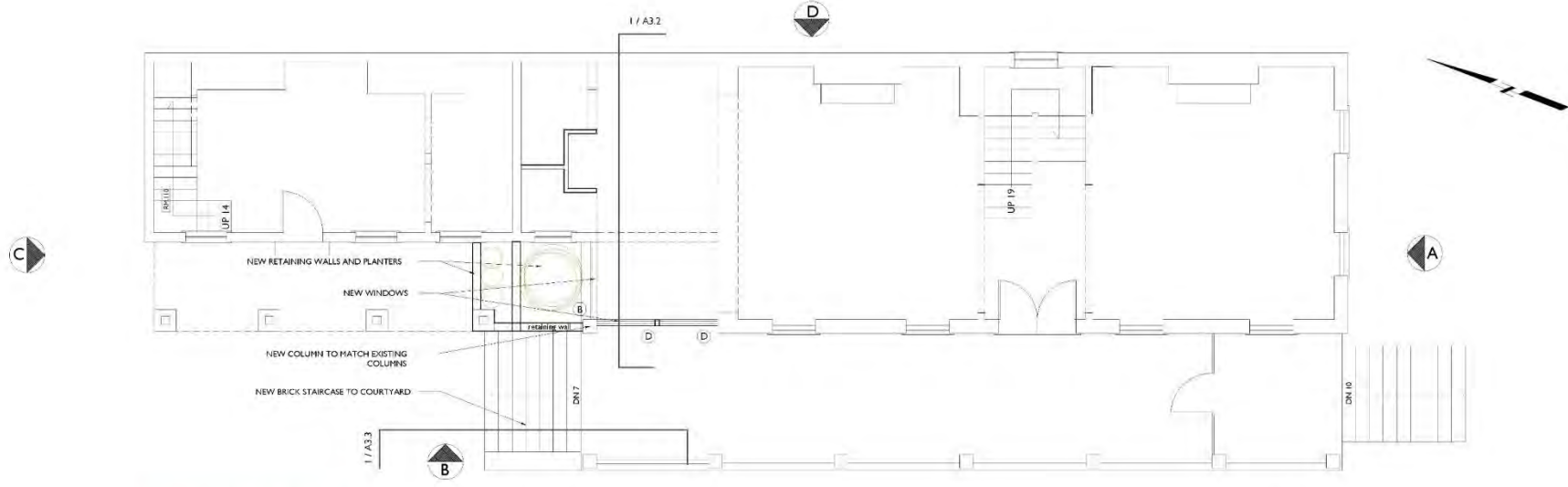




PROPOSED FOUNDATION PLAN  
scale 1/4"=1'-0"

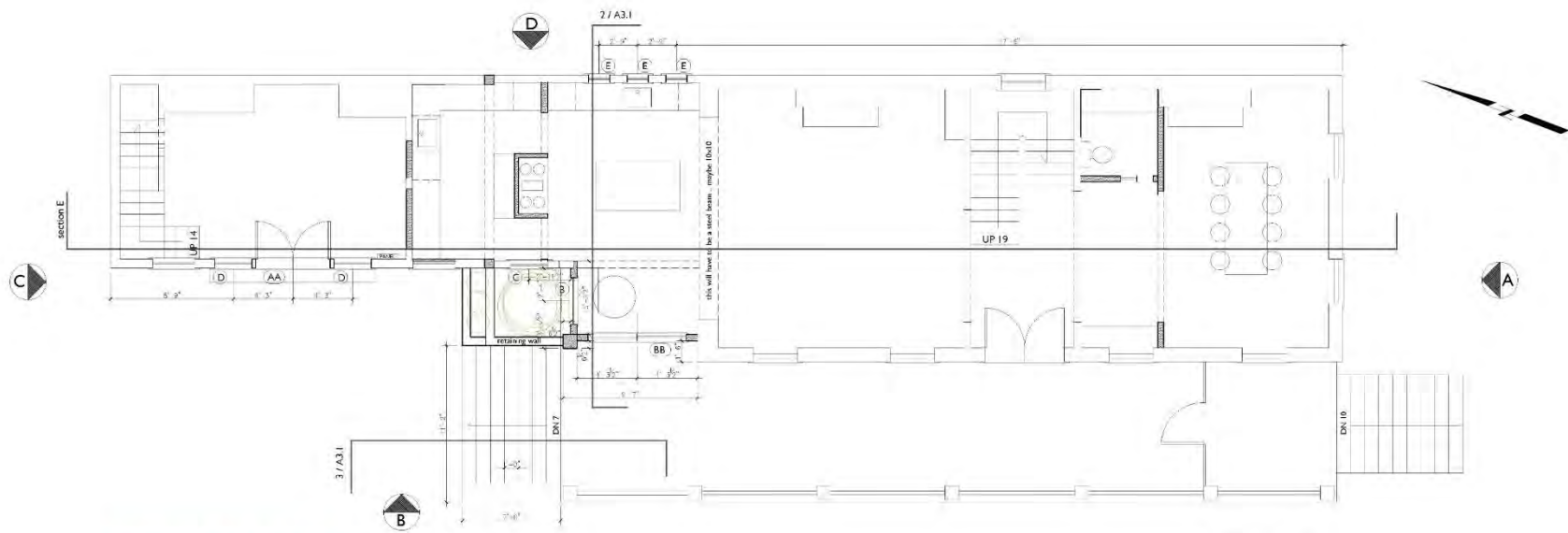






**PREVIOUS BAR 08.15.19 FIRST FLOOR PLAN**

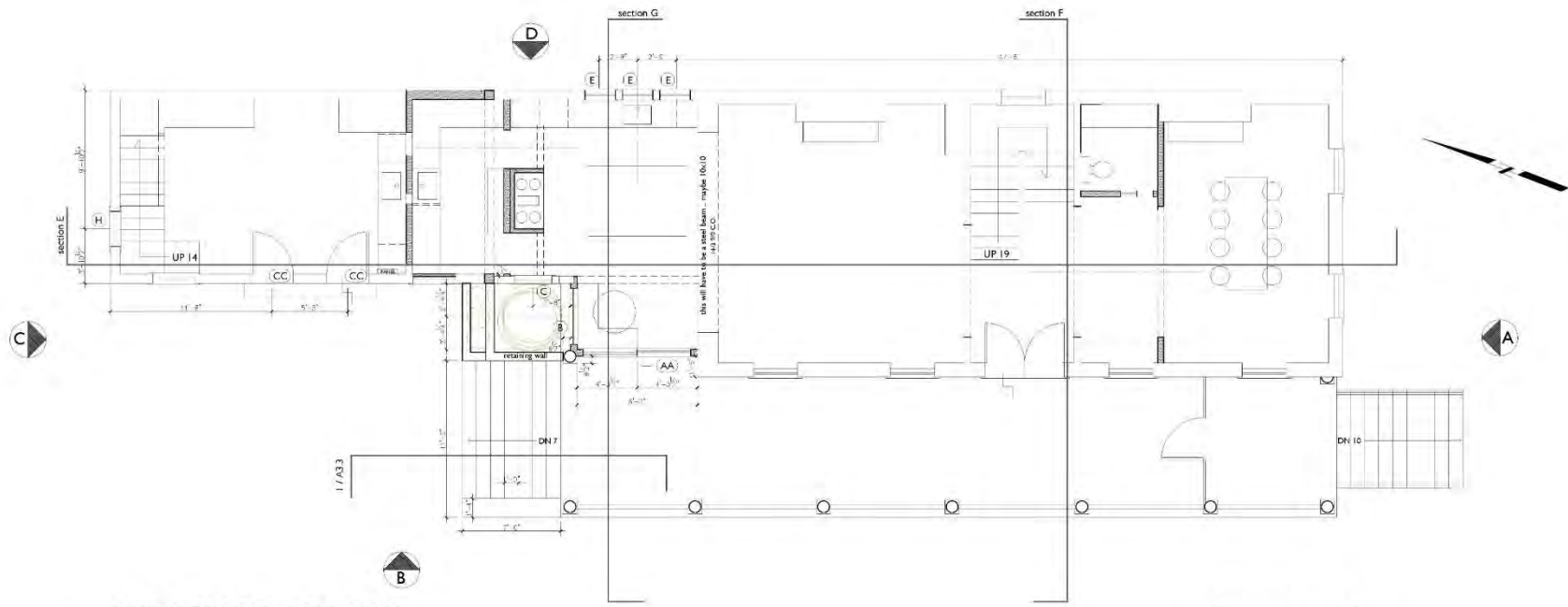
scale 1/4"=1'-0" NEW 2x4 FRAMING  
HEATED : 3,376 SF NEW 2x6 FRAMING



**PREVIOUS BAR 09.12.19 FIRST FLOOR PLAN**

scale 1/4"=1'-0" NEW 2x4 FRAMING  
HEATED : 3,376 SF NEW 2x6 FRAMING

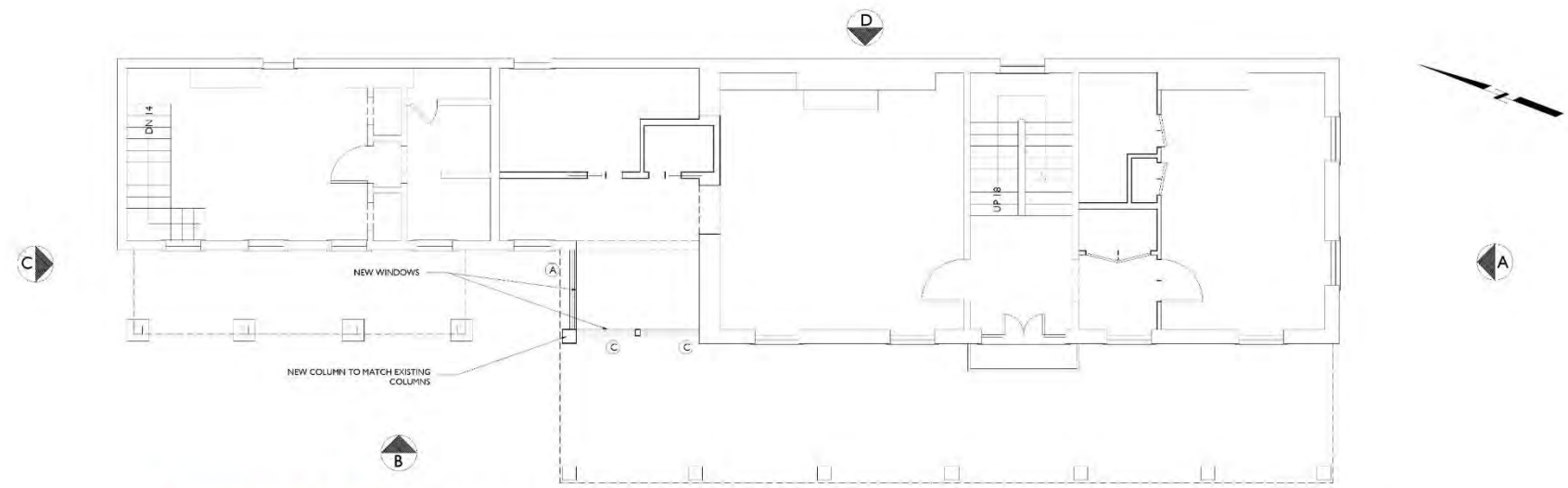




**PROPOSED FIRST FLOOR PLAN**  
scale 1/4"=1'-0"  
HEATED : 3,376 SF

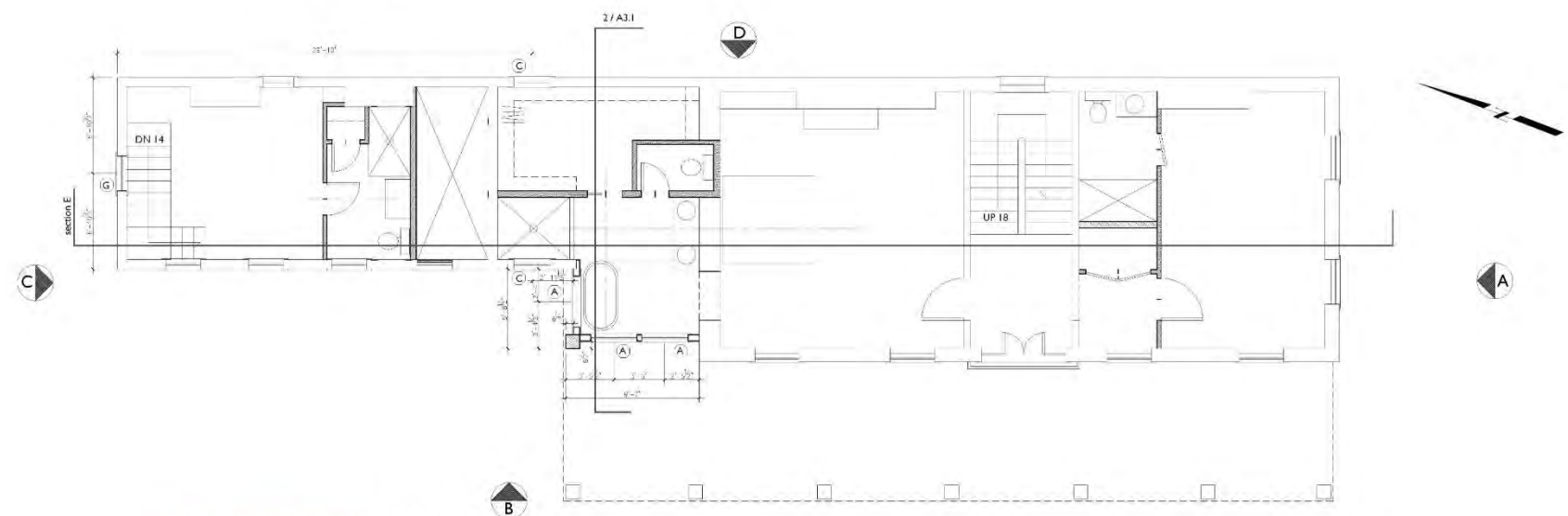
- NEW 2x4 FRAMING
- NEW 2x6 FRAMING





**PREVIOUS BAR 08.15.19 SECOND FLOOR PLAN**

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NEW 2x4 FRAMING  
NEW 2x6 FRAMING

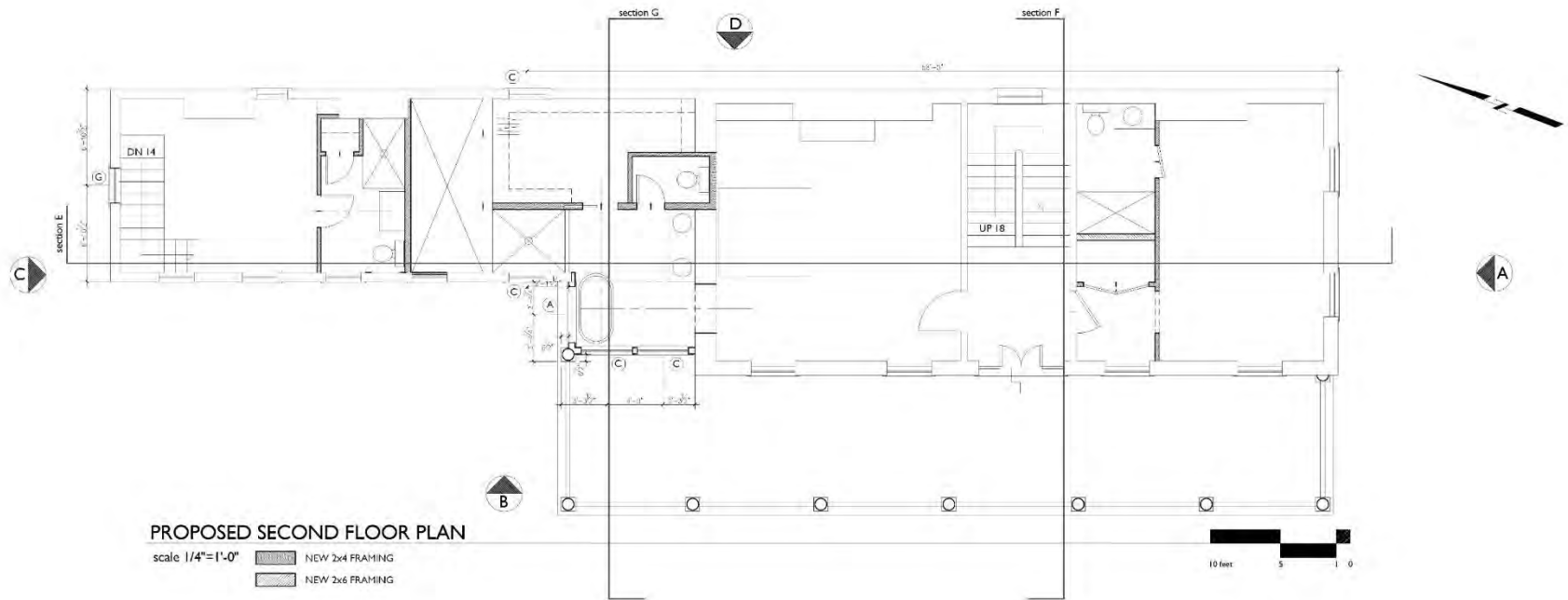


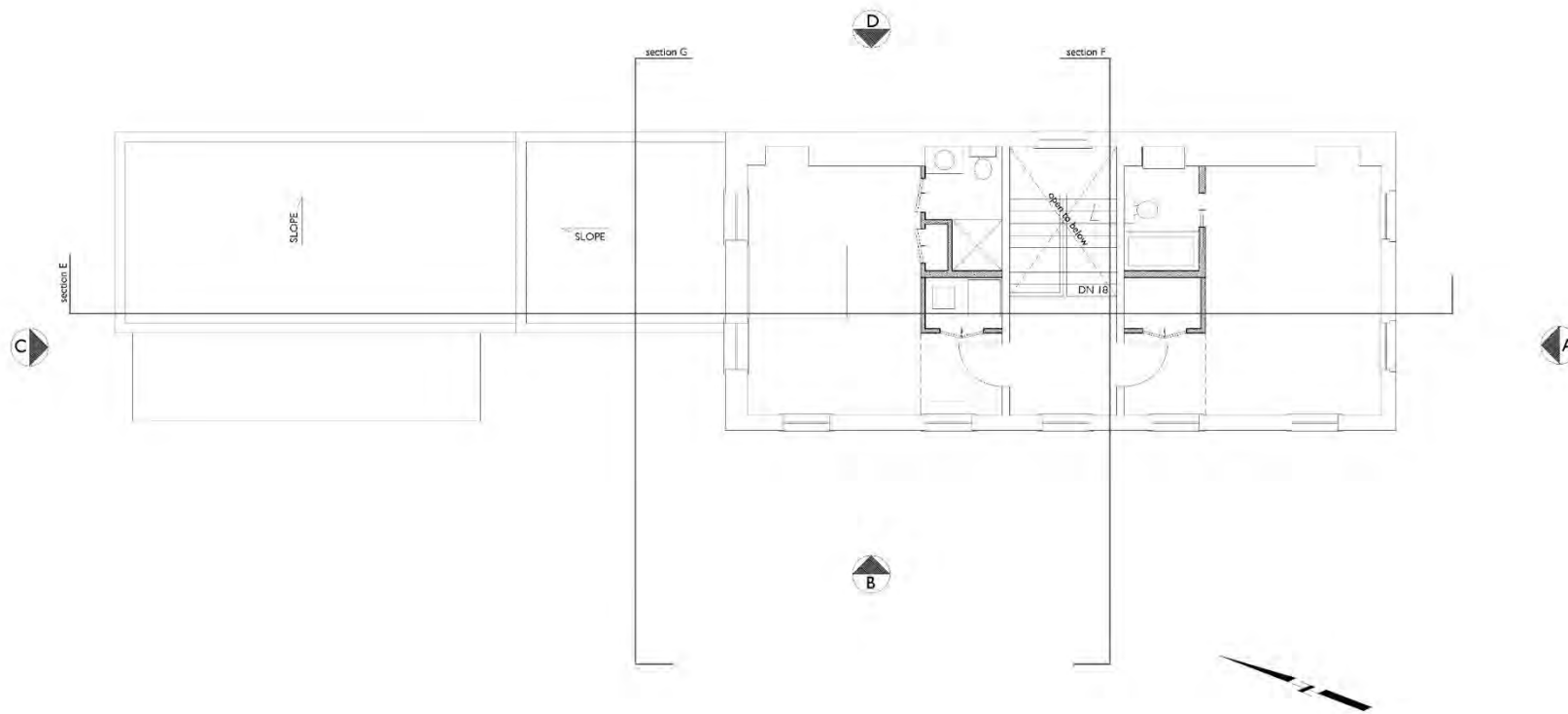
**PREVIOUS BAR 09.12.19 SECOND FLOOR PLAN**

scale 1/4"=1'-0"  
NEW 2x4 FRAMING  
NEW 2x6 FRAMING









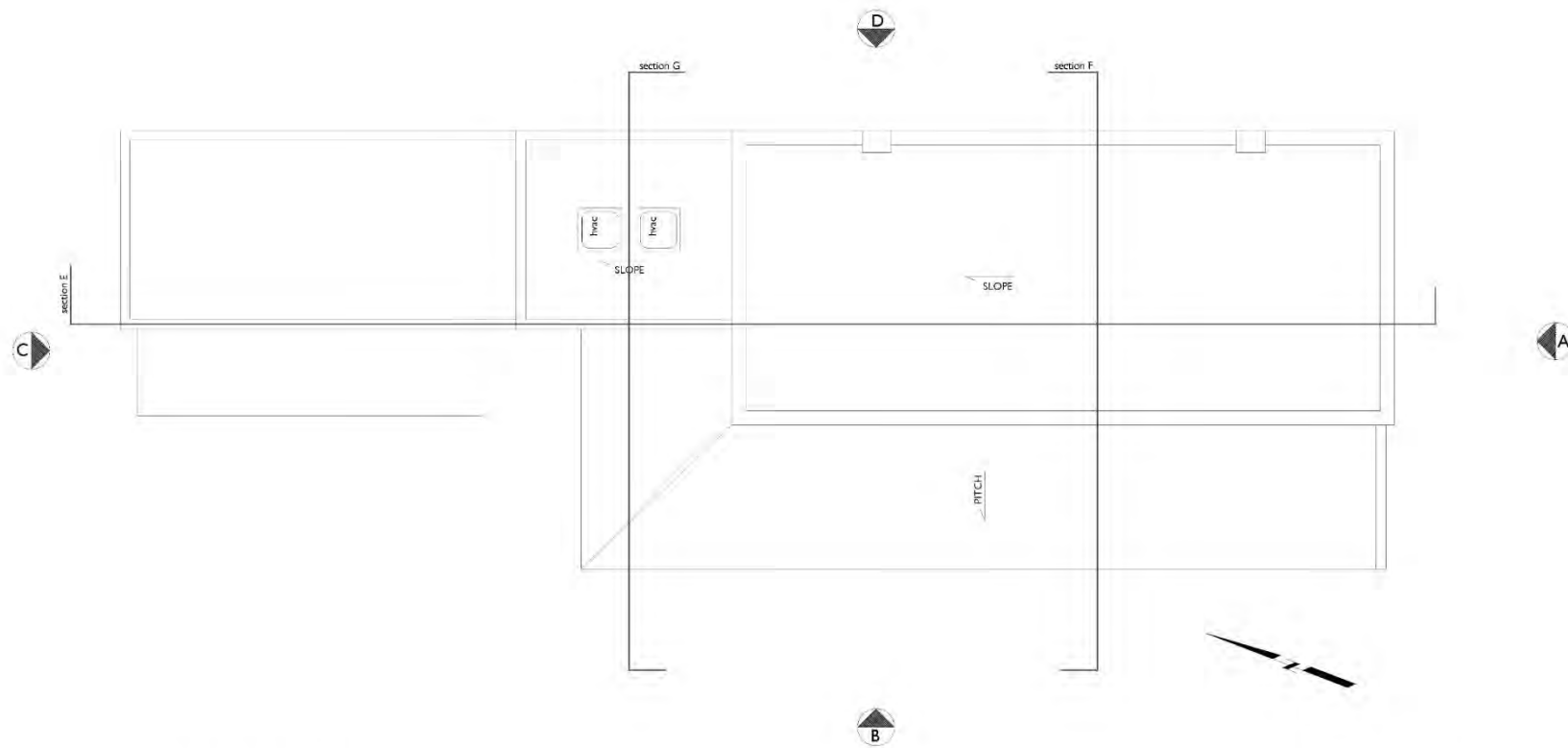


**PROPOSED THIRD FLOOR PLAN**

scale 1/4"=1'-0"

-  NEW 2x4 FRAMING
-  NEW 2x6 FRAMING





PROPOSED ROOF PLAN  
scale 1/4"=1'-0"

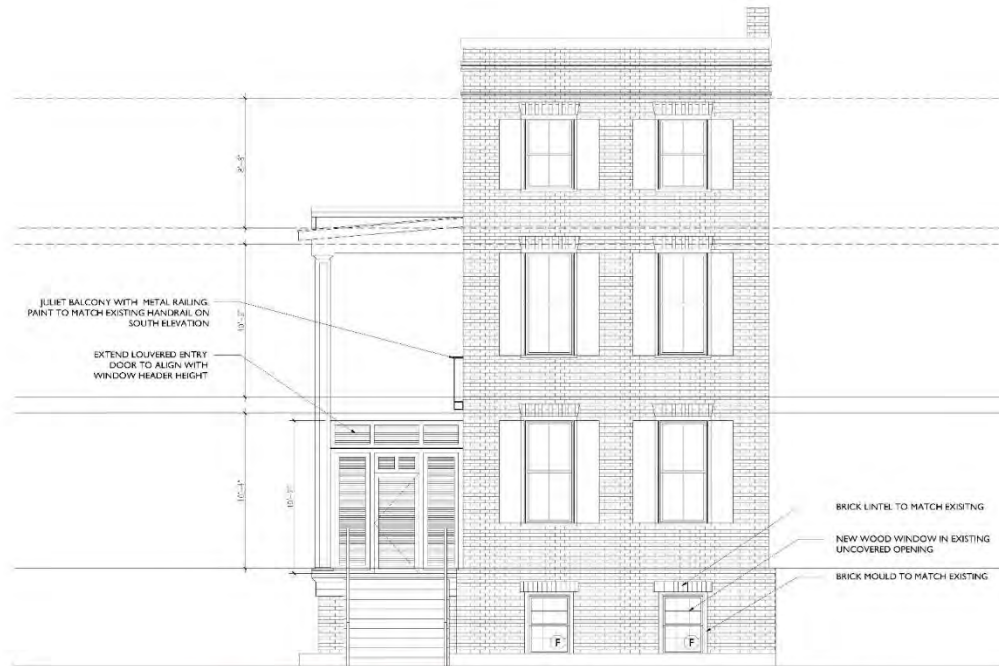






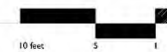
PREVIOUS BAR 08.15.19 SOUTH ELEVATION

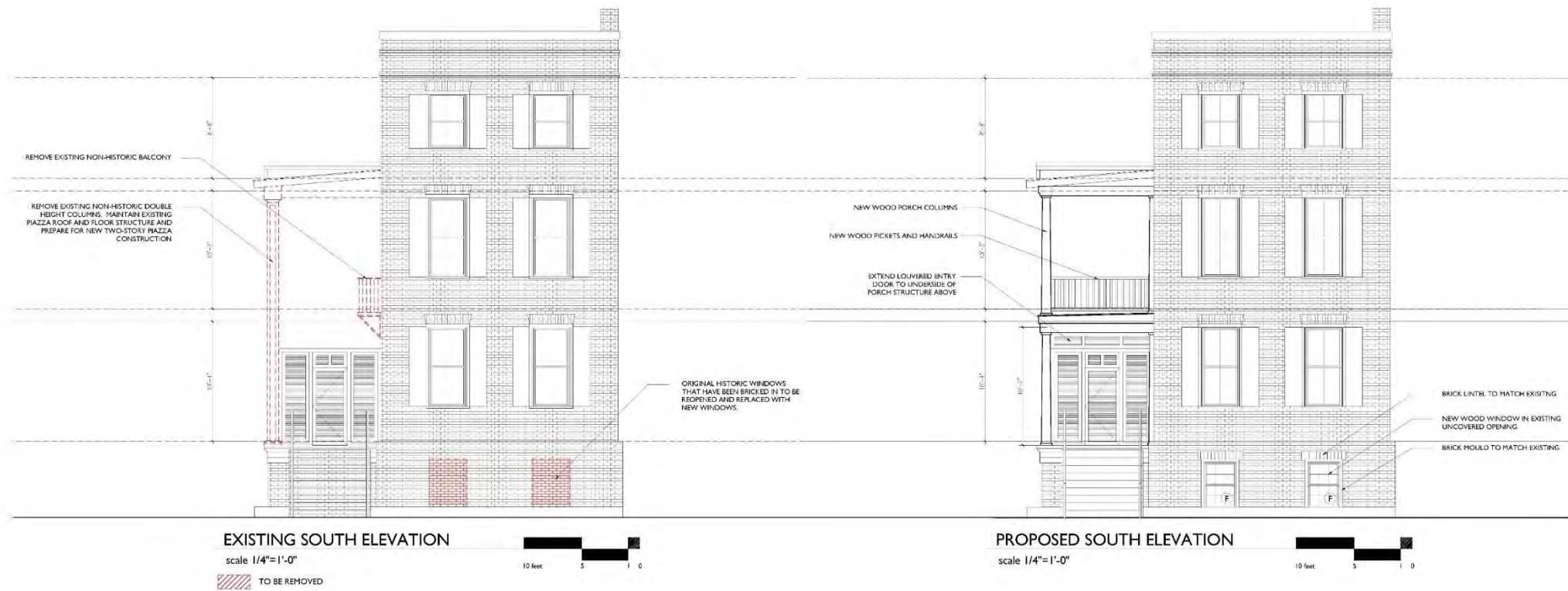
scale 1/4"=1'-0"



PREVIOUS BAR 09.12.19 SOUTH ELEVATION

scale 1/4"=1'-0"







**PREVIOUS BAR 08.15.19 WEST ELEVATION**  
 scale 3/16"=1'-0"



**PREVIOUS BAR 09.12.19 WEST ELEVATION**  
 scale 3/16"=1'-0"








EXISTING GUEST HOUSE PORCH PULLING AWAY FROM STRUCTURE



EXISTING WEST ELEVATION

scale 1/4"=1'-0"

 TO BE REMOVED

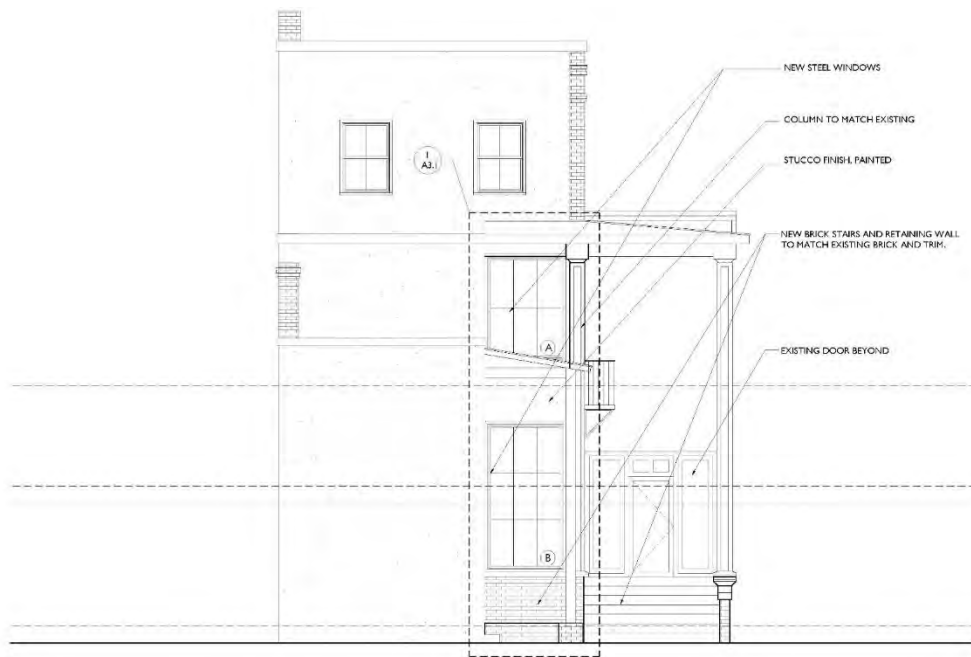




**PROPOSED WEST ELEVATION**

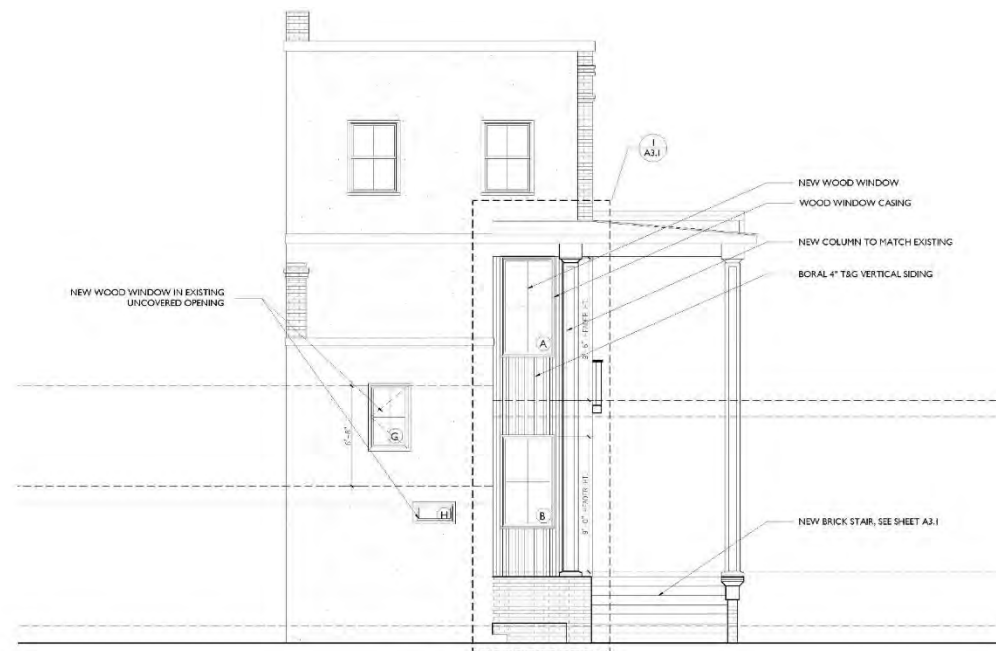
scale 1/4"=1'-0"





**PREVIOUS BAR 08.15.19 NORTH ELEVATION**

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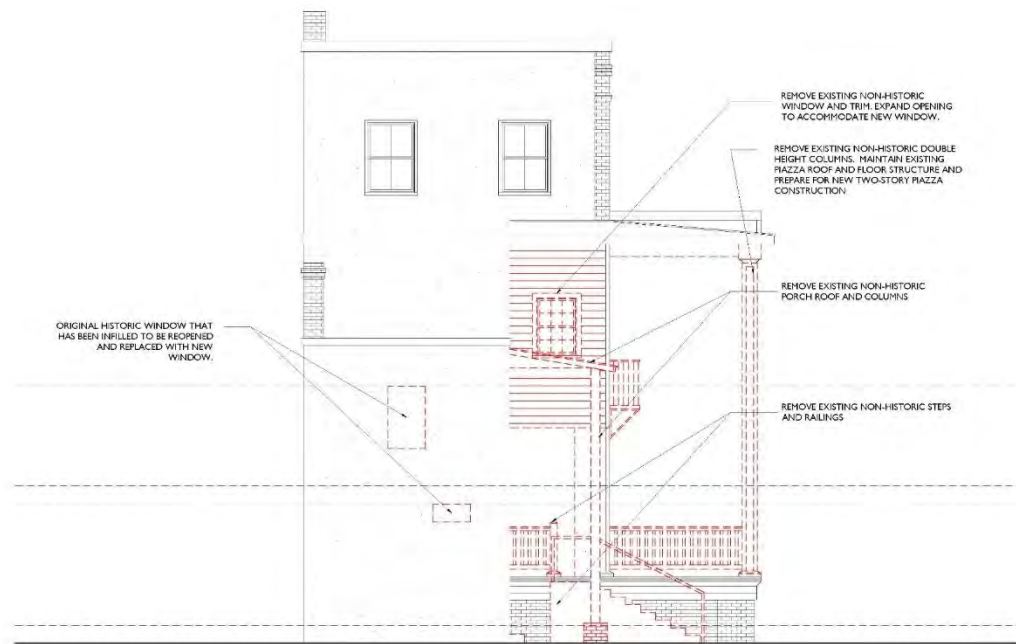


**PREVIOUS BAR 09.12.19 NORTH ELEVATION**

scale 1/4"=1'-0"



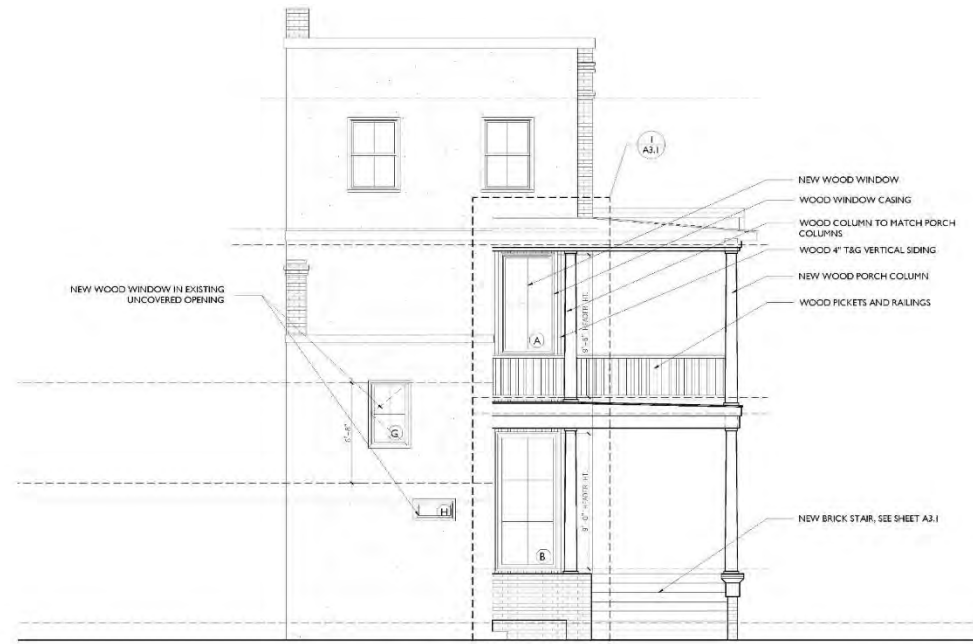




**EXISTING NORTH ELEVATION**

scale 1/4"=1'-0"

TO BE REMOVED

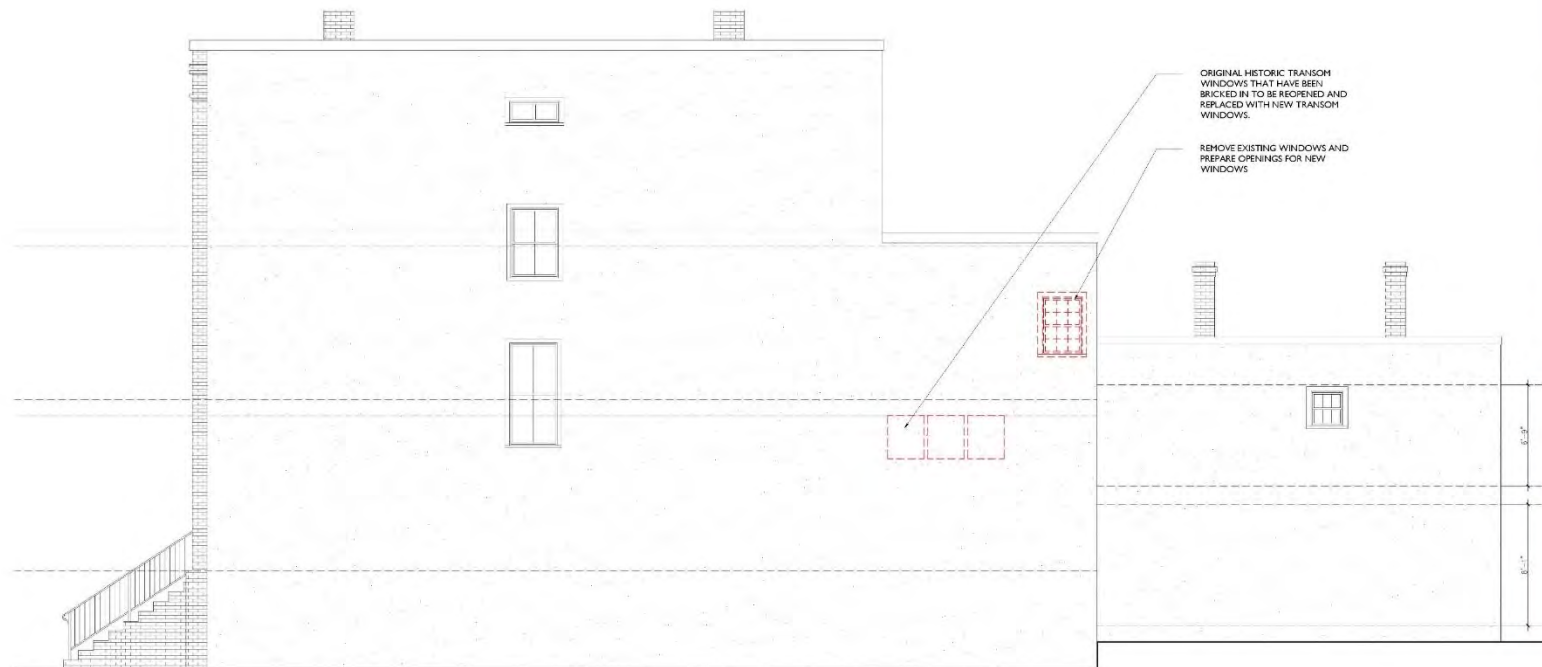


**PROPOSED NORTH ELEVATION**

scale 1/4"=1'-0"








**EXISTING EAST ELEVATION**

scale 1/4"=1'-0"

 TO BE REMOVED

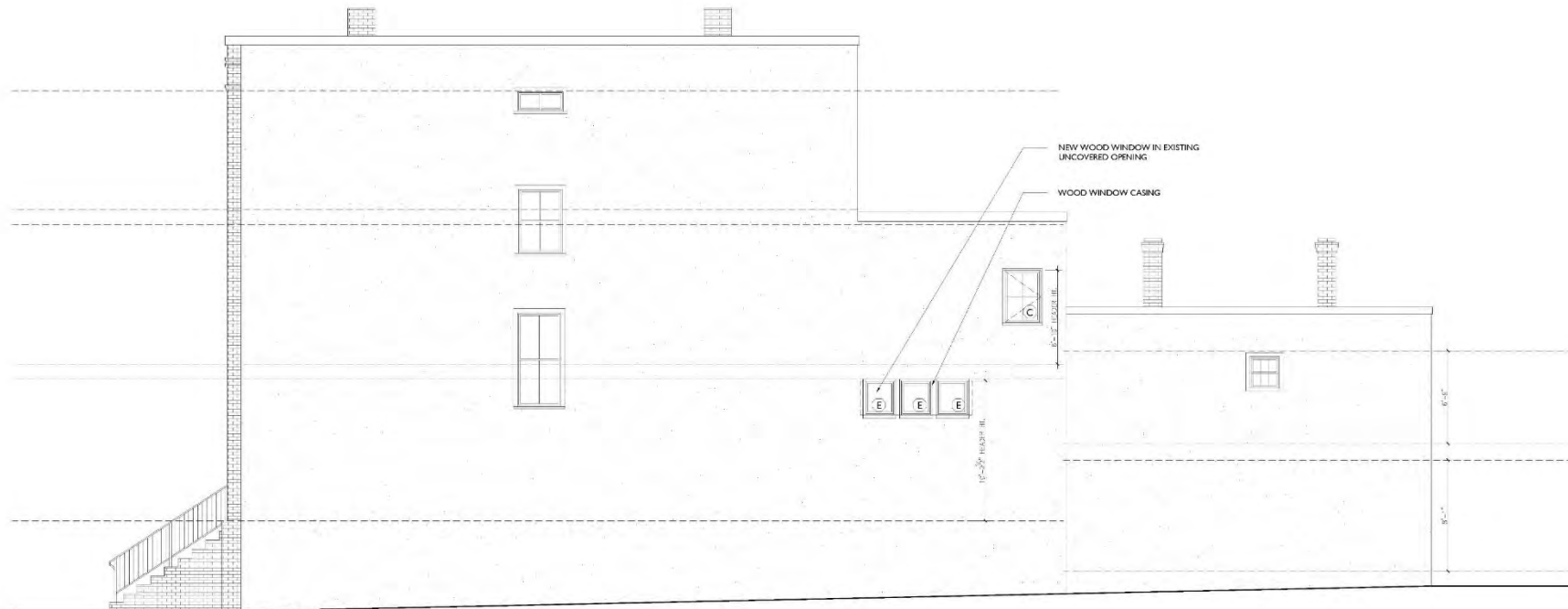


EXTERIOR EVIDENCE OF ORIGINAL TRANSOM WINDOWS



INTERIOR EVIDENCE OF ORIGINAL TRANSOM WINDOWS





PROPOSED EAST ELEVATION

scale 1/4"=1'-0"

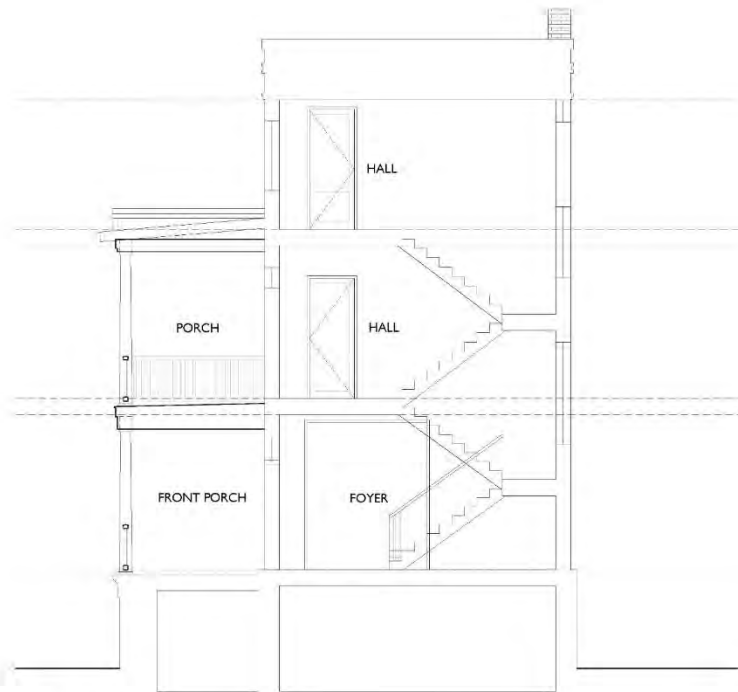




**PROPOSED SECTION E**

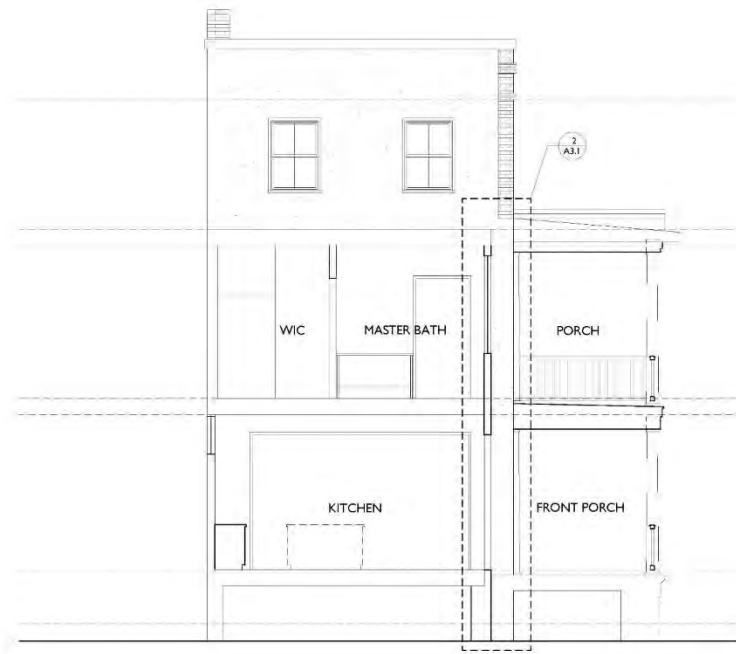
scale 1/4"=1'-0"





PROPOSED SECTION F

scale 1/4"=1'-0"

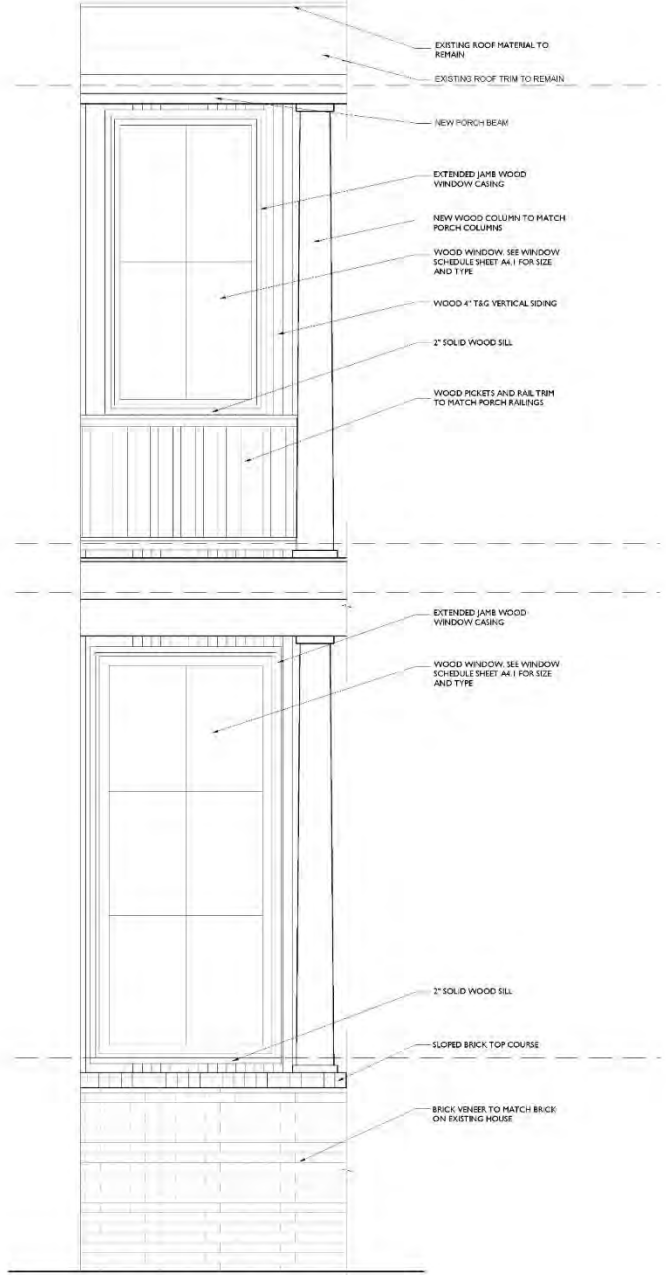


PROPOSED SECTION G

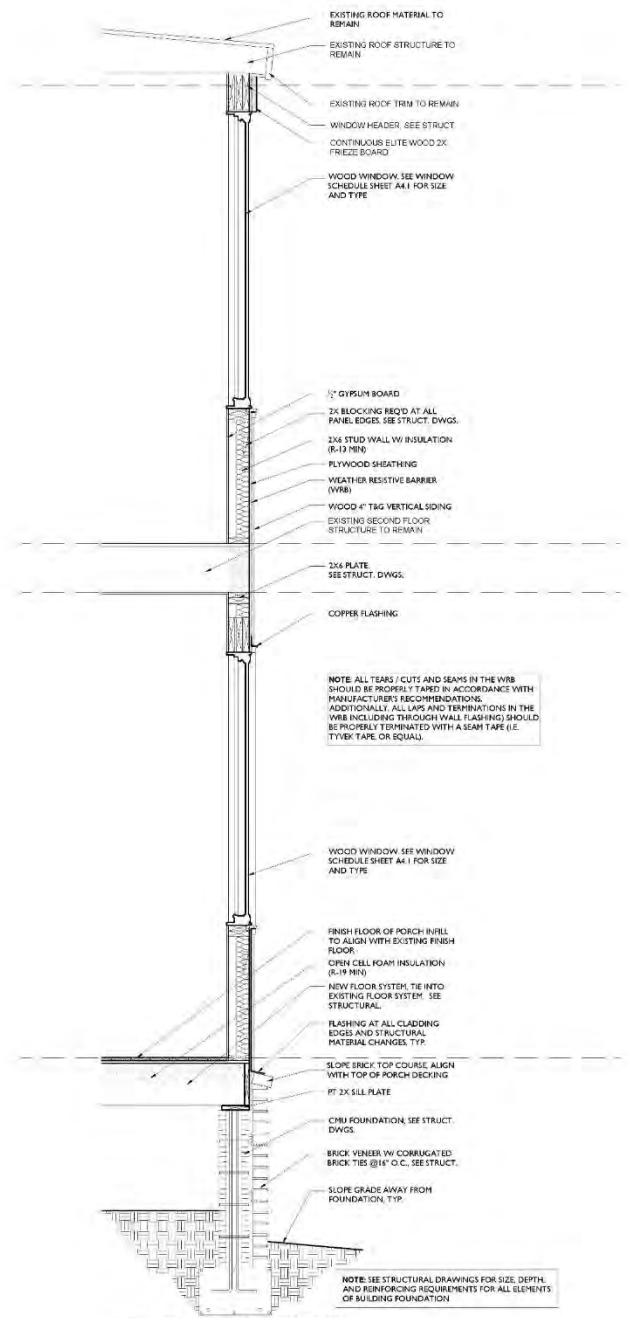
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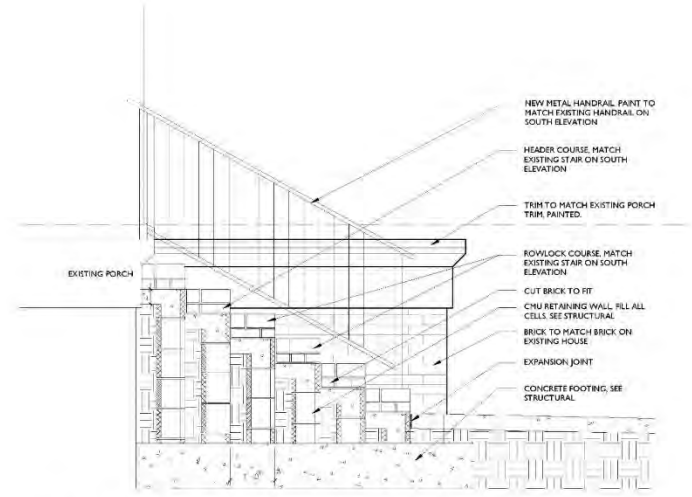




1 TYP. WALL ELEVATION  
A3.1 SCALE: 3/4" = 1'-0"



2 TYP. WALL SECTION  
A3.1 SCALE: 3/4" = 1'-0"

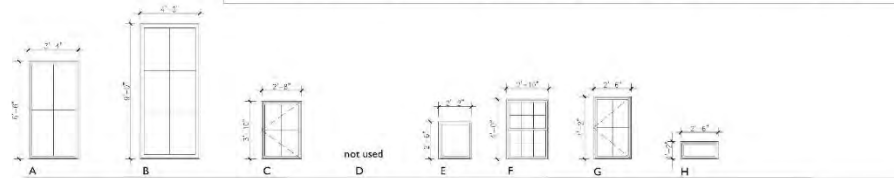


3 REAR STAIR SECTION  
A3.1 SCALE: 3/4" = 1'-0"



MARVIN ULTIMATE WOOD WINDOWS AND DOORS WITH 5 / 8" MUNTINGS

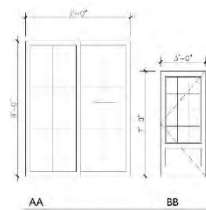
NOTE: ALL WINDOWS AND DOORS TO BE DP50 AND IMPACT RATED GLASS



WINDOWS

	WIDTH	HEIGHT	TYPE	LITES	ROUGH OPENING	NOTES
A	3/4	6/6	FIXED	4	-	-
B	4/0	9/0	FIXED	4	-	-
C	2/8	3/10	CASEMENT	4	-	NEW WINDOW TO FIT EXISTING OPENING, SEE ELEVATION FOR HANDING
D	not used	-	-	-	-	-
E	2/2	2/6	FIXED	-	-	NEW WINDOW TO FIT EXISTING OPENING, TRANSOM
F	2/10	4/0	DH	-	-	NEW WINDOW TO FIT EXISTING OPENING
G	2/6	4/2	CASEMENT	4	-	NEW WINDOW TO FIT EXISTING OPENING, SEE ELEVATION FOR HANDING
H	2/6	1/2	FIXED	-	-	NEW WINDOW TO FIT EXISTING OPENING

NOTE: G.C. TO VERIFY ALL WINDOW WIDTH AND HEIGHTS PRIOR TO ORDERING



EXTERIOR DOORS

	WIDTH	HEIGHT	TYPE	LITES	ROUGH OPENING	NOTES
AA	(2) 3/8	9/0	SLIDER	6	-	
BB	3/0	7/0	HINGE	12	-	

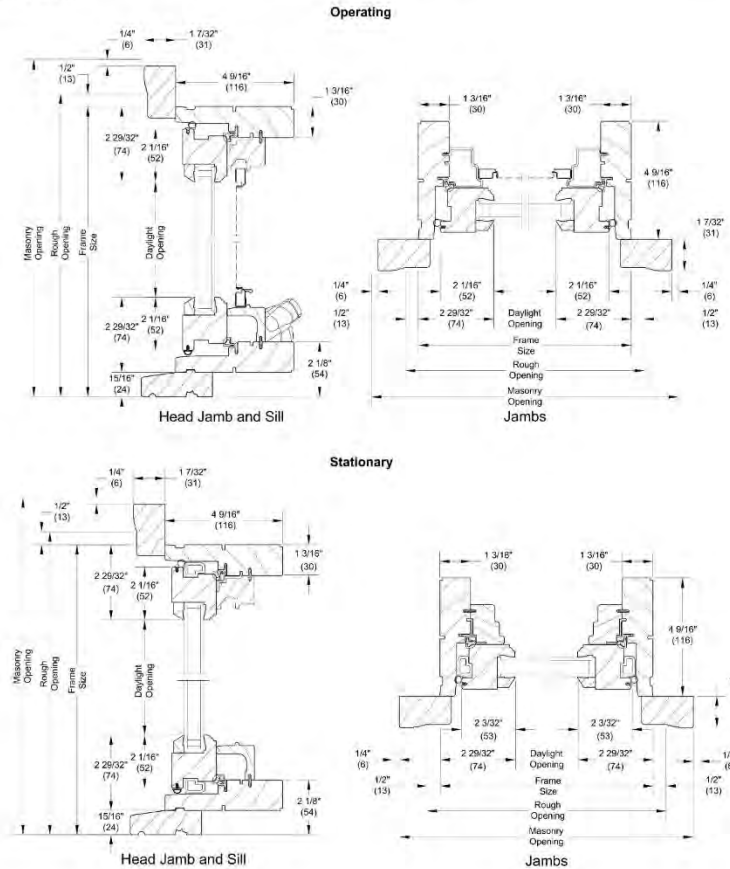
NOTE: G.C. TO VERIFY ALL WINDOW WIDTH AND HEIGHTS PRIOR TO ORDERING



Ultimate Wood Casement, Awning and Picture

Section Details: Operating and Stationary / Picture - 3/4" (19) IG

Scale: 3" = 1' 0"



Ver 2019.3 2019-06-23

UWCA UWCANF-32

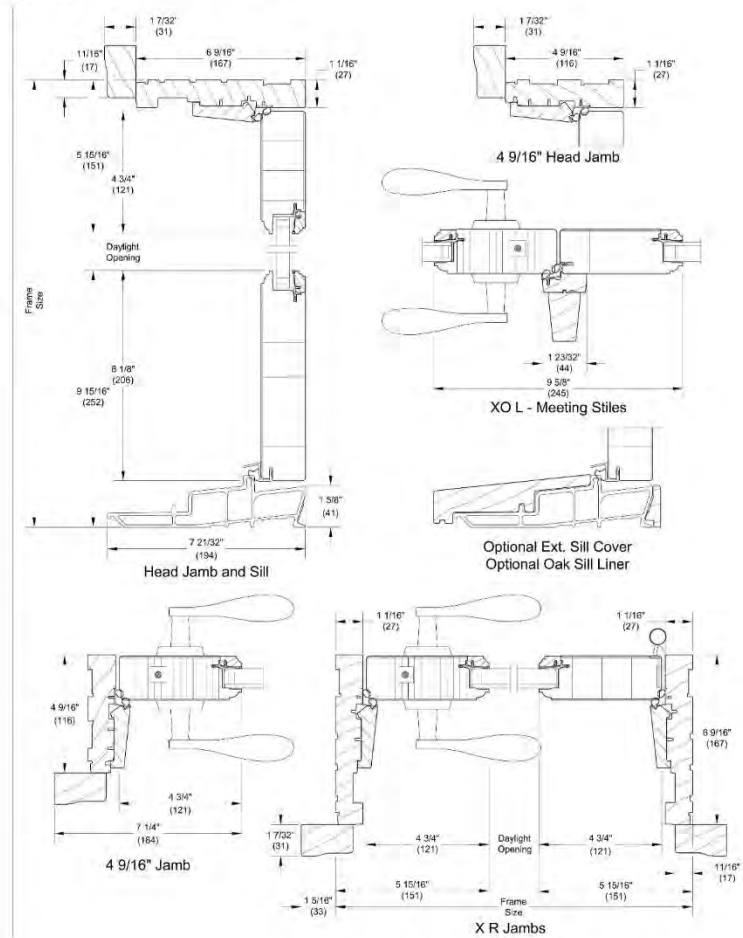
19972255  
Marvin Architectural Detail Manual



Ultimate Wood Swinging French Doors

Inswing Section Details: Operating

Scale: 3" = 1' 0"



Ver 2019.3 2019-07-29

UWIFD UWOFD-12

18972255  
Marvin Signature Collection  
Architectural Detail Manual



























Agenda Item 8:

82 Wentworth Street - - TMS # 457-04-04-051

Request conceptual approval for a new two-story, 1500SF,  
rear addition to the existing building.

Category 4 / (Harleston Village) / c.1888 / Old and Historic District



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Charleston, SC 29405  
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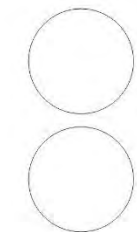
## TABLE OF CONTENTS

- 01 PROJECT DESCRIPTION / CONTENTS
- 02 VICINITY MAP
- 03 STREETScape
- 04 NEIGHBORING STRUCTURES
- 05 PROPERTY SURVEY
- 06-10 EXISTING PHOTOS
- 11 FIRST FLOOR PLAN (EXISTING & PROPOSED)
- 12 SECOND FLOOR PLAN (EXISTING & PROPOSED)
- 13-15 EXTERIOR ELEVATIONS (EXISTING & PROPOSED)
- 16 VIEW FROM WENTWORTH STREET
- 17 VIEW FROM ADJACENT PARKING LOT
- 18 RENDERING OF EAST (SIDE) FACADE

## PROJECT INFORMATION

THIS PROPOSAL REQUESTS CONCEPTUAL APPROVAL FOR A NEW 2 STORY, 1500 SF REAR ADDITION TO THE EXISTING STRUCTURE AT 82 WENTWORTH STREET. THE FIRST FLOOR WILL HOUSE A NEW EVENT SPACE AND COULD BE USED FOR OVERFLOW SEATING FOR BASIC KITCHEN, WHILE THE SECOND FLOOR WILL BE USED PRIMARILY AS ADDITIONAL PREP SPACE FOR THE RESTAURANT.

THE HEIGHT/SCALE/MASS OF THE ADDITION IS PRIMARILY DRIVEN AS A RESPONSE TO THE CLIENT'S NEEDS OF CREATING LARGE AND OPEN NATURALLY-LIT SPACES AND REMAINING SUBSERVIENT TO THE EXISTING STRUCTURE ON THE SITE. THE ADDITION IS A RECTANGULAR VOLUME THAT IS SET BACK 5'-0" FROM THE PROPERTY LINE TO ALLOW FOR 25% GLAZING OF THE EAST ELEVATION, DELINEATE THE ADDITION FROM THE EXISTING STRUCTURE, AND PROVIDE AN OPPORTUNITY FOR LANDSCAPING TO SCREEN THE VIEW OF THE ADJACENT PARKING LOT FROM THE INTERIOR. THE HEIGHT OF THE ADDITION IS DRIVEN BY THE DESIRE TO REMAIN BELOW THE HEIGHT OF THE FASCIA OF THE EXISTING STRUCTURE ON THE SITE. THE MATERIAL CHOICE AND DETAILING, WHILE STILL BEING EXPLORED AT THIS POINT, IS A RESPONSE TO THE RESIDENTIAL NATURE OF THE EXISTING STRUCTURE.



BAR CONCEPTUAL

## BASIC KITCHEN

Basic Kitchen Expansion  
82 Wentworth Street  
Charleston, SC

Project Number:	18001
Issued for Review:	10.14.2019
Issued for Permit:	
Issued for Construction:	
Revisions:	
No.	Description Date

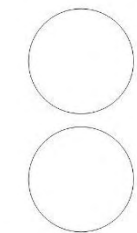
TITLE SHEET

01





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 1500 King Street, E., Suite 202  
 Charleston, SC 29403  
 ARCHITECTURE.THEMIDDLETONGROUP.NET



BAR CONCEPTUAL

# BASIC KITCHEN

**Basic Kitchen Expansion**  
 82 Wentworth Street  
 Charleston, SC

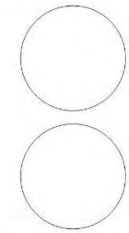
Project Number	18000
Issued for Review	
Issued for Permit	
Issued for Construction	
Revisions	
No.	Description Date

VICINITY MAP





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BAR CONCEPTUAL

## BASIC KITCHEN

**Basic Kitchen Expansion**  
 87 Wentworth Street,  
 Charleston, SC

Project Number	18000
Issued for Review	
Issued for Permit	
Issued for Construction	
Revisions	
No.	Description Date

STREETSCAPE

03





THE RESTORATION - 75 WENTWORTH STREET



COLLEGE OF CHARLESTON DR MARTIN PERLMUTTER DINING HALL - 96 WENTWORTH STREET



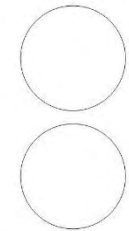
COLLEGE OF CHARLESTON RESIDENTIAL HALL - 30 SAINT PHILIP STREET



COLLEGE OF CHARLESTON SCHOOL OF BUSINESS - 5 LIBERTY STREET



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BAR CONCEPTUAL

## BASIC KITCHEN

**Basic Kitchen Expansion**  
87 Wentworth Street  
Charleston, SC

Project Number	18000
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Revisions	
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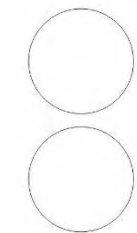
NEIGHBORING  
STRUCTURES







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BAR CONCEPTUAL

## BASIC KITCHEN

**Basic Kitchen Expansion**  
 87 Westmouth Street,  
 Charleston, SC

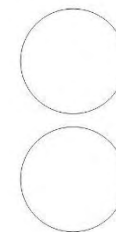
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Issued for Review	
Issued for Permit	
Issued for Construction	
Revisions	
No.	Description Date

EXISTING PHOTOS





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 ARCHITECTURE.THEMIDDLETONGROUP.NET



BAR CONCEPTUAL

# BASIC KITCHEN

**Basic Kitchen Expansion**  
 87 Westmouth Street  
 Charleston, SC

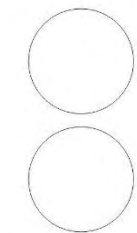
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Issued for Review:	
Issued for Permit:	
Issued for Construction:	
Revisions:	
No.	Description Date

EXISTING PHOTOS





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 ARCHITECTURE.THEMIDDLEGROUP.NET



BAR CONCEPTUAL

## BASIC KITCHEN

**Basic Kitchen Expansion**  
 87 Westmouth Street,  
 Charleston, SC

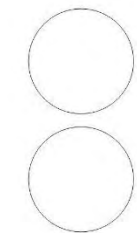
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Issued for Review	
Issued for Permit	
Issued for Construction	
Revisions	
No.	Description Date

EXISTING PHOTOS





The Middle Group  
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 Charleston, SC 29403  
 ARCHITECTURE.THEMIDDLEGROUP.NET



BAR CONCEPTUAL

## BASIC KITCHEN

**Basic Kitchen Expansion**  
 87 Westworth Street  
 Charleston, SC

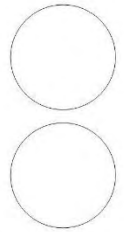
Project Number	18000
Issued for Review	
Issued for Permit	
Issued for Construction	
Revisions	
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EXISTING PHOTOS





The Middle Group  
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 ARCHITECTURE.THEMIDDLEGROUP.NET



BAR CONCEPTUAL

## BASIC KITCHEN

**Basic Kitchen Expansion**  
 87 Westworth Street,  
 Charleston, SC

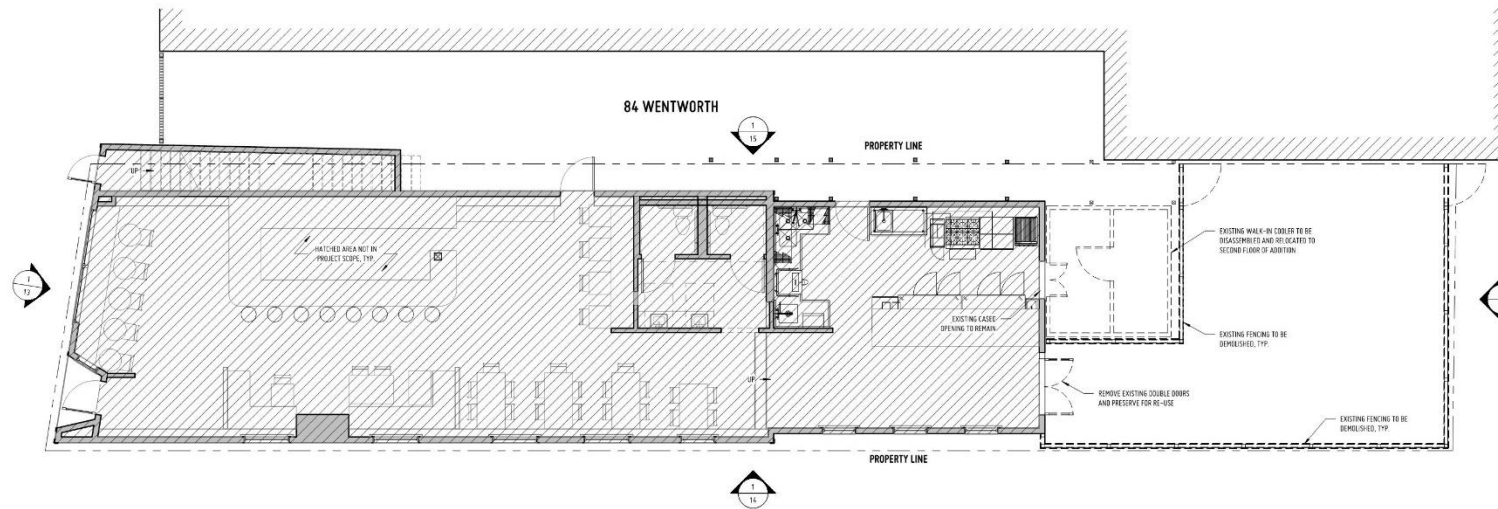
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Issued for Permit	
Issued for Construction	
Revisions	
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EXISTING PHOTOS

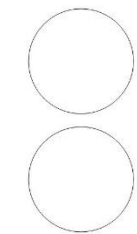




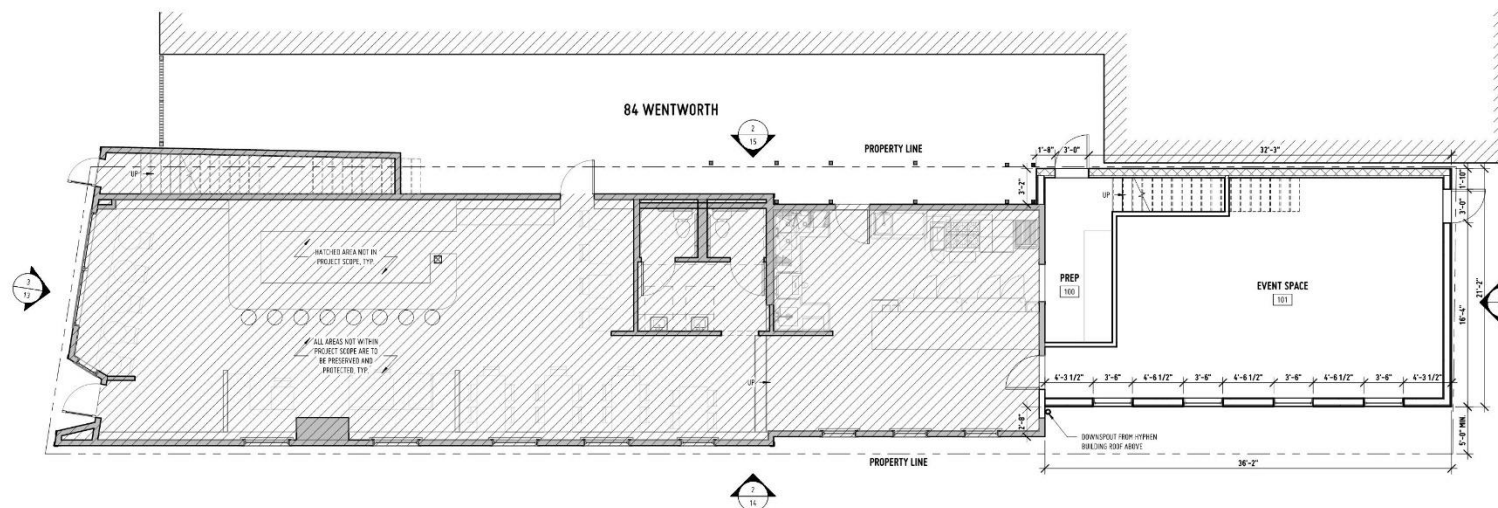
The Middleton Group  
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Charleston, SC 29403  
ARCHITECTURE.THEMIDDLETONGROUP.NET



**1** EXISTING / DEMO FIRST FLOOR PLAN  
1:1 3/16" = 1'-0"



BAR CONCEPTUAL



**2** PROPOSED FIRST FLOOR PLAN  
1:1 3/16" = 1'-0"

## BASIC KITCHEN

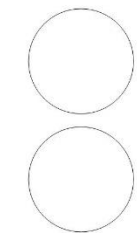
**Basic Kitchen Expansion**  
87 Wentworth Street  
Charleston, SC

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Issued for Construction	
Revisions	
No.	Description Date

FIRST FLOOR PLAN



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1503 King Street, E., Suite 202  
Charleston, SC 29403  
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# BASIC KITCHEN

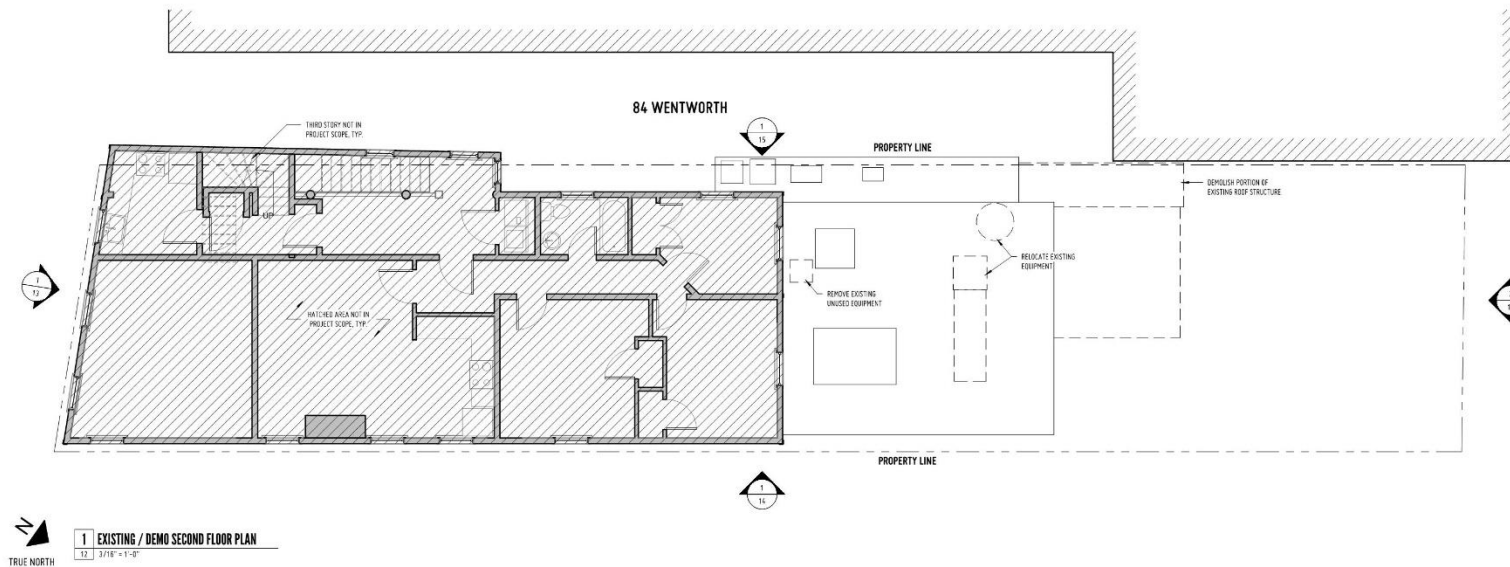
**Basic Kitchen Expansion**  
82 Wentworth Street  
Charleston, SC

Project Number	18000
Issued for Review	
Issued for Permit	
Issued for Construction	
Revisions	
No.	Description Date

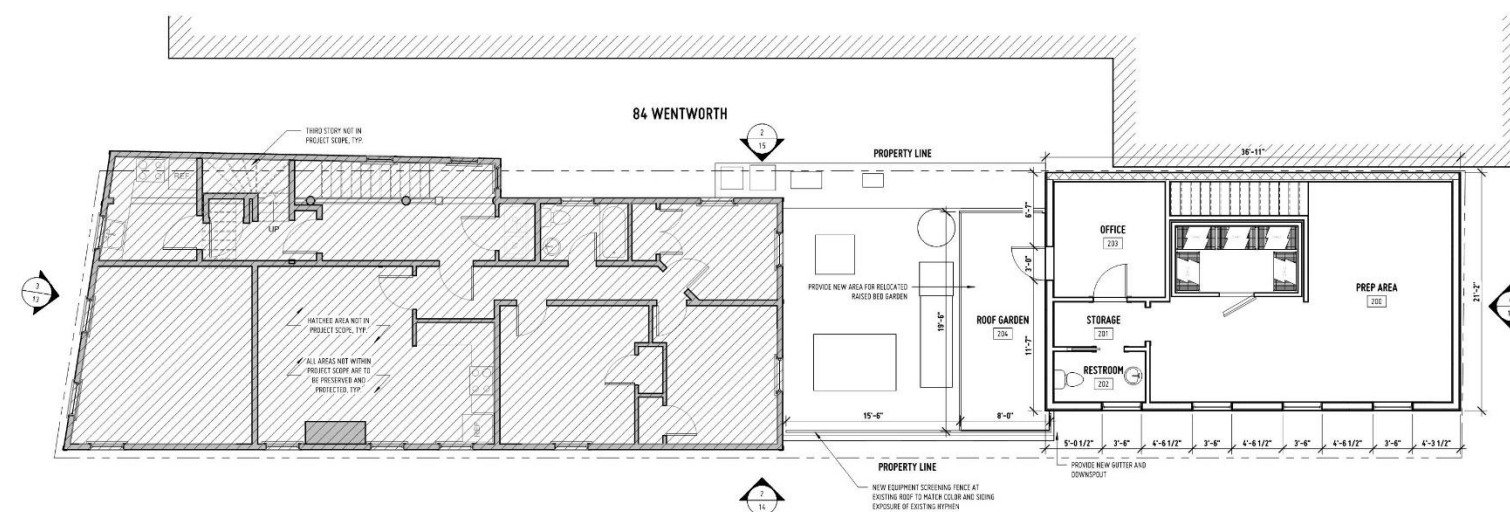
SECOND FLOOR PLAN

# 12

18142019 10:07:54 AM



**1 EXISTING / DEMO SECOND FLOOR PLAN**  
1/2" 3/16" = 1'-0"

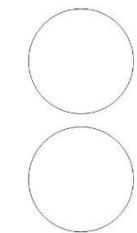


**2 PROPOSED SECOND FLOOR PLAN**  
1/2" 3/16" = 1'-0"





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BAR CONCEPTUAL

# BASIC KITCHEN

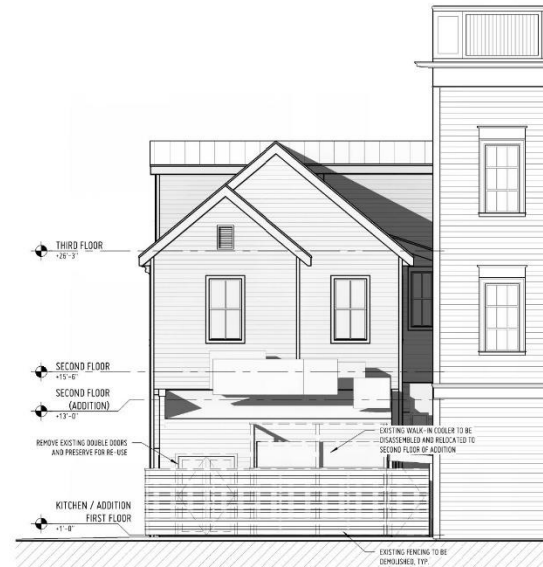
**Basic Kitchen Expansion**  
87 Westworth Street  
Charleston, SC

Project Number	18000
Issued for Review	
Issued for Permit	
Issued for Construction	
Revisions	
No.	Description Date

EXTERIOR ELEVATIONS



**1 EXISTING / DEMO SOUTH (FRONT) ELEVATION**  
13 3/16" = 1'-0"

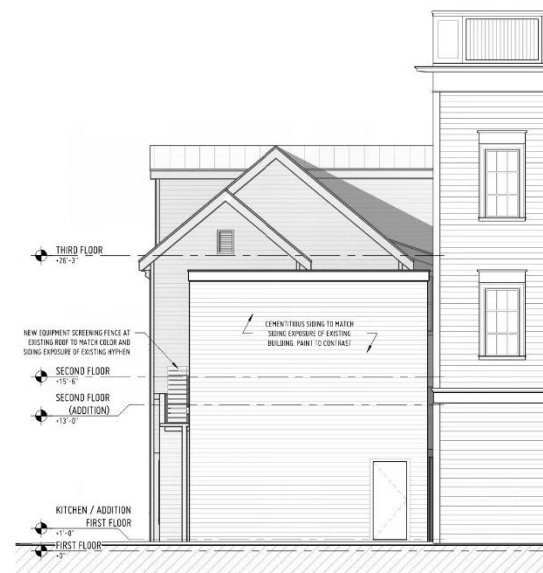


**2 EXISTING / DEMO NORTH (REAR) ELEVATION**  
13 3/16" = 1'-0"



**3 PROPOSED SOUTH (FRONT) ELEVATION**  
13 3/16" = 1'-0"

\*NO SUBSTANTIAL CHANGE TO ELEVATION

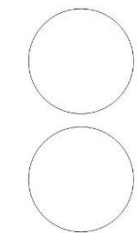


**4 PROPOSED NORTH (REAR) ELEVATION**  
13 3/16" = 1'-0"





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Charleston, SC 29405  
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BAR CONCEPTUAL

# BASIC KITCHEN

**Basic Kitchen Expansion**  
87 Westmouth Street  
Charleston, SC

Project Number	18000
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Issued for Permit	
Issued for Construction	
Revisions	
No.	Description Date

EXTERIOR ELEVATIONS



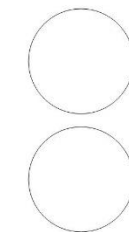
**1 EXISTING / DEMO EAST (SIDE) ELEVATION**  
1A 3/16" = 1'-0"



**2 PROPOSED EAST (SIDE) ELEVATION**  
1A 3/16" = 1'-0"



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1500 King Street East, Suite 202  
Charleston, SC 29405  
ARCHITECTURE.THEMIDDLETONGROUP.NET



BAR CONCEPTUAL

# BASIC KITCHEN

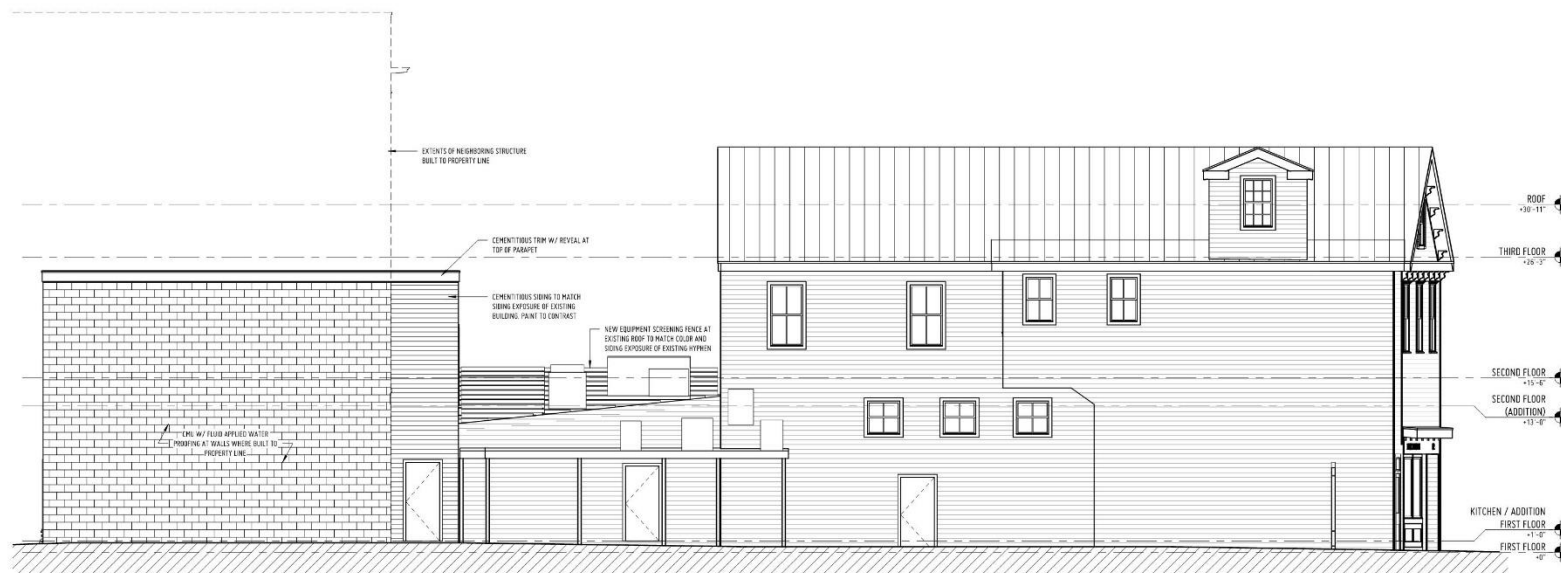
**Basic Kitchen Expansion**  
87 Westmouth Street  
Charleston, SC

Project Number	18000
Issued for Review	
Issued for Permit	
Issued for Construction	
Revisions	
No.	Description Date

EXTERIOR ELEVATIONS



**1 EXISTING / DEMO WEST (SIDE) ELEVATION**  
1/5 3/16" = 1'-0"



**2 PROPOSED WEST (SIDE) ELEVATION**  
1/5 3/16" = 1'-0"



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 ARCHITECTURE.THEMIDDLEGROUP.NET



BAR CONCEPTUAL

# BASIC KITCHEN

**Basic Kitchen Expansion**  
 87 Wentworth Street  
 Charleston, SC

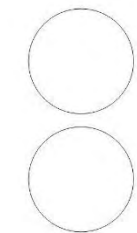
Project Number	18000
Issued for Review	
Issued for Permit	
Issued for Construction	
Revisions	
No.	Description Date

VIEW FROM  
 WENTWORTH STREET





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 Charleston, SC 29403  
 ARCHITECTURE.THEMIDDLETONGROUP.NET



BAR CONCEPTUAL

## BASIC KITCHEN

**Basic Kitchen Expansion**  
 87 Wernersburg Street  
 Charleston, SC

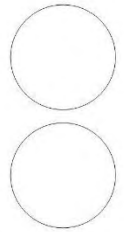
Project Number	18000
Issued for Review	
Issued for Permit	
Issued for Construction	
Revisions	
No.	Description Date

VIEW FROM ADJACENT  
 PARKING LOT





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 Charleston, SC 29405  
 ARCHITECTURE.THEMIDDLETONGROUP.NET



BAR CONCEPTUAL

## BASIC KITCHEN

**Basic Kitchen Expansion**  
 87 Westworth Street,  
 Charleston, SC

Project Number	19000
Issued for Review	
Issued for Permit	
Issued for Construction	
Revisions	
No.	Description Date

RENDERING OF EAST  
 (SIDE) FACADE





Agenda Item 9:

Address 35 Barre Street - - TMS # 457-03-03-042

Request conceptual approval for new construction of porches,  
one-story addition, chimney, and garage.

Not Rated / (Harleston Village) / c. 1968 / Old and Historic District

Deferred by Applicant



Agenda Item 10:

8 Hanover Street - - TMS # 459-09-03-039

Request conceptual approval for new construction  
of single-family dwelling.

(East Side Neighborhood) / Old City District





**AERIAL VIEW LOOKING EAST  
VIEW OF SITE- 8 HANOVER STREET**



**AERIAL VIEW LOOKING NORTH  
VIEW OF SITE- 8 HANOVER STREET**



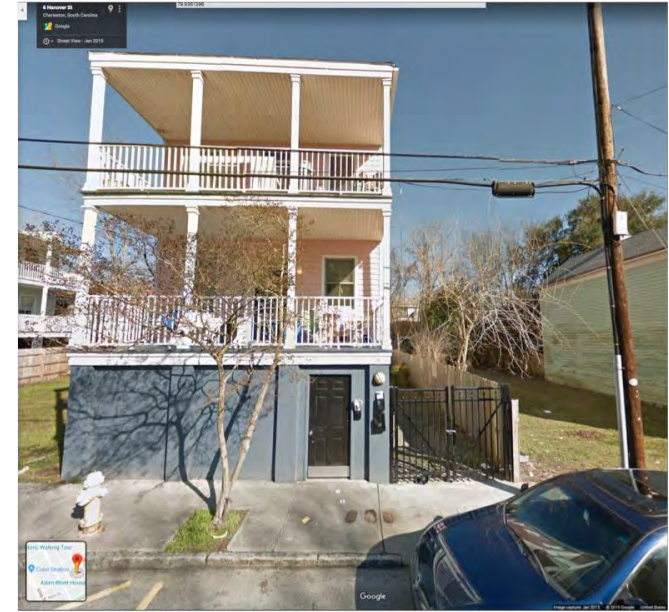
**8 HANOVER STREET**



**10 HANOVER  
EAST SIDE OF STREET**



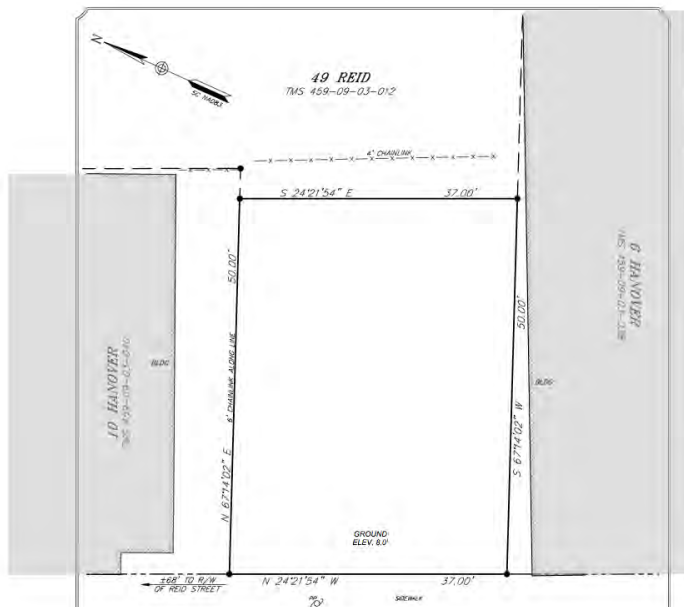
**8 HANOVER  
EAST SIDE OF STREET**



**6 HANOVER  
EAST SIDE OF STREET**



8 HANOVER STREET



8 HANOVER  
1,849.28 sq. ft.  
0.042 acre  
TMS 459-09-03-039

HANOVER STREET (40' R/W)

CLOSING SURVEY SHOWING 8 HANOVER STREET

LOCATED IN THE CITY OF CHARLESTON, CHARLESTON COUNTY, S.C.

DATE: JANUARY 3, 2019 SCALE: 1/8" = 1'-0"

REFERENCE: DEED BOOK #123, PAGE 211  
FLOOD ZONE: AE (E1.13), PER F.I.R.M. COMMUNITY PANEL 45019C 0516 J, EFFECTIVE NOVEMBER 17, 2004

I HEREBY STATE TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN. ALSO, THERE ARE NO KNOWN ENCUMBRANCES OR INTERFERENCES AFFECTING THE PROPERTY OTHER THAN THOSE SHOWN.

TIMOTHY D. ELMER  
No. 2966  
SCPLS No. 17566

TIM ELMER PLS, LLC  
523 MAN O WAR LANE  
MONCK'S CORNER, SC 29461  
TEL: (843) 482-0795  
FAX: (843) 482-0796  
TIM@TimElmerPLS.com

EXISTING SURVEY / SITE PLAN

1/8" = 1'-0" N

8 HANOVER STREET



8 HANOVER  
1,849.28 sq. ft.  
0.042 acre  
TMS 459-09-03-039

HANOVER STREET (40' R/W)

CLOSING SURVEY SHOWING 8 HANOVER STREET

LOCATED IN THE CITY OF CHARLESTON, CHARLESTON COUNTY, S.C.

DATE: JANUARY 3, 2019 SCALE: 1/8" = 1'-0"

REFERENCE: DEED BOOK #123, PAGE 211  
FLOOD ZONE: AE (E1.13), PER F.I.R.M. COMMUNITY PANEL 45019C 0516 J, EFFECTIVE NOVEMBER 17, 2004

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TIMOTHY D. ELMER  
No. 2966  
SCPLS No. 17566

TIM ELMER PLS, LLC  
523 MAN O WAR LANE  
MONCK'S CORNER, SC 29461  
TEL: (843) 482-0795  
FAX: (843) 482-0796  
TIM@TimElmerPLS.com

PROPOSED SURVEY / SITE PLAN

1/8" = 1'-0" N

COUNTY OF CHARLESTON,  
SOUTH CAROLINA  
TMS#: 459-09-03-039  
FEMA: ZONE AE-13

ZONED: DR-2F

FRONT SETBACK: 25 FT.  
0'-0" FRONT\*  
(allowable per: Sec. 54-506-b)

REAR SETBACK: 3 FT.  
4'-4" REAR (3'-2" for hvac unit)

TOTAL (FRONT & REAR) SETBACKS: 3 FT.  
3'-2" TOTAL

NORTH (SIDE) SETBACK: 3 FT.  
3'-0" NORTH

SOUTH (SIDE) SETBACK: 7 FT.  
13'-0" SOUTH

TOTAL (SIDES) SETBACKS: 10 FT.  
16'-0" TOTAL

LOT SIZE: 2,500 SQFT.  
1,849 SQFT exist. lot size\*  
(Special Exception required)

LOT OCCUPANCY: 50%  
924 SQFT FOOTPRINT  
(920 sqft structure/porch/steps + 4 sqft hvac unit)  
48.97%

MAX. EAVE HEIGHT: FFE TO EAVE: 2x WIDTH  
28'-6" (less than 2x the 16 ft. width)

MAX. HEIGHT: 2 1/2 STORY  
2 STORY

2 PARKING SPACES REQUIRED  
2 PARKING SPACE PROVIDED (in driveway)

8 HANOVER STREET

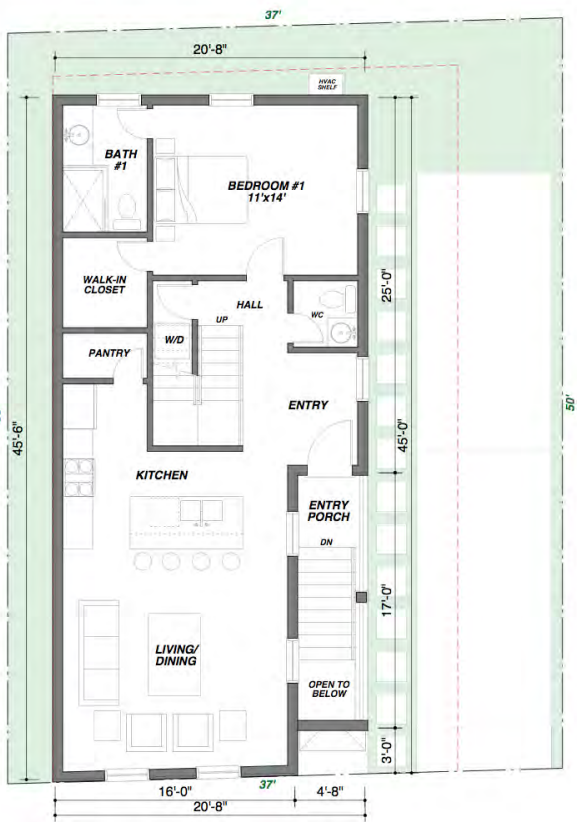
NEW SINGLE FAMILY RESIDENCE  
CHARLESTON, SOUTH CAROLINA  
(existing vacant lot)



**SITE / GROUND FLOOR PLAN**  
 924 sqft- LOT COVERAGE (49.97% LOT COVERAGE)

1/4" = 1'-0"  
 N

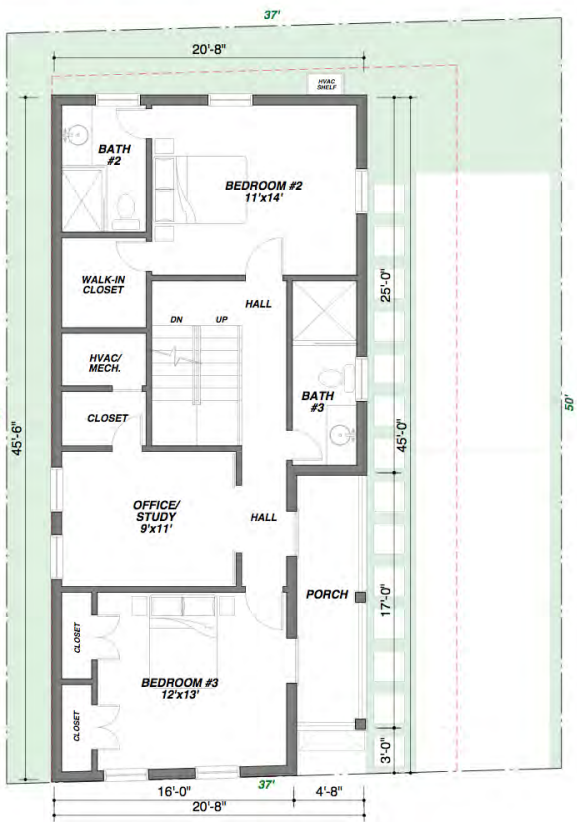




HANOVER STREET

**FIRST FLOOR PLAN**  
840 sqft- heated (1,680 sqft TOTAL)

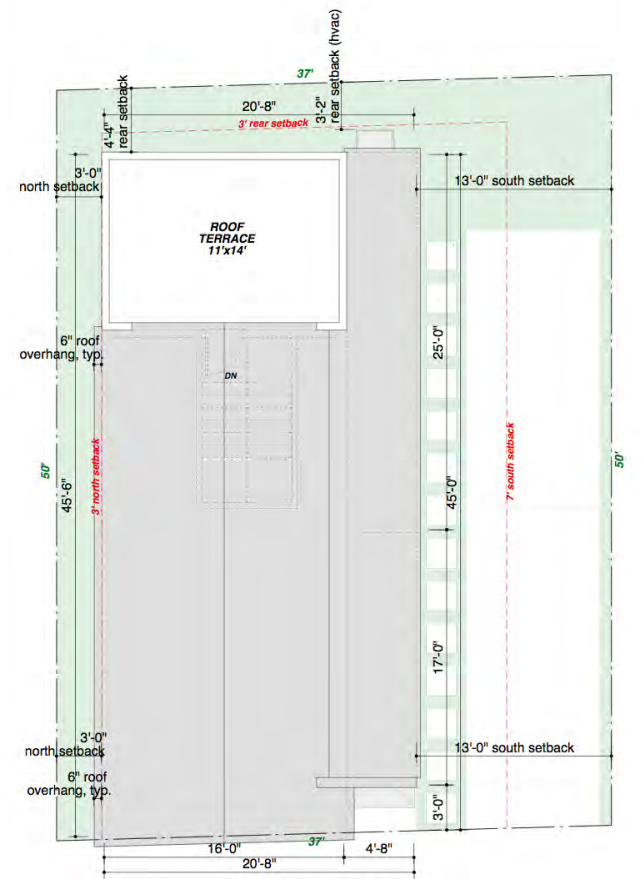
1/4" = 1'-0"  
N



HANOVER STREET

**SECOND FLOOR PLAN**  
840 sqft- heated (1,680 sqft TOTAL)

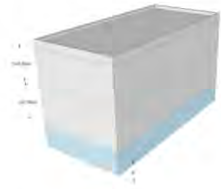
1/4" = 1'-0"  
N



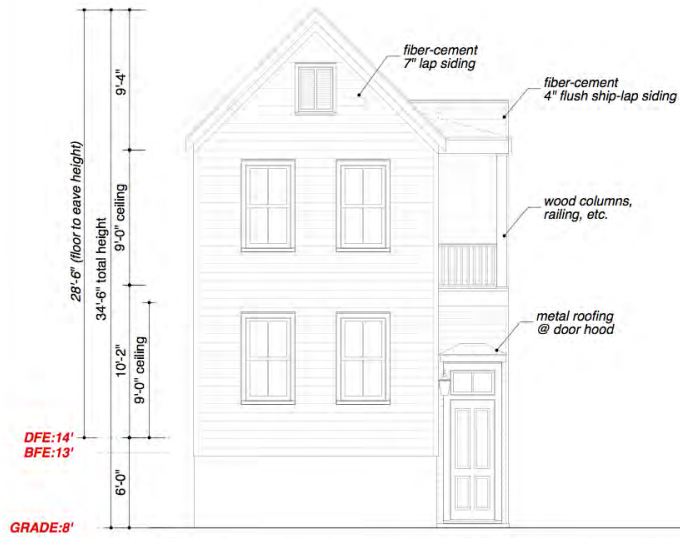
HANOVER STREET

**ROOF/ROOF TERRACE PLAN**  
924 sqft- LOT COVERAGE (49.97% LOT COVERAGE)

1/4" = 1'-0"  
N



Maximum Raised Building Height  
Charleston Heights



WEST (HANOVER ST.) ELEVATION

1/4" = 1'-0"



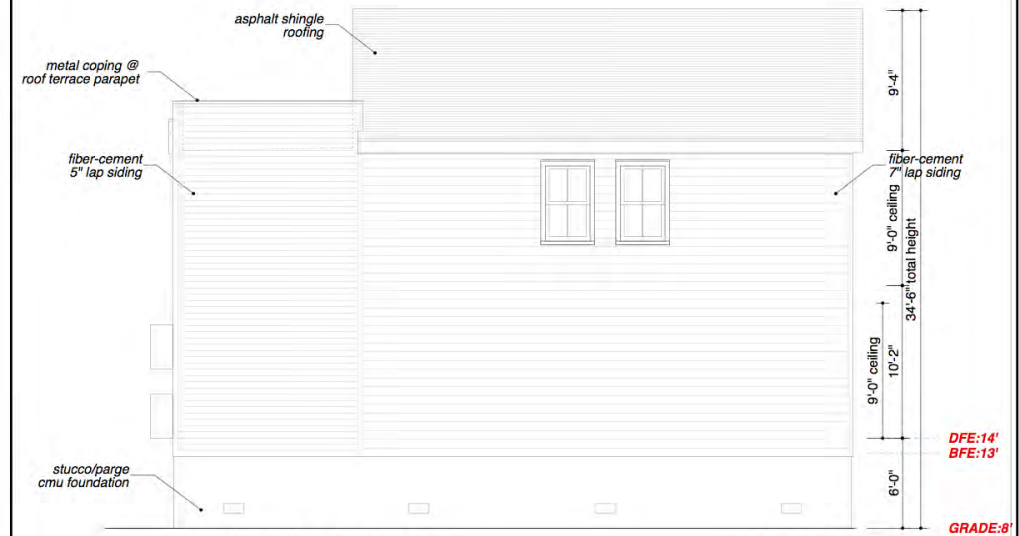
SOUTH (DRIVEWAY) ELEVATION

1/4" = 1'-0"



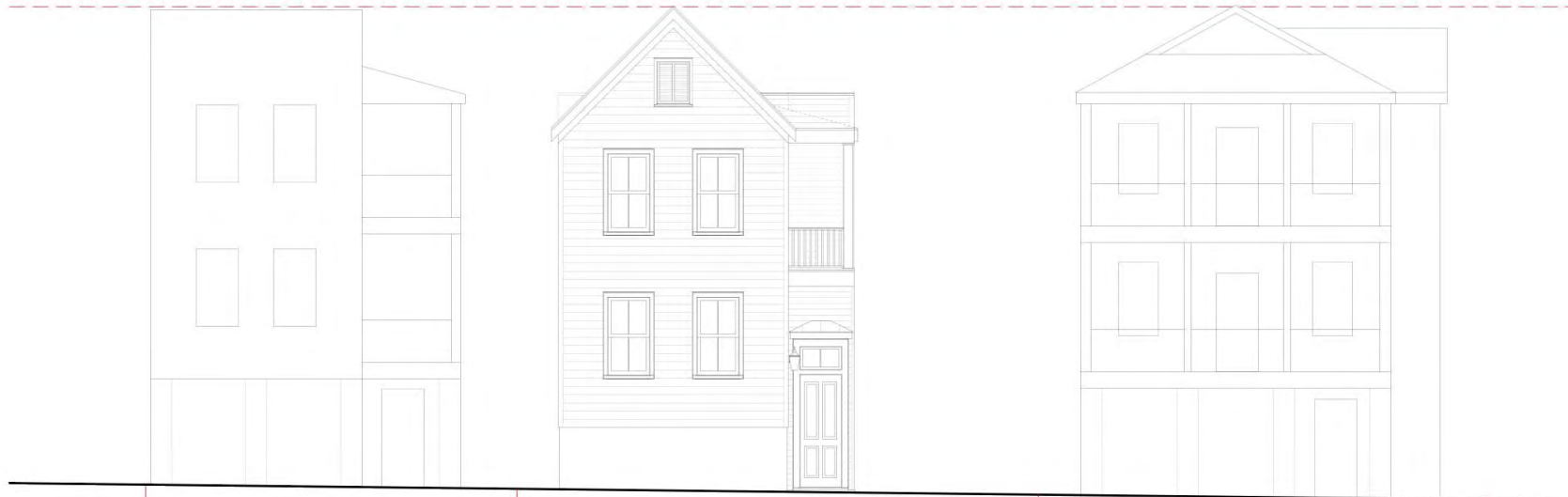
EAST (REAR) ELEVATION

1/4" = 1'-0"



NORTH (SIDE) ELEVATION

1/4" = 1'-0"



**10 HANOVER  
EAST SIDE OF STREET**

**8 HANOVER  
EAST SIDE OF STREET**

**6 HANOVER  
EAST SIDE OF STREET**

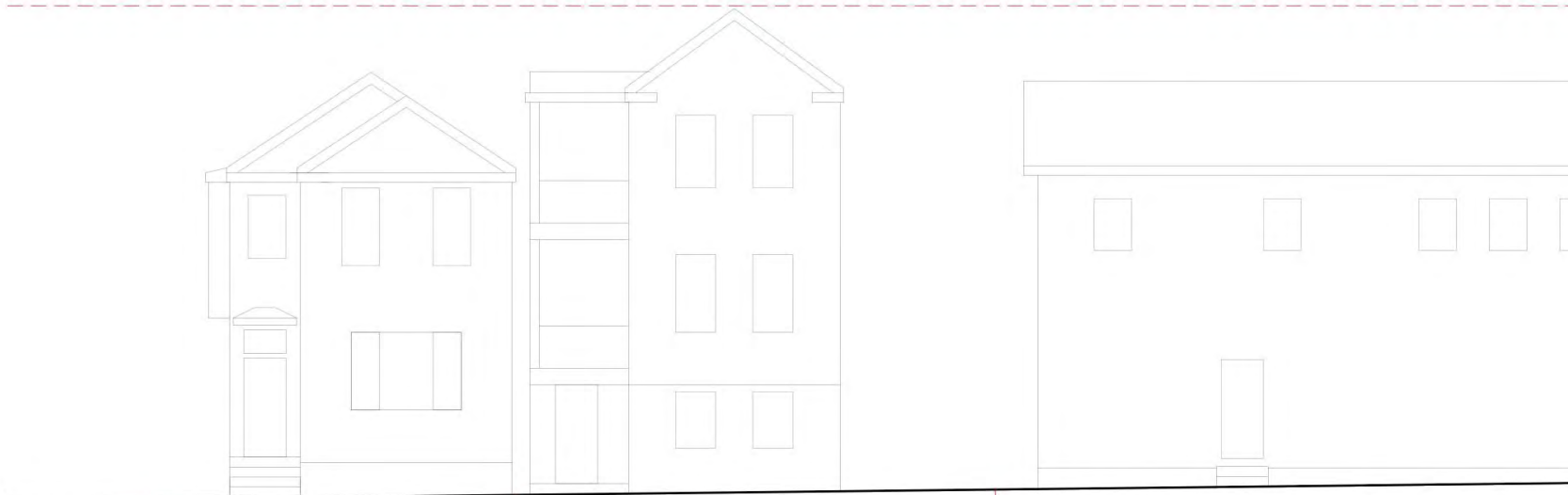


**10 HANOVER  
EAST SIDE OF STREET**

**8 HANOVER  
EAST SIDE OF STREET**

**6 HANOVER  
EAST SIDE OF STREET**

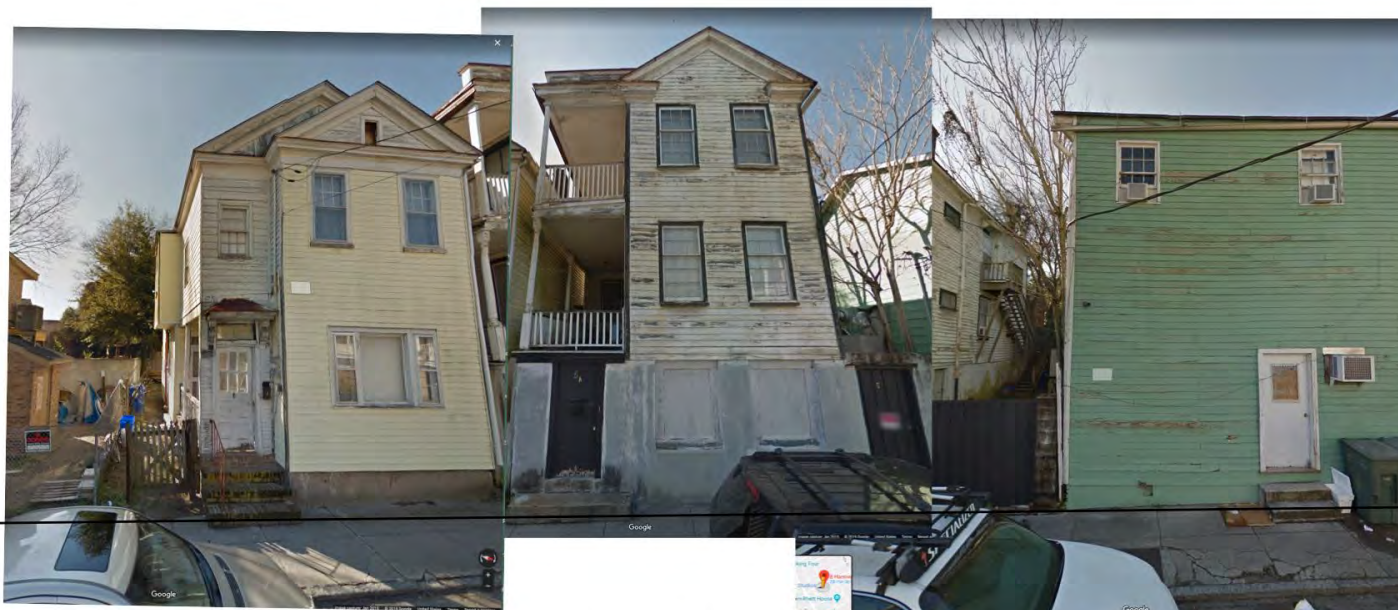




**3 HANOVER  
WEST SIDE OF STREET  
(across from 6 Hanover)**

**5 HANOVER  
WEST SIDE OF STREET  
(across from 8 Hanover)**

**51 REID  
WEST SIDE OF STREET  
(across from 10 Hanover)**



**3 HANOVER  
WEST SIDE OF STREET  
(across from 6 Hanover)**

**5 HANOVER  
WEST SIDE OF STREET  
(across from 8 Hanover)**

**51 REID  
WEST SIDE OF STREET  
(across from 10 Hanover)**



**10 HANOVER  
EAST SIDE OF STREET**  
*(across from 51 Reid: shown shaded)*

**8 HANOVER  
EAST SIDE OF STREET**  
*(across from 5 Hanover: shown shaded)*

**6 HANOVER  
EAST SIDE OF STREET**  
*(across from 3 Hanover: shown shaded)*



**3 HANOVER  
WEST SIDE OF STREET**  
*(across from 6 Hanover: shown shaded)*

**5 HANOVER  
WEST SIDE OF STREET**  
*(across from 8 Hanover: shown shaded)*

**51 REID  
WEST SIDE OF STREET**  
*(across from 10 Hanover: shown shaded)*





Agenda Item 11:

7 Brewster Court - - TMS # 460-08-04-097

Request conceptual approval for the replacement of existing stucco with Artisan Hardie shiplap.

Not Rated / (Cannonborough) / c.2004 / Old City District



**1 SITE PLAN**  
IN P.S.



**1** EXISTING PHOTO  
B002 SCALE: 3/4" = 1'-0"



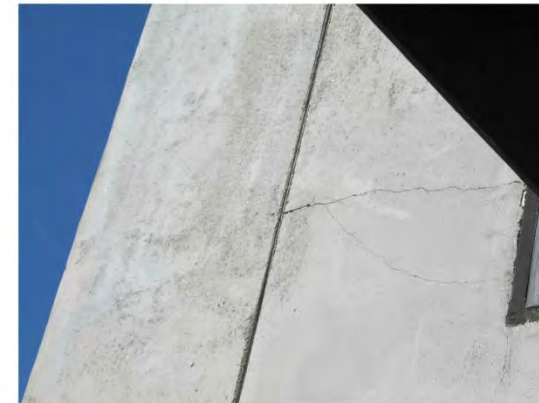
**2** EXISTING PHOTO  
B002 SCALE: 3/4" = 1'-0"



**3** EXISTING PHOTO - AFTER RAIN  
B002 SCALE: 3/4" = 1'-0"

**B002**





**IMPROPER SILL CONFIGURATION**

**LACK OF DRAINAGE MAT &  
WEEP SCREED**

**DEFFICIENT CONTROL JOINT  
PLACEMENT**

**B003**



EXAMPLE A

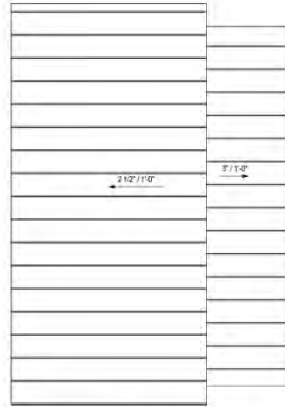
EXAMPLE B

EXAMPLE C

**ADJACENT PROPERTIES WITH  
SIMILAR MATERIALITY**

**B004**

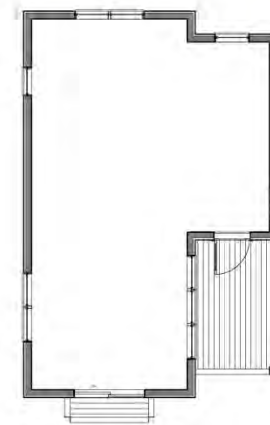




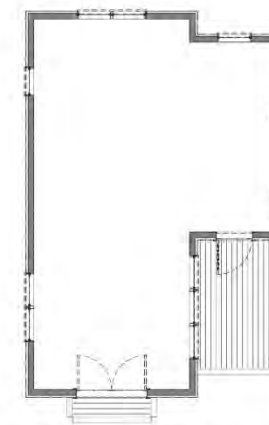
**8 ROOF PLAN**  
B005 / SCALE: 1/4" = 1'-0"



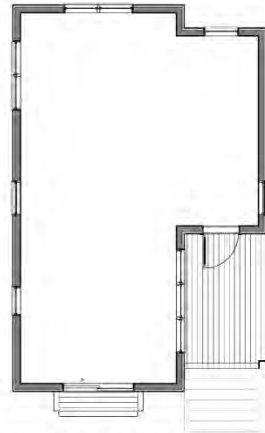
**7 DEMOLITION ROOF PLAN**  
B005 / SCALE: 1/4" = 1'-0"



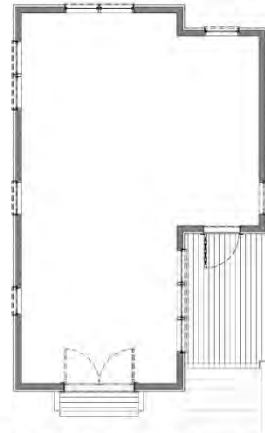
**6 THIRD FLOOR PLAN**  
B005 / SCALE: 1/4" = 1'-0"



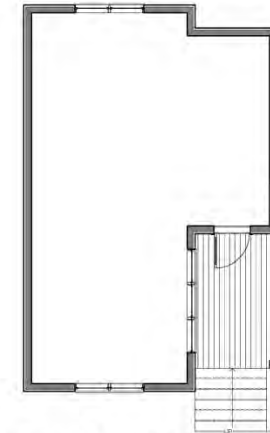
**5 DEMOLITION THIRD FLOOR PLAN**  
B005 / SCALE: 1/4" = 1'-0"



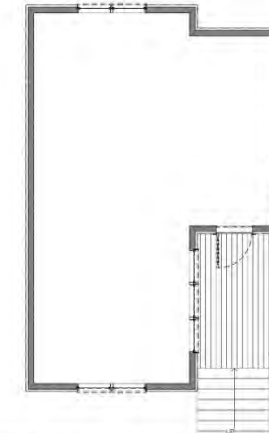
**4 SECOND FLOOR PLAN**  
B005 / SCALE: 1/4" = 1'-0"



**3 DEMOLITION SECOND FLOOR PLAN**  
B005 / SCALE: 1/4" = 1'-0"

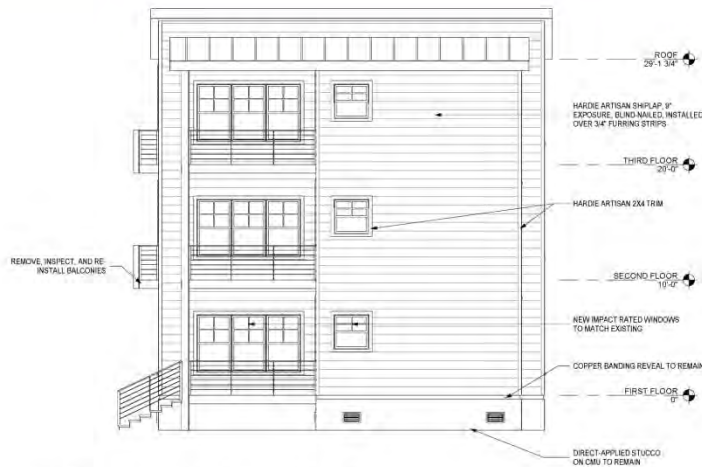


**2 FIRST FLOOR PLAN**  
B005 / SCALE: 1/4" = 1'-0"

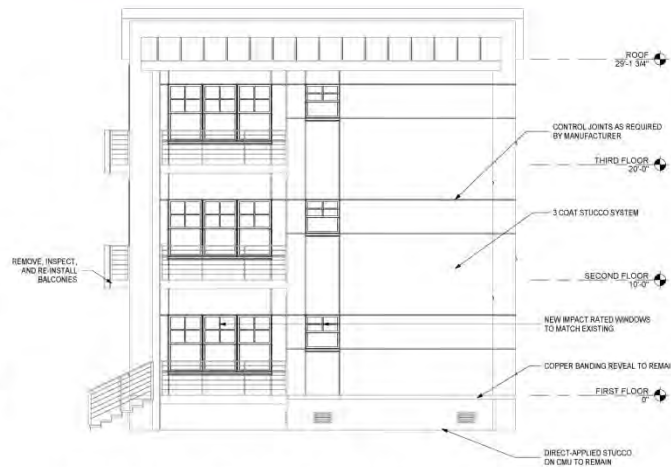


**1 DEMOLITION FIRST FLOOR PLAN**  
B005 / SCALE: 1/4" = 1'-0"





**4 STAFF REVISED WEST ELEVATION**  
B006 SCALE: 1/4" = 1'-0"



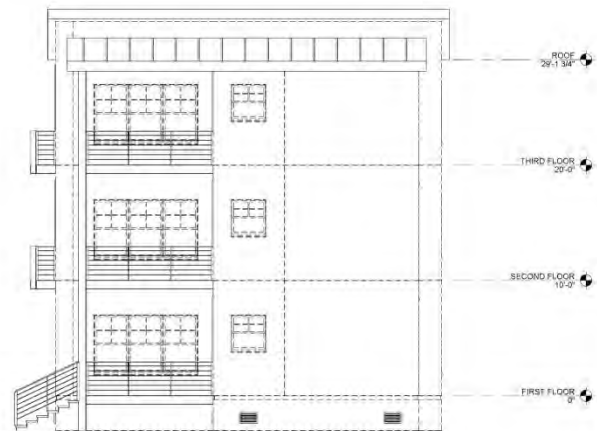
**3 BOARD RECOMMENDED WEST ELEVATION**  
B006 SCALE: 1/4" = 1'-0"

**ELEVATION NOTES**

- 1 ALL PRODUCTS SPECIFIED ARE TO BE INSTALLED ACCORDING TO MANUFACTURER'S PRINTED INSTALLATION INSTRUCTIONS.
- 2 PRODUCTS AND MANUFACTURES DESCRIBED HEREWITH ARE SPECIFIED TO ACHIEVE THE MAXIMUM EXPOSURE ALLOWABLE BY LOCAL WIND LOAD CODES AND MANUFACTURER'S PRINTED INSTALLATION REQUIREMENTS. REFER TO HARDBIE PLANK ARTISAN SIDING WITH LOCK JOINT SYSTEM TECHNICAL DATA SHEET, EFFECTIVE APRIL 2018, AND HARDBIE PLANK H215 LOCK JOINT SINGLE FAMILY INSTALLATION REQUIREMENTS, EFFECTIVE JULY 2018.
- 3 ALL MATERIAL FINISH COLORS TO BE DETERMINED.



**2 ORIGINAL PROPOSAL WEST ELEVATION**  
B006 SCALE: 1/4" = 1'-0"

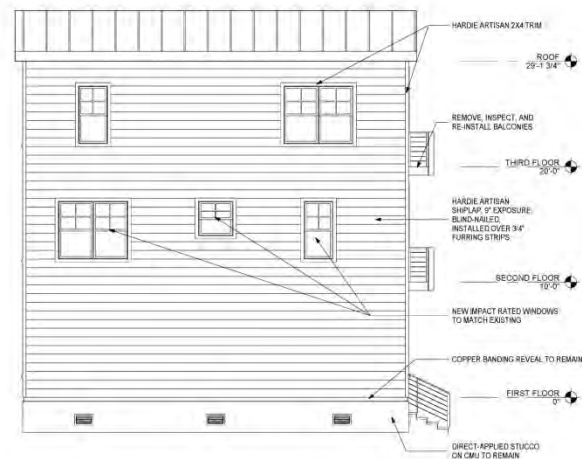


**1 EXISTING / DEMOLITION WEST ELEVATION**  
B006 SCALE: 1/4" = 1'-0"

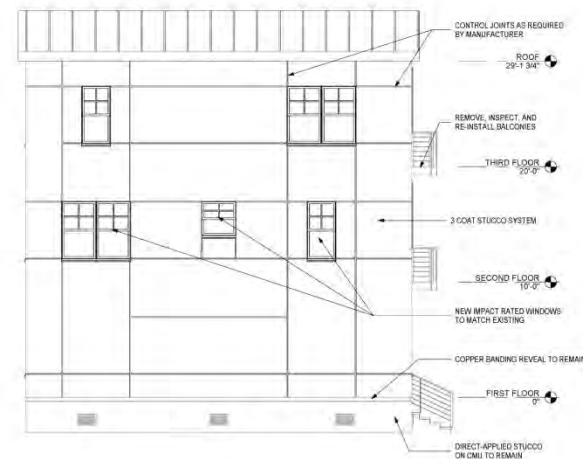
**B006**

**ELEVATION NOTES**

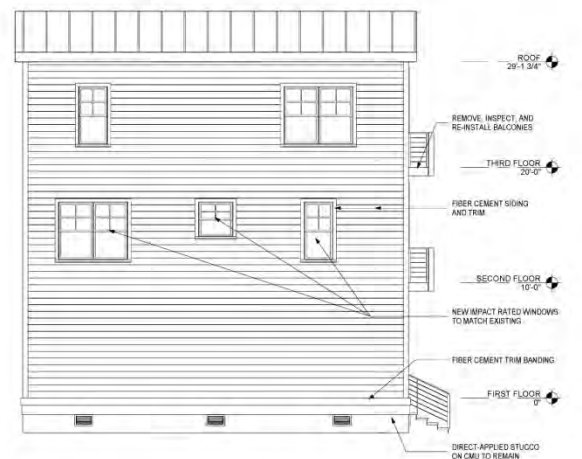
- 1 ALL PRODUCTS SPECIFIED ARE TO BE INSTALLED ACCORDING TO MANUFACTURER'S PRINTED INSTALLATION INSTRUCTIONS.
- 2 PRODUCTS AND MANUFACTURERS DESCRIBED HEREWITHIN ARE SPECIFIED TO ACHIEVE THE MAXIMUM EXPOSURE ALLOWABLE BY LOCAL WIND LOAD CODES AND MANUFACTURER'S PRINTED INSTALLATION REQUIREMENTS. REFER TO HARDIE PLANK ARTISAN SIDING WITH LOCK JOINT SYSTEM TECHNICAL DATA SHEET, EFFECTIVE APRIL 2018, AND HARDIE PLANK H210 LOCK JOINT SINGLE FAMILY INSTALLATION REQUIREMENTS, EFFECTIVE JULY 2018.
- 3 ALL MATERIAL FINISH COLORS TO BE DETERMINED.



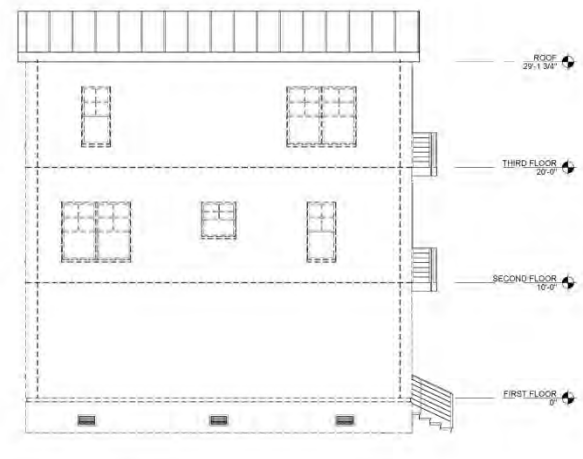
**4 STAFF REVISED EAST ELEVATION**  
B007 SCALE: 1/4" = 1'-0"



**3 BOARD RECOMMENDED EAST ELEVATION**  
B007 SCALE: 1/4" = 1'-0"



**2 ORIGINAL PROPOSAL EAST ELEVATION**  
B007 SCALE: 1/4" = 1'-0"



**1 EXISTING / DEMOLITION EAST ELEVATION**  
B007 SCALE: 1/4" = 1'-0"

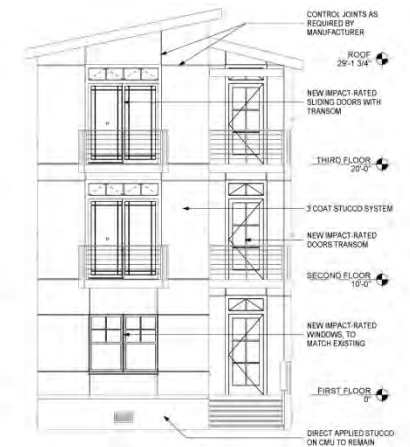
**B007**

### ELEVATION NOTES

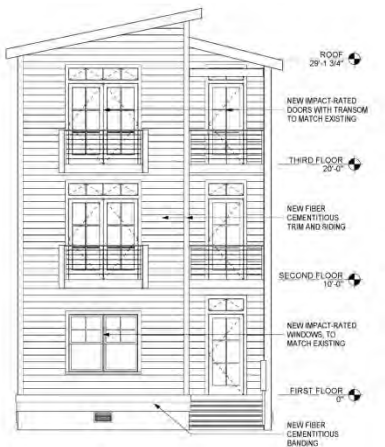
- 1 ALL PRODUCTS SPECIFIED ARE TO BE INSTALLED ACCORDING TO MANUFACTURER'S PRINTED INSTALLATION INSTRUCTIONS
- 2 PRODUCTS AND MANUFACTURES DESCRIBED HEREIN ARE SPECIFIED TO ACHIEVE THE MAXIMUM EXPOSURE ALLOWABLE BY LOCAL WIND LOAD CODES AND MANUFACTURER'S PRINTED INSTALLATION REQUIREMENTS REFER TO HARDIE PLANK ARTISAN SIDING WITH LOCK JOINT SYSTEM TECHNICAL DATA SHEET, EFFECTIVE APRIL 2018 AND HARDIE PLANK H210 LOCK JOINT SINGLE FAMILY INSTALLATION REQUIREMENTS, EFFECTIVE JULY 2018
- 3 ALL MATERIAL FINISH COLORS TO BE DETERMINED



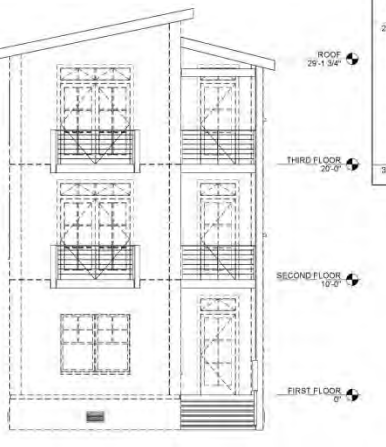
**8 STAFF REVISED NORTH ELEVATION**  
B008 / SCALE: 1/4" = 1'-0"



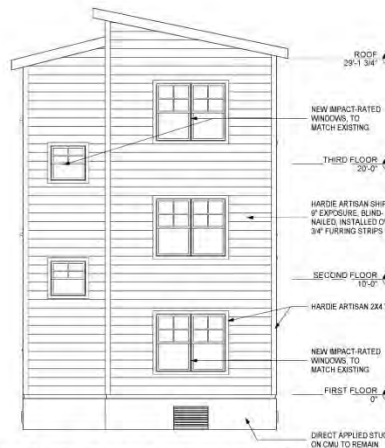
**7 BOARD RECOMMENDED NORTH ELEVATION**  
B008 / SCALE: 1/4" = 1'-0"



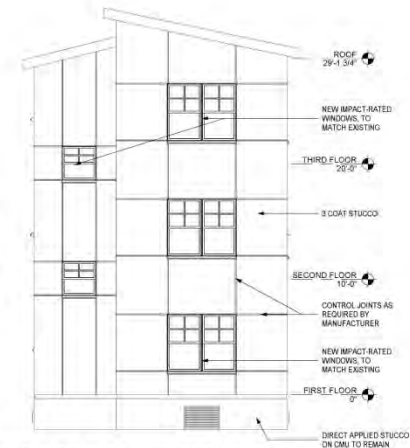
**6 ORIGINAL PROPOSED NORTH ELEVATION**  
B008 / SCALE: 1/4" = 1'-0"



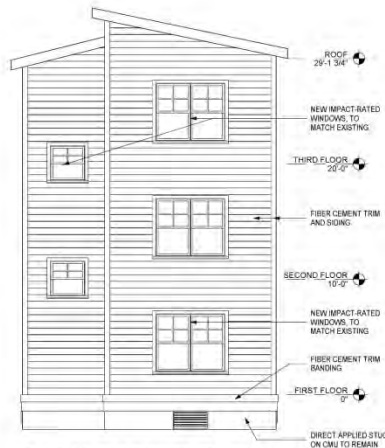
**5 EXISTING / DEMOLITION NORTH ELEVATION**  
B008 / SCALE: 1/4" = 1'-0"



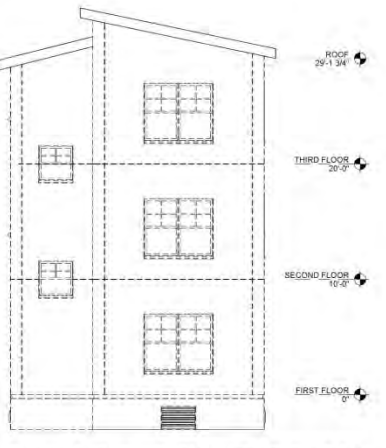
**4 STAFF REVISED SOUTH ELEVATION**  
B008 / SCALE: 1/4" = 1'-0"



**3 BOARD RECOMMENDED SOUTH ELEVATION**  
B008 / SCALE: 1/4" = 1'-0"



**2 ORIGINAL PROPOSED SOUTH ELEVATION**  
B008 / SCALE: 1/4" = 1'-0"



**1 EXISTING / DEMOLITION SOUTH ELEVATION**  
B008 / SCALE: 1/4" = 1'-0"

B008





Agenda Item 12:

147 Spring Street - - TMS # 460-11-04-090

Request conceptual approval for the new construction  
of a rear dependency.

Category 4 / (Cannonborough/Elliottborough) / c. 1890

Old City District







143  
SPRING



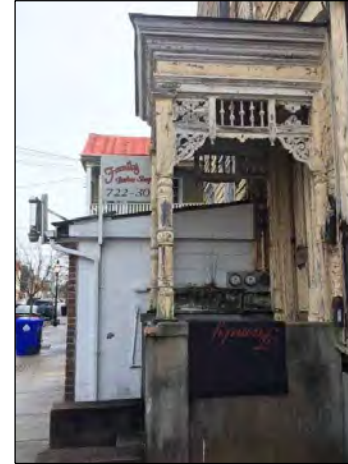
145  
SPRING



147  
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147  
SPRING  
FRONT



147 SPRING  
FRONT  
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149  
SPRING



151  
SPRING



152  
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A NEW DEPENDENCY BUILDING AT

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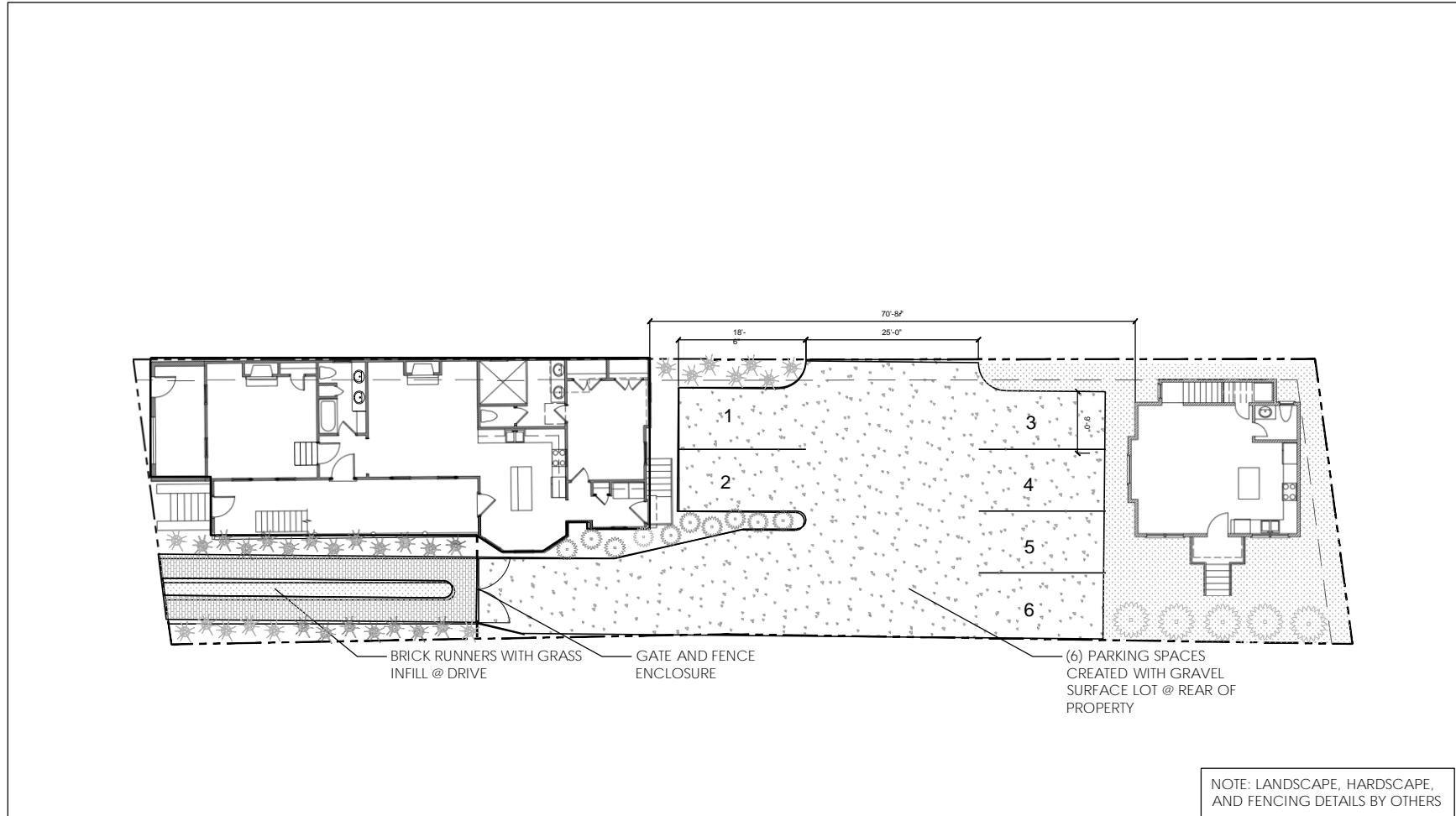
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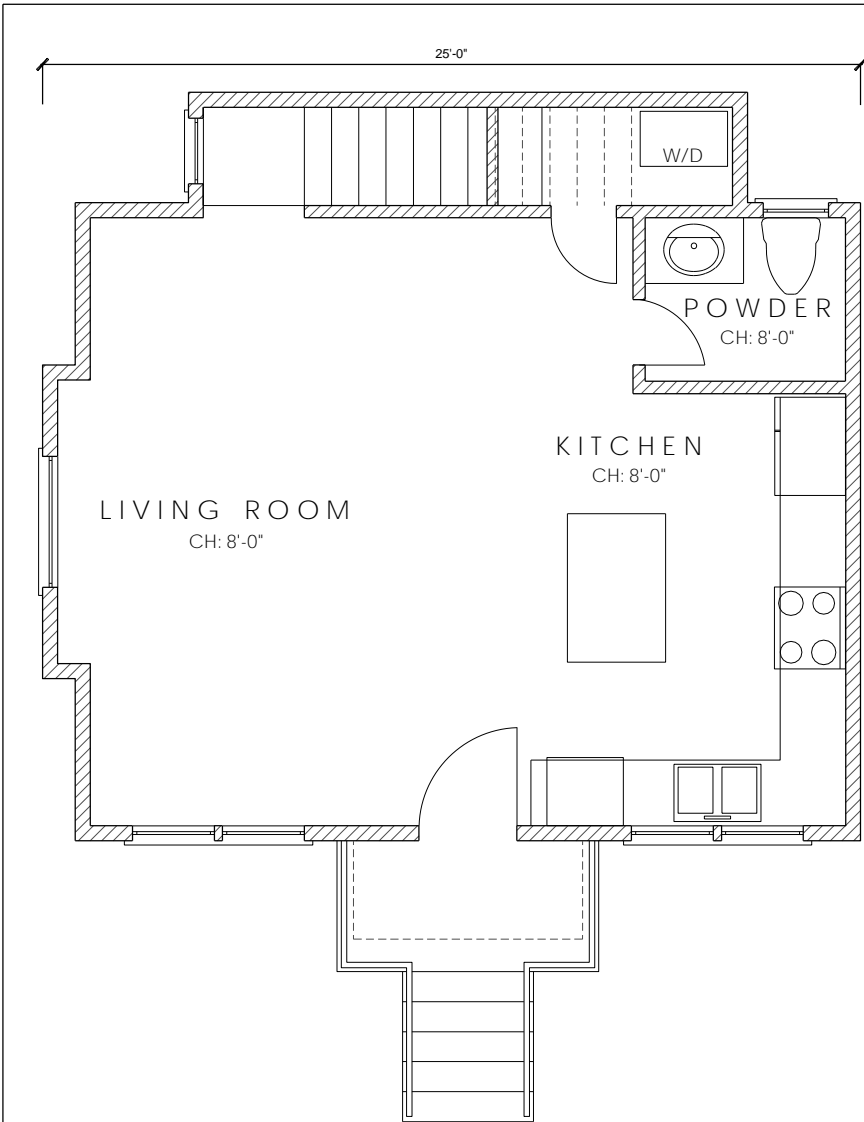
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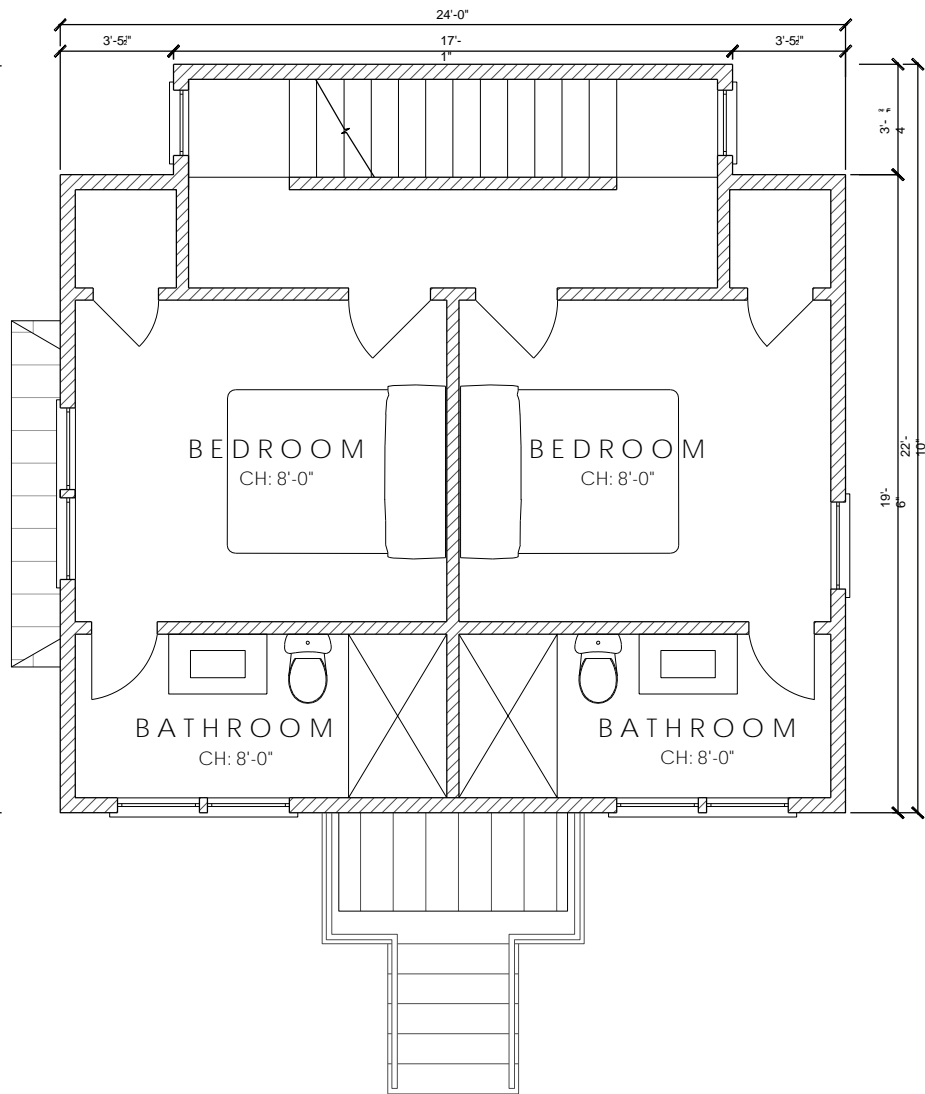
NORTH

**1** PROPOSED SITE PLAN  
SCALE: 1/8"=1'-0" @ 22"x34" OR 1/16"=1'-0" @ 11"x17"

S E A L
P R O J E C T
A NEW DEPENDENCY BUILDING AT <b>147 SPRING STREET</b>
L O C A T I O N
147 SPRING STREET CHARLESTON, SC
T I T L E
P R O P O S E D S I T E P L A N
S H E E T
<b>A-100</b>
D A T E P U R P O S E
10.30.19 BAR CONCEPTUAL



**1 PROPOSED FIRST FLOOR PLAN**  
SCALE: 1/2"=1'-0" @ 22"x34" OR 1/4"=1'-0" @ 11"x17"



**2 PROPOSED SECOND FLOOR PLAN**  
SCALE: 1/2"=1'-0" @ 22"x34" OR 1/4"=1'-0" @ 11"x17"

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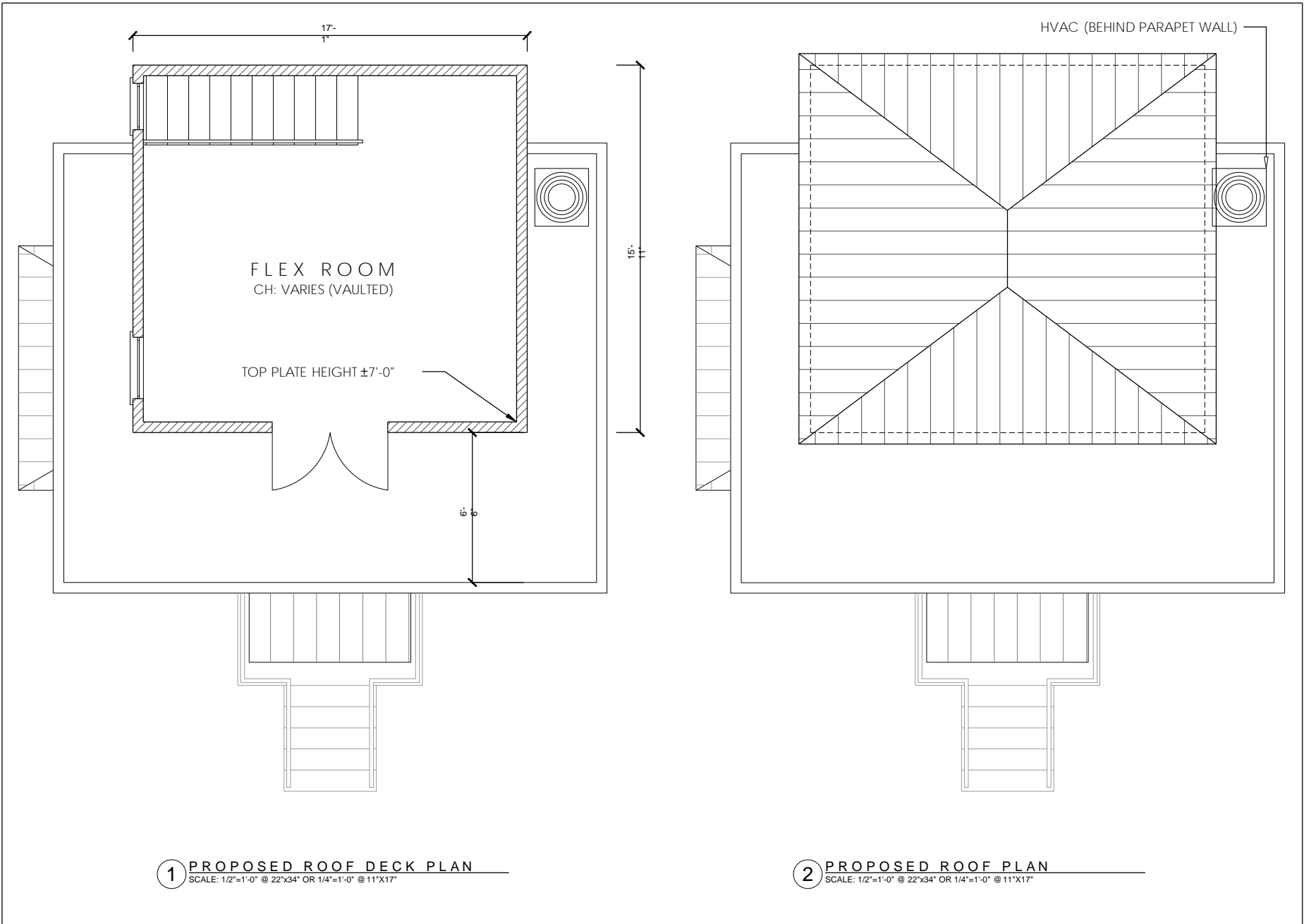
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1 PROPOSED ROOF DECK PLAN  
 SCALE: 1/2"=1'-0" @ 22"x34" OR 1/4"=1'-0" @ 11"x17"

2 PROPOSED ROOF PLAN  
 SCALE: 1/2"=1'-0" @ 22"x34" OR 1/4"=1'-0" @ 11"x17"

**BYERS**  
 collaborative  
 sanford@byerscol.com

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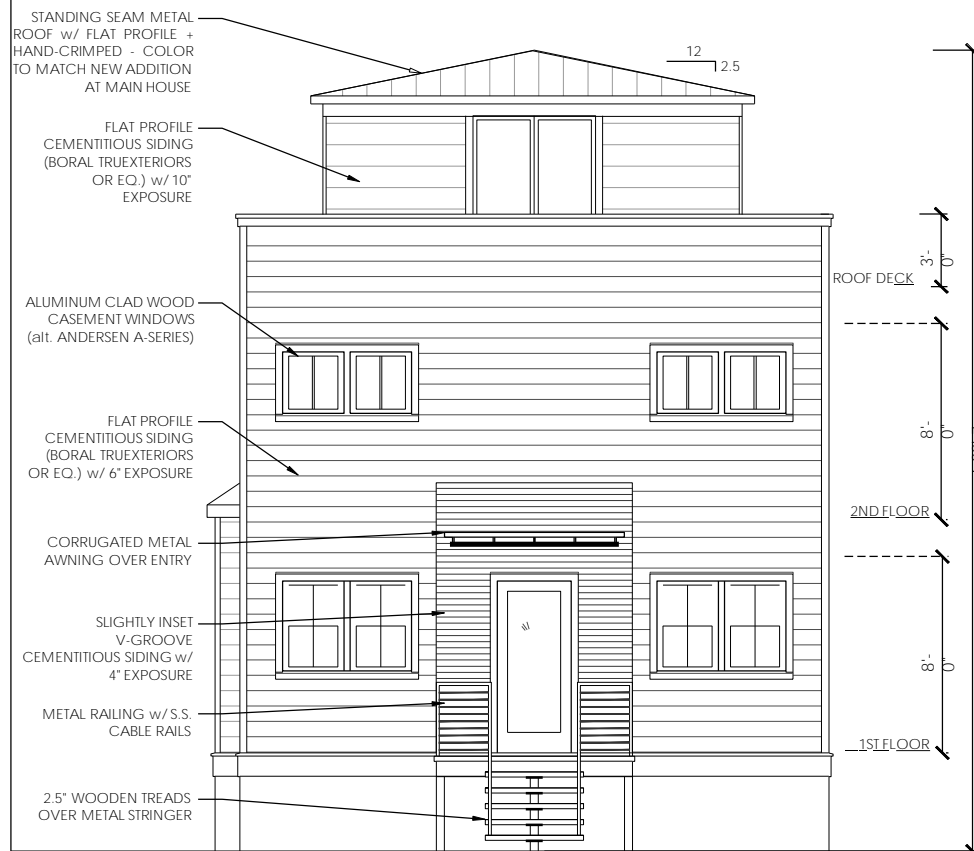
A NEW DEPENDENCY BUILDING AT  
**147 SPRING STREET**

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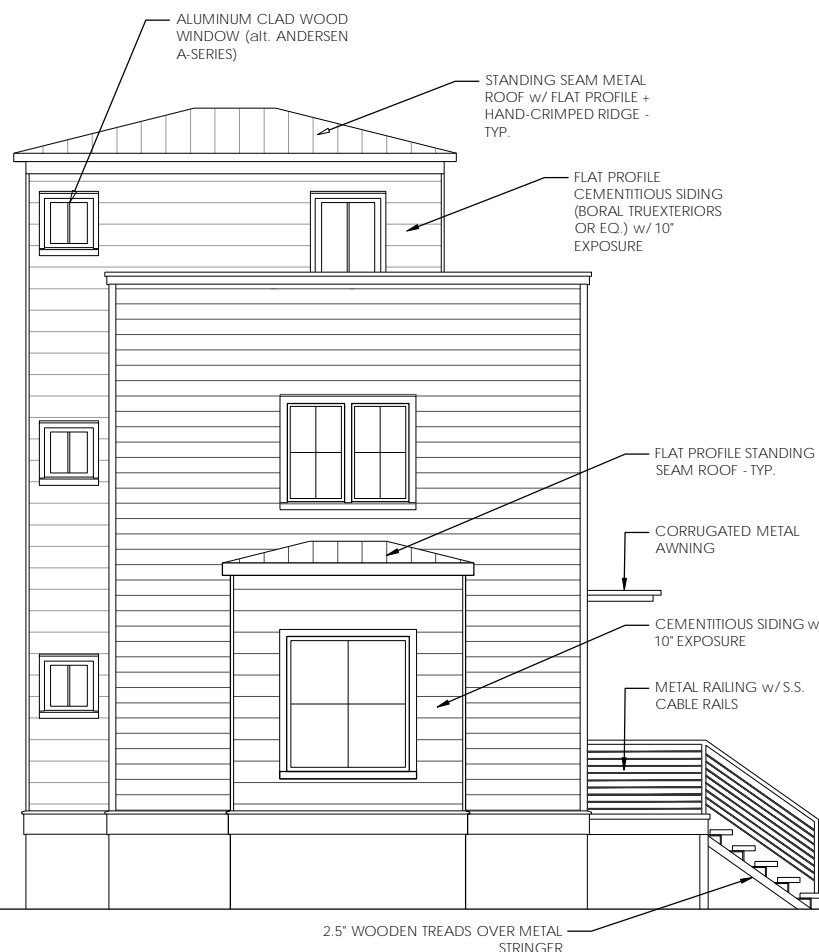
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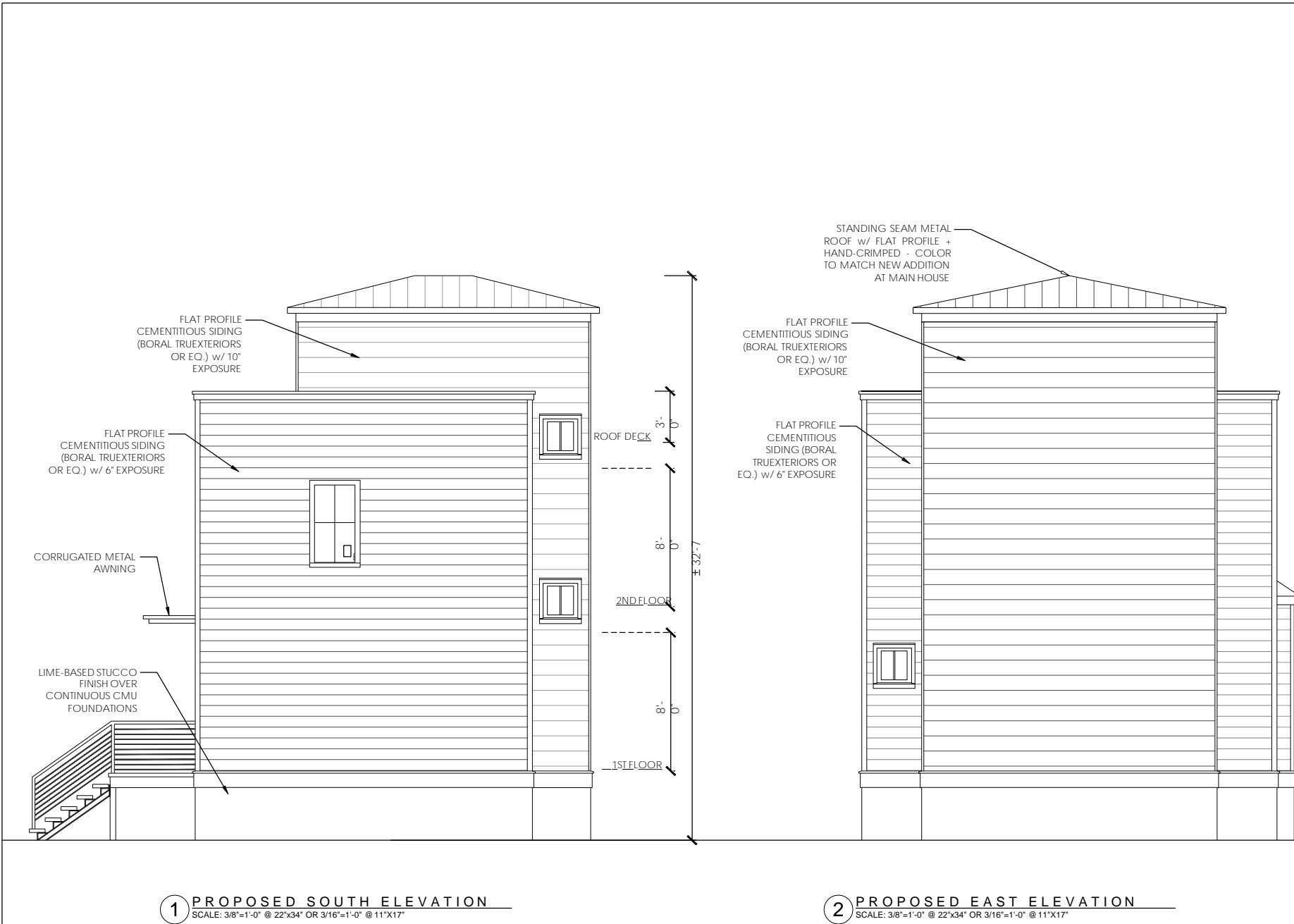


**1** PROPOSED WEST ELEVATION  
SCALE: 3/8"=1'-0" @ 22"x34" OR 3/16"=1'-0" @ 11"x17"



**2** PROPOSED NORTH ELEVATION  
SCALE: 3/8"=1'-0" @ 22"x34" OR 3/16"=1'-0" @ 11"x17"

SEAL
PROJECT
A NEW DEPENDENCY BUILDING AT <b>147 SPRING STREET</b>
LOCATION
147 SPRING STREET CHARLESTON, SC
TITLE
PROPOSED FLOOR PLANS
SHEET
<b>A-201</b>
DATE/PURPOSE
10.30.19 BAR CONCEPTUAL







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A NEW DEPENDENCY BUILDING AT

147 SPRING STREET

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SECTION**

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1 PROPOSED SITE SECTION  
SCALE: 1/8"=1'-0" @ 22"x34" OR 1/16"=1'-0" @ 17"x17"

A NEW DEPENDENCY BUILDING AT  
**147 SPRING STREET**

LOCATION  
147 SPRING STREET  
CHARLESTON, SC

SITE SECTION

A-301

DATE: 02.20.17  
BY: CONCEPTUAL

