



City of Charleston

Board of Architectural Review-SMALL

October 10, 2019

DEPARTMENT OF PLANNING, PRESERVATION & SUSTAINABILITY

Agenda Item 1:

Approval of minutes from the April 11, 2019 meeting.

## Agenda Item 2:

Approval of minutes from the August 15, 2019 meeting.



Agenda Item 3:

15 **Bedon's Alley** - - TMS # 458-09-03-087

Request approval to demolish existing non-historic building.

Not Rated / (Charlestowne) / c. 1976 / Old and Historic District





















Agenda Item 4:

85 Simons Street - - TMS # 463-15-02-024

Request after-the-fact approval for demolition of  
character defining features.

Not Rated / (North Central) / c. 1931

North of Line, S. of Mt. Pleasant

























85 Simons St  
Charleston, SC 29483

BAR Meeting Oct 10, 2019

# The Renovation

- 85 Simons was a single family residence was a 1,300 sq ft, 3 bedroom/1 bath cottage style house (today it is a 3 bedroom/2 bath and 1,300 sq ft).
- Prior to purchasing, we were informed it had extensive termite damage. Our plan was to re-use everything we could (if safe and could be brought to current codes) and strengthen anything that was salvageable.
- The renovation plan was to make everything clean, efficient and functional. Anything needing to be replaced was replaced with new equipment or parts and brought to code. The plumber, HVAC and electrician all pulled their own permits and replaced or repaired equipment, as needed.
- According to the current Historical map, 85 Simons does not fall in a Historical area (so we thought). We met with an experienced Engineer who also said we were not in a Historical area and we would not need to seek approval from the BAR. Going off that information, we did not need seek prior approval form the BAR. It was also mentioned during demo permitting and we were told that we were not in a Historical area.
- We now know, was not accurate. We did not see (and we were not aware of) the flow chart that accompanies the map until talking to Mr. Howle on 9/27/19. Had we seen that chart, we absolutely would have sought approval from the BAR prior to demo.



Google maps – June 2016

# Termite damage and wood rot

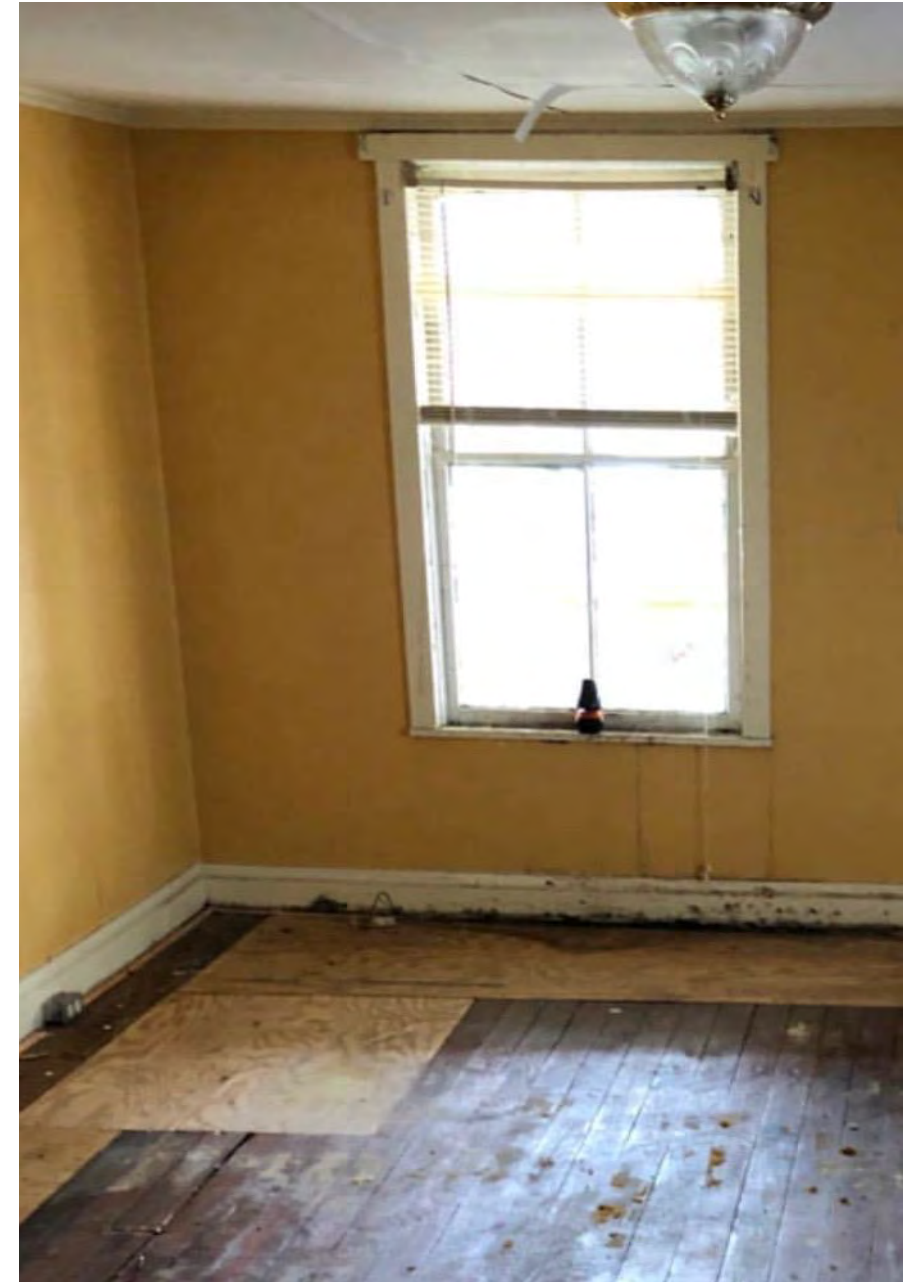
- During demo, extensive termite damage and wood rot was discovered. We believe this is due to lack of routine maintenance and upkeep on the property over the years.
- The property was vacant for an unknown amount of time, prior to our ownership.





← Left photo – The entire house's foundation, interior and exterior walls were severely rotted and barely standing. The floors were also very spongy due to termite damage.

→ Right photo – Wood rot on the windows and trim. Flooring was pieced together with plywood by previous owner. Floor joists were later found to be completely eaten away by termites. This photo also shows the wood rot at the floor boards. The entire front wall needed to be replaced.





<-- Left side of exterior. The walls needed to be braced to prevent from collapsing. Again, termite damage was severe on all exterior walls and lumber used for framing.



→ Right side of exterior. Showing both vinyl siding and the wall needing to be braced to prevent collapse.



- It was our intention to keep the brick columns, however, one crumbled and fell and the others were in the same state of disrepair. We believed it would be unsafe to re-use these brick columns.
- According to historical plats, these were not original to the 1931/1932 built house, nor was the front porch. The 1944 plat does not show a front porch. The 1951 plat is the first record of a front porch. It is unknown what it looked like when first built.

Reference: 1944 Sanborn Fire District plat and 1951 sanborn Sanborn Fire Dist plat.



Two houses with similar Craftsman style open porches on Poplar St, one street west of Simons street.







- The front façade has been updated but the historical charm of this cottage style house still remains. Anything that could (safely) be preserved was kept in place and strengthened.
- The brick across the bottom of the porch and the concrete porch flooring itself, still remains from the old house.
- The footprint of the house also remains the same.



- The roof was repaired or replaced as needed to remove all termite and wood rot damage and ensure the safety of the roof and the structure for years to come.
- The old shingles were replaced with 30 year architectural shingles.
- The porch roof was separated at the joints from the house and was in danger of collapsing.





Agenda Item 5:

54 ½ Hasell Street - - TMS # 458-05-01-049

Request final approval for the reconstruction of masonry walls.

Category 1 / (Ansonborough) / c.1854

Old and Historic District

Withdrawn for Staff Review.



Agenda Item 6:

53 Meeting Street - - TMS # 457-16-02-007

Request conceptual removal of existing hardscape and replacement with expanded walkways.

Category 1 / (Charlestowne) / c. 1814 / Old and Historic District

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# FIRST (SCOTS) PRESBYTERIAN EXTERIOR LANDSCAPE RENOVATIONS

53 MEETING STREET  
CHARLESTON, SC 29401

## CLIENT

FIRST (SCOTS) PRESBYTERIAN CHURCH  
53 MEETING STREET  
CHARLESTON, SC 29401

## SHEET INDEX:

- L01 COVER
- L02 EXISTING CONDITIONS
- L03 DEMOLITION PLAN
- L04 SITE PLAN
- L05 RENDERINGS



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Evan Brandon, P.L.A. ASLA  
1000 E. Montague Ave Suite 315  
N, Charleston SC, 29405  
843.718.5554



**FIRST (SCOTS) PRESBYTERIAN  
EXTERIOR LANDSCAPE  
RENOVATIONS**  
53 MEETING ST. CHARLESTON, SC 29401



VICINITY MAP - NOT TO SCALE



PROJECT MAP - NOT TO SCALE

| REVISIONS       | DATES    |
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| BAR SUBMITTAL 1 | 09.18.19 |
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| REVISED BY | MCL |
| CHECKED BY | EWB |

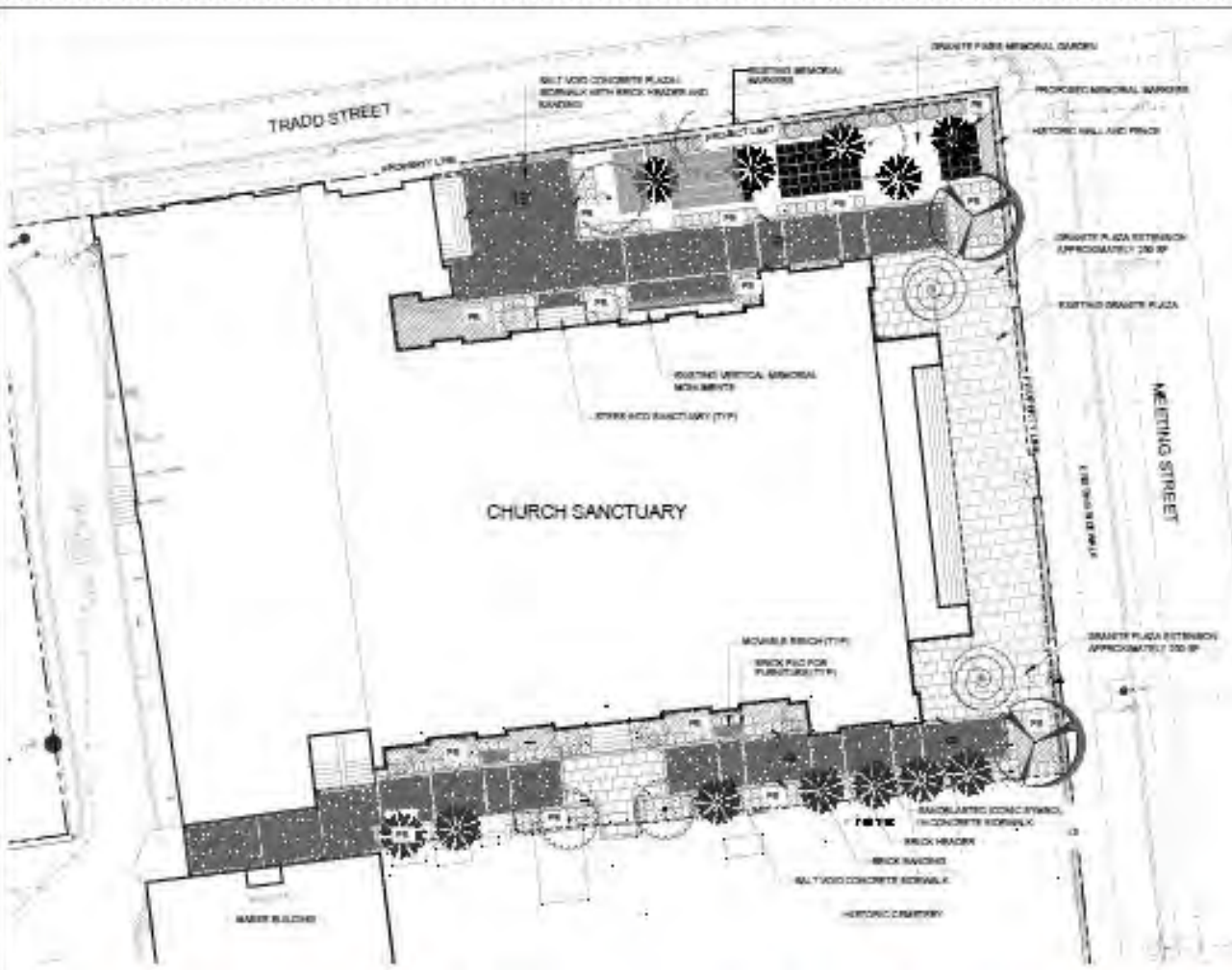
**L00**  
COVER  
SHEET 1 OF 5







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- EXISTING LEGEND:**
- FENCE LINE
  - EXISTING GRADE
  - CONCRETE CURB AND GUTTER
  - CONCRETE PAVEMENT (DRAINAGE STRUCTURE AND CONDUIT SANITARY)
  - SEWER MAIN AND SANITARY
  - WATER MAIN AND WATER VALVE
  - UNDERGROUND ELECTRICAL
  - UNDERGROUND CABLE / TELEPHONE
  - UNDERGROUND GAS LINE
  - SECURITY LINE
  - PROPERTY LIMITS
- (C) EXISTING CANYON TREE  
 (C) APPROXIMATE LOCATION / SIZE OF CANYON  
 (P) PLANT SPEC

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 843.782.0044



**FIRST (SCOTS) PRESBYTERIAN  
 EXTERIOR LANDSCAPE  
 RENOVATIONS**  
 63 MEETING ST., CHARLESTON, SC 29401

| REVISION      | DATE     |
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| MAN SUBMITTED | 05/14/17 |
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| CHECKED BY  | EMR |

**L03**  
 SITE PLAN



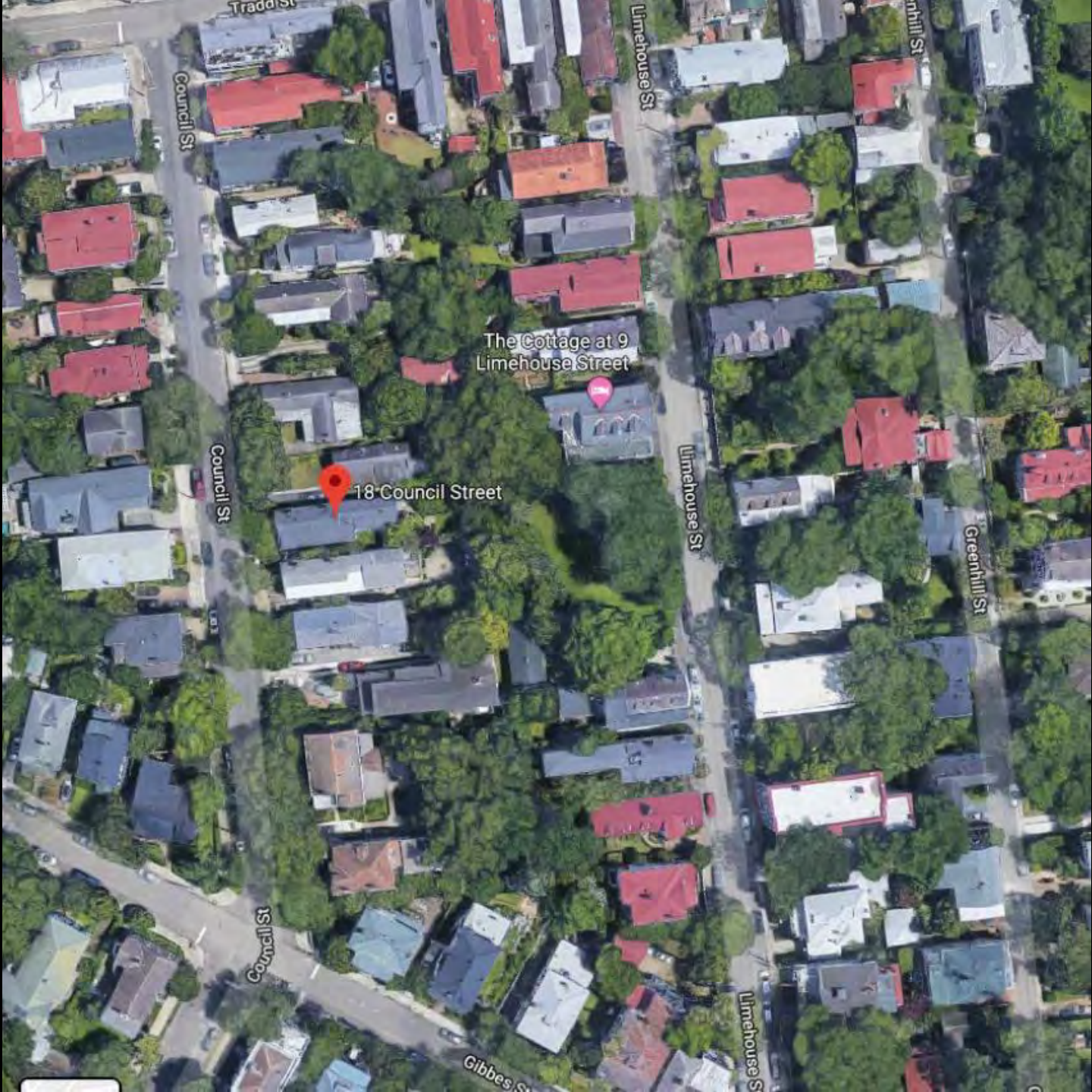


Agenda Item 7:

18 Council Street - - TMS # 457-11-04-019

Request conceptual approval to elevate building above FEMA requirements, demolish shed, and construct deck at rear.

Not Rated / (Charlestowne) / c. pre-1886 / Old and Historic District



Council St

Limehouse St

Greenhill St

The Cottage at 9  
Limehouse Street

18 Council Street

Council St

Limehouse St

Greenhill St

Council St

Gibbes St

Limehouse St











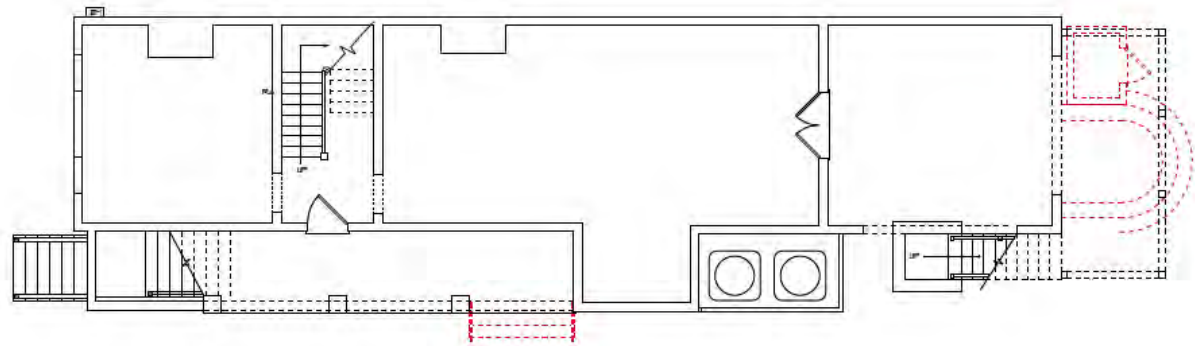












① GROUND FLOOR PLAN - PROPOSED  
 A100 SCALE 1/4" = 1'-0"



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*Burton Residence*  
 18 Council Street  
 Charleston, South Carolina  
 GROUND FLOOR PLAN

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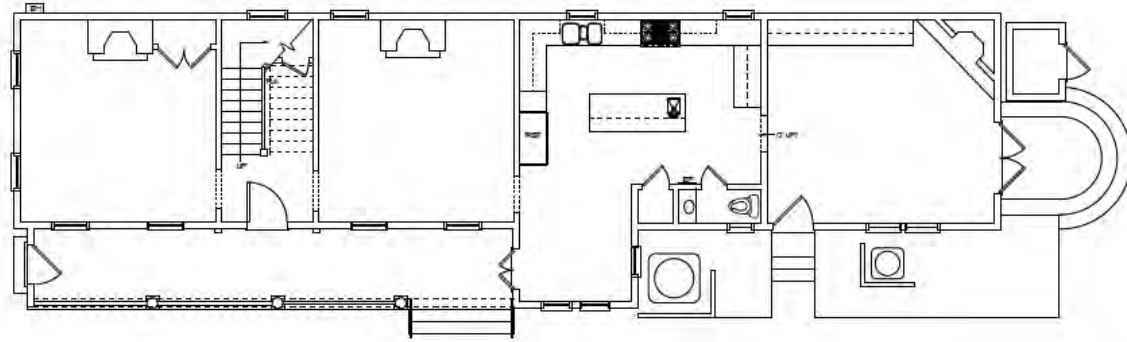
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DATE: September 25, 2019

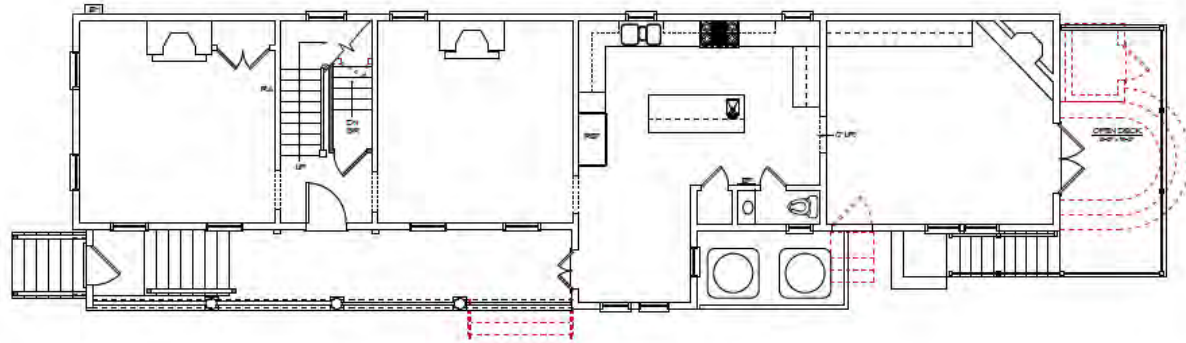
GROUND FLOOR PLAN

A100





1 FIRST FLOOR PLAN - AS-BUILT  
 A101 SCALE 1/4" = 1'-0"



2 FIRST FLOOR PLAN - PROPOSED  
 A101 SCALE 1/4" = 1'-0"



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*Burton Residence*  
 18 Council Street  
 Charleston, South Carolina  
 FIRST FLOOR PLANS

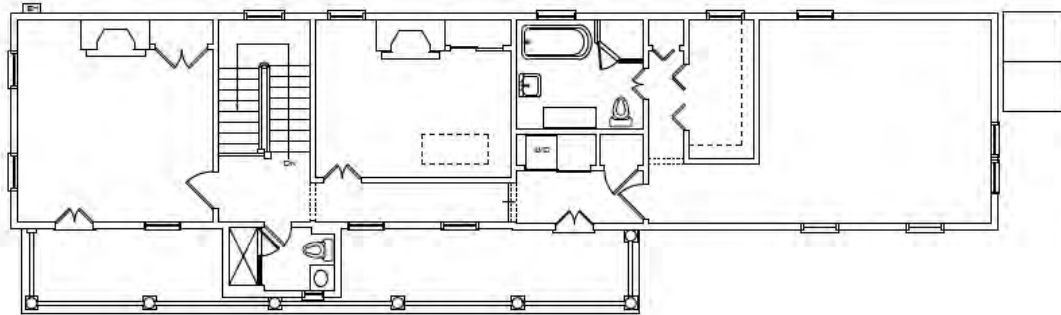
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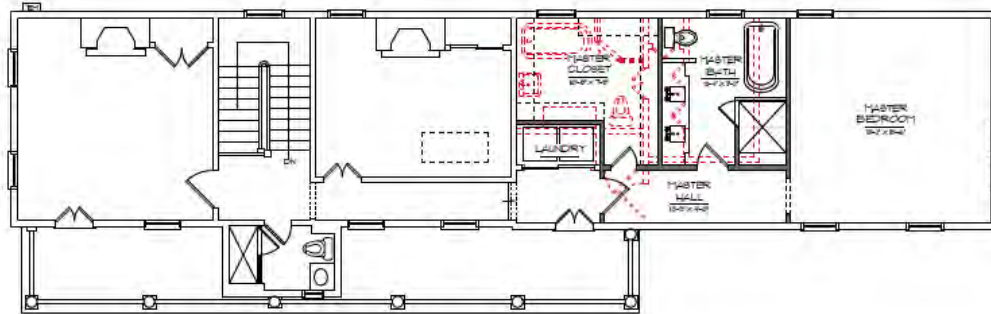
DATE: September 25, 2010

FIRST FLOOR PLANS

A101



1 SECOND FLOOR PLAN - AS-BUILT  
 A102 SCALE 1/4" = 1'-0"



2 SECOND FLOOR PLAN - PROPOSED  
 A102 SCALE 1/4" = 1'-0"



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*Burton Residence*  
 18 Council Street  
 Charleston, South Carolina  
 SECOND FLOOR PLANS

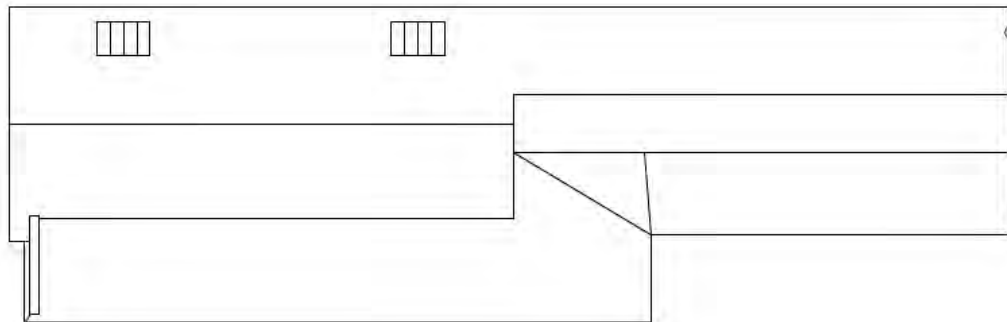
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SCALE: 1/4" = 1'-0"

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SECOND FLOOR PLANS

A102



1 ROOF PLAN - AS-BUILT  
 A103 SCALE 1/4" = 1'-0"



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**ROOF PLANS**

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SCALE: 1/4" = 1'-0"

DATE: September 25, 2019

ROOF PLANS

A103

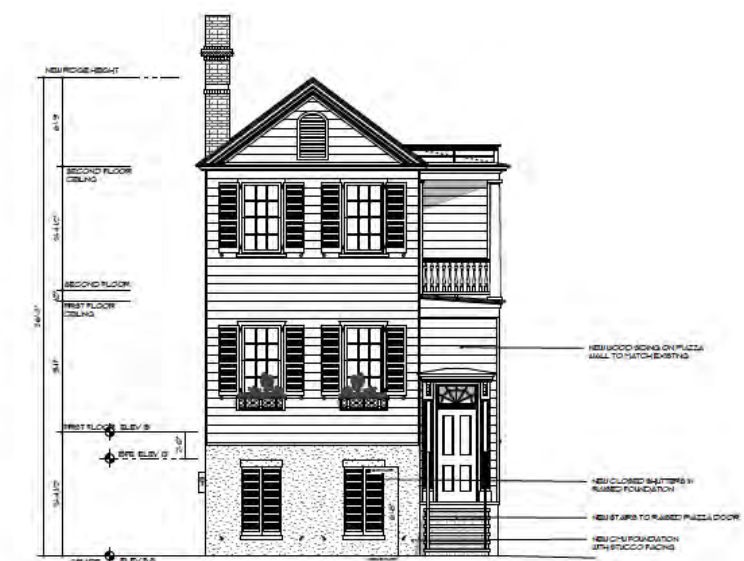


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| 01/15/10       | SCHEMATIC |
| 02/24/10       | REVISION  |
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1 WEST ELEVATION - AS-BUILT  
SCALE 1/4" = 1'-0"



2 WEST ELEVATION - PROPOSED  
SCALE 1/4" = 1'-0"

*Burton Residence*  
18 Council Street  
Charleston, South Carolina  
EXTERIOR ELEVATIONS

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SCALE: 1/4" = 1'-0"

DATE: September 25, 2010

EXTERIOR ELEVATIONS

A201



1 SOUTH ELEVATION - AS-BUILT  
A202 SCALE 1/4" = 1'-0"



1 SOUTH ELEVATION - PROPOSED  
A202 SCALE 1/4" = 1'-0"



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*Burton Residence*  
18 Council Street  
Charleston, South Carolina  
EXTERIOR ELEVATIONS

SCALE 1/4" = 1'-0"  
DATE: September 25, 2010

EXTERIOR ELEVATIONS

A202



1 EAST ELEVATION - AS-BUILT  
A203 SCALE 1/4" = 1'-0"



1 EAST ELEVATION - PROPOSED  
A203 SCALE 1/4" = 1'-0"



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EXTERIOR ELEVATIONS

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SCALE: 1/4" = 1'-0"

DATE: September 25, 2010

EXTERIOR  
ELEVATIONS

A203



1 NORTH ELEVATION - AS-BUILT  
A204 SCALE 1/4" = 1'-0"



1 NORTH ELEVATION - PROPOSED  
A204 SCALE 1/4" = 1'-0"



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EXTERIOR ELEVATIONS

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SCALE: 1/4" = 1'-0"

DATE: September 25, 2019

EXTERIOR ELEVATIONS

A204



1 STREET ELEVATION- AS-BUILT  
 A205 SCALE: 1/8" = 1'-0"



2 STREET ELEVATION- PROPOSED  
 A205 SCALE: 1/8" = 1'-0"



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 18 Council Street  
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 STREET ELEVATIONS

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SCALE: 1/8" = 1'-0"

DATE: September 25, 2019

ELEVATIONS

A205





Agenda Item 8:

18 Savage Street - - TMS # 457-12-03-142 / 173

Request conceptual approval for the elevation of single-family residence including the reconstruction of piazza and elevator.

Category 4 / (Charlestowne) / c. 1879 / Old and Historic District

# PROJECT INFORMATION

# 18 SAVAGE STREET

"LIFTING" OF EXISTING STRUCTURE  
CHARLESTON, SC

**ARCHITECT:**

BECKY FENNO, AIA, LEED AP  
AARON GREEN  
FENNO ARCHITECTURE LLC  
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MT. PLEASANT SC, 29464  
(EMAIL) BFENNO@FENNOARCH.COM  
(EMAIL) AARON@FENNOARCH.COM  
(PHONE) 843.442.8552

**OWNERS:**

18 SAVAGE ST. HORIZONTAL PROPERTY REGIME

UNIT A: JENNIFER & CHRIS METTS  
JMETTS@SLICKER.COM  
CHRISLMETTS@GMAIL.COM

UNIT B: MARY SPRINGER & STEPHEN STOTT  
MARY.SPRINGER@YAHOO.COM  
SA.STOT@YAHOO.COM

**SITE INFORMATION**

TMS NO. 457-12-03-142 UNIT A / FIRST FLOOR  
457-12-03-173 UNIT B / SECOND FLOOR

NEIGHBORHOOD: CHARLESTOWNE

WITHIN THE FOLLOWING OVERLAY ZONES:  
OLD CITY HEIGHT DISTRICTS  
OLD AND HISTORIC DISTRICT  
AMUSEMENT & RECREATION OVERLAY

FLOOD ZONE: AE - 13

LOT SIZE: 5,012 SF  
ZONING DR-1F

SETBACKS:  
TOTAL FRONT/REAR: 3' MIN.  
FRONT: 25'  
BACK: 25'  
TOTAL SIDE: 15' MIN.  
SOUTH: 9' MIN  
NORTH: 3' MIN  
MAX. LOT COVERAGE: 50%

MAX HEIGHT: 50/3 STOR.  
OLD CITY HEIGHT DISTRICT 3

ZONING APPROVAL OBTAINED : JULY 2019

| SHEET INDEX  |                             |
|--------------|-----------------------------|
| SHEET NUMBER | SHEET NAME                  |
| A000         | PROJECT INFO & VICINITY MAP |
| A001         | SITE PHOTOS                 |
| A002         | FLOODING PHOTOS             |
| A003         | SAVAGE STREET PIAZZAS       |
| A004         | PIAZZA ENTRY STUDIES        |
| A005         | MAPS & PLATS                |
| A006         | SURVEY                      |
| A100         | SITE PLANS                  |
| A101         | FIRST FLOOR                 |
| A102         | SECOND FLOOR                |
| A200         | STREETSCAPE                 |
| A201         | WEST & EAST ELEVATIONS      |
| A202         | NORTH ELEVATIONS            |
| A203         | SOUTH ELEVATIONS            |
| A204         | PERSPECTIVES                |



AERIAL PHOTOGRAPH SHOWING PROPERTY LOCATION

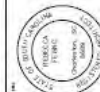


FENNO ARCHITECTURE

1459 Stuart Engals Blvd, Suite 202  
Mt. Pleasant, SC 29464

18 SAVAGE STREET  
CHARLESTON, SC

BAR  
CONCEPTUAL  
08/24/19



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PROJECT  
INFO &  
VICINITY  
MAP

A000

SITE PHOTOS



SAVAGE STREET LOOKING TOWARD RUTLEDGE AND TRADD STREETS; NUMBER 18 IS ON THE LEFT IN THE FOREGROUND



SAVAGE STREET LOOKING TOWARD BROAD STREET



WEST ELEVATION FACING SAVAGE STREET



SOUTHWEST CORNER SHOWING PIAZZA SCREEN



NORTH ELEVATION



EAST ELEVATION



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18 SAVAGE STREET  
CHARLESTON, SC

BAR  
CONCEPTUAL  
08/24/19



SITE  
PHOTOS

A001

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PHOTOS OF FLOODING



DRIVEWAY BETWEEN 18 (ON THE RIGHT) & 16 SAVAGE (ON THE LEFT)



PIAZZA OF 18 SAVAGE ST.



INTERIOR SHOWING WATER LEVEL



INTERIOR SHOWING FLOODING



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18 SAVAGE STREET  
CHARLESTON, SC

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08/24/19



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FLOODING  
PHOTOS

A002

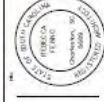
SAVAGE STREET PIAZZAS



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18 SAVAGE STREET  
CHARLESTON, SC

BAR  
CONCEPTUAL  
09/2019

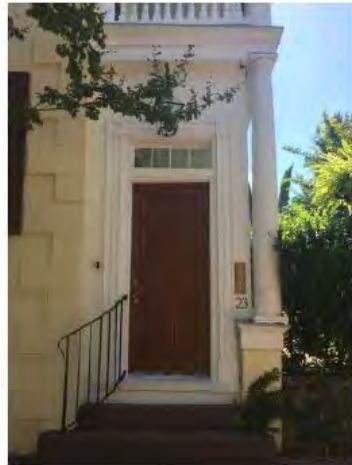


SAVAGE STREET  
PIAZZAS

A003

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STUDY OF PIAZZA SCREENS AND PIAZZAS AT GRADE



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A004

PIAZZA  
ENTRY  
STUDIES



BAR  
CONCEPTUAL  
08/24/19

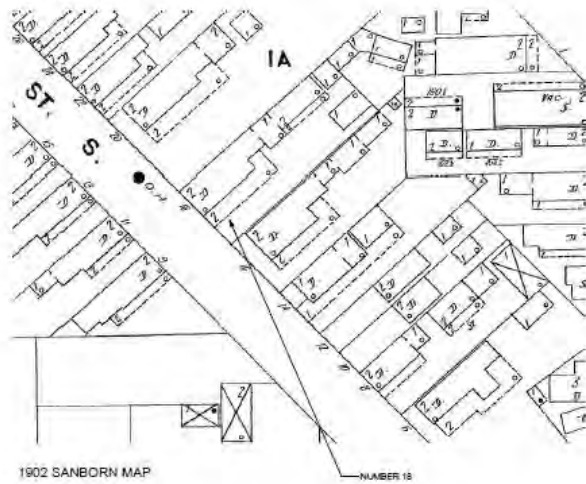
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CHARLESTON, SC

FENNIC ARCHITECTURE

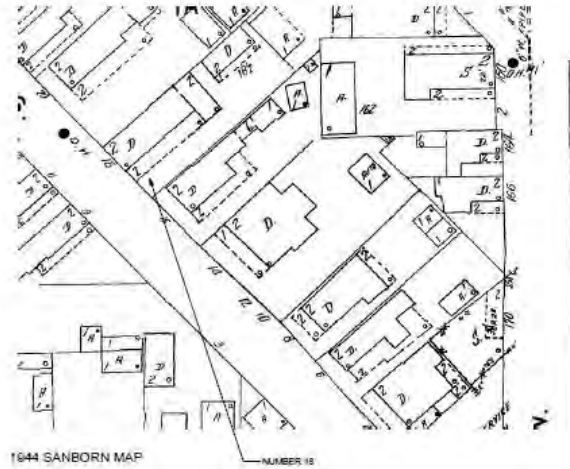
1489 Stuart Engels Blvd, Suite 202  
Mt. Pleasant, SC 29564



MAPS AND PLATS



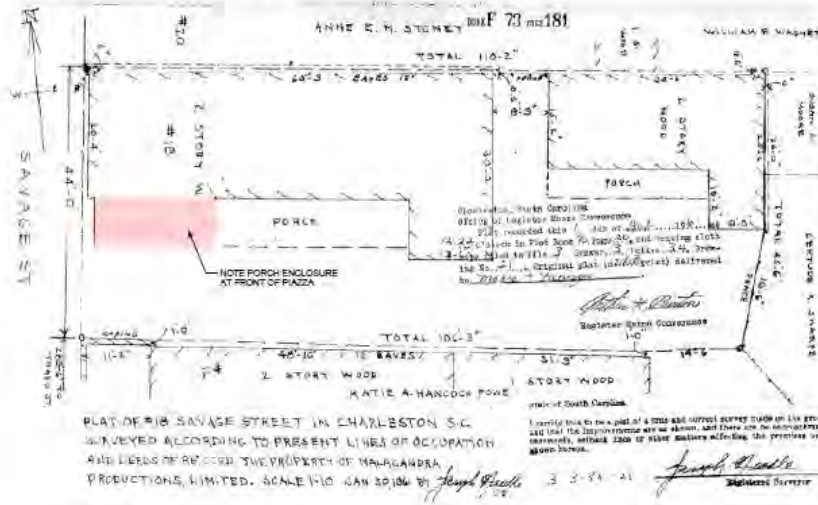
1902 SANBORN MAP



1944 SANBORN MAP



1951 SANBORN MAP



1981 PLAT



**TENNIS ARCHITECTURE**  
 439 Stuart Engle Blvd. Suite 202  
 Mt. Pleasant, SC 29564

**18 SAVAGE STREET  
 CHARLESTON, SC**

**BAR  
 CONCEPTUAL  
 08/24/19**



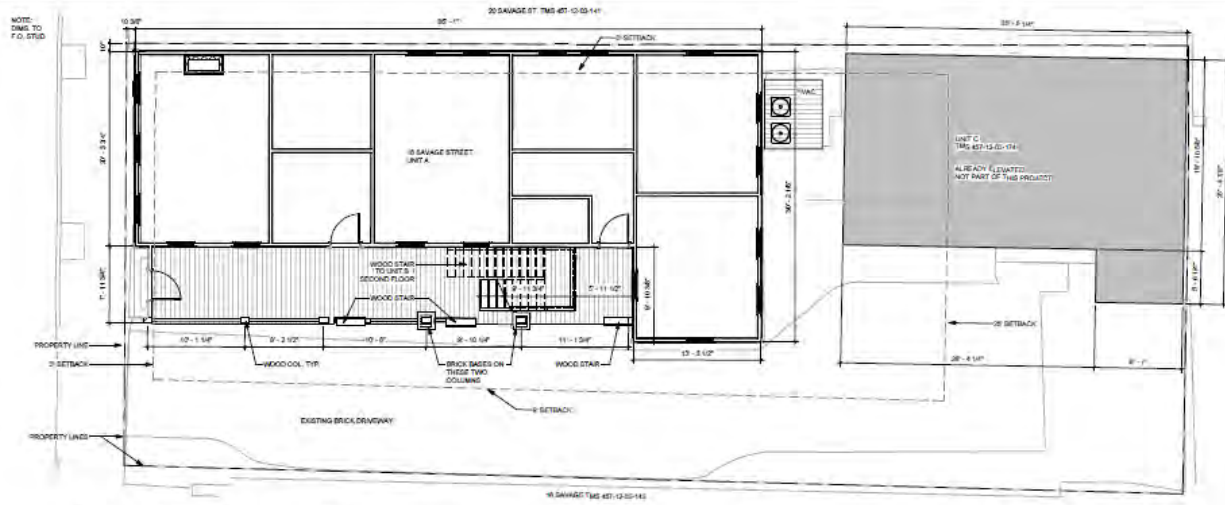
**MAPS &  
 PLATS**

**A005**

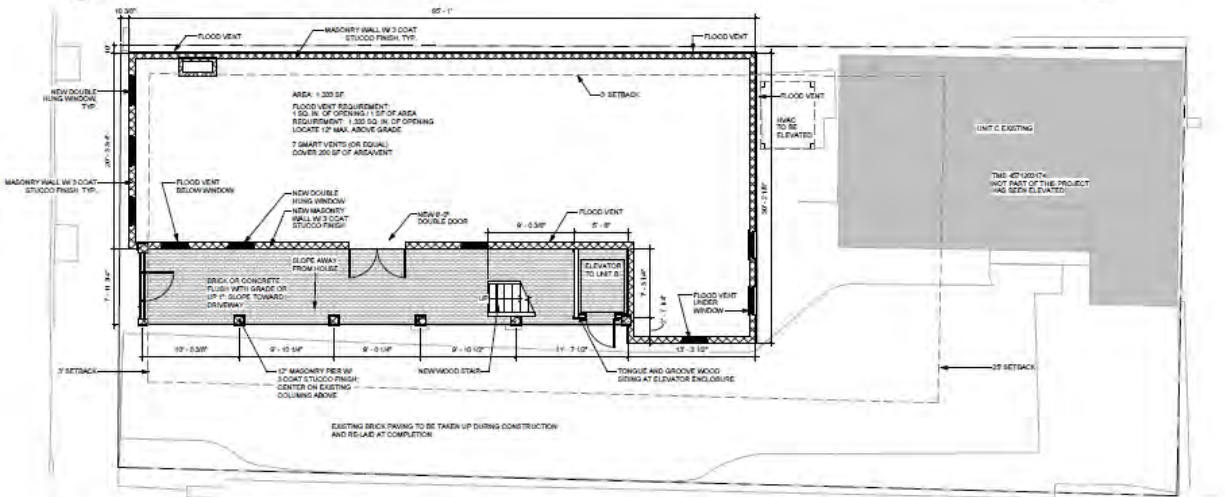
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1 EXISTING SITE PLAN W/ FIRST FLOOR  
3/16" = 1'-0"



2 PROPOSED SITE PLAN W/ GROUND FLOOR  
3/16" = 1'-0"

NOTE: HOUSE TO BE LIFTED VERTICALLY IN EXISTING POSITION. NO CHANGE TO FOOTPRINT.



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Mt. Pleasant, SC 29564

18 SAVAGE STREET  
CHARLESTON, SC

BAR  
CONCEPTUAL  
09/24/19

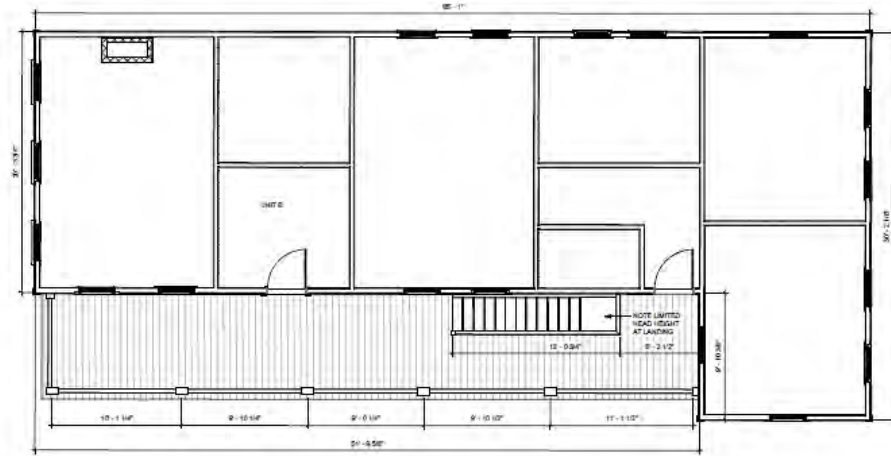


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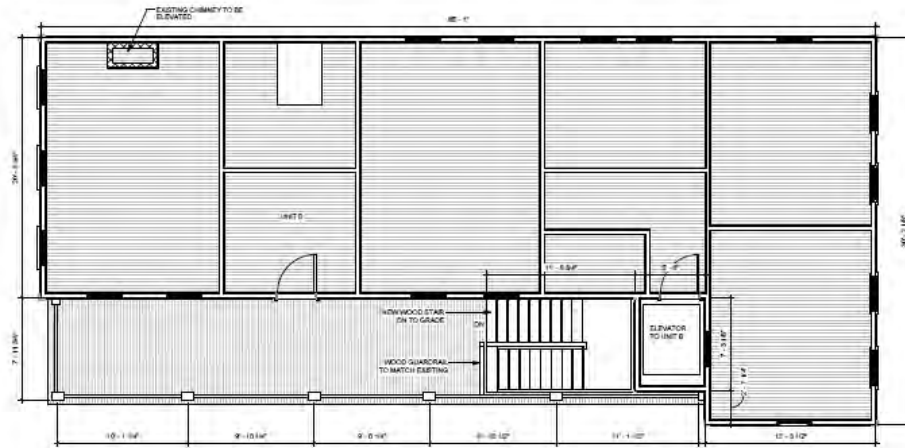
SITE  
PLANS

A100



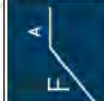


1 SECOND FLOOR EXISTING  
1/4" = 1'-0"



2 SECOND FLOOR PROPOSED  
1/4" = 1'-0"

NOTE: CHANGE TO SECOND FLOOR AT PIAZZA ONLY



TENNIS ARCHITECTURE

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18 SAVAGE STREET  
CHARLESTON, SC

BAP  
CONCEPTUAL  
09/24/19



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SECOND FLOOR

A102



1 EXISTING STREETScape  
3/16" = 1'-0"



2 PROPOSED STREETScape  
3/16" = 1'-0"



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Mt. Pleasant, SC 29564

18 SAVAGE STREET  
CHARLESTON, SC

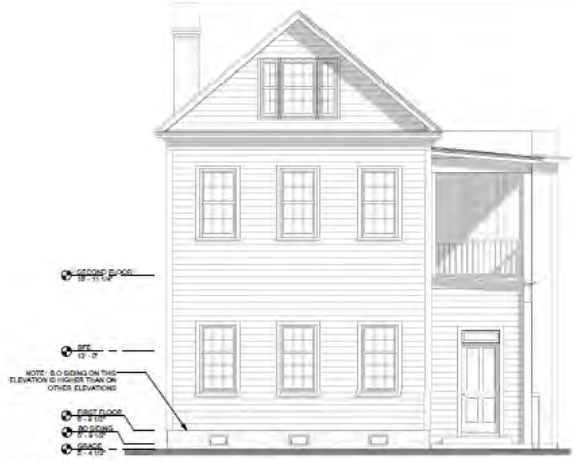
BAR  
CONCEPTUAL  
09/24/19



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STREETScape

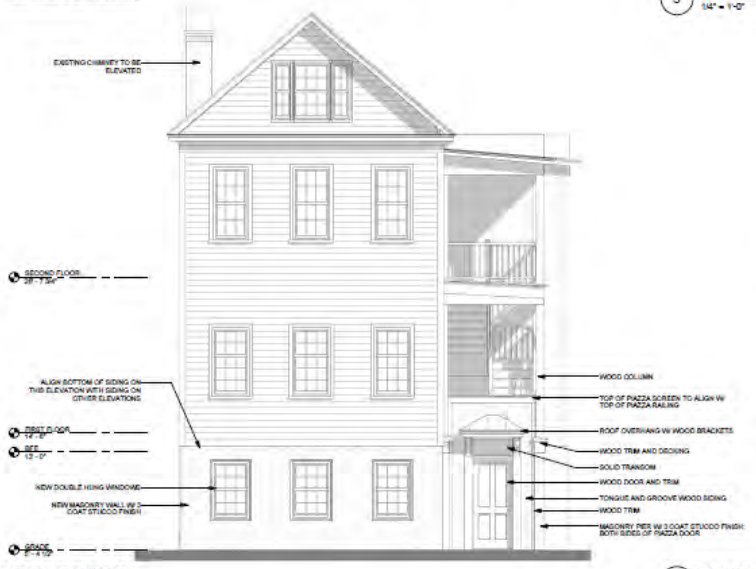
A200



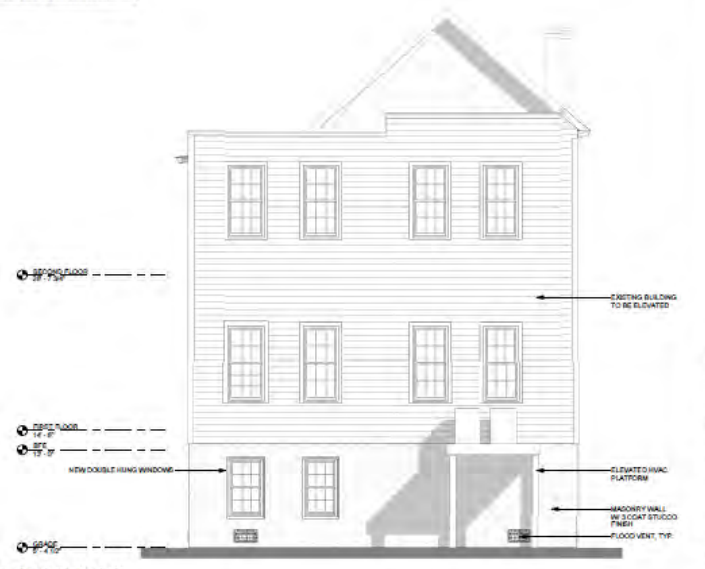
1 EXISTING WEST ELEVATION  
1/4" = 1'-0"



3 EXISTING EAST ELEVATION  
1/4" = 1'-0"



2 PROPOSED WEST ELEVATION  
1/4" = 1'-0"



4 PROPOSED EAST ELEVATION  
1/4" = 1'-0"



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1439 Stuart Engels Blvd, Suite 202  
Mt. Pleasant, SC 29564

18 SAVAGE STREET  
CHARLESTON, SC

BAR  
CONCEPTUAL  
09/24/19



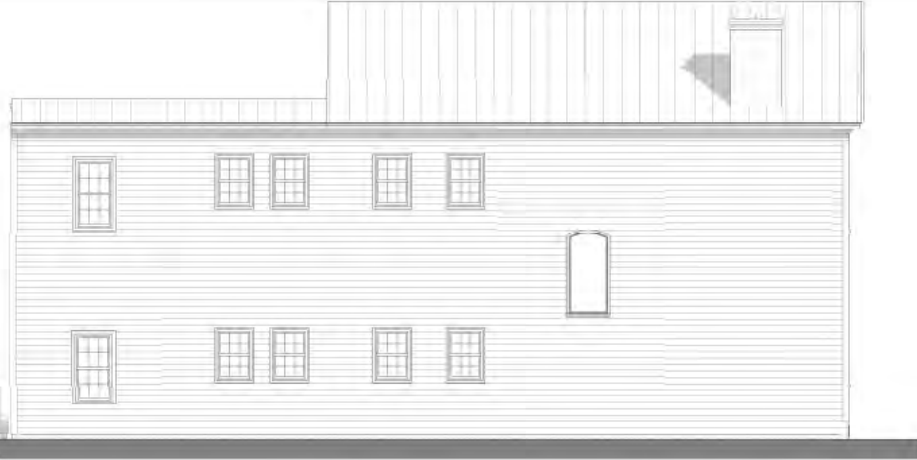
WEST & EAST  
ELEVATIONS

A201

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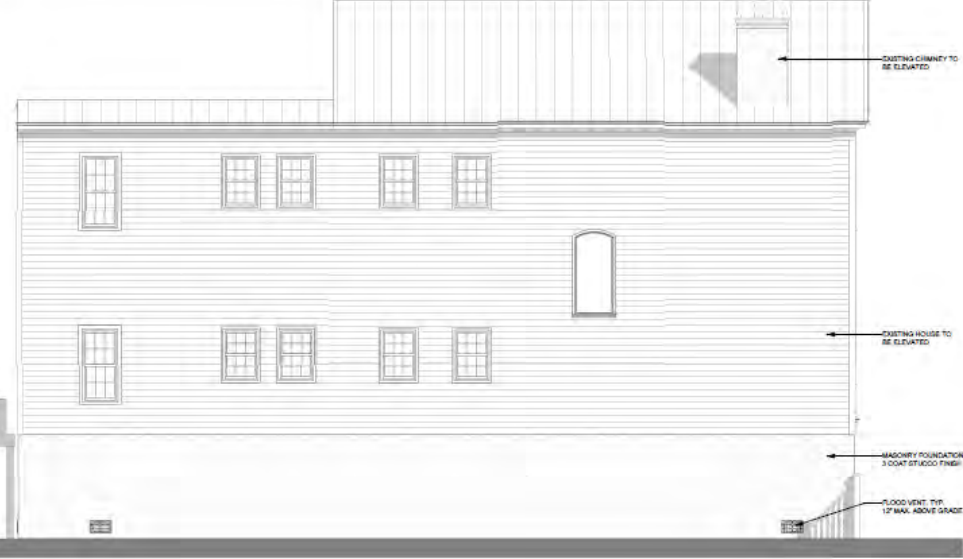
1 EXISTING NORTH ELEVATION  
1/4" = 1'-0"

① SECOND FLOOR  
12'-11 1/2"  
 ② 1ST FLOOR  
12'-0"  
 ③ FIRST FLOOR  
12'-0"  
 ④ GRADE  
0'-0"



2 PROPOSED NORTH ELEVATION  
1/4" = 1'-0"

① SECOND FLOOR  
12'-11 1/2"  
 ② FIRST FLOOR  
12'-0"  
 ③ 1ST GRADE  
12'-0"  
 ④ 2ND GRADE  
15'-0"  
 ⑤ GRADE  
0'-0"



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BAR  
CONCEPTUAL  
08/24/19

18 SAVAGE STREET  
CHARLESTON, SC

FENNO ARCHITECTURE

1439 Stuart Engels Blvd, Suite 202  
Mt. Pleasant, SC 29564

A202

NORTH  
ELEVATIONS





1 EXISTING SOUTH ELEVATION  
1/4" = 1'-0"



2 PROPOSED SOUTH ELEVATION  
1/4" = 1'-0"



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1439 Stuart Engels Blvd, Suite 202  
Mt. Pleasant, SC 29564

18 SAVAGE STREET  
CHARLESTON, SC

BAR  
CONCEPTUAL  
09/24/19

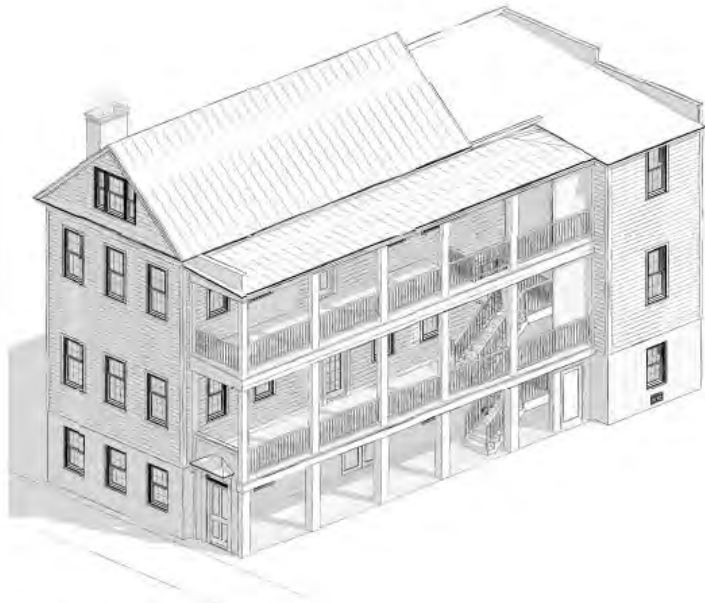


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SOUTH  
ELEVATIONS

A203





3 AERIAL VIEW OF PROPOSED



1 PERSPECTIVE OF EXISTING



2 PERSPECTIVE OF PROPOSED



FENNO ARCHITECTURE

1459 Shuart Engels Blvd, Suite 202  
Mt. Pleasant, SC 29564

18 SAVAGE STREET  
CHARLESTON, SC

BAR  
CONCEPTUAL  
09/30/19



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PERSPECTIVES

A204



Agenda Item 9:

367 King Street - - TMS # 457-04-02-028

Request final approval for neon window sign.

Category 4 / (King Street) / c. 1840 / Old and Historic District

City of Charleston  
Board of Architectural Review

August 29, 2019

**Ref: Request for neon sign at Subway located at 367 King Street, Charleston SC**

Dear Board members,  
I hope you all are doing well. I am writing this email in reference to the warning that was received on July 31, 2019 for Neon sign at 367 King Street, Charleston, SC 29401 to remove neon sign. I do understand that all the business owner must adhere to the city policies and ordinances and I do respect and follow them. However, I also feel that I should express my concerns regarding this decision. Please see following narrative for my concern.

As soon as I received this letter, neon sign was removed. However, it has negatively impacted our business. Sales were dropped significantly. It is true that to run a food business profitably is a very difficult task these days because of too many choices and competitions. Due to a competitive environment, it is hard to survive. As a result of tuff competition, this business lost significantly in 2018 (Over 40K Losses). This year we are struggling again and trying to keep things moving. However, if the "Open Sign" is removed it will further negatively impact the business and it will reduces revenues collection further. The door sign is not very big but it is only 2ft long and 1ft wide (see attached photos). If there is a need I can bring even smaller sign for this location.

In response to warning letter, I personally visited twice department of planning and preservation at the city of Charleston. I had an opportunity to meet Ms. Linda and Mr. Alex Howle. They have recommended me to submit a request to the Board of architectural Review and apply for the sign permit for a possibility for approval of this sign. I will be submitting a complete application on August 30, 2019.

I am requesting you to consider this application sympathetically as this business is already struggling. If there is a need to modify the size of this sign, I will be glad to follow any instructions provided by BAR. I am hoping for a positive outcome of this effort. Please feel free to ask me if you need any additional information. I truly appreciate your time and efforts in this matter.

With Best Regards,

Shahid Husain  
367 King Street,  
Charleston, SC 29401  
843-259-9900







Agenda Item 10:

725 King Street - - TMS # 460-04-01-102

Request conceptual approval for new construction  
of 2 ½ story mix-use building.

(North Central) / Historic Corridor District





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# NEW 2 1/2 STORY MIXED USE BUILDING


## 725 KING STREET

CHARLESTON, SOUTH CAROLINA 29403

**LOCATION MAP:**  
 CITY OF CHARLESTON  
 CHARLESTON COUNTY,  
 SOUTH CAROLINA

**VICINITY MAP**




**Property Information**  
 Address : 725 King St  
 Parcel Information  
 TMS : 4600-04102 - Address : 725 KING ST

**Zoning Information**  
 Property may be included in additional zoning districts. Please verify with map.  
 Code : GB

**Zoning Layers**  
 Property may be included in additional zoning districts. Please verify with map.  
 Old City Height Districts - Z 2.5  
 The Old City Height District (as comprised of several height district classifications and includes all of peninsula Charleston (ing south of M. Pleasant St and the extension thereof across the entire peninsula, the Magnolia redevelopment area (west of US, south of Hagood Rd and about 400' north of Monahan St), and portions of West Ashley, Absecon area (generally within the area bound by Hwy 17, Ashley Point Drive/US 301 and Absecon Rd), Coastal height district in the Old City Height District have minimum and maximum height requirements and some have additional building setback requirements.

**Amusement & Recreation Overlay**  
 The AR Overlay Zone applies to all areas of peninsula portion of the city as bounded by the Ashley River, the Cooper River and Charleston Harbor.

**Old City District - Upper**

**Map Layers**  
 Additional Property History  
 Charleston City Limits : Yes  
 Subdivisions : North Central  
 Neighborhoods: Westside




**ZONING INFORMATION**  
 T.M.S. #: 4600-04-01-102  
 FLOOD ZONE: X  
 PROPERTY AREA: 3,104.05 SF

**ZONING DISTRICT: GB**

**SETBACKS:**  
 SETBACKS REQUIRED:  
 FRONT: NR  
 REAR: NR  
 SIDE (SOUTH-WEST): NR  
 SIDE (NORTH-EAST): NR  
 OTHER: NA

PROPOSED SETBACKS:  
 FRONT: 0'-11"  
 REAR: 0'  
 SIDE (SOUTH-WEST): 0'-0"  
 SIDE (NORTH-EAST): 0'-0"

**MEETS ZONG REQMENTS**

**LOT OCCUPANCY:**  
 LOT OCCUPANCY REQUIRED BY ZONING: NA  
 PROPOSED LOT OCCUPANCY: 2-FAMILY  
 FOOTPRINT ALLOWED: 3,104.05 SF  
 PROPOSED TOTAL PROPOSED FOOTPRINT: 3,104.05 SF

**MEETS ZONG REQMENTS**

**MIN. LOT AREA PER FEET**  
 REQUIRED: 2,000 SF PER FAMILY  
 2,000 SF X 2 = 4,000 SF REQUIRED

PROPOSED: 2-FAMILY  
 PROPERTY AREA IS 3,105 SF

**APPROVED AFFORDABLE HOUSING SPECIAL EXCEPTION FOR RESIDENTIAL DENSITY**

**HEIGHT RESTRICTIONS:**  
 MAXIMUM HEIGHT REQUIRED BY ZONING: 2.5 STORIES  
 PROPOSED HEIGHT: 2.5 STORIES

**NO EXISTING GRAND TREES ON PROPERTY**

**APPROVED PARKING CALCULATIONS**  
 OFFICE 1 PER 400 (EXCLUDING HALLS, STAIRWELLS, STORAGE/RELEV. SHAFTS, BATHROOMS) OR 60% OF GROSS SF  
 3,914 SQFT \* 60% = 2348 SQFT / 500 = 5.1 PARKING SPACES= 5.1

**AFFORDABLE HOUSING 1 PER 4 UNITS**  
 2 UNITS = 1 PARKING SPACE=1

**TOTAL PARKING REQUIRED= 6.6 OR 7 spaces**

**TOTAL PARKING PROVIDED= 8**

**APPROVED SPECIAL EXCEPTION 54.511**

**SCOPE OF WORK:**  
 NEW 2 1/2 STORY MIXED USE BUILDING

**PROJECT CONTACT INFORMATION**

PROJECT #: 17-111  
 PROJECT ADDRESS: 725 KING STREET CHARLESTON, SC 29403

ARCHITECT: NEIL STEVENSON ARCHITECTS  
 NEIL STEVENSON, REGISTERED ARCHITECT  
 CONTACT PERSON: AMY HAYSTONEY  
 680 KING ST, SUITE B  
 CHARLESTON, SC 29403  
 PH: (843) 853-8800 X 303  
 FX: (843) 853-8806  
 E-MAIL: AMY@NEILSTEVENSONARCHITECTS.COM

**CODE INFORMATION**  
 JURISDICTION: CITY OF CHARLESTON  
 APPLICABLE CODES  
 ALL WORK, MATERIALS, AND INSTALLATION SHALL BE IN STRICT ACCORDANCE WITH ALL ORDINANCES, AND THE LATEST ADOPTED ADDITION OF THE NATIONAL, STATE AND LOCAL BUILDING CODES INCLUDING BUT NOT LIMITED TO THE 2015 INTERNATIONAL BUILDING CODE, THE NEC, NFPA CODES, SAFETY AND HEALTH REQUIREMENTS AND ENERGY CODES.  
**BUILDING CLASSIFICATION**  
 OCCUPANCY TYPE: MIXED OCCUPANCY (OFFICE & RESIDENTIAL)  
 CONSTRUCTION TYPE: IIB

**TOTAL HEATED AREA OF BUILDING, 5,446 SQFT.**  
 FIRST FLOOR: 1,976 SQFT  
 SECOND FLOOR: 1,998 SQFT  
 1/2 FLOOR: 963 SQFT

**DRAWING INDEX**

| Sheet Number | Sheet Name                      | Approved/Mark |
|--------------|---------------------------------|---------------|
| ARC          | COVER SHEET                     | CO            |
| ADD 1        | SURVEY BY OTHERS                | CO            |
| ADD 2        | LOT LAYOUT                      | CO            |
| ADD 3        | EXISTING PHOTOS                 | CO            |
| ADD 4        | EXISTING PROFILES               | CO            |
| ADD 5        | STREET ELEVATIONS               | CO            |
| ADD 6        | ONE INCH TO ONE HUNDRED         | CO            |
| ADD 7        | KING STREET ART DECO MAP        | CO            |
| BUR 1        | GENERALS                        | CO            |
| BUR 2        | GENERALS                        | CO            |
| BUR 3        | GENERALS                        | CO            |
| BUR 4        | GENERALS                        | CO            |
| EA 1         | EXISTING SITE PLAN              | CO            |
| EA 2         | PROPOSED HYDRO PLAN             | CO            |
| EA 3         | PROPOSED FLOOR PLANS            | CO            |
| EA 4         | PROPOSED EXTERIOR FINISHINGS    | CO            |
| EA 5         | PROPOSED EXTERIOR ELEVATIONS    | CO            |
| EA 6         | PROPOSED EXTERIOR FINISHINGS    | CO            |
| EA 7         | PROPOSED BUILDING SECTIONS      | CO            |
| EA 8         | PROPOSED SUBSTRUCTURAL SECTIONS | CO            |
| EA 9         | PROPOSED WALL SECTIONS          | CO            |
| EA 10        | GENERAL BOARD-FLOOR SYSTEM      | CO            |
| EA 11        | GENERAL BOARD-FLOOR SYSTEM      | CO            |
| EA 12        | GENERAL BOARD-FLOOR SYSTEM      | CO            |
| EA 13        | GENERAL BOARD-FLOOR SYSTEM      | CO            |
| EA 14        | GENERAL BOARD-FLOOR SYSTEM      | CO            |
| EA 15        | GENERAL BOARD-FLOOR SYSTEM      | CO            |
| EA 16        | GENERAL BOARD-FLOOR SYSTEM      | CO            |
| EA 17        | GENERAL BOARD-FLOOR SYSTEM      | CO            |
| EA 18        | GENERAL BOARD-FLOOR SYSTEM      | CO            |
| EA 19        | GENERAL BOARD-FLOOR SYSTEM      | CO            |
| EA 20        | GENERAL BOARD-FLOOR SYSTEM      | CO            |

NOT FOR CONSTRUCTION

COVER SHEET

MIXED USE BUILDING  
 725 KING STREET  
 CHARLESTON, SC  
 29403

S: R7A2 03/05/19  
 U: BAR3 CONCEPTUAL 10/10/19  
 B:  
 M:  
 T:  
 A:  
 L:  
 N: NSA Job #: 17-111  
 ACR: NCS  
 E: Drawn By: AKS  
 O: Date: 9/27/2019

**A0.0**

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**NOTES:**

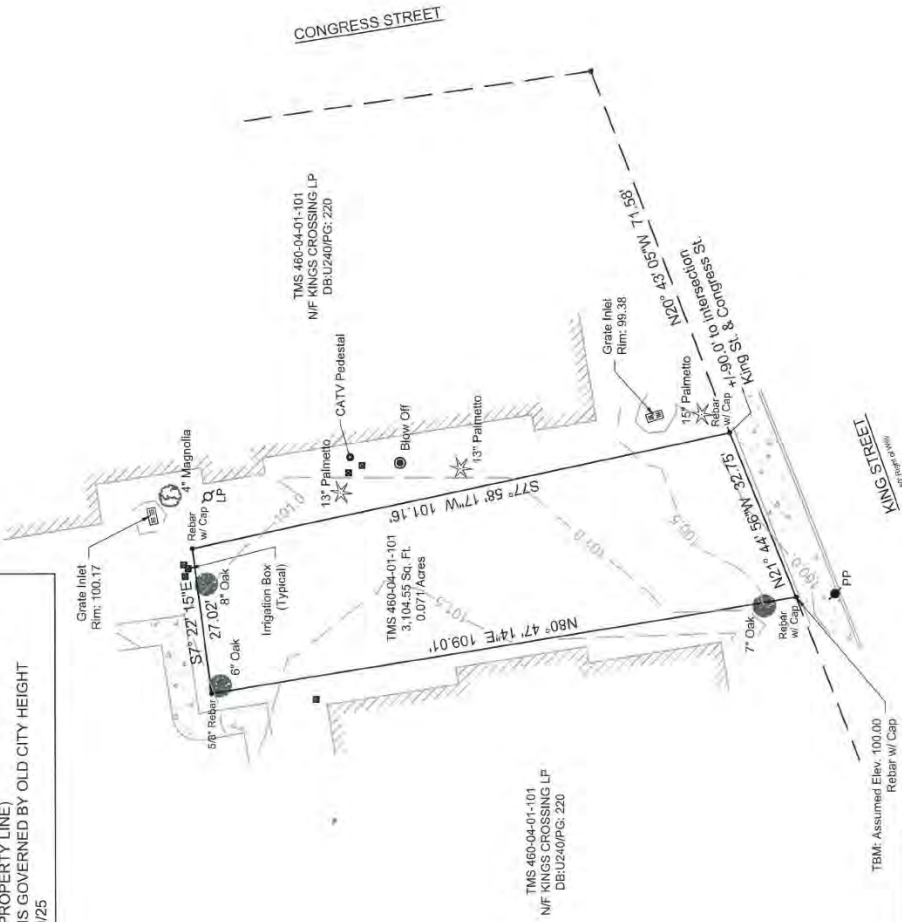
- THIS PARCEL APPEARS TO BE LOCATED IN FLOOD ZONE X PER FEMA MAP 45019C0512J COMMUNITY PANEL 4554120512J, CITY OF CHARLESTON, EFFECTIVE DATE NOVEMBER 17, 2004.
- THE LOCATIONS OF UTILITY EASEMENTS AND UNDERGROUND UTILITIES ARE NOT NECESSARILY SHOWN ON THIS SURVEY.
- A TITLE SEARCH WAS NOT PERFORMED FOR THE CREATION OF THIS SURVEY.
- DIMENSIONS SHOWN HEREON REPRESENT MONUMENTS FOUND AT TIME OF SURVEY. PROPERTY IS ZONED GB (GENERAL BUSINESS) PER CITY OF CHARLESTON ZONING. SEE CITY OF CHARLESTON ZONING ORDINANCE FOR VERIFICATION OF SETBACKS AND BUSINESS TYPE RESTRICTIONS.
  - FRONT: 3'
  - REAR: 3'
- SIDE: 15' TOTAL (MINIMUM 9' ON THE SOUTH AND WEST PROPERTY LINE / MINIMUM 3' ON THE NORTH AND EAST PROPERTY LINE)
- PROPERTY IS GOVERNED BY OLD CITY HEIGHT DISTRICT 50/25

**REFERENCES:**

- PLAT BY JOSEPH NEEDLE DATED MAY 30, 1964 AND RECORDED CHARLESTON COUNTY RMC OFFICE PLAT BOOK R, PAGE 087.



TMS 460-04-01-101  
N/F KINGS CROSSING LP  
DB.U240/PG. 220



I HEREBY STATE TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE STANDARDS OF PRACTICE MANUAL FOR SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN.

Andrew C. Gillette, Jr.  
Anchor Consulting Engineers  
1253 Dickson Ave., Suite 103 - Hanahan, SC 29410  
Office: 843.818.4652 / Fax: 843.818.4653 / www.anchorconsultingengineers.com

S.C. REG. NO. 27736

**LOT SURVEY**  
SHOWING TMS-460-04-01-102  
725 KING STREET  
PREPARED FOR FINN BOWLING INVESTMENTS, LLC  
CITY OF CHARLESTON, CHARLESTON COUNTY, SC  
APRIL 6, 2015

**Anchor Consulting Engineers, LLC**  
1253 Dickson Avenue, Suite 103  
Hanahan, SC 29410  
www.anchorconsultingengineers.com  
Phone: 843.818.4652

|   |                 |      |
|---|-----------------|------|
| S | REVISION        | DATE |
| U | DATE            | DATE |
| B | CONCEPTUAL      | DATE |
| M |                 |      |
| T |                 |      |
| T |                 |      |
| A |                 |      |
| L |                 |      |
| N | NSA Job #       | #P#  |
| F | AOR: NCS        |      |
| O | Drawn By: AKS   |      |
| S | Date: 9/27/2019 |      |
| H |                 |      |
| E |                 |      |
| E |                 |      |
| F |                 |      |
| I |                 |      |

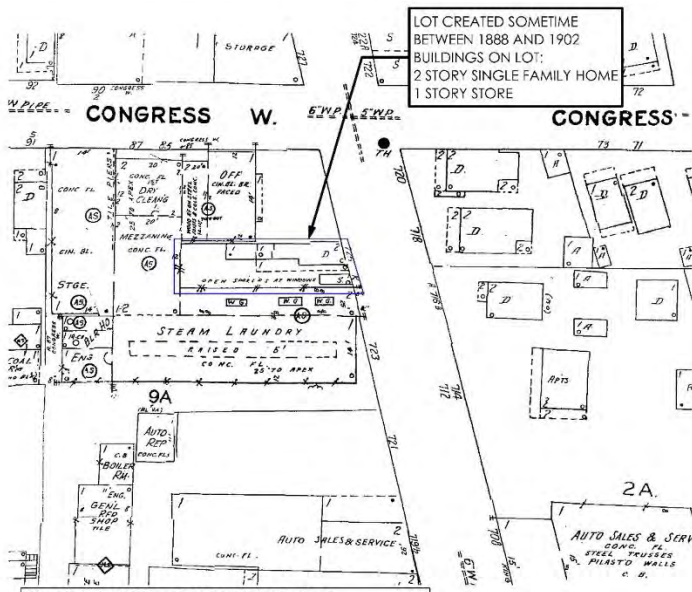
**MIXED USE BUILDING**  
725 KING ST  
CHARLESTON, SC  
29410

**NOT FOR CONSTRUCTION**

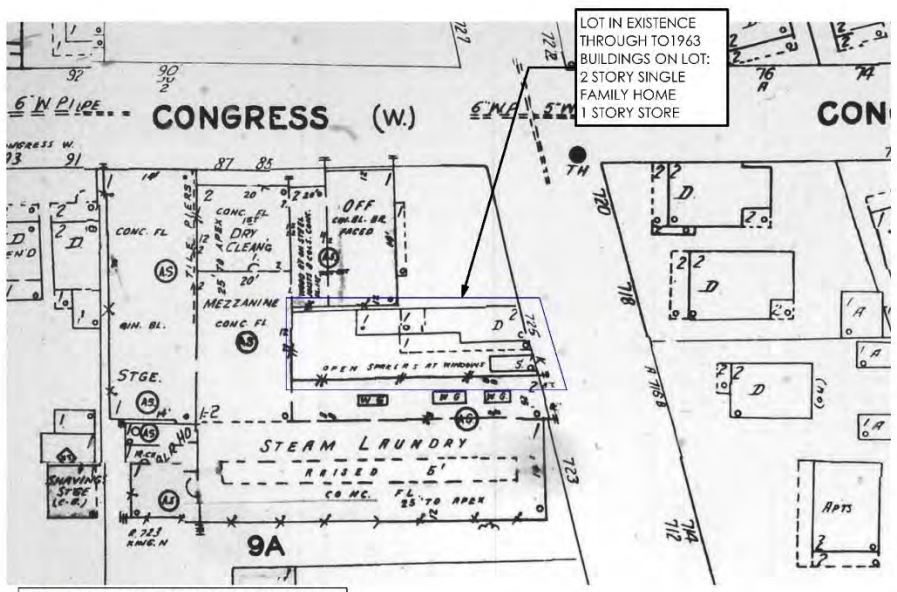
**SURVEY BY OTHERS**



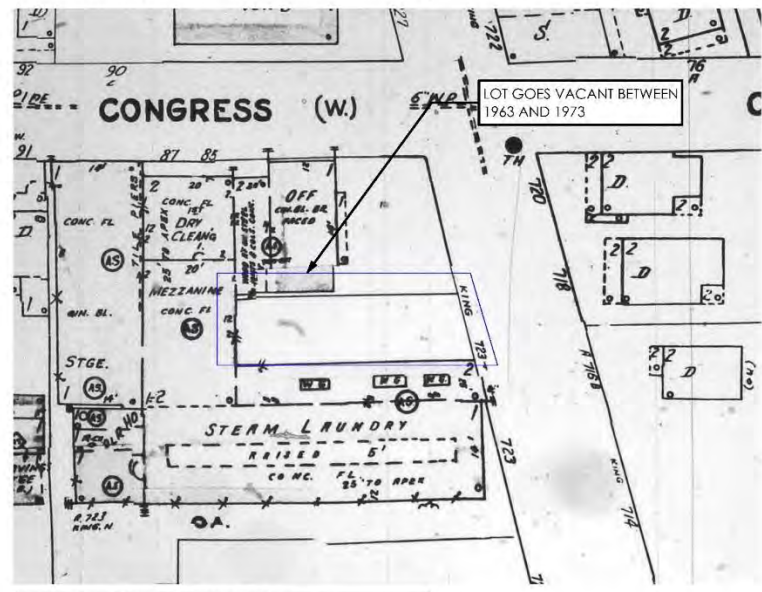
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1902 SANBORN FIRE INSURANCE MAP



1963 SANBORN FIRE INSURANCE MAP



1973 SANBORN FIRE INSURANCE MAP



IN FRONT OF 725 KING ST

**NSA**  
 NCIL STEVENSON  
 ARCHITECTS  
 680 KING ST  
 CHARLESTON, SOUTH  
 CAROLINA 29403  
 843.853.8800  
 NEILSTEVENSON  
 ARCHITECTS.COM

NOT FOR CONSTRUCTION

LOT HISTORY

MIXED USE BUILDING  
 725 KING ST  
 CHARLESTON, SC  
 29401

|   |                 |          |
|---|-----------------|----------|
| S | R242            | 03/05/19 |
| U | DAR3            | 10/10/19 |
| B | CONCEPTUAL      |          |
| M |                 |          |
| I |                 |          |
| T |                 |          |
| A |                 |          |
| L |                 |          |
| I | NSA Job #: 19P1 |          |
| N | AOR: NCS        |          |
| F | Drawn By: AKS   |          |
| O | Date: 9/27/2019 |          |

A00.1

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**725 KING STREET**



**723 C KING STREET**



**723 A KING STREET**

**NSA**  
 NEIL STEVENSON  
 ARCHITECTS  
 680 KING STREET  
 CHARLESTON, SOUTH CAROLINA 29403  
 843.853.8800  
 NEILSTEVENSONARCHITECTS.COM

**NOT FOR CONSTRUCTION**

EXISTING PHOTOS

MIXED USE BUILDING  
 725 KING SET  
 CHARLESTON, SC  
 29411

|                   |            |          |
|-------------------|------------|----------|
| S                 | R742       | 03/05/19 |
| U                 | DAR3       | 10/10/19 |
| B                 | CONCEPTUAL |          |
| M                 |            |          |
| I                 |            |          |
| T                 |            |          |
| A                 |            |          |
| L                 |            |          |
| NSA Job #: 201911 |            |          |
| AOR: NCS          |            |          |
| Drawn By: AKS     |            |          |
| Date: 9/27/2019   |            |          |

**A00.2**

#

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**720 KING ST**

**718 KING ST**

**716 KING ST**



**KING STREET BUILDINGS ACROSS STREET**



**VIEW 'A' FROM RACE ST**



**LOCATION MAP**



**VIEW 'B' FROM RACE ST**

**NSA**  
 NEIL STEVENSON  
 ARCHITECTS  
 680 KING STREET  
 CHARLESTON, SOUTH CAROLINA 29403  
 843.853.8800  
 NEILSTEVENSONARCHITECTS.COM

**NOT FOR CONSTRUCTION**

EXISTING PHOTOS

**MIXED USE BUILDING**  
 725 KING ST  
 CHARLESTON, SC  
 29401

|   |            |          |
|---|------------|----------|
| S | RTAZ       | 03/05/19 |
| U | BAR3       | 10/10/19 |
| B | CONCEPTUAL |          |
| M |            |          |
| I |            |          |
| T |            |          |
| A |            |          |
| L |            |          |

NSA Job #: #P11  
 AOR: NCS  
 Drawn By: AKS  
 Date: 9/27/2019



ART DECO STYLE BUILDINGS  
WITHIN 1/2 MILE OF 725 KING





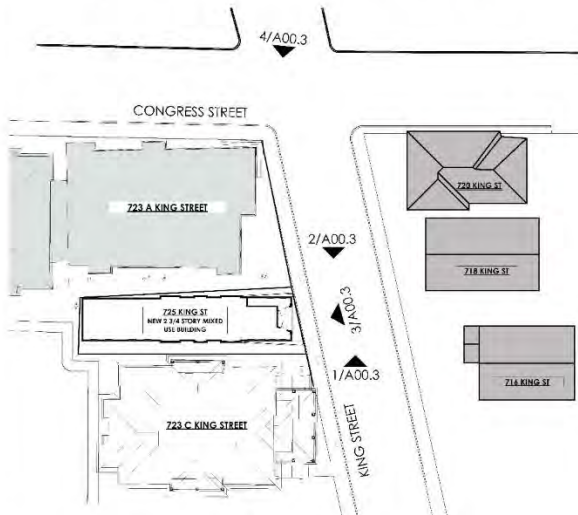
STUCCO BUILDINGS  
WITHIN 1/2 MILE OF 725 KING



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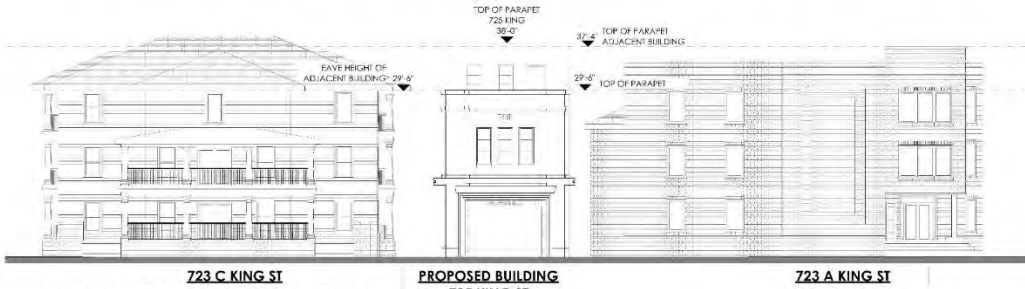
4 PROPOSED KING STREETScape RENDERING



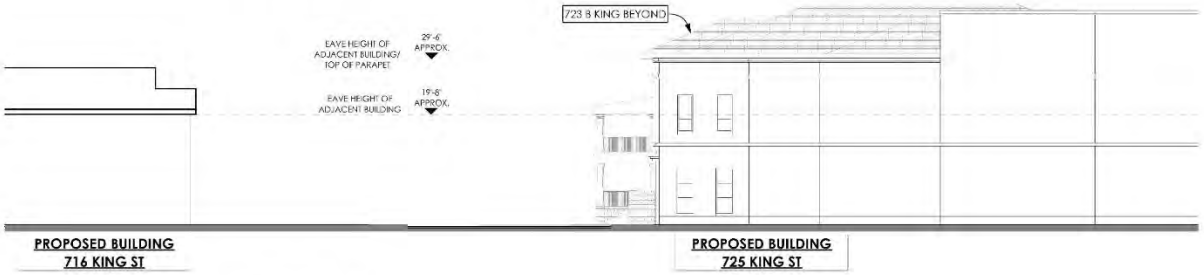
**KEY PLAN**

**RELATION OF BUILDING HEIGHT TO CONTEXT (2 1/2 STORY BUILDING COMPLIES)**

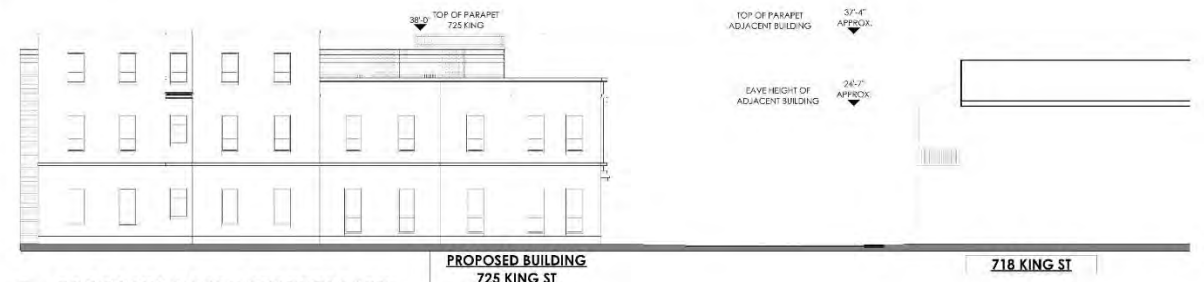
- ADJACENT STRUCTURES ON EITHER SIDE ARE 3 STORIES
- 1/2 STORY IS SETBACK FROM THE STREET FARTHER THAN ADJACENT BUILDINGS
- 1/2 STORY IS ONLY 7" TALLER THAN HIGHEST ADJACENT STRUCTURE
- 2 STORY CONTEXTUALLY RELATES TO THE EAVE HEIGHT AT 723 C KING ST
- 1/2 STORY CONTEXTUALLY RELATES TO PARAPET AND MASSING OF 723 A KING ST



3 PROPOSED KING STREETScape  
SCALE: 3/32" = 1'-0"



2 PROPOSED SOUTH STREETScape  
SCALE: 3/32" = 1'-0"



1 PROPOSED NORTH STREETScape  
SCALE: 3/32" = 1'-0"



NOT FOR CONSTRUCTION

STREET ELEVATIONS

MIXED USE BUILDING  
725 KING ST  
CHARLESTON, SC  
29401

|   |                   |            |
|---|-------------------|------------|
| S | RTA2              | 03/05/19   |
| U | DARS              | CONCEPTUAL |
| B |                   | 10/10/19   |
| M |                   |            |
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| T |                   |            |
| A |                   |            |
| L |                   |            |
| I | NSA Job #: 201911 |            |
| N | AOR: NCS          |            |
| F | Drawn By: AKS     |            |
| O | Date: 9/27/2019   |            |

A00.4

SHEET 9



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KING STREETScape

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KING STREET

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KING STREET LOOKING NORTH FROM 723 C KING



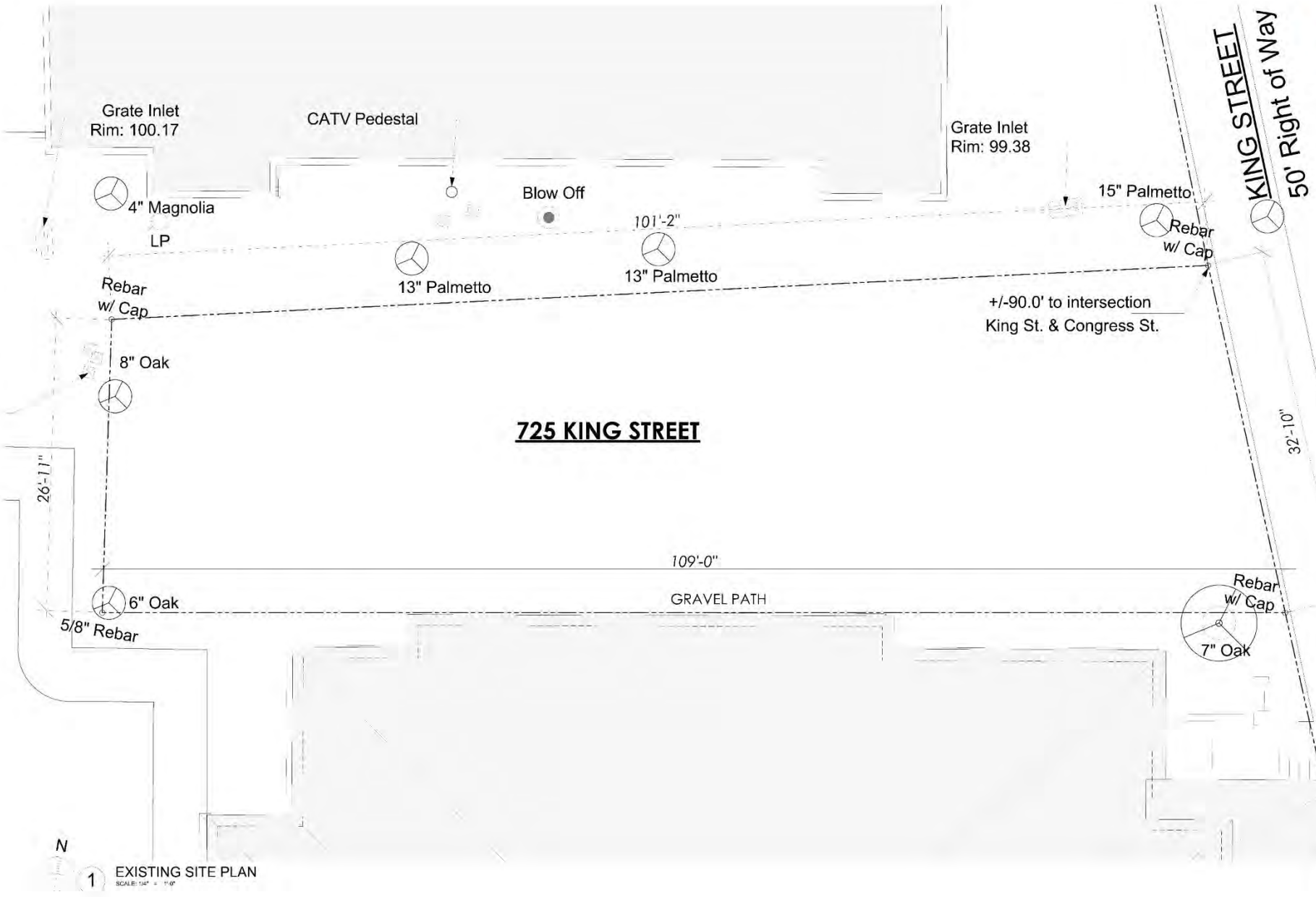
KING STREET LOOKING SOUTH FROM 723 A KING

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KING STREET LOOKING NORTH FROM ACCROSS KING ST

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**1 EXISTING SITE PLAN**  
SCALE: 1/4" = 1'-0"

**NEIL STEVENSON ARCHITECTS**  
680 KING STREET, SUITE 101  
CHARLESTON, SOUTH CAROLINA 29403  
843.853.8800  
NEILSTEVENSONARCHITECTS.COM

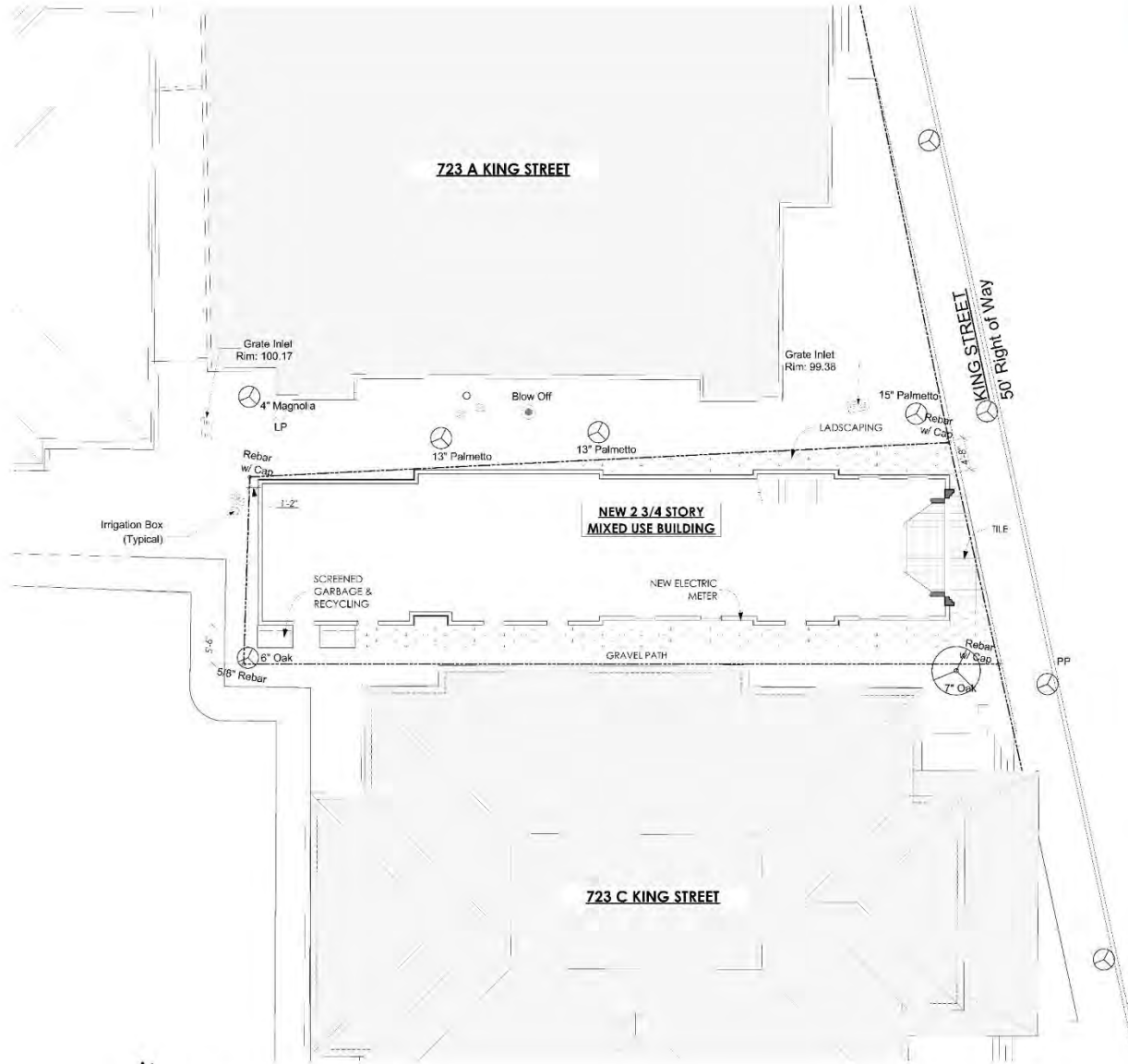
NOT FOR CONSTRUCTION

EXISTING SITE PLAN

MIXED USE BUILDING  
725 KING ST  
CHARLESTON, SC  
29401

|   |                    |          |
|---|--------------------|----------|
| S | 1/24/21            | 03/20/19 |
| U | DARS               | 10/10/19 |
| B | CONCEPTUAL         |          |
| M |                    |          |
| T |                    |          |
| A |                    |          |
| L |                    |          |
| I | NSA Job #: 2019-01 |          |
| N | AOR: NCS           |          |
| F | Drawn By: AKS      |          |
| O | Date: 9/27/2019    |          |
| S |                    |          |
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| E |                    |          |
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**1** PROPOSED SITE PLAN  
SCALE: 1/8" = 1'-0"

NOT FOR CONSTRUCTION

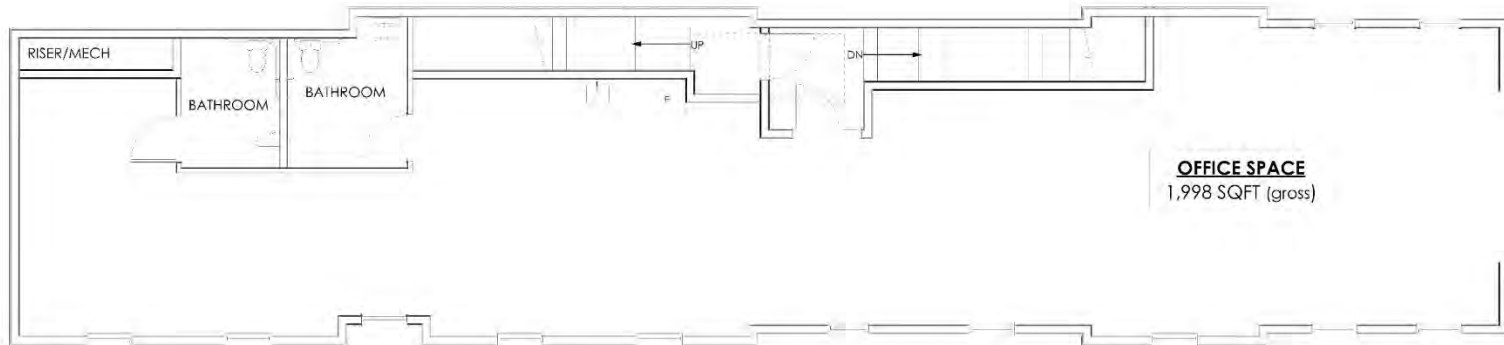
PROPOSED SITE PLAN

MIXED USE BUILDING  
723 KING ST  
CHARLESTON, SC  
29401

|   |          |                  |
|---|----------|------------------|
| S | DATE     | DESCRIPTION      |
| U | 02/20/19 | BAR'S CONCEPTUAL |
| B |          |                  |
| M |          |                  |
| T |          |                  |
| A |          |                  |
| L |          |                  |

NSA Job #: 2019-01  
AOR: NCS  
Drawn By: AKS  
Date: 9/27/2019

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**2** PROPOSED SECOND FLOOR PLAN  
SCALE: 1/4" = 1'-0"



**1** PROPOSED FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"

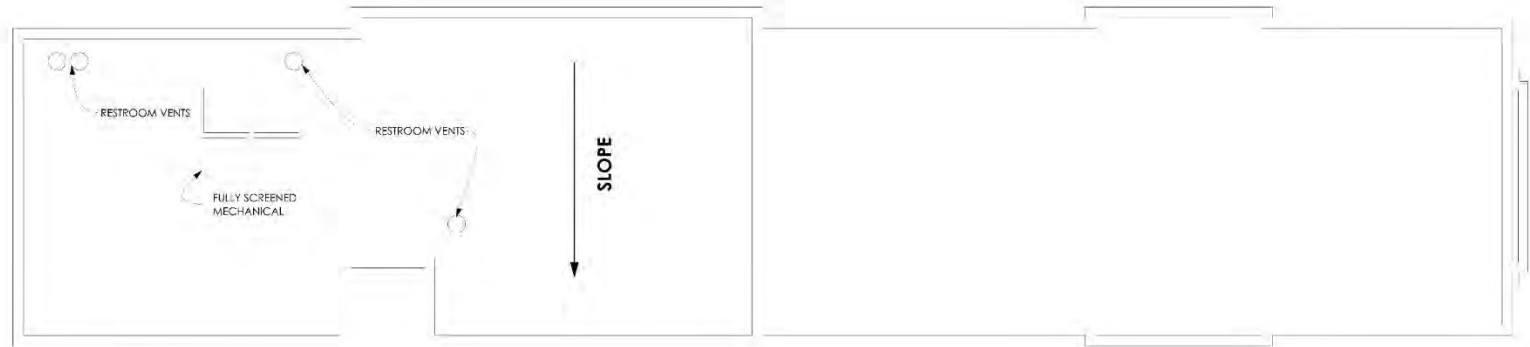
NOT FOR CONSTRUCTION

FLOOR PLANS -  
PROPOSED

MIXED USE BUILDING  
725 KINGS ST  
CHARLESTON, SC  
29401

|                   |            |                |
|-------------------|------------|----------------|
| S                 | ARCH       | DATE: 11/15/19 |
| U                 | DRAW       | DATE: 11/15/19 |
| B                 | CONCEPTUAL | DATE: 11/15/19 |
| M                 |            |                |
| I                 |            |                |
| T                 |            |                |
| A                 |            |                |
| L                 |            |                |
| NSA Job #: 19191  |            |                |
| AOR: NCS          |            |                |
| E Drawn By: AKS   |            |                |
| O Date: 9/27/2019 |            |                |

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**2** PROPOSED ROOF PLAN  
SCALE: 1/4" = 1'-0"



**1** PROPOSED 3RD STORY FLOOR PLAN  
SCALE: 1/4" = 1'-0"

NOT FOR CONSTRUCTION

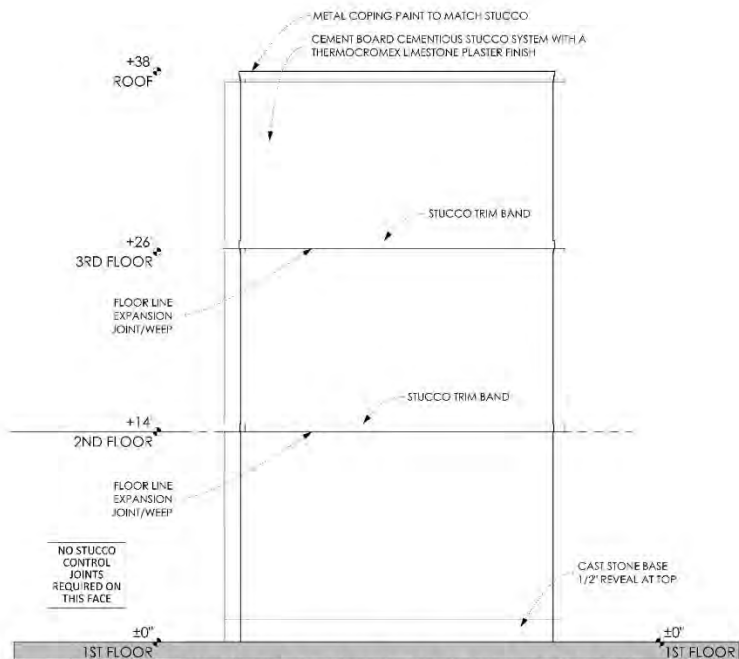
FLOOR PLANS -  
PROPOSED

MIXED USE BUILDING  
725 KINGS ST  
CHARLESTON, SC  
29401

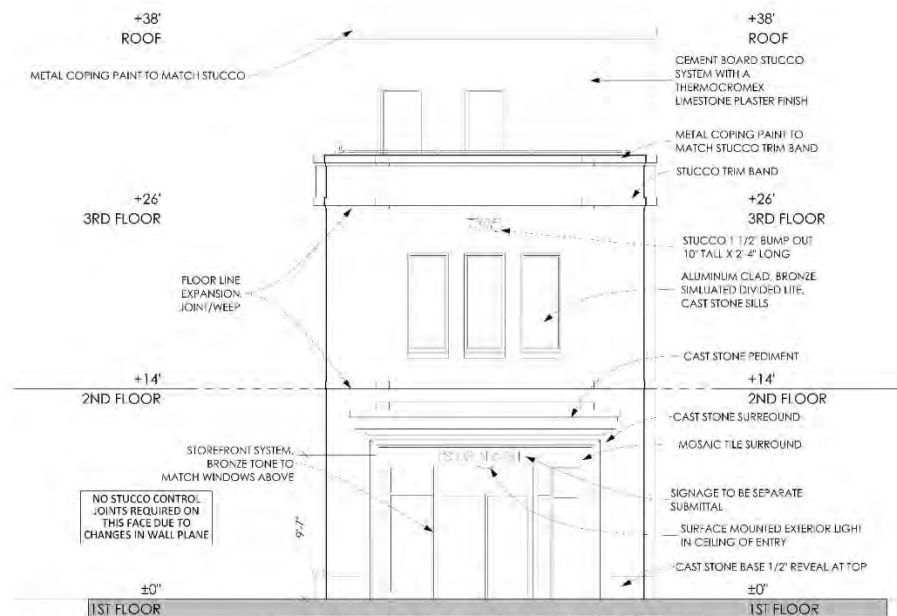
|   |            |            |
|---|------------|------------|
| S | NSA        | 09/27/19   |
| U | DARS       | CONCEPTUAL |
| B |            |            |
| M |            |            |
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| L |            |            |
|   | NSA Job #: | NSP1       |
|   | AOR:       | NCS        |
|   | Drawn By:  | AKS        |
|   | Date:      | 9/27/2019  |



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**2** PROPOSED REAR/WEST ELEVATION - NOT VISIBLE FROM RIGHT OF WAY  
SCALE: 1/4" = 1'-0"



**1** PROPOSED KING STREET/EAST ELEVATION  
SCALE: 1/4" = 1'-0"

NOT FOR CONSTRUCTION

EXTERIOR ELEVATIONS  
- PROPOSED

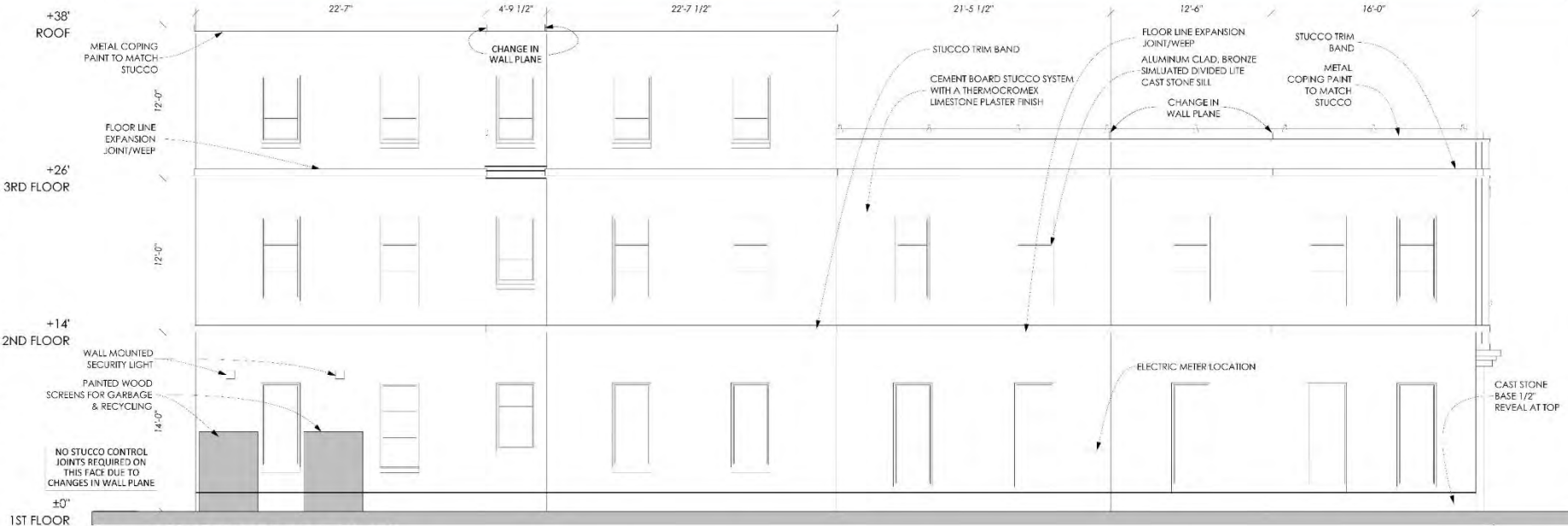
MIXED USE BUILDING  
725 KING ST  
CHARLESTON, SC  
29401

|   |                 |            |
|---|-----------------|------------|
| S | 1/24/22         | CONCEPTUAL |
| U | 2/28/22         | CONCEPTUAL |
| B |                 |            |
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| T |                 |            |
| T |                 |            |
| A |                 |            |
| L |                 |            |
| J | NSA Job # 22011 |            |
| N | AOR: NCS        |            |
| E | Drawn By: AKS   |            |
| O | Date: 9/27/2019 |            |
| S |                 |            |
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 680 KLINING  
 CHARLESTON, SOUTH  
 CAROLINA 29403  
 843.853.8800  
 NEILSTEVENSON  
 ARCHITECTS.COM



**1** PROPOSED SOUTH ELEVATION  
 SCALE: 1/4" = 1'-0"

NOT FOR CONSTRUCTION

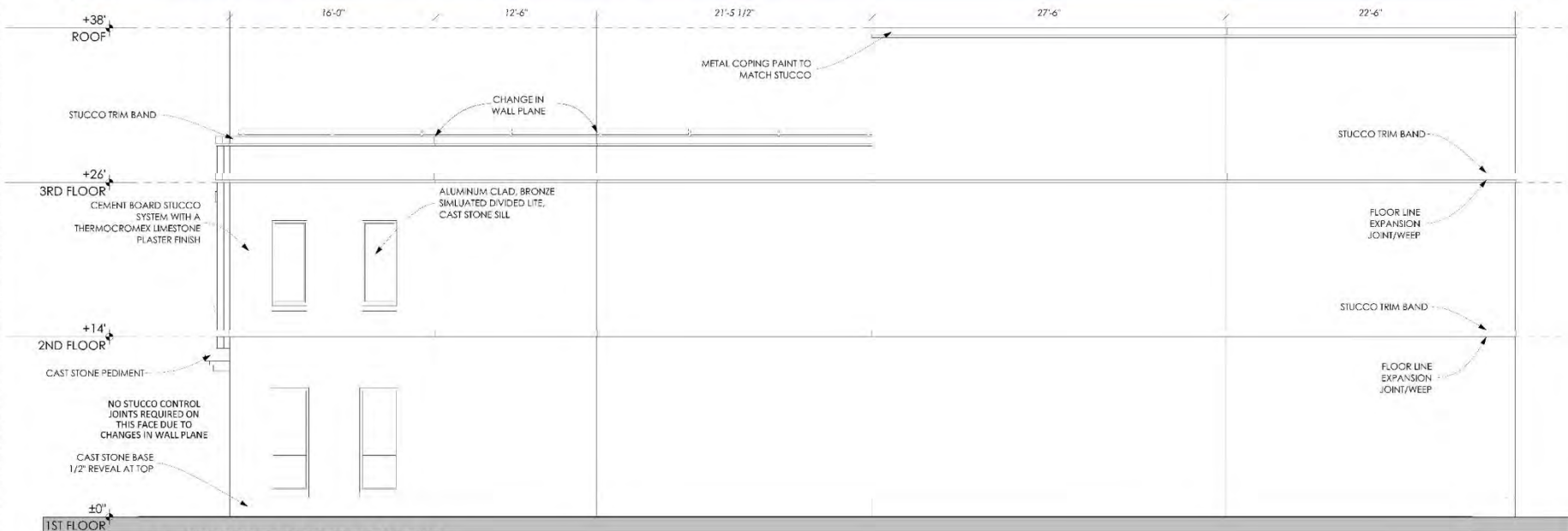
EXTERIOR ELEVATIONS  
 - PROPOSED

MIXED USE BUILDING  
 725 KING ST  
 CHARLESTON, SC  
 29401

|   |                  |            |
|---|------------------|------------|
| S | 1/24/2           | 03/05/19   |
| U | DAR'S            | CONCEPTUAL |
| B |                  | 10/10/19   |
| M |                  |            |
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| L |                  |            |
| J | NSA Job #: 25P11 |            |
| N | AOR: NCS         |            |
| F | Drawn By: AKS    |            |
| O | Date: 9/27/2019  |            |
| S |                  |            |
| H |                  |            |
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| T |                  |            |

**A3.2**

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**1** PROPOSED NORTH ELEVATION  
SCALE: 1/4" = 1'-0"

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CAROLINA 29403  
843.853.8800  
NEILSTEVENSON  
ARCHITECTS.COM

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EXTERIOR ELEVATIONS  
- PROPOSED

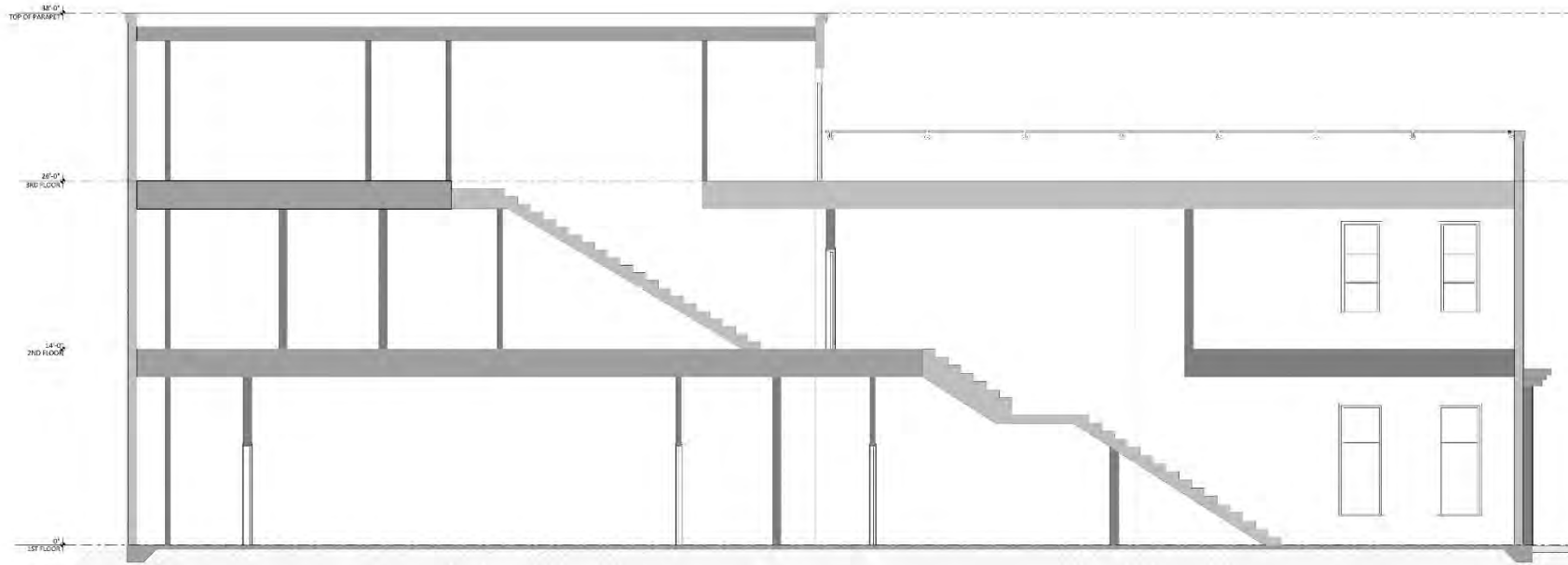
MIXED USE BUILDING  
725 KING ST  
CHARLESTON, SC  
29401

|   |                   |          |
|---|-------------------|----------|
| S | R24Z              | 03/05/19 |
| U | BAR9              | 10/10/19 |
| B | CONCEPTUAL        |          |
| M |                   |          |
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| T |                   |          |
| A |                   |          |
| L |                   |          |
| I | NSA Job #: 201911 |          |
| N | AOR: NCS          |          |
| E | Drawn By: AKS     |          |
| O | Date: 9/27/2019   |          |

**A3.3**

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**1** PROPOSED BUILDING SECTION THROUGH STAIR  
SCALE: 1/4" = 1'-0"

**NSA**  
NEIL STEVENSON  
ARCHITECTS  
680 KILN @  
11TH ST. #110  
CHARLESTON, SOUTH  
CAROLINA 29403  
843.853.8800  
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ARCHITECTS.COM

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BUILDING SECTIONS -  
PROPOSED

MIXED USE BUILDING  
725 KING ST  
CHARLESTON, SC  
29401

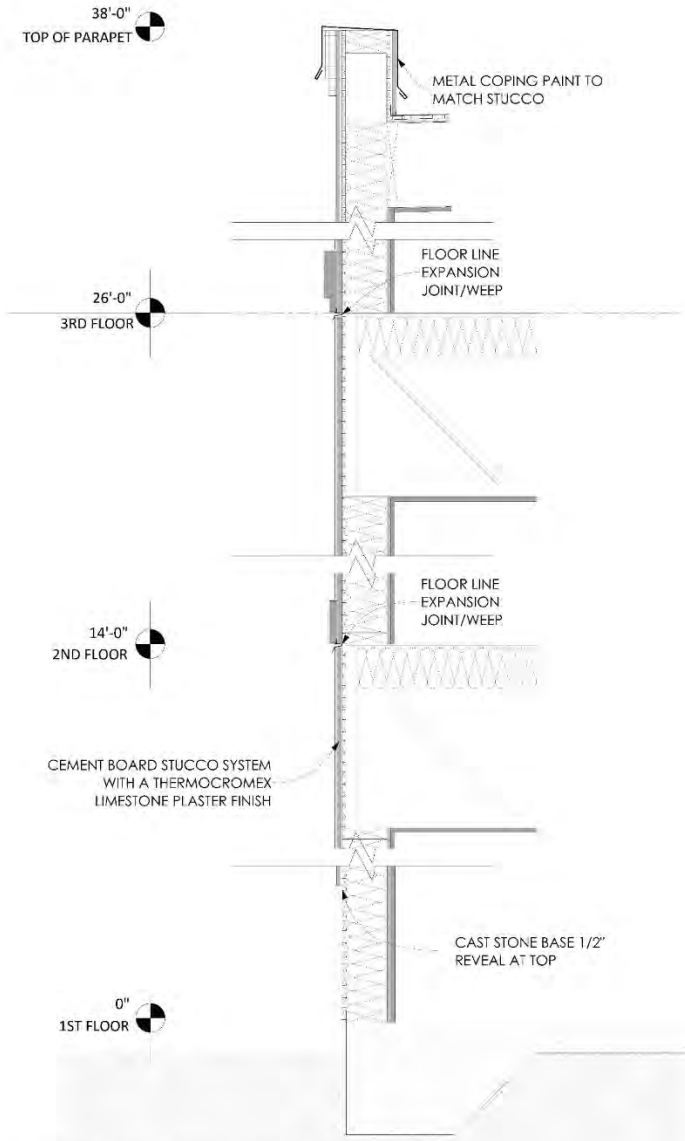
|   |            |          |
|---|------------|----------|
| S | R242       | 03/25/19 |
| U | DARS       | 10/10/19 |
| B | CONCEPTUAL |          |
| M |            |          |
| I |            |          |
| T |            |          |
| A |            |          |
| L |            |          |

NSA Job #: 2571  
AOR: NCS  
Drawn By: AKS  
Date: 9/27/2019

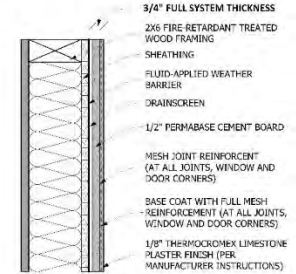
**A4.1**

S  
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#

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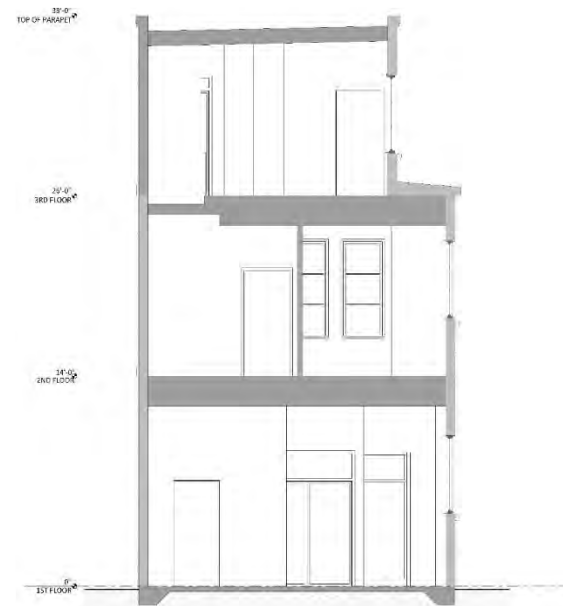


**2** PROPOSED TYPICAL WALL SECTION  
SCALE: 1/8" = 1'-0"



NOTE:  
System based on use ICC E5 AC-99 Tested and Compliant (Acceptance Criteria for Direct-Applied Exterior Finish Systems (DAEFS)) cement board stucco system. Install per manufacturer's specifications. Approved systems include StoQuik Silver Drainscreen or BASF Synergy CBS-1000.

**3** SECTION THRU 3/4" CEMENT BOARD SYSTEM WITH THERMOCROMEX LIMESTONE PLASTER FINISH



**1** PROPOSED BUILDING SECTION  
SCALE: 1/4" = 1'-0"

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ARCHITECTS  
680 KING STREET  
CHARLESTON, SOUTH CAROLINA 29403  
843.853.8800  
NEILSTEVENSONARCHITECTS.COM

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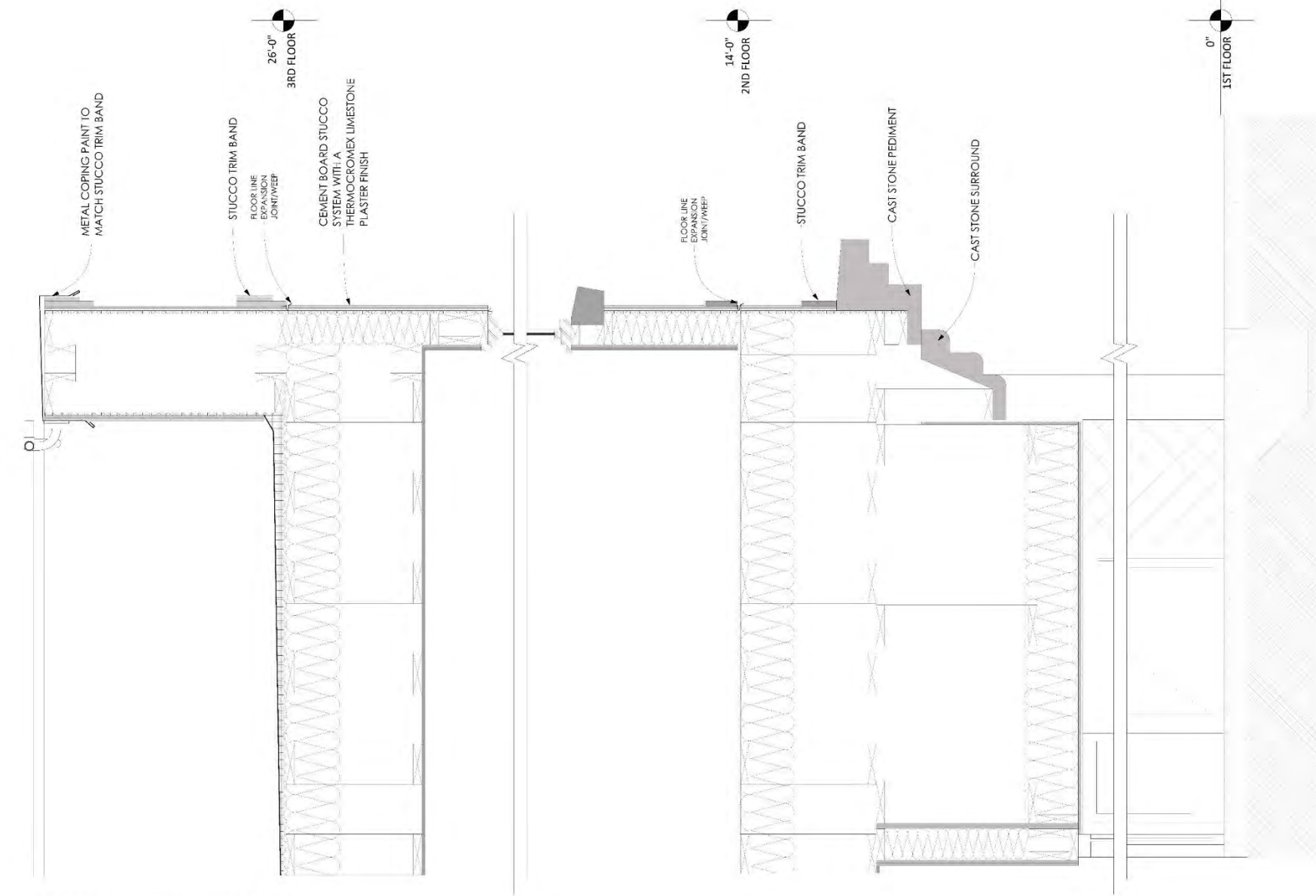
BUILDING WALL SECTIONS - PROPOSED

MIXED USE BUILDING  
725 KING ST  
CHARLESTON, SC  
29401

|   |                   |            |
|---|-------------------|------------|
| S | RTAZ              | 03/20/19   |
| U | DARD              | CONCEPTUAL |
| B |                   |            |
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| L |                   |            |
|   | NSA Job #: 201911 |            |
|   | AOR: NCS          |            |
|   | Drawn By: AKS     |            |
|   | Date: 9/27/2019   |            |

**A4.2**

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**1** PROPOSED ENTRY WALL SECTION  
SCALE: 1/16" = 1'-0"

**NSA**  
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680 KING ST. #1100  
CHARLESTON, SOUTH CAROLINA 29403  
843.853.8800  
NEILSTEVENSONARCHITECTS.COM

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WALL SECTIONS - PROPOSED

MIXED USE BUILDING  
725 KING ST  
CHARLESTON, SC  
29401

|   |                    |          |
|---|--------------------|----------|
| S | RTAZ               | 03/05/19 |
| U | BAR3               | 10/10/19 |
| B | CONCEPTUAL         |          |
| M |                    |          |
| I |                    |          |
| T |                    |          |
| A |                    |          |
| L |                    |          |
| N | NSA Job #: 2019-01 |          |
| E | AOR: NCS           |          |
| O | Drawn By: AKS      |          |
| S | Date: 9/27/2019    |          |

**A4.3**

## CEMENT BOARD STUCCO SYSTEM

### GOALS OF STUCCO WALL FINISH:

- Smooth and modeled stucco finish
- Little to no unsightly control joints
- Durable, long-lasting wall finish system

### COMMON ISSUES WITH CONVENTIONAL STUCCO SYSTEMS INSTALLED OVER LATH AND WOOD/METAL FRAMING:

- Many control joints required, resulting in an undesirable look
- Prone to poor installation which leads to water intrusion and damage to structure
- Cracking in stucco finish
- Lath corrosion

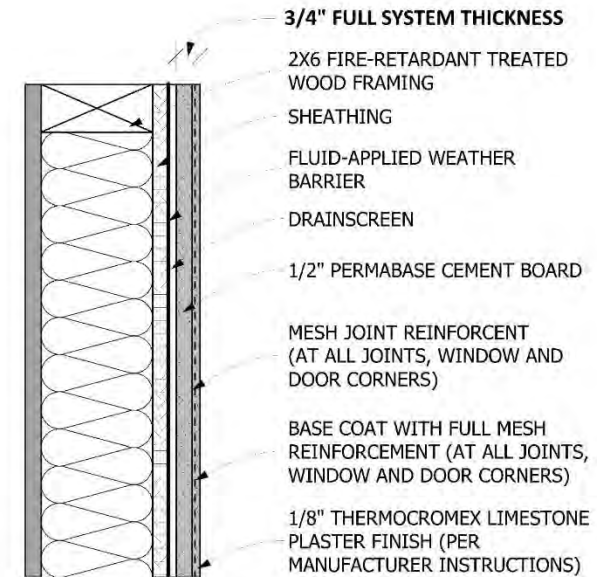
### SOLUTION: CEMENT BOARD STUCCO SYSTEM

A **Cement Board Stucco System** is a high impact, moisture resistant exterior wall finish system that provides a stucco finish with very few control joints (every 600 sf instead of the 144sf required by a traditional stucco system), incorporating the following layers:

- Wood or metal framed wall system
- Typical Sheathing layer
- Air and moisture barrier
- Drainage mat layer for a cavity wall design
- Cement board substrate (instead of lath, scratch and brown coat)
- Mesh reinforced stucco base coat and finish

### BENEFITS OF A CEMENT BOARD STUCCO SYSTEM:

- **Minimal control joints required:**
  - Control joints required every 600 sf instead of the 144sf required by traditional metal lath stucco. Max length of 24 ft between joints instead of 18' (traditional metal lath stucco) and max ratio of 2 1/2:1. **Result: On a 12 ft high wall, a vertical joint can be every 24ft.**
  - Mesh reinforcements are used at door and window corners instead of control joints. **Result: Stucco can flow up and over doors and windows freely without joints, emulating stucco installation on masonry and historic structures.**
  - Typical expansion joints are still required at floor lines, where it meets dissimilar materials or substrate changes, at structural expansion joints.
- **Smooth and modeled stucco finish - with little joints.** Finished exterior resembles the stucco finish on historic buildings in downtown Charleston.
- **No metal lath to corrode**
- **Cement board layer provides high impact and durability.**
- **Much less prone to installation errors than metal lath stucco.**
- **No heavy masonry structure required**
- **Cavity drainage system** can be achieved with the installation of a drainage mat behind cement board, providing an extra layer of moisture protection.
- **Systems are tested and code compliant.** Systems must meet ICC ES AC-59 Tested and Compliant (Acceptance Criteria for Direct-Applied Exterior Finish Systems (DEFS)).
- **Warranty:** Both BASF and Sto systems have a 10-year warranty on their Cement Board Stucco Systems when a fluid-applied weather barrier is used.
- **History** of system dates back to the 1990's. Case studies over 10 years can be found in South Carolina. Local residence was built 4 years ago using this system, on Kiawah Island and a home on Isle of Palms is currently under construction. See attached case studies.



SECTION THRU CEMENT BOARD STUCCO SYSTEM WITH THERMOCROMEX LIMESTONE PLASTER FINISH

1

SCALE: 3" = 1' - 0"

### NOTE:

System based on use ICC ES AC-59 Tested and Compliant (Acceptance Criteria for Direct-Applied Exterior Finish Systems (DEFS)) cement board stucco system. Install per manufacturer's specifications. Approved systems include StoQuik Silver Drainscreen or BASF Synergy CBS-1000.



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BAR .4

## CEMENT BOARD STUCCO SYSTEM

### HISTORY AND USE OF SYSTEM IN SOUTH CAROLINA:

- Use of Cement Board Stucco Systems dates back to the 1990's.
- Case studies over 10 years old can be found in South Carolina. Recent photos taken in July 2019 are included in the case studies on these sheets.
- Local case study (below) shows Kiawah Island Residence built 4 years ago (2015) using a Cement Board Stucco System. Built by Kennedy Richter Construction (applicant for this project).
- Home on Isle of Palms is currently under construction using this system, at 3600 Palm Blvd.



### LOCAL CEMENT BOARD STUCCO SYSTEM CASE STUDY:

Local case study, built in 2015 at 17 Eugenia Ave on Kiawah, built by Kennedy Richter Construction (this applicant), using the StoQuik Silver Drainscreen system and a cementitious finish.

Photos taken in August 2019



BAR .5



CEMENT BOARD STUCCO SYSTEM



CASE STUDY FROM 1990'S

Mont Tremblant Resort in Quebec  
Resort/Village built in phases from 1990 to 1998  
(Photos taken in 2018)

## CEMENT BOARD STUCCO SYSTEM

### 10-YEARS AND OLDER CEMENT BOARD STUCCO SYSTEM CASE STUDIES:

Case studies below show 10-year old and greater examples of buildings using finish system in coastal South Carolina areas.

Photos taken in July 2019



Built 2008  
711 Edgecreek Drive, Myrtle Beach, SC 29579



Built 2006  
8524 Juxa Drive, Myrtle Beach, SC 29579



Built 2008  
7881 San Marcello Drive  
Myrtle Beach, SC 29579



NEIL STEVENSON  
ARCHITECTS

BAR .7

## INSTALLATION PHOTOS



## ISLE OF PALMS

Local residence currently under construction at 3600 Palm Blvd on Isle of Palms  
(Photo taken in August 2019)



Example of meshed and mudded joints  
(unknown address)

## TESTING AND DESIGN DETAILS

## TESTING AND CODE COMPLIANCE:

The American Society for Testing and Materials (ASTM) and International Building Code (IBC) accept Cement Board Stucco Systems (CBSS) as solid exterior wall options that meet stringent commercial code standards, and supported by the International Code Council (ICC). Documentation includes:

- **International Code Council (ICC) Acceptance Criteria 59 – AC59** contains provisions to demonstrate the compliance of direct-applied Cement Board Stucco Systems with performance requirements of the ICC. This allows stucco manufacturers to qualify an entire direct-applied system, not just components. AC59 addresses such aspects as durability and serviceability.
- **ICC-ES Acceptance Criteria 376 – AC376** provides approval requirements for **ASTM C1325 cement boards** for exterior finishes, such as Cement Board Stucco Systems. This includes installation requirements as well as wind load and shear/fire-resistance details.
- **ASTM C1516**, which contains approved substrates for direct-applied exterior finish systems with cement board stucco.
- **ICC-ESR-1510 – ESR-1510** gives assurance that PermaBase® brand Cement Board can be used as an exterior backer board for tile, stone, thin brick, Portland cement stucco, synthetic stucco and manufactured stone (PermaBase is the cement board product used in the ICC-compliant Cement Board Stucco Systems referenced in this presentation).

## DESIGN REQUIREMENTS:

- **System** used must be ICC ES AC-59 Tested and Compliant (Acceptance Criteria for Direct-Applied Exterior Finish Systems (DEFS)).
- **Cement board** used must comply with ASTM C1325.
- **Substrate** shall have a maximum deflection is  $L/360$  and must be level within  $\frac{1}{4}$ " in 10'.
- **Expansion joints** are required at floor lines, where it meets dissimilar materials or substrate changes, at structural expansion joints.
- **Control Joints** are to be placed in accordance with manufacturer requirements. Examples:
  - (BASF) Senergy CBS-1000 Cement Board Stucco System: 600sf, 24 LF, 2:1 ratio
  - (Sto) StoQuik Silver DrainScreen: 625sf, 25LF, 2 ½:1 ratio (light-colored stucco)
- **Manufacturer's specifications:** Each system's specifications call for detailed requirements such as (but not limited to) joint reinforcement, sealants, accessories and use of corrosion resistant screws with substrate and cement board.
- **Drainage mat** installed behind cement board provides an advanced cavity wall system.
- **Fluid Applied weather barrier** increases warranty of system (and/or required in some systems).

## PROPOSED FINISH - THERMOCROMEX (LIMESTONE PLASTER)

### DESCRIPTION:

Limestone High Performance Cladding that delivers the look and permanent durability of natural stone, for a fraction of the cost.

Similar to materials used in the restorations of Le Louvre and Notre Dame de Paris, Thermocromex incorporates the highest quality natural hydraulic lime. It is a technically brilliant reformulation that can be applied to virtually any substrate, including tilt-wall and poured in place concrete, sheathing with lath, cmu, brick, lightweight cement blocks and has been used successfully for over 20 years.

Available in custom colors that are compounded with the limestone mixture, Thermocromex delivers a vibrant and permanent finish that requires no other coloring or top coat. The alkali and UV-resistant pigments will not fade over time, and the finish is both waterproof and breathable.



LOCAL BUILDING WITH THERMOCROMEX LIMESTONE PLASTER FINISH: GAILLARD PERFORMING ARTS CENTER, CHARLESTON, SC

### THERMOCROMEX

LIMESTONE PLASTER ULTRA-HIGH PERFORMANCE CLADDING

| Test Type                      | Result  | Test Standard       |
|--------------------------------|---|---------------------|
| Wind Driven Rain               | Passed - 0.7oz (78% lower than the federal specification requirement)               | ASTM D6904          |
| Vapour Permeability            | 84 perms  | ASTM E96 (Method B) |
| Air Penneance                  | 0.002 CFM/ft <sup>2</sup>   | ASTM E2178          |
| Sorption Isotherm              | 1.36% (90% Relative Humidity)   | ASTM C1498          |
| Combustibility                 | Non-Combustible - NFPA 285 Exempt   | ASTM E136           |
| Impact Resistance              | 140 Pounds  | ASTM D2794          |
| Accelerated Weathering         | No color change, blistering, chalking, checking, cracking or other after 2000 hours | ASTM G154           |
| Thermal Conductivity           | R-Value: 1.02 @ 3/8"  | ASTM C177           |
| Granulometry                   | 0.0 - 4.0 mm  | ASTM C136           |
| Water Retention (on paste)     | 94% (2% variance)   | Menic U4            |
| Dry Density (cured product)    | 1450 g/l +/-100g/l  | EN 459-2            |
| VOC Content                    | 0   | ASTM D3369          |
| Capillarity                    | Between 1 and 2.5 g/dm <sup>2</sup> .min1/2   | EN 1015-1B          |
| Modulus of Elasticity          | 1.05 x 10 <sup>5</sup> psi / 7239 MPa   | ASTM C469           |
| Salt Fog Exposure              | No Effect   | ASTM B117           |
| Compressive Strength (28 days) | 1500 Psi at Full Cure   | ASTM C109           |
| Flexural Strength (28 Days)    | Between 2 and 2.5 N/mm <sup>2</sup>   | Menic U4            |
| Solar Reflectance              | Air Mass 1.5 - 0.8 / Thermal Emittance, 300K - 0.88                                 | ASTM E903           |
| Solar Reflectance Index (SRI)  | Low, 5 W/m <sup>2</sup> K = 98.3  | ASTM E903           |
|                                | Medium, 13 W/m <sup>2</sup> K = 98.5  |                     |
|                                | High 30 W/m <sup>2</sup> K = 98.8   |                     |

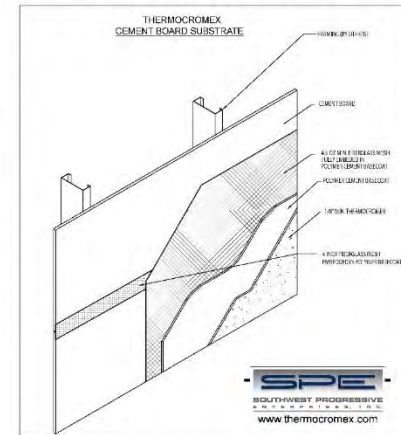


### MAINTENANCE:

Almost no maintenance is required to enjoy the original appearance, year after year. Thermocromex can also use multiple colors for a natural appearance that could only come from stone.

### PERFORMANCE CHARACTERISTICS:

- \*Product life expectancy of 1,000 years
- \*Low modulus of elasticity, very flexible with no shrinkage
- \*Doesn't crack, no control joints required
- \*Naturally weatherproofs, no moisture barriers required
- \*Exceptional vapor permeability, will not trap moisture
- \*Very low capillarity, will not absorb water
- \*Passes accelerated weathering and wind driven rain tests; no effect from salt fog exposure
- \*Easily applied to multiple substrates, even over brick
- \*Outstanding performance in any climate, from -50F to 120F
- \*20 year materials warranty



SAMPLES WITH CUT SHEETS AND FULL SPECS PROVIDED IN THIS SUBMITTAL FOR REVIEW



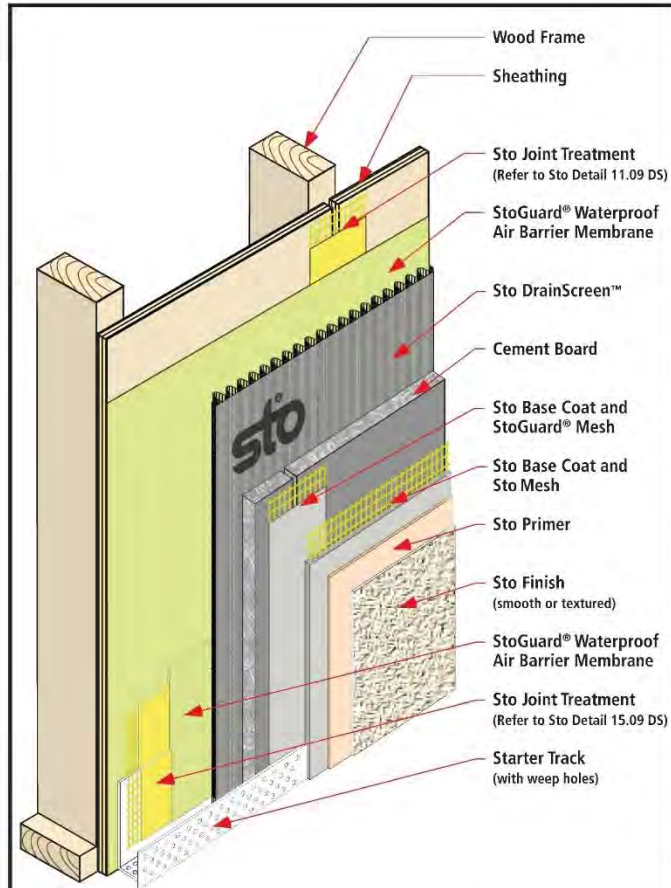
# CUTSHEETS - CEMENT BOARD STUCCO SYSTEM

## StoQuik® Silver DrainScreen™ System Components



Detail No.: 11.01 DS

Date: January 2015



### Notes:

1. Detail shows the installation of StoQuik® Silver DrainScreen™ over a wood frame wall.

### Sto Materials:

1. Sto joint treatment
2. StoGuard® Mesh
3. StoGuard® Waterproof Air Barrier Membrane options:
  - a. StoGuard®Gold Coat® (vapor permeable)
  - b. StoGuard®EmeraldCoat® (high perm)
  - c. StoGuard®VaporSeal™ (vapor impermeable)
4. Sto DrainScreen™
5. StoQuik® Silver Finish Components:
  - a. Sto Guard Mesh
  - b. Sto Base Coat
  - c. Sto Mesh
  - d. Sto Primer (optional component)
  - e. Sto Finish

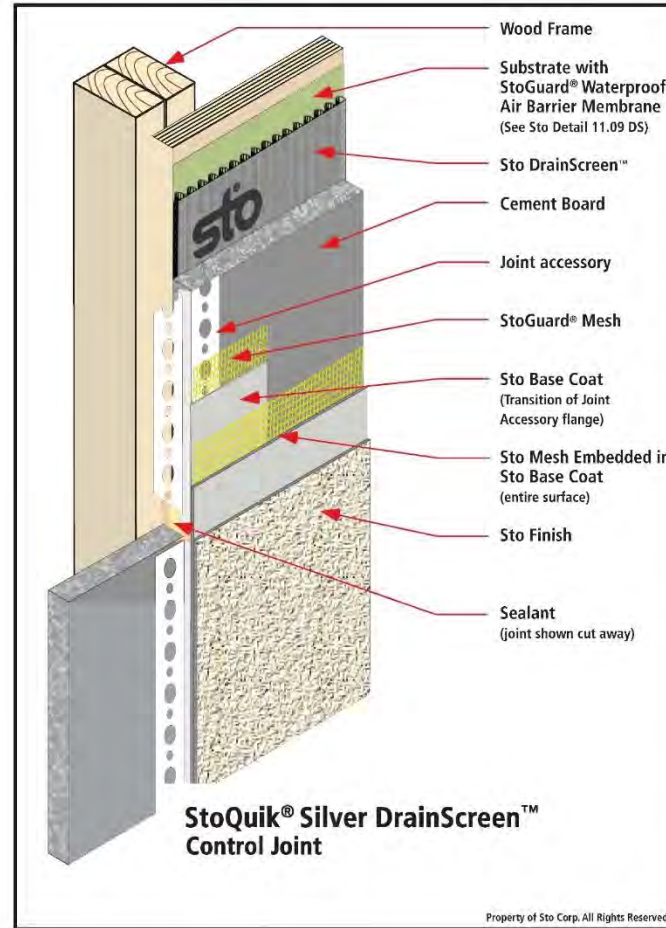
### Accessory Materials:

(including means for fastening)

1. Starter Track
2. Other accessories as may be required. (e.g. casing beads, control joints, etc.)

IMPORTANT: Components not identified as Sto are furnished by other manufacturers and are not necessarily installed by trades who install the Sto products. Refer to project specific contract documents.

Property of Sto Corp. All Rights Reserved.



### Notes:

1. Use Control Joint Accessory in the field of the wall to accommodate thermal movement.
2. Use at intervals of 25 feet (7.6 m) maximum with light colored finishes (Lightness Value  $\geq 50$ ). Use at intervals of 16 feet (4.9 m) maximum with dark colored finishes (Lightness Value  $\leq 50$  and  $\geq 30$ ). When laying out control joints create rectangular panels of maximum 625 square feet (58 m<sup>2</sup>) with length to width ratio of 2-1/2 to 1 maximum for light colored finishes. For dark colored finishes create panels of maximum 256 square feet (23.5 m<sup>2</sup>) with length to width ratio of 2-1/2 to 1 maximum.
3. Cement board must be interrupted to accommodate control joint accessory, provide solid support for attachment of cement board: double studs, a "scab stud", or solid sheathing such as OSB or plywood.
4. Use spray adhesive (3M Super 77 or Super 90) applied to the cement board to temporarily hold the accessory in place. Place StoGuard Mesh over perforated front flange of accessory. Skim coat StoGuard Mesh with Sto base coat and allow to dry. When installing Sto Mesh, embed Sto Mesh in Sto base coat and overlap StoGuard Mesh to terminating bead of accessory.
5. Refer to Sto Specification QS 200 DS for complete information on design requirements, installation and accessories.

IMPORTANT: Components not identified as Sto are furnished by other manufacturers and are not necessarily installed by trades who install the Sto products. Refer to project specific contract documents.

EXAMPLE OF CEMENT BOARD STUCCO SYSTEM (SIMILAR SYSTEM: BASF SENERGY CBS - 1000 SYSTEM)

SAMPLES WITH FULL SPECS PROVIDED IN THIS SUBMITTAL FOR REVIEW



BAR .10



Agenda Item 11:

900 King Street - - TMS # 463-16-01-001

Request final approval for the construction of  
**a farm manager's station.**

Category 1 / (North Central) / c.1887-2006 / Historic Corridor District

# William Enston Home Farm Managers Station



## Contributors:

- **Clemson Architecture + Community Build**
- The Green Heart Project
- Charleston Housing Authority
- American College of the Building Arts
- James Simons Elementary School
- The Charleston Catholic School
- Charleston Charter for Math and Sciences



## WILLIAM ENSTONS' WILL



HISTORIC SITE AERIAL LOOKING NORTH EAST

William recognized the issue in an increase in elderly and a decrease in their economic and social status, hoping,

*"To make old age comfortable."*

The site itself is located on the old Storen Farms land with spacious plots,

*"...for each cottage must have a small garden to busy the occupant."*

From a resident in 2007,

*"He doesn't call me a gardener, he calls me a small farmer."  
"I give 90% of it away to people around here."*

## PROJECT STATEMENT



CURRENT SITE AERIAL LOOKING NORTH EAST

Complete the will and bring back the original intention, a place for gardening and increased well-being.

The Enston Home Farm Managers Station will act as a hub for multi-functional community focused aspects of teaching, gathering, processing and selling produce works to make all ages comfortable and healthy. It's function reflecting that of the original Memorial Hall function - to be a beautiful structure that serves the community.

## SIGNIFICANT SURROUNDING BUILDINGS



Cottages  
1887 (5) W.B.W Howe / W.F. Bowe  
1888 (14), 1927 (5) Patrick Culleton



Cottages  
2007 (13) LS3P



Memorial Hall  
1888 Colin McKenzie Grant



Entry Gate  
1894 Robert McCarrel



Infirmery, 1933



Water tower + artesian well, 1887

# GARDEN CONTEXT

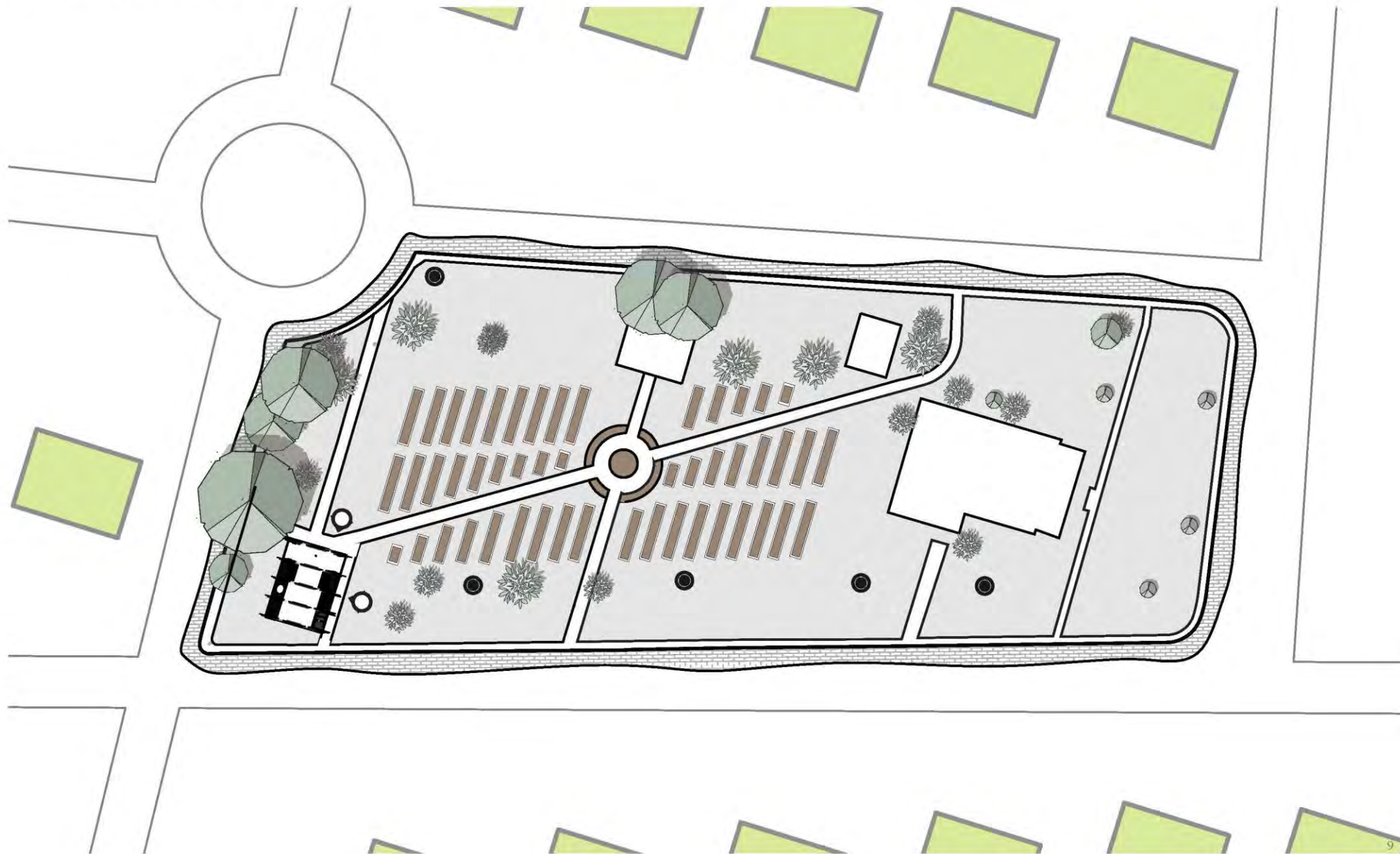


# GARDEN CONTEXT



☛ SITE ANGLES

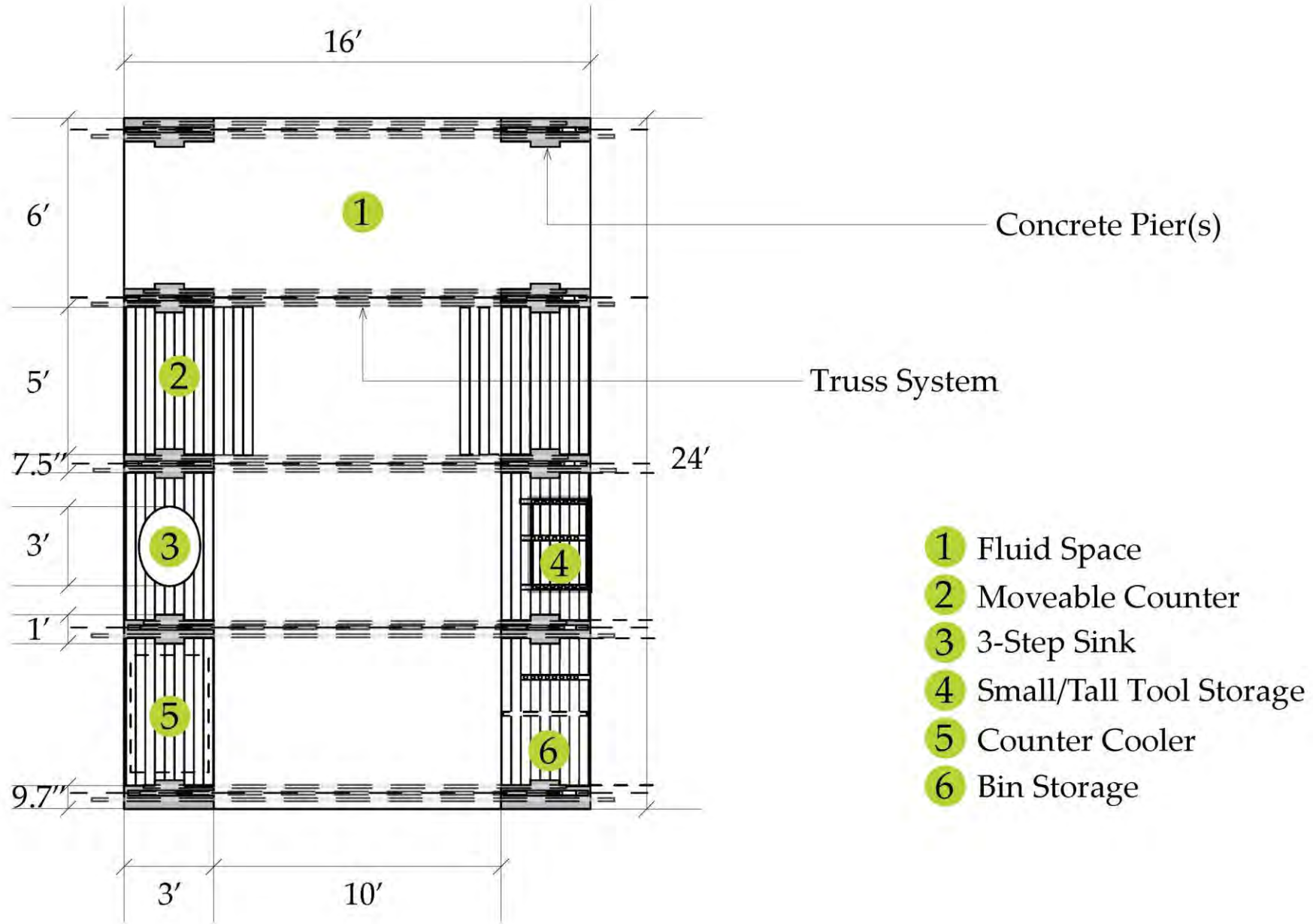




PROPOSED SITE PLAN AERIAL







## AGRICULTURAL PRECEDENTS

To ensure that fresh produce is not contaminated throughout the stages of its handling Good Agricultural Practice Certification (GAP) will be implemented.

Inspiration for overall forms and materials that aid this process were looked at. Precedents were assessed looking at the following points:

- All surfaces must be kept clean and in good repair
- Surfaces in contact with food should be smooth, non-absorbent, and without crevices
- Processing areas shall be suitable in size, construction, and design to aid in maintenance

### Barns



Monitor Barn



Barrel Vault Barn



Barrel Vault Barn

### Markets



Truss Structure



Curved Beam

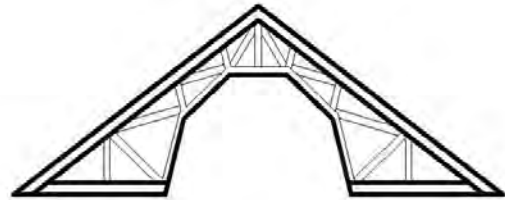


Repeating Curved Structure

# HISTORICAL INSPIRATION



Roof Pitch + Arched Window



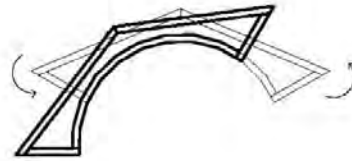
Barrel Vault Construction



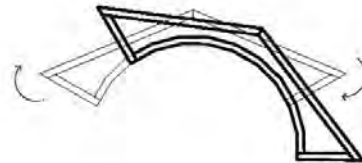
Adapted Form



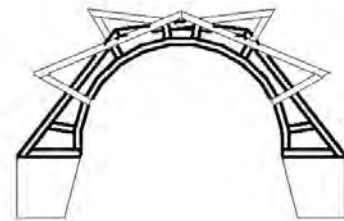
Arch Threshold



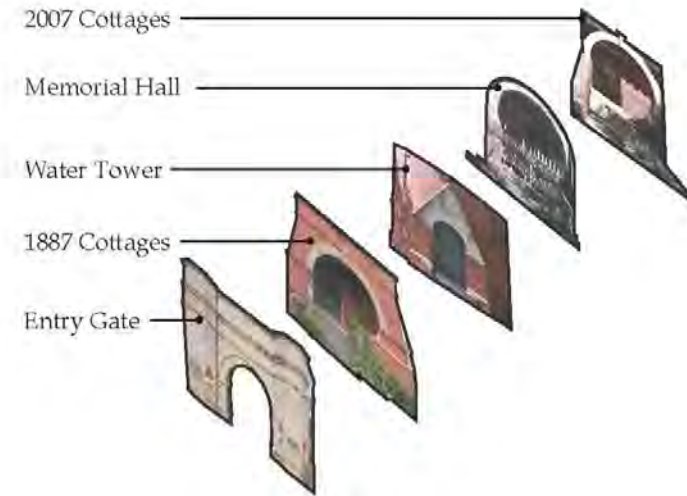
Overlapping + Rotating Trusses



Overlapping + Rotating Trusses



Final Single Arch Threshold



Repetition of Arch Threshold

# ELEVATIONS

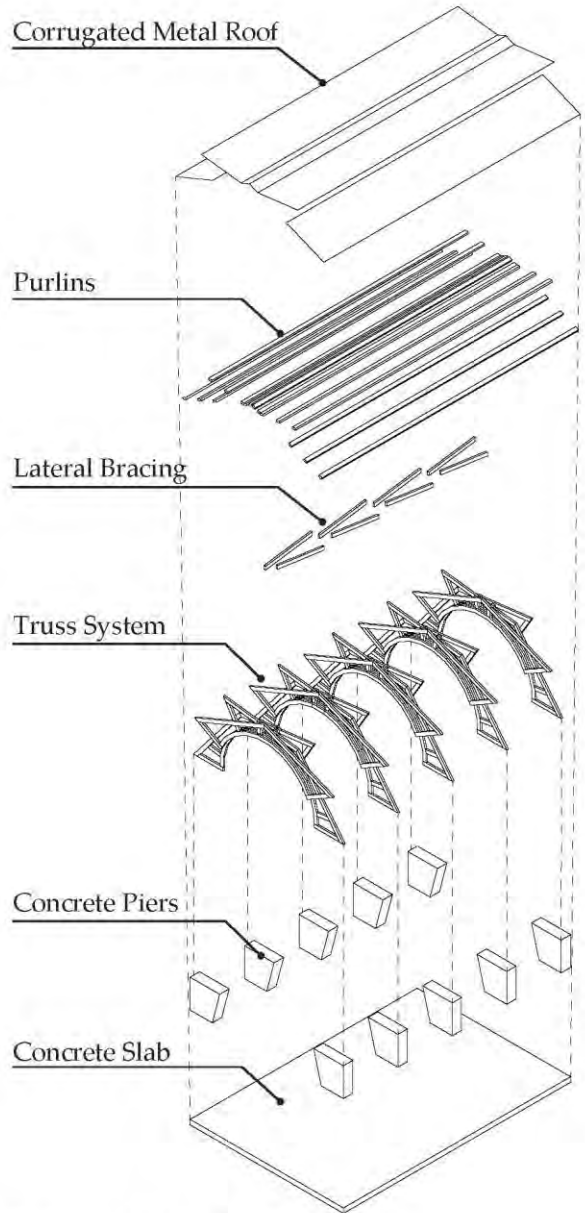


EAST ELEVATION

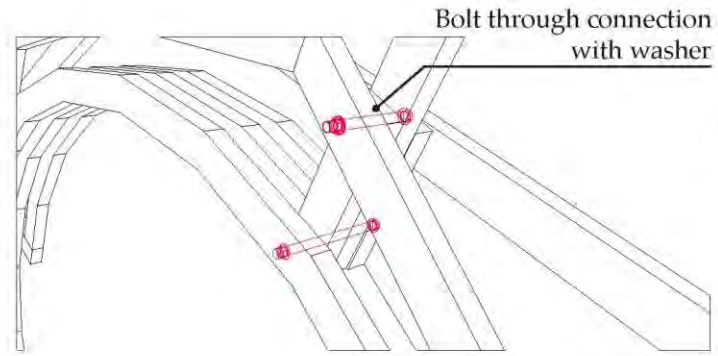


SOUTH ELEVATION

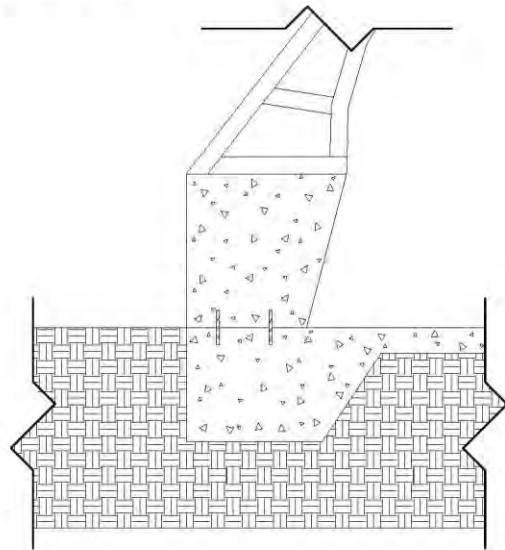
# DETAILS



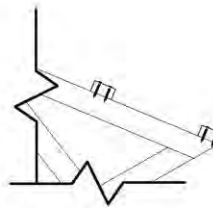
Constructibility Diagram



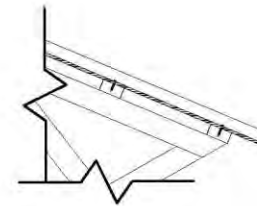
Truss Connections



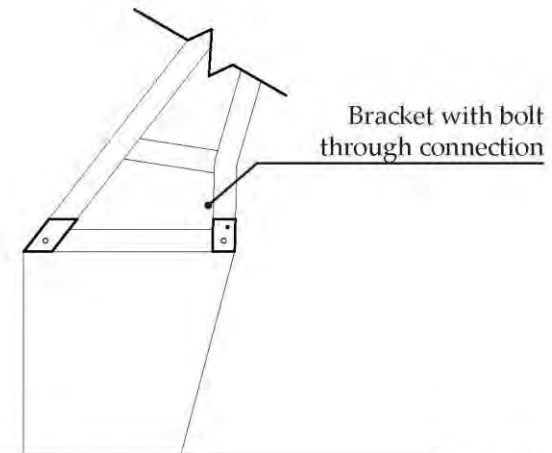
Pier to Foundation Connection



Purlin to Truss Connection

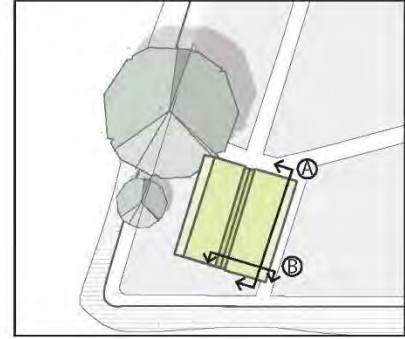


Purlin to Roof Connection

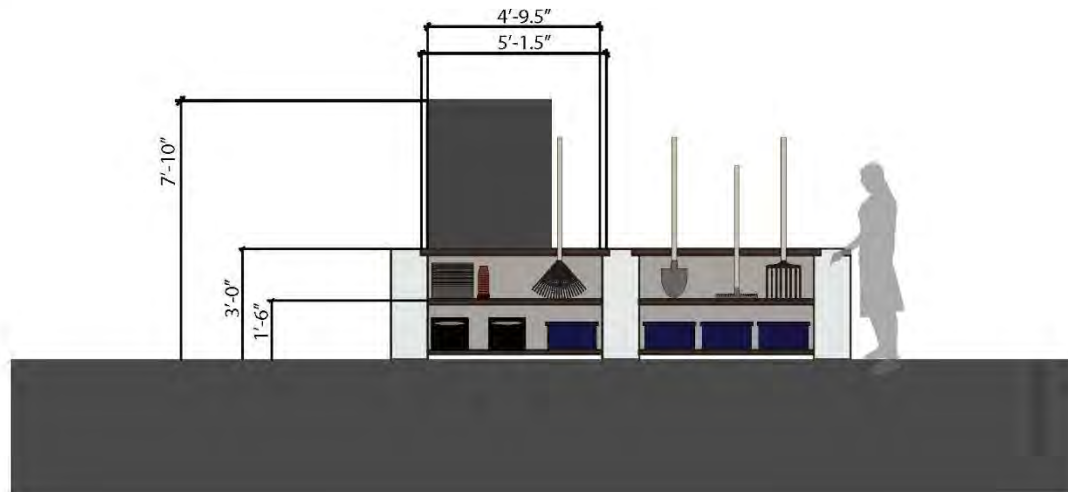


Purlin to Truss Connection

# SECTIONS

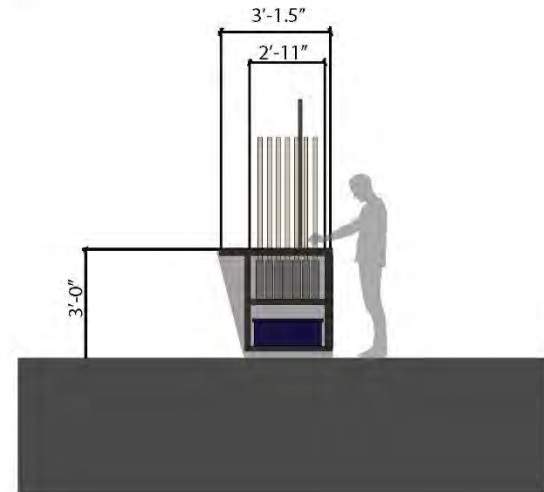


Ⓐ



Scale: 1:25

Ⓑ



Scale: 1:25



STORAGE UNIT SECTION



INTERIOR TOWARDS MEMORIAL HALL AND GARDEN



INTERIOR TOWARDS ENTRY GATE ON KING STREET

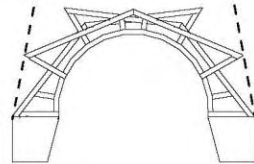




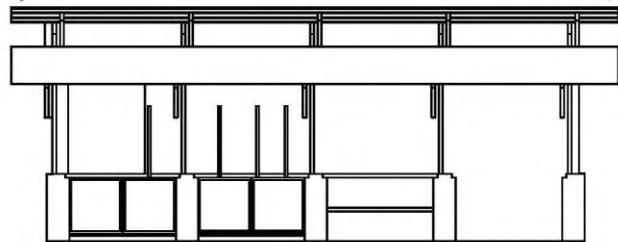
APPROACHING FROM CORNER OF CANTERBURY AVE + SHUTTERWOOD AVE



VIEW FROM KING



VIEW FROM HUGER





Agenda Item 12:

243 Calhoun Street - - TMS # 457-03-02-004

Request preliminary approval for the renovation of the building including replacement of the storefront window.

Not Rated / (Harleston Village) / c. 1958 / Old and Historic District



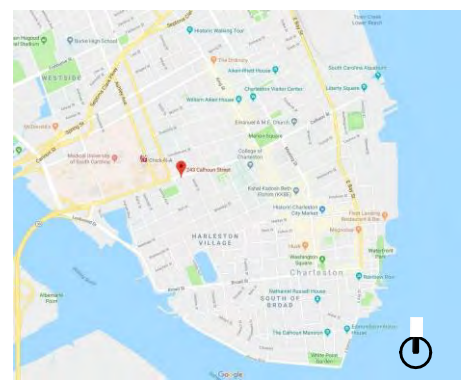
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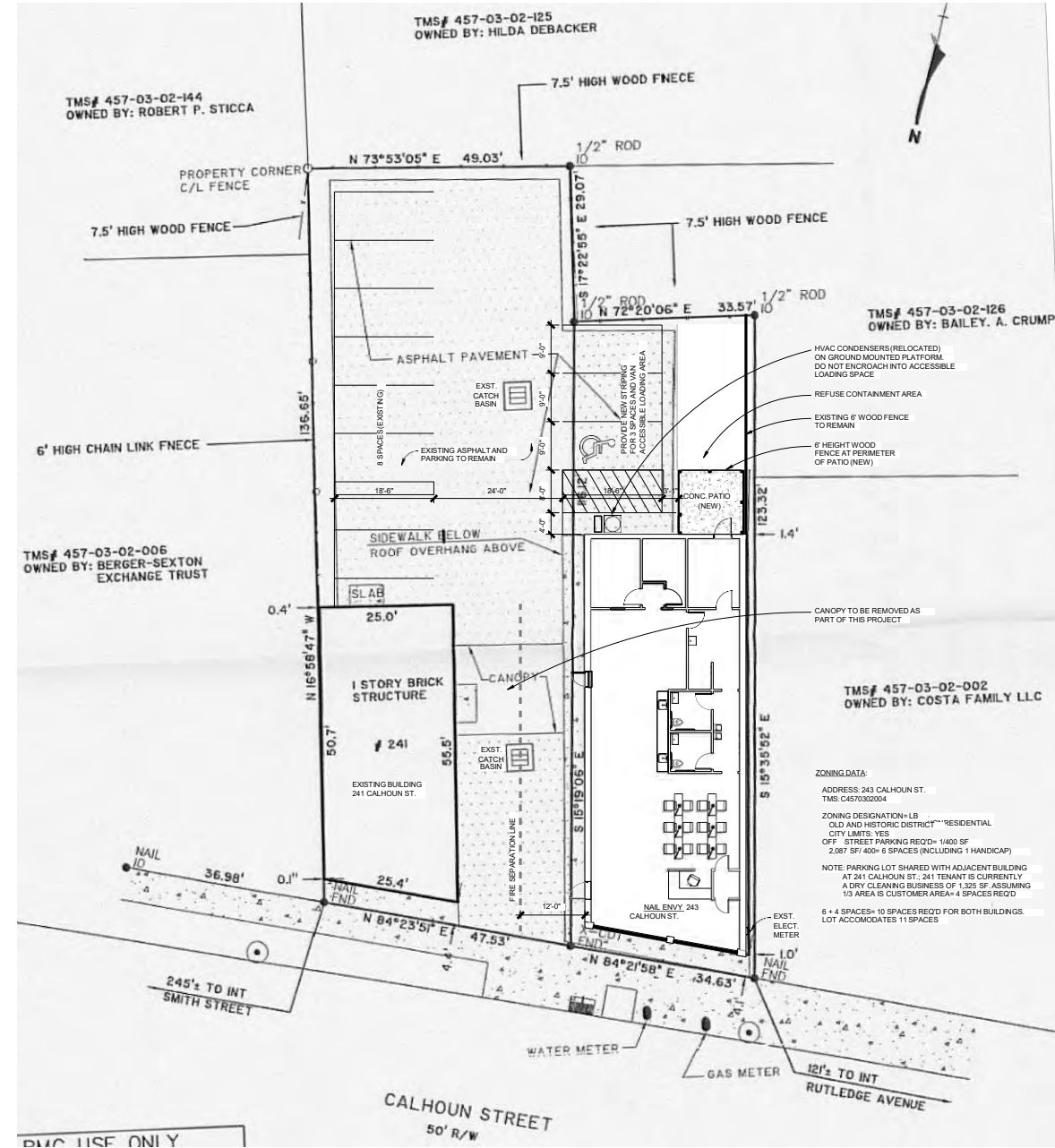
ARCISAN, INC.  
214 CHICK SPRINGS RD.  
GREENVILLE SC 29609  
864.607.2428

# NAIL ENVY

243 CALHOUN ST.  
CHARLESTON SC 29401



LOCATION MAP: NOT TO SCALE



**2**  
SITE PLAN  
SP1 1" = 10'-0"

NOTE: SURVEY INFORMATION OBTAINED FROM CITY OF CHARLESTON ENGINEERING, PLAT BY THOMAS & HUTTON ENGINEERING CO., 2007

ZONING DATA:  
ADDRESS: 243 CALHOUN ST.  
TMS: C4570302004

ZONING DESIGNATION-LB  
OLD AND HISTORIC DISTRICT RESIDENTIAL  
CITY LIMITS: YES  
OFF STREET PARKING REQ'D- 11400 SF  
2,087 SFI 400' 6 SPACES (INCLUDING 1 HANDICAP)

NOTE: PARKING LOT SHARED WITH ADJACENT BUILDING AT 241 CALHOUN ST. 241 TENANT IS CURRENTLY A DRY CLEANING BUSINESS OF 1,325 SF. ASSUMING 10 AREA IS CUSTOMER AREA 4 SPACES REQ'D

6 \* 4 SPACES= 10 SPACES REQ'D FOR BOTH BUILDINGS.  
LOT ACCOMMODATES 11 SPACES

| Revisions: |         |    |     |             |
|------------|---------|----|-----|-------------|
| NO         | DATE    | BY | CHK | DESCRIPTION |
| 0          | 9/27/19 | BS | BS  | BAR Review  |
|            |         |    |     |             |
|            |         |    |     |             |
|            |         |    |     |             |
|            |         |    |     |             |
|            |         |    |     |             |
|            |         |    |     |             |
|            |         |    |     |             |
|            |         |    |     |             |
|            |         |    |     |             |

Drawn By: BS  
Checked By: BS

## SITE PLAN

# SP 1

**BUILDING CODE SUMMARY**

**APPLICABLE BUILDING CODE EDITIONS**  
 2015 SC BUILDING CODE  
 2015 SC EXISTING BUILDING CODE  
 2015 SC FIRE CODE  
 2015 SC PLUMBING CODE  
 2015 SC MECHANICAL CODE  
 2015 SC FUEL GAS CODE  
 2009 INTERNATIONAL ENERGY CONSERVATION CODE  
 2014 NATIONAL ELECTRIC CODE (NFPA 70)  
 2017 ICC A117.1-2017 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES

**PROJECT DESCRIPTION:**  
 TENANT UP-FIT FOR A NAIL SALON IN AN EXISTING BUILDING

**PROJECT ADDRESS:**  
 243 CALHOUN ST.  
 CHARLESTON SC 29401

**PROJECT JURISDICTION (AHJ):**  
 CITY OF CHARLESTON

**CONSTRUCTION:**  
 NEW ( )  
 ADDITION ( )  
 ALTERATION (X)  
 LEVEL 3 ALTERATION, GROUP B TO GROUP B  
 RESTORATION ( )

**BUILDING OCCUPANCY CLASSIFICATION:** GROUP B, BUSINESS

**OCCUPANCY SUMMARY:**  
 2,087 SF AT 1100 SF= 21 OCCUPANTS

**GENERAL BUILDING HEIGHTS AND AREAS (504)**  
 TYPE OF CONSTRUCTION: V-B  
 SPRINKLER SYSTEM PROVIDED: NO  
 SPRINKLER INCREASE: NO  
 STORY INCREASE: NO  
 HEIGHT INCREASE: NO  
 ALLOWABLE HEIGHT: 47'  
 ACTUAL HEIGHT: LESS THAN 20'  
 ALLOWABLE STORIES ABOVE GRADE: 2  
 EXISTING STORIES: 1

**ALLOWABLE BUILDING AREA (1506.2):** 9,000 SF  
**ACTUAL BUILDING AREA:** 2,087 SF  
**FRONTAGE INCREASE:** NO

**MIXED USE AND OCCUPANCY (508):** NOT APPLICABLE

**FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS (1601)**  
 CONSTRUCTION TYPE= V-B  
 STRUCTURAL FRAME= 0 HOURS  
 BEARING WALLS  
 EXTERIOR= 0 HOURS  
 INTERIOR= 0 HOURS  
 NONBEARING WALLS  
 INTERIOR= 0 HOURS  
 FLOORS= 0 HOURS  
 ROOF= 0 HOURS

**FIRE RESISTANCE REQUIREMENTS BASED ON SEPARATION DISTANCE (1602)**  
 TYPE OF CONSTRUCTION= V-B  
 OCCUPANCY= GROUP B  
 NORTH WALL >=30' SEPARATION= NO RATING  
 SOUTH WALL: 10' X < 30' TO PROP. LINE= 0 HOUR RATING EAST  
 WALL: 10' X < 30' TO ADJ. BUILDING= 0 HOUR RATING WEST  
 WALL <= 20' TO PROP. LINE= 1 HOUR RATING  
 EXISTING BRICK VENEER WALL

**MAXIMUM WALL OPENING BASED ON FIRE SEPARATION DISTANCE (1705.8)**  
 SPRINKLER SYSTEM PROVIDED: NO  
 NORTH WALL: 10' TO LESS THAN 15'= 15% ALLOWED (14% EXISTING)  
 SOUTH WALL: 30' OR GREATER= NO LIMIT  
 EAST WALL: 30' OR GREATER= NO LIMIT  
 WEST WALL: 0 TO LESS THAN 3'= NO OPENINGS PERMITTED

**SHAFT ENCLOSURES (713):** NOT APPLICABLE

**PENETRATIONS (714)**  
 THROUGH PENETRATIONS & MEMBRANE PENETRATIONS SHALL NOT REDUCE THE FIRE RESISTANCE RATING OF THE ASSEMBLY PENETRATED AND SHALL BE PROTECTED BY AN APPROVED PENETRATION FIRESTOP SYSTEM INSTALLED AS TESTED IN ACCORDANCE WITH ASTM E814 OR UL 1479.

**INTERIOR FINISHES (603)**  
 OCCUPANCY= GROUP B, NONSPRINKLERED  
 -ANTERIOR EXIT STAIRWAYS, RAMPS, PASSAGEWAYS= CLASS A  
 -CORRIDORS AND ENCLOSURE FOR EXIT ACCESS STAIRS/ RAMPS= CLASS B  
 -ROOMS AND ENCLOSED SPACES= CLASS C

**FIRE PROTECTION SYSTEM (903)**  
 GROUP B- SPRINKLER NOT REQUIRED

**PORTABLE FIRE EXTINGUISHERS (908)**  
 PROVIDE NFPA 10 COMPLIANT GENERAL PURPOSE CLASS A-B-C UNITS.  
 -IN CONSPICUOUS LOCATIONS  
 -PER INTERNATIONAL FIRE CODE  
 SEE LIFE SAFETY PLAN FOR LOCATIONS

**FIRE ALARM DETECTION SYSTEMS (907)**  
 GROUP B  
 -NOT REQUIRED. OCCUPANT LOAD LESS THAN 500

**MEANS OF EGRESS, SCRC CH. 10**  
 REFER TO LIFE SAFETY PLAN FOR OCCUPANT LOAD (1004)

**MINIMUM WIDTH BASED ON COMPONENT (1005):** SPRINKLERED ( ), NONSPINKLERED (X)  
 -STAIRWAYS: 0.3' PER OCCUPANT  
 -OTHER: 0.2' PER OCCUPANT  
 SPACES WITH ONE EXIT (1006.2.1)  
 -GROUP B: MAX OCC. LOAD OF 48; MAX. COMMON PATH OF TRAVEL=107'

**ACCESSIBLE MEANS OF EGRESS (EXST. BUILDING CODE 906)**  
 LEVEL 3 ALTERATION  
 -ACCESSIBLE BUILDING ENTRANCE PROVIDED  
 -ACCESSIBLE TOILETS PROVIDED  
 -ACCESSIBLE ROUTE TO PRIMARY FUNCTIONS PROVIDED

**STARWAYS (1011):** NOT APPLICABLE

**HANDRAILS (1014):** NOT APPLICABLE

**EXIT ACCESS TRAVEL DISTANCE (11017.2)**  
 -GROUP B, NONSPRINKLERED=200'

**CORRIDORS (11020.1):** NOT APPLICABLE

**MINIMUM ROOF COVERING (1505)**  
 -TYPE V-B CONSTRUCTION= CLASS C COVERING

**PLUMBING FIXTURES REQUIRED (17202.1)**  
 OCC. LOAD= 21 (10 MEN, 11 WOMEN)  
 TOILETS: GROUP B: 1/25" = 1 TOILET REQ'D  
 2 PROVIDED

**LAVATORIES: 140" = 1 REQ'D  
 2 PROVIDED**

**SERVICE SINK: 1 PROVIDED**  
**WATER FOUNTAINS: HIGH LOW UNIT PROVIDED**

**SEPARATE FACILITIES (2302.2):** REQUIRED. OCCUPANT LOAD > 15

**LIFE SAFETY LEGEND**

|            |   |  |
|------------|---|--|
| * [Symbol] | FIRE EXTINGUISHER CABINET                     | PATH OF TRAVEL   |
| [Symbol]   | FIRE EXTINGUISHER (WALL HUNG)                 |  |
| [Symbol]   | STANDPIPE                                     |  |
| [Symbol]   | EXIT SIGN                                     | EXIT DISCHARGE   |
| [Symbol]   | WALL MOUNTED EXIT SIGN                        |  |
| [Symbol]   | WALL MOUNTED COMBINATION EMERGENCY EXIT LIGHT | ACTUAL EGRESS LOAD CAPACITY OF OPENING                                       |
| [Symbol]   | WALL MOUNTED EXTERIOR EGRESS EMERGENCY LIGHT  | 123<br>133   |
| [Symbol]   | WALL MOUNTED EMERGENCY LIGHT                  |  |
| [Symbol]   | SUPRA LOCK BOX - RECESSED TRAC VALVE          | HEEN 109   |
| [Symbol]   | FIRE ALARM PULL BOX                           | R<br>O<br>O<br>M<br>N<br>M<br>E<br>R<br>R<br>O<br>O<br>M<br>A<br>R<br>E<br>A |

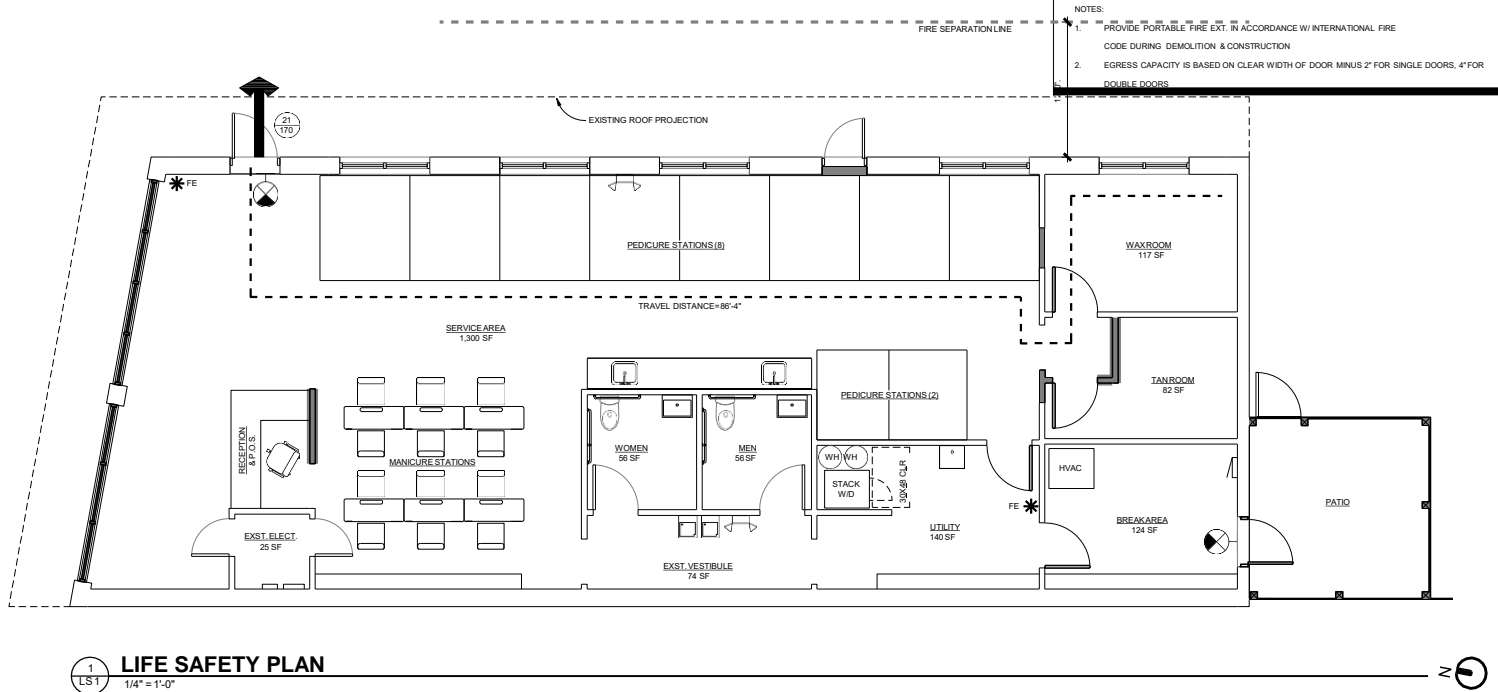
**NOTES:**

- PROVIDE PORTABLE FIRE EXT. IN ACCORDANCE W/ INTERNATIONAL FIRE CODE DURING DEMOLITION & CONSTRUCTION
- EGRESS CAPACITY IS BASED ON CLEAR WIDTH OF DOOR MINUS 2" FOR SINGLE DOORS, 4" FOR DOUBLE DOORS

ARCISAN, INC.  
 214 CHICK SPRINGS RD.  
 GREENVILLE, SC 29609  
 864.907.2428

**NAIL ENVY**

243 CALHOUN ST.  
 CHARLESTON SC 29401



**Revisions:**

| NO. | DATE    | BY | CHKD | DESCRIPTION |
|-----|---------|----|------|-------------|
| 0   | 8/27/19 | BS | BS   | BAR Review  |
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Project #: 19-NAIL ENVY  
 Date: Drawn: 8/27/19  
 By: BS  
 Checked By: BS

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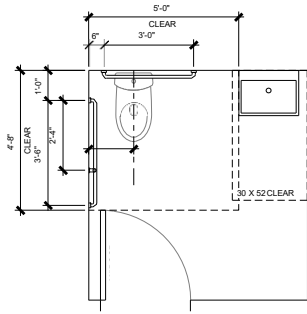
1 LS-1 1/4" = 1'-0"

**LIFE SAFETY CODE DATA**

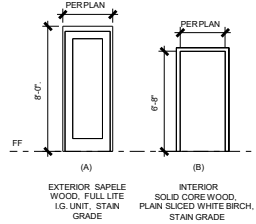
**LS 1**



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- APPLICABLE CODES  
2017 ICC A117.1-2017 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES  
ALL RESTROOM FIXTURES AND EQUIPMENT SHALL MEET REQUIREMENTS OF ICC A117.1-2017
- WATER CLOSET SEAT HEIGHT= 17" MIN. 18" MAX ABOVE FINISHED FLOOR  
WATER CLOSET CENTERED AT 16-18" FROM SIDE WALL
  - GRAB BARS: MOUNT TOP OF BAR AT 36" ABOVE FINISHED FLOOR  
A. 42" BAR AT SIDE WALL (12" FROM CORNER)  
B. 36" BAR AT REAR WALL (6" FROM CORNER)  
C. 18" VERTICAL BAR AT SIDE WALL 40" FROM CORNER, BOTTOM 40" ABOVE FLOOR
  - LAVATORY: WALL MOUNTED WITH TOP OF LAV AT 34" ABOVE FLOOR  
PROVIDE PIPE INSULATION/ PROTECTION AT WATER SUPPLIES AND DRAIN LINES.
  - MIRROR: MOUNT BOTTOM EDGE OF MIRROR AT 40" MAX ABOVE FLOOR
  - TISSUE DISPENSER: MOUNT AT SIDE WALL, MIN. 1.5" CLEARANCE BELOW GRAB BAR  
CENTER AT 36" FROM REAR WALL, MIN. 18" ABOVE FLOOR
  - PAPER TOWEL DISPENSER OR HAND DRYER: SLOT AT 48" MAX ABOVE FLOOR
  - URNAL (WHERE PROVIDED): RIM AT 17" MAX ABOVE FLOOR, WALL HUNG



**DOOR TYPES**  
1/4" = 1'-0"

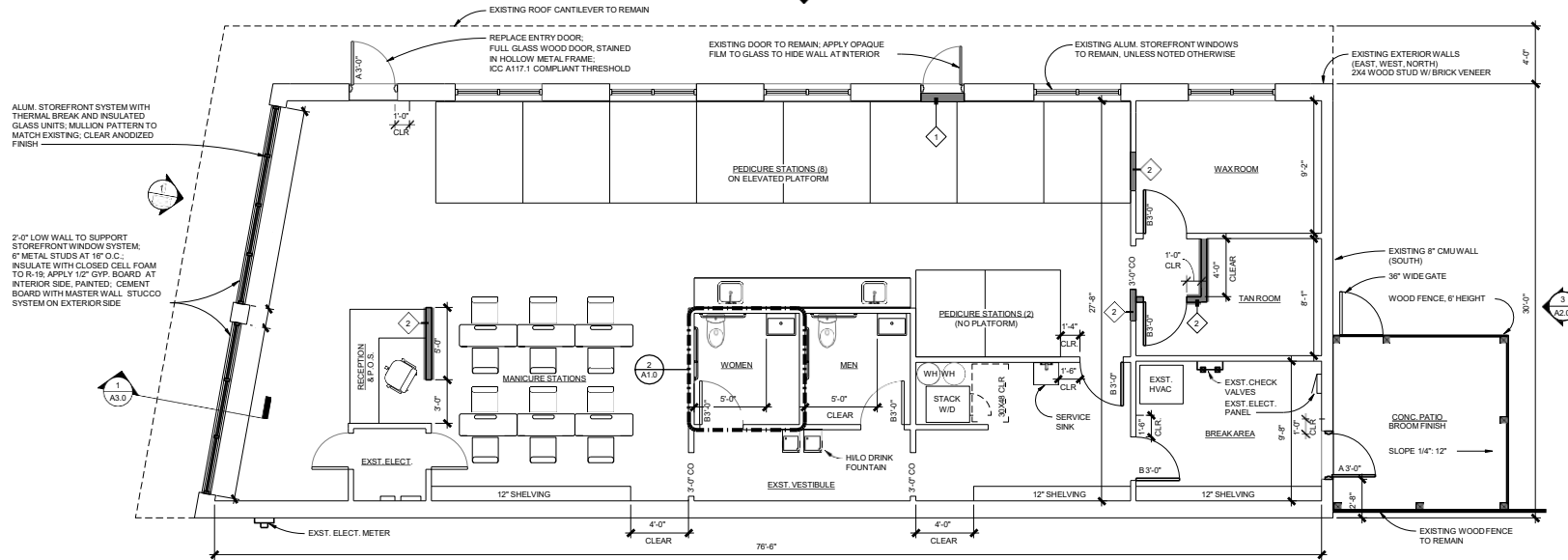
- DIMENSIONS SHOWN ARE TO FACE OF EXISTING WALLS AND FACE OF FRAMING AT CORNERS, TO CENTERLINE OF INTERIOR WALLS UNLESS NOTED OTHERWISE
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS PRIOR TO BEGINNING WORK AND NOTIFY DESIGNER IN WRITING IN EVENT OF DISCREPANCY.
- DOOR ROUGH OPENING SHALL BE 5" MINIMUM FROM ADJACENT CORNER FRAMING.
- PROVIDE HORIZONTAL BLOCKING IN WALLS AS REQUIRED FOR EQUIPMENT, MILLWORK AND ACCESSORIES.
- PROVIDE MOISTURE RESISTANT GYPSUM BOARD IN ALL WET AREAS AND CEMENTITIOUS BACKER BOARD AT ALL TILE LOCATIONS.
- PROVIDE FIXTURES AND HARDWARE COMPLIANT WITH ICC A117.1-2017. STAIRS SHALL HAVE HANDRAILS ON EACH SIDE WITH 12" EXTENSIONS THAT RETURN TO WALL, GUARD OR WALKING SURFACE.
- PROVIDE SOUND ATTENUATION BATTS AT ALL NEW WALLS, TYPICAL.
- GC TO COORDINATE ROUTING OF MECHANICAL, ELECTRICAL, & PLUMBING SYSTEMS. NOTIFY DESIGNER IN WRITING SHOULD CONFLICTS WITH DESIGN ARISE.
- ENGINEERING, LIGHTING, & LANDSCAPE DESIGN BY OTHERS

HEATED AREAS: 2,087 SF  
PROJECTED ROOF AREA: 2,710 SF

**2**  
**A1.0** **ACCESSIBLE TOILET PLAN**  
1/2" = 1'-0"

**WALL TYPE LEGEND**

|          |                  |   |
|----------|------------------|---|
| <b>1</b> | <b>EXTERIOR:</b> | STRUCTURE: 2X8 WOOD STUDS AT 16" O.C.<br>5/8" MARINE PLYWOOD SHEATHING; FLUID APPLIED WEATHER BARRIER;<br>1 1/2" CEMENT BOARD; MASTERWALL FIBER-STUCCO MESH &<br>BASE COAT;<br>MASTERWALL SUPERIOR FINISH TOP COAT  |
| <b>2</b> | <b>INTERIOR:</b> | STRUCTURE: 2X4 WOOD STUDS AT 16" O.C.<br>EXTERIOR: 1/2" GYPSUM WALL BOARD, PAINTED<br>INTERIOR: 1/2" MOISTURE AND MOLD RESISTANT GYPSUM WALL BOARD, PAINTED<br>INSULATION: R-20 CLOSED CELL SPRAY APPLIED FOAM<br>INSULATION: SOUND ATTENUATION BATTS<br>HEIGHT: VARIES<br>HEIGHT: MATCH ADJACENT EXISTING CONSTRUCTION |



**1**  
**A1.0** **FLOOR PLAN**  
1/4" = 1'-0"

**NAIL ENVY**

243 CALHOUN ST.  
CHARLESTON SC 29401

**Revisions:**

| NO. | DATE    | BY | CHKD | DESCRIPTION |
|-----|---------|----|------|-------------|
| 0   | 8/27/19 | BS | BS   | BAR Review  |
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Project #: 19-NAIL ENVY  
Date: Drawn: 8/27/19  
By: BS  
Checked By: BS

**FLOOR PLAN**

**A1.0**





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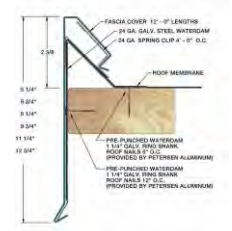
**NAIL ENVY**

243 CALHOUN ST.  
CHARLESTON SC 29401



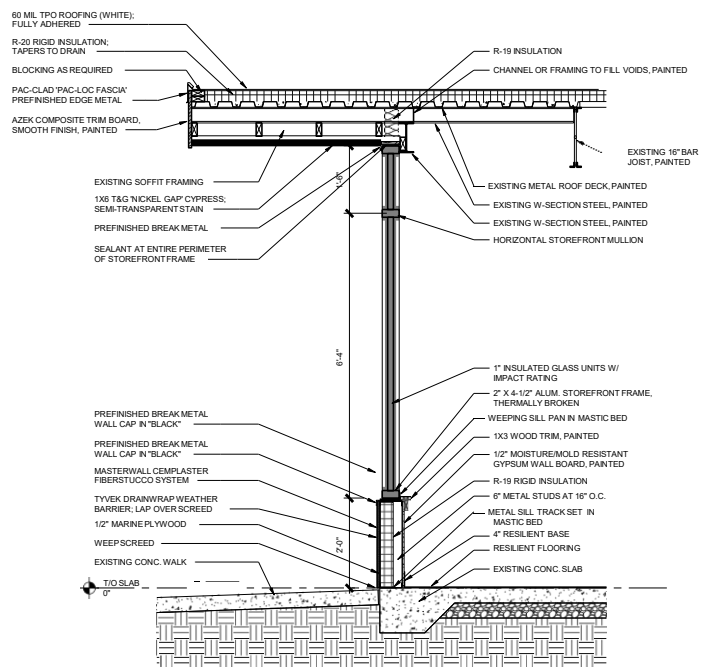
**2**  
**A3.0**     **STUCCO DETAIL**  
1" = 1'-0"

COURTESY MASTERWALL.COM



COURTESY PAC-CLAD.COM

**3**  
**A3.0**     **ROOF EDGE METAL DETAIL**  
6" = 1'-0"



**1**  
**A3.0**     **WALL SECTION**  
3/4" = 1'-0"

**Revisions:**

| NO. | DATE    | BY | CHKD | DESCRIPTION |
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| 0   | 8/27/19 | BS | BS   | BAR Review  |
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Project #: 19-NAIL ENVY  
Date: Drawn: 8/27/19  
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**SECTIONS & DETAILS**  
**A3.0**

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STREET VIEW (LOOKING EAST)



STREET VIEW (LOOKING NORTH)



STREET VIEW (LOOKING WEST)



EXISTING NORTH FACADE



EXISTING WEST FACADE



EXISTING EAST FACADE

**NAIL ENVY**

243 CALHOUN ST.  
CHARLESTON SC 29401

Revisions:

| NO. | DATE    | BY | CHKD | DESCRIPTION |
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Project #: 19-NAIL ENVY  
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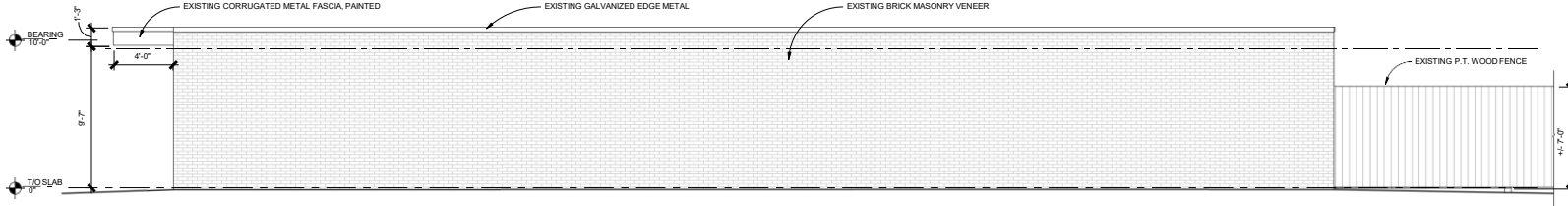
**EXISTING  
CONDITIONS**

**A4.0**

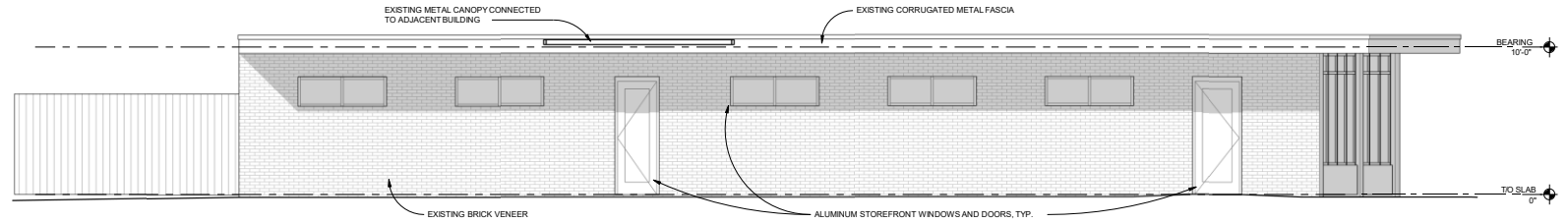
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**NAIL ENVY**

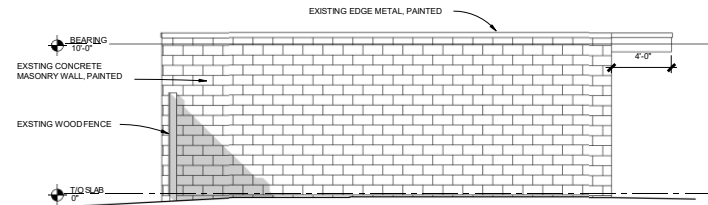
243 CALHOUN ST.  
CHARLESTON SC 29401



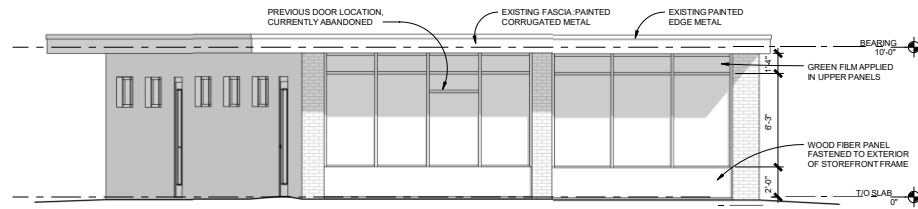
**1 EXISTING WEST ELEVATION**  
A4.1 1/4" = 1'-0"



**2 EXISTING EAST ELEVATION**  
A4.1 1/4" = 1'-0"



**3 EXISTING SOUTH ELEVATION**  
A4.1 1/4" = 1'-0"



A4.1 1/4" = 1'-0"

**Revisions:**

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Project #: 19-NAIL ENVY  
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**EXISTING ELEVATIONS**

**A4.1**



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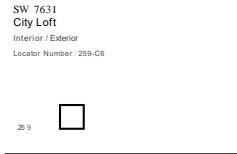
EXTERIOR CONCEPT  
PROJECT: 245 CALHOUN ST.  
SCALE: NOT TO SCALE DATE:  
1/21/11

**Arcisan**  
Residential +  
Commercial Design

NAIL ENVY  
EXTERIOR COLOR SELECTIONS  
243 GALHOUN ST.  
CHARLESTON SG  
8/30/1'1



MASONRY VENEER  
GOLOR: S 1631 "GITY LOFT"



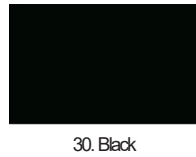
ALUM. STOREFRONT (NE )  
GOLOR: K N E E R "BLAGK"



FASGIA  
GOLOR: S 101'1 "GAUNTLET GRAY"



ALUM. STOREFRONT (EXISTING)  
GOLOR: DURANAR "BLAGK"



SOFFIT AND FENGE  
GOLOR: S 3531 "BLUE SHADO "  
SEMI-TRANSPARENT STAIN



ROOF EDGE METALS  
GOLOR: "MATTE BLAGK STEEL"  
BY FAG-GLAD







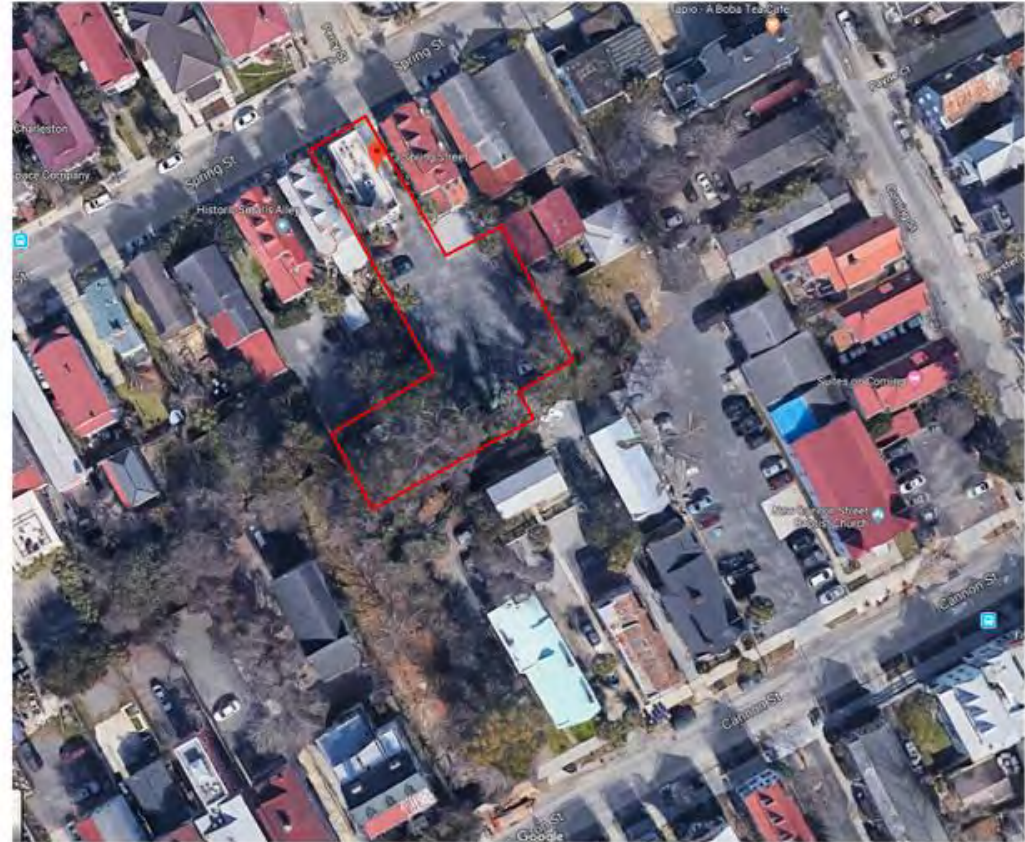
Agenda Item 13:

73 Spring Street - - TMS # 460-08-03-057

Request conceptual approval for the new construction of three single-family residences and one commercial building.

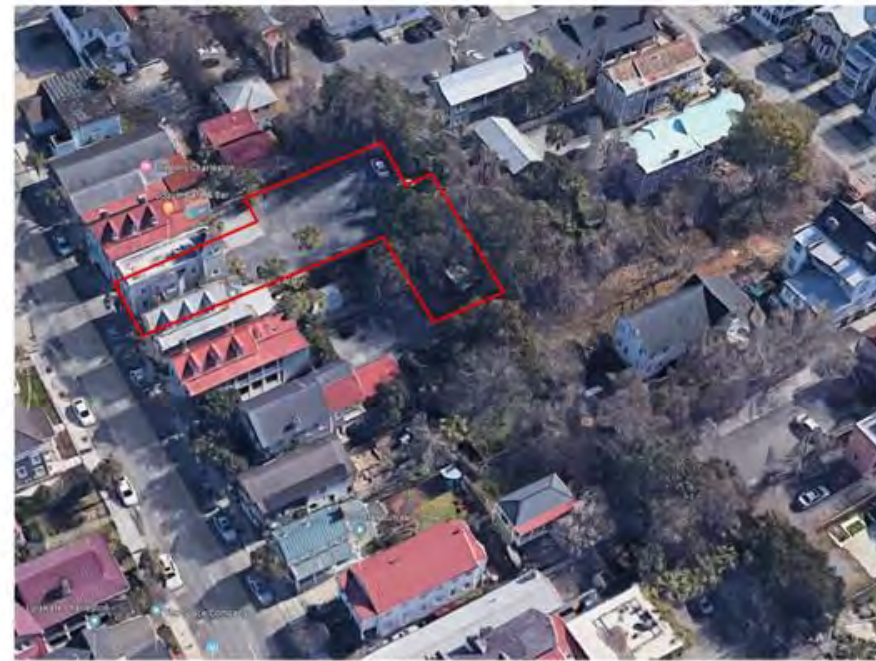
(Cannonborough/Elliottborough) / Old City District

**73 Spring Street: three new residential buildings & a new office building at rear of property  
(located behind existing non-historic building: commercial space with one residential unit above)  
(B.A.R. - Conceptual Review : September 2019)**

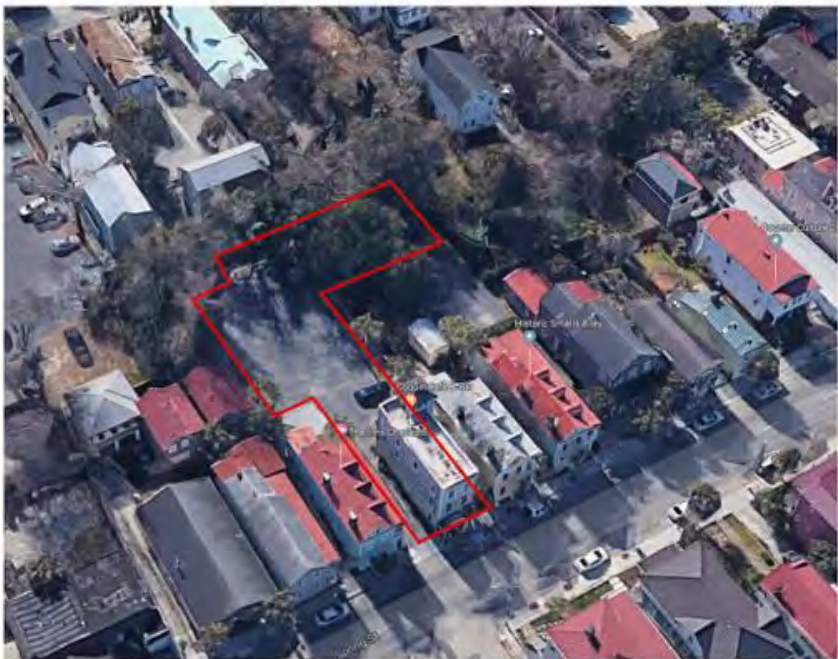




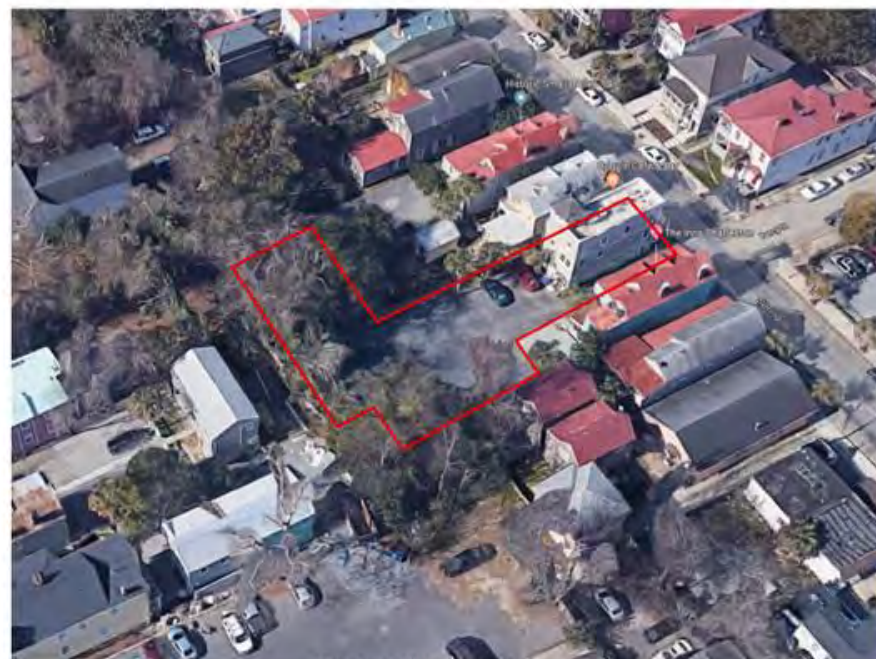
**AERIAL VIEW: looking north**



**AERIAL VIEW: looking east**



**AERIAL VIEW: looking south**



**AERIAL VIEW: looking west**



**71 SPRING**

**DRIVEWAY  
(SMALLS ALLEY)**

**73 SPRING**

**75 SPRING**

**77 SPRING**

**LEWIS  
COURT**

**79 SPRING**



**71 SPRING**

**DRIVEWAY  
(SMALLS ALLEY)**



**DRIVEWAY  
(SMALLS ALLEY)**

**73 SPRING**



**77 SPRING**

**LEWIS  
COURT**

**79 SPRING**



***DRIVEWAY (SMALLS ALLEY): looking south***



***DRIVEWAY (SMALLS ALLEY): looking west***



***DRIVEWAY (SMALLS ALLEY): looking north***



***DRIVEWAY (SMALLS ALLEY): looking east***



***LEWIS COURT: looking south***



***LEWIS COURT: looking south***



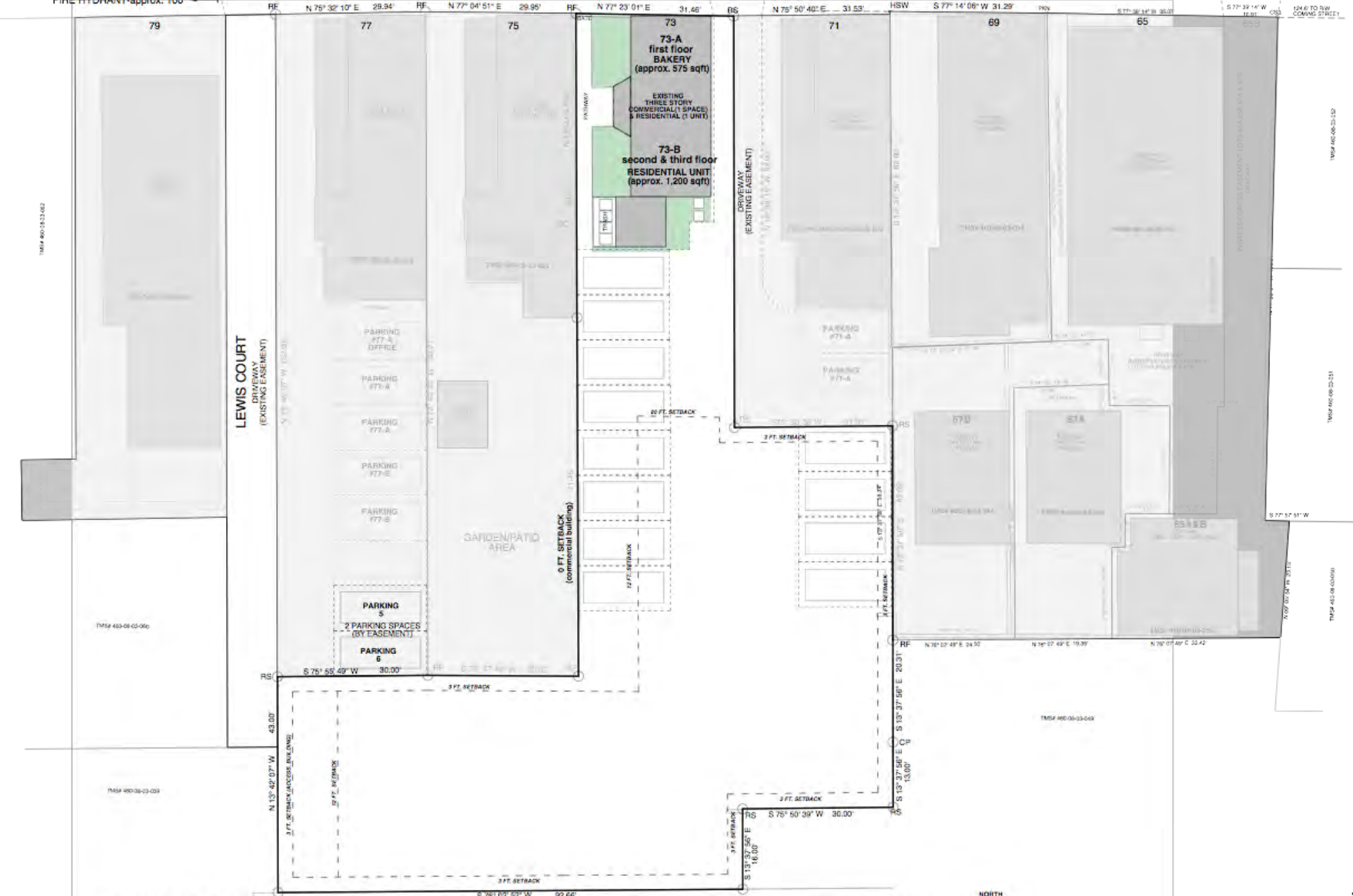
***LEWIS COURT: looking north***



***LEWIS COURT: looking north***



FIRE HYDRANT-approx. 100'



EXISTING SITE PLAN

1/16"=1'-0"

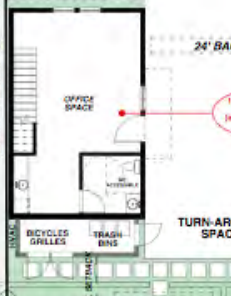
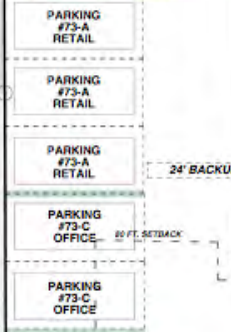
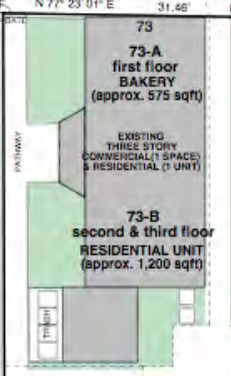


FIRE HYDRANT-approx. 100'

1MSF 400-08-02-002



LEWIS COURT DRIVEWAY (EXISTING EASEMENT)



ACCESSORY BUILDING: POOL HOUSE 17x10' (approx. 300 sqft)

1 SMALL ALLEY 16'x13' (approx. 1,200 sqft) 2 story

1 SMALL ALLEY 17'x13' (approx. 1,750 sqft) 2 story

2 SMALL ALLEY 17'x13' (approx. 1,750 sqft) 2 story

SITE / FIRST FLOOR PLAN

1/16"=1'-0"



FIRE HYDRANT APPROXIMATE LOCATION

1MSF 400-08-03-002

1MSF 400-08-03-000

1MSF 400-08-03-003

1MSF 400-03-000

1MSF 400-08-03-002

1MSF 400-08-03-001

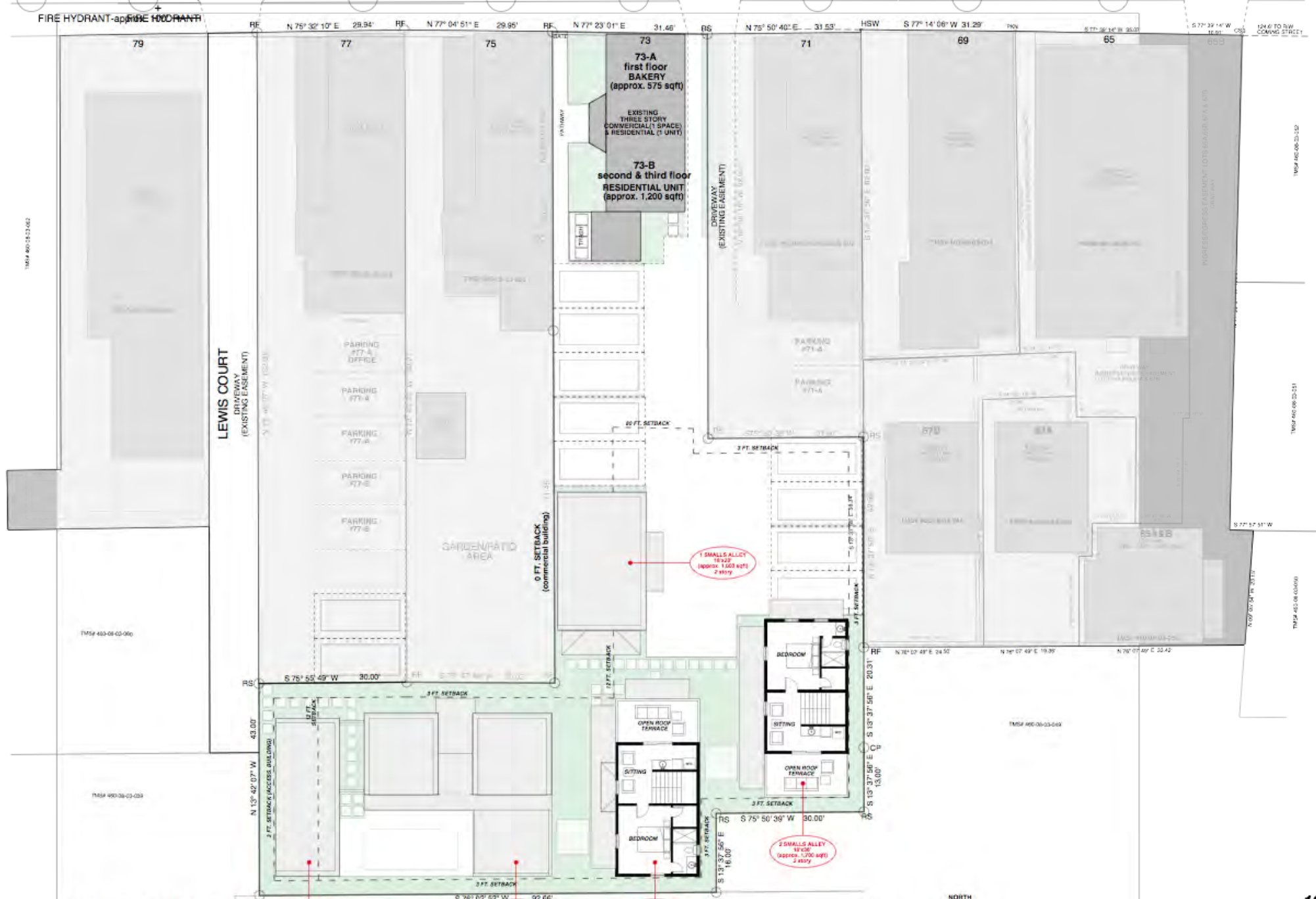
1MSF 400-08-03-000



SITE / SECOND FLOOR PLAN

1/16"=1'-0"

FIRE HYDRANT APPROXIMATE LOCATION



SITE / THIRD FLOOR PLAN

LEWIS COURT DRIVEWAY (EXISTING EASEMENT)

GARDEN/PATIO AREA

**73-A**  
first floor  
BAKERY  
(approx. 575 sqft)

EXISTING  
THREE STORY  
COMMERCIAL (1 SPACE)  
& RESIDENTIAL (1 UNIT)

**73-B**  
second & third floor  
RESIDENTIAL UNIT  
(approx. 1,200 sqft)

1 SMALLS ALLEY 18'x22' (approx. 1,600 sqft) 2 story

2 SMALLS ALLEY 14'x26' (approx. 1,750 sqft) 2 story

1 LEWIS COURT 38'x25' (approx. 1,200 sqft) 2 story

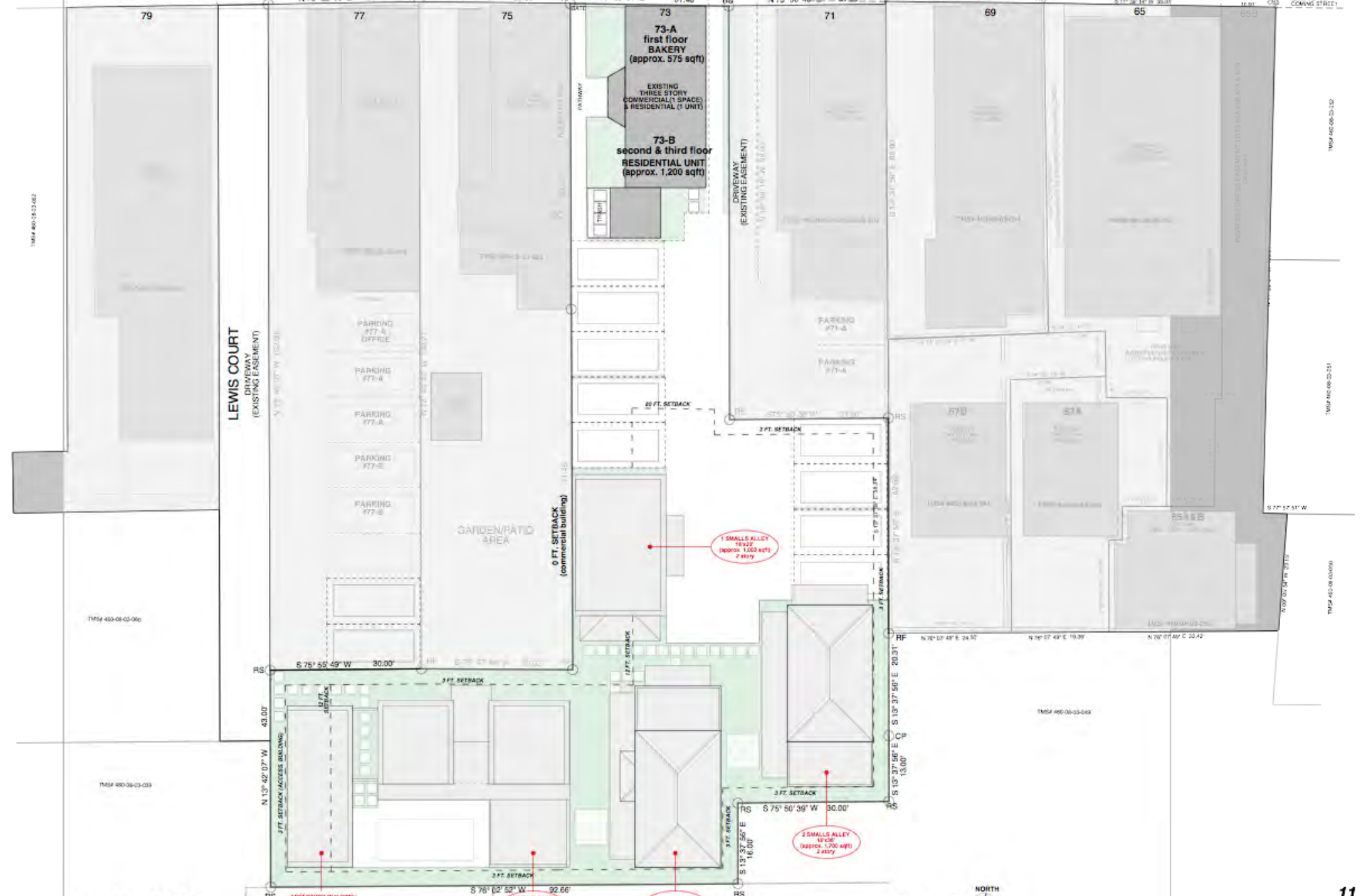
1 SMALLS ALLEY 14'x26' (approx. 1,750 sqft) 2 story

ACCESSORY BUILDING/POOL HOUSE 13'x10' (approx. 300 sqft)

1/16"=1'-0"



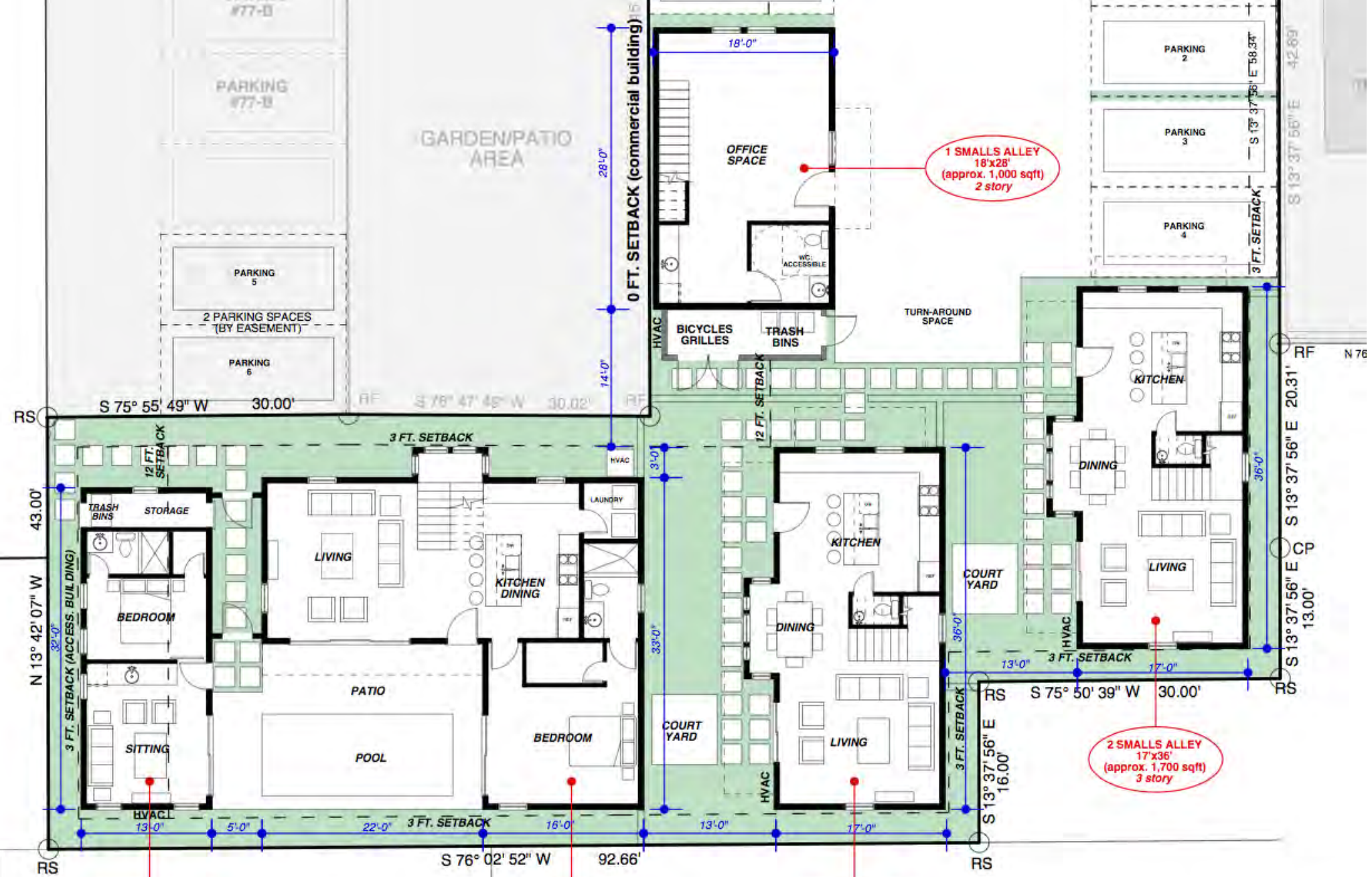
FIRE HYDRANT APPROXIMATE LOCATION



SITE / ROOF PLAN

1/16"=1'-0"





ACCESSORY BUILDING/  
POOL HOUSE  
13'x30'  
(approx. 400 sqft)


1 LEWIS COURT  
38'x32'  
(approx. 1,600 sqft)  
2 story

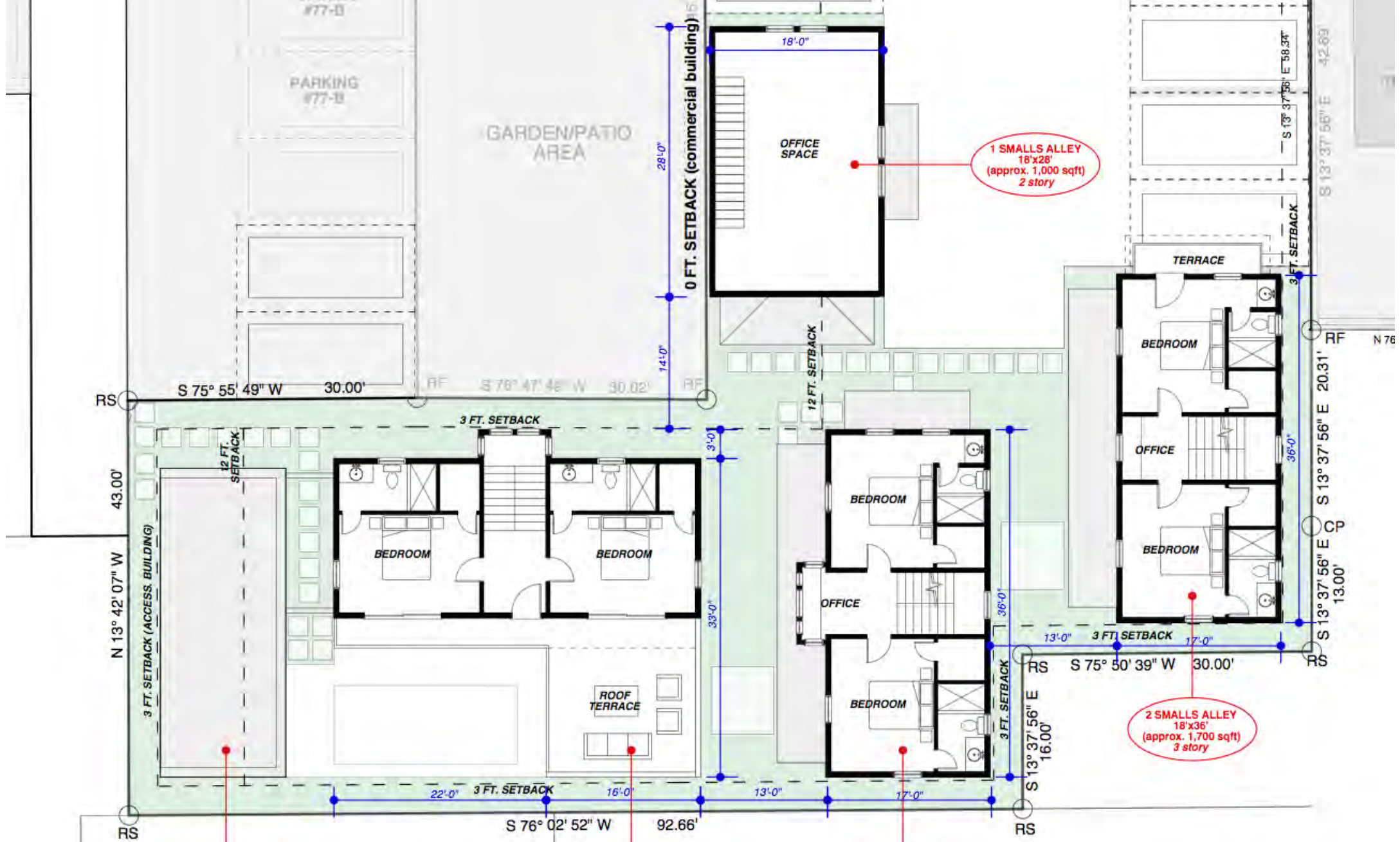
3 SMALLS ALLEY  
18'x36'  
(approx. 1,730 sqft)  
3 story


2 SMALLS ALLEY  
17'x36'  
(approx. 1,700 sqft)  
3 story

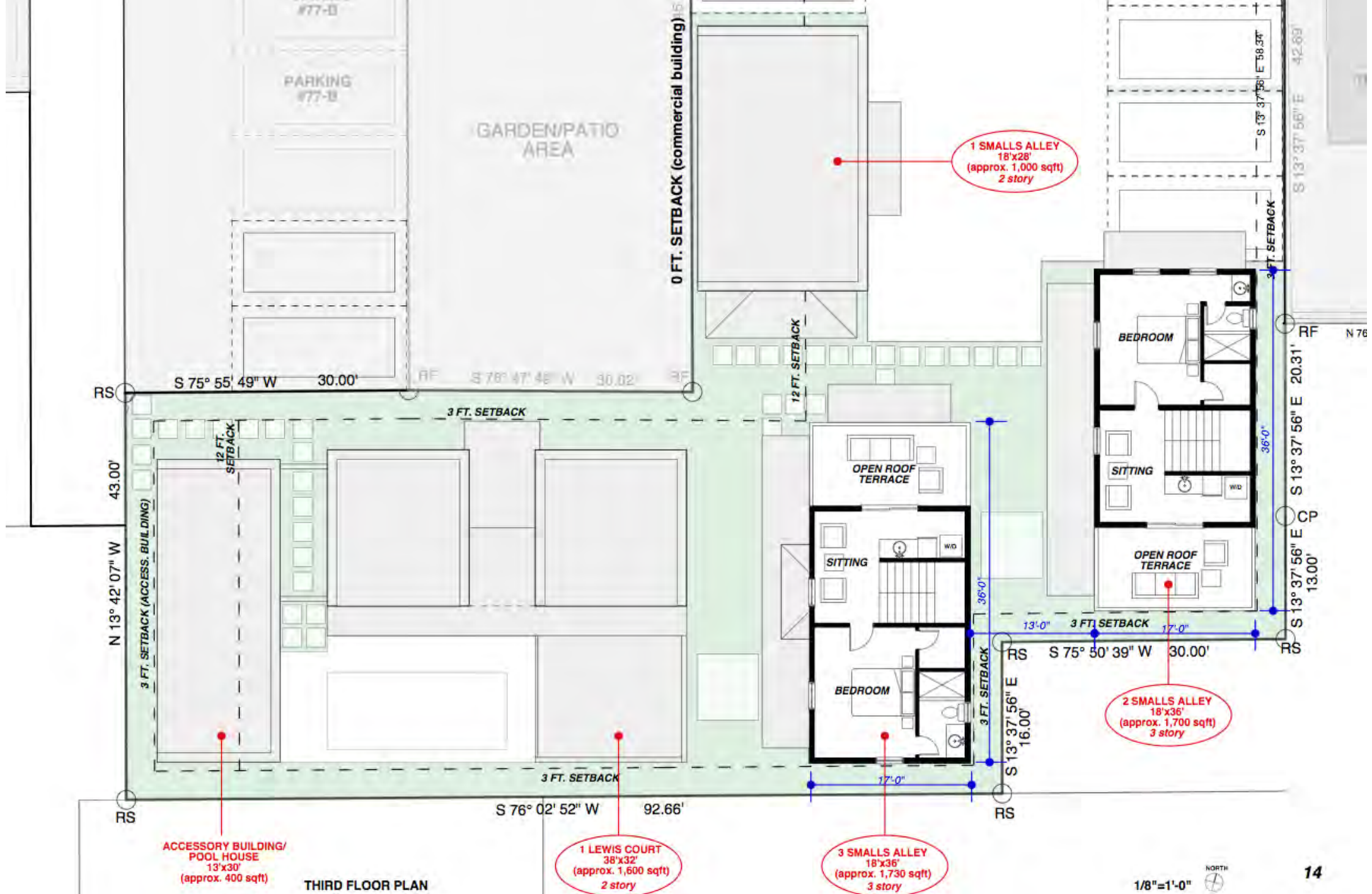
1 SMALLS ALLEY  
18'x26'  
(approx. 1,000 sqft)  
2 story

FIRST FLOOR PLAN

1/8"=1'-0" 



1/8"=1'-0" 



ACCESSORY BUILDING/  
POOL HOUSE  
13'x30'  
(approx. 400 sqft)

THIRD FLOOR PLAN

1 LEWIS COURT  
38'x32'  
(approx. 1,600 sqft)  
2 story

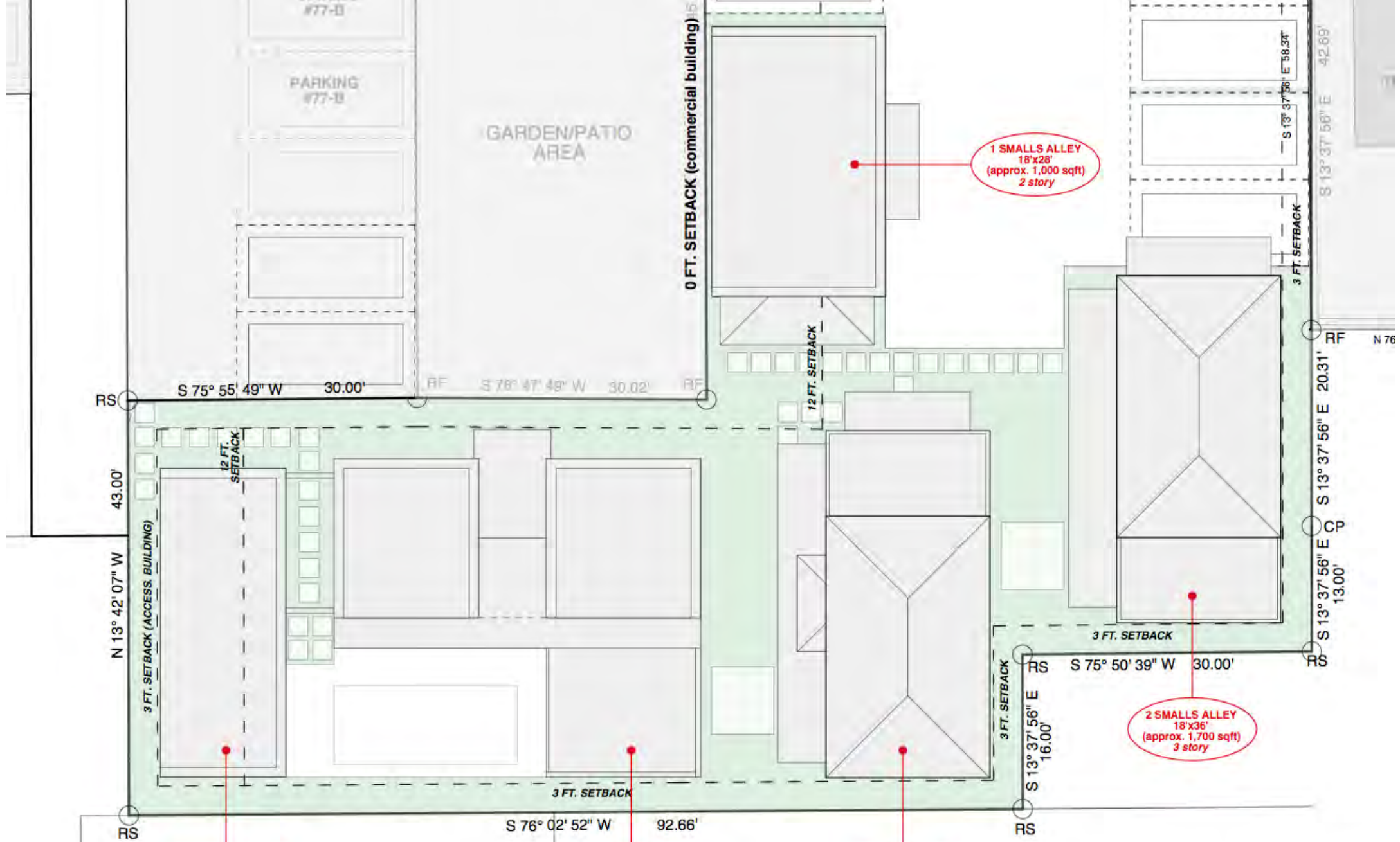
3 SMALLS ALLEY  
18'x36'  
(approx. 1,730 sqft)  
3 story

1 SMALLS ALLEY  
18'x28'  
(approx. 1,000 sqft)  
2 story

2 SMALLS ALLEY  
18'x36'  
(approx. 1,700 sqft)  
3 story

1/8"=1'-0"





ACCESSORY BUILDING/  
POOL HOUSE  
13'x30'  
(approx. 400 sqft)


1 LEWIS COURT  
38'x32'  
(approx. 1,600 sqft)  
2 story

3 SMALLS ALLEY  
18'x36'  
(approx. 1,730 sqft)  
3 story

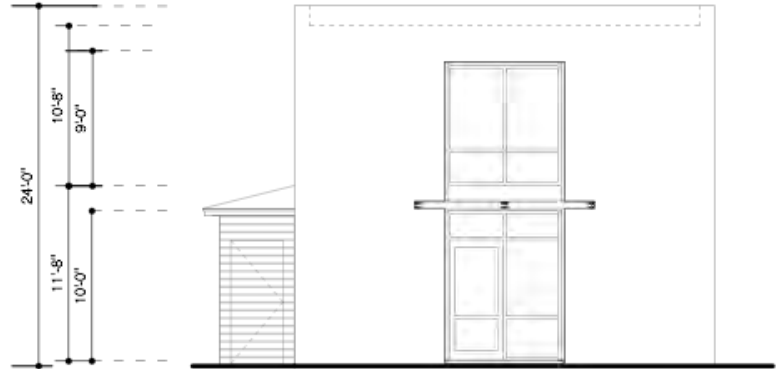
1 SMALLS ALLEY  
18'x28'  
(approx. 1,000 sqft)  
2 story

2 SMALLS ALLEY  
18'x36'  
(approx. 1,700 sqft)  
3 story

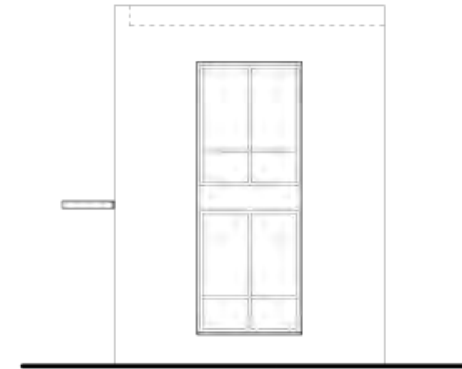
ROOF PLAN

1/8"=1'-0" 

**1 SMALLS ALLEY  
(OFFICE BUILDING)**



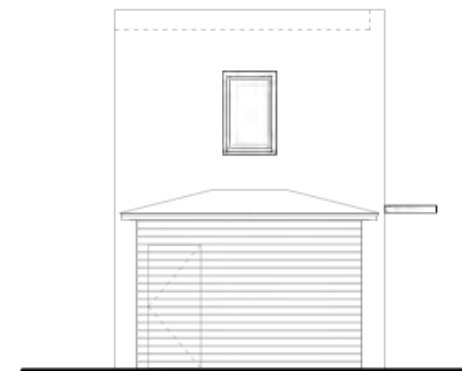
**1 SMALLS ALLEY: EAST ELEVATION** 1/8"=1'-0"



**1 SMALLS ALLEY: NORTH ELEVATION** 1/8"=1'-0"



**1 SMALLS ALLEY: WEST ELEVATION** 1/8"=1'-0"



**1 SMALLS ALLEY: SOUTH ELEVATION** 1/8"=1'-0"

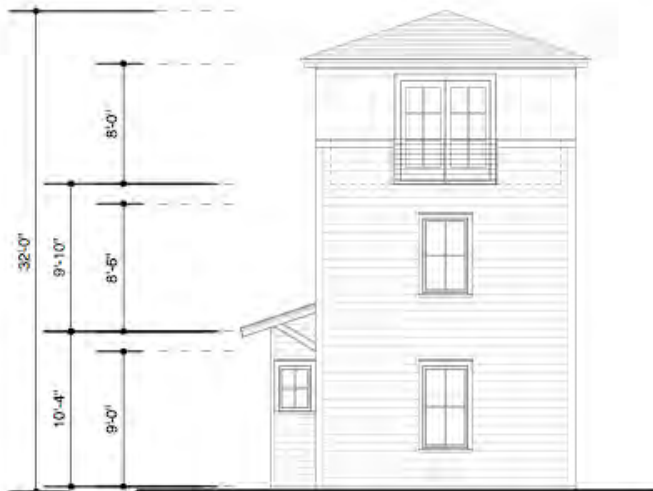
**2 SMALLS ALLEY  
(HOUSE BEHIND 71 SPRING)**



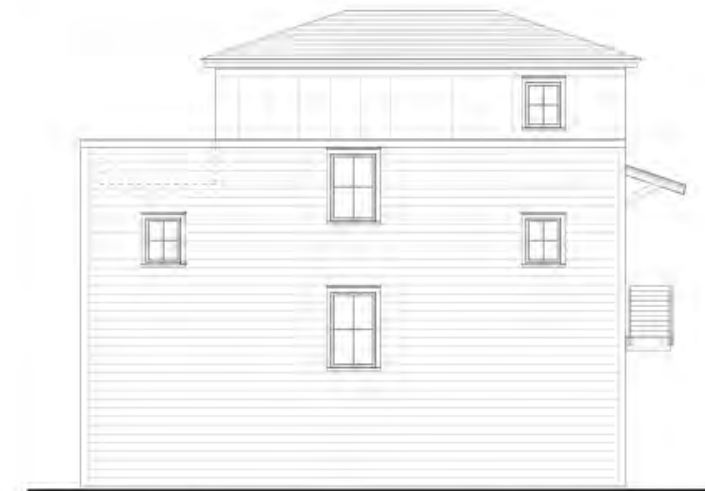
**2 SMALLS ALLEY: NORTH ELEVATION** 1/8"=1'-0"



**2 SMALLS ALLEY: WEST ELEVATION** 1/8"=1'-0"



**2 SMALLS ALLEY: SOUTH ELEVATION** 1/8"=1'-0"



**2 SMALLS ALLEY: EAST ELEVATION** 1/8"=1'-0"

**3 SMALLS ALLEY  
(HOUSE BEHIND 73 SPRING)**



**3 SMALLS ALLEY: NORTH ELEVATION**

1/8"=1'-0"



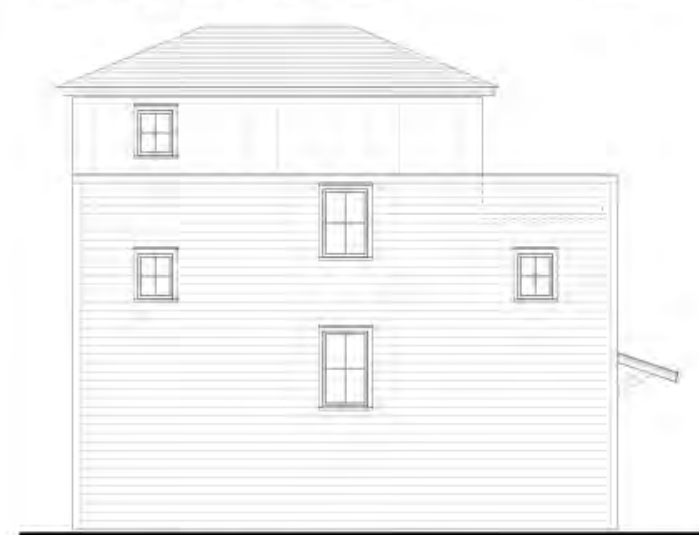
**3 SMALLS ALLEY: WEST ELEVATION**

1/8"=1'-0"



**3 SMALLS ALLEY: SOUTH ELEVATION**

1/8"=1'-0"



**3 SMALLS ALLEY: EAST ELEVATION**

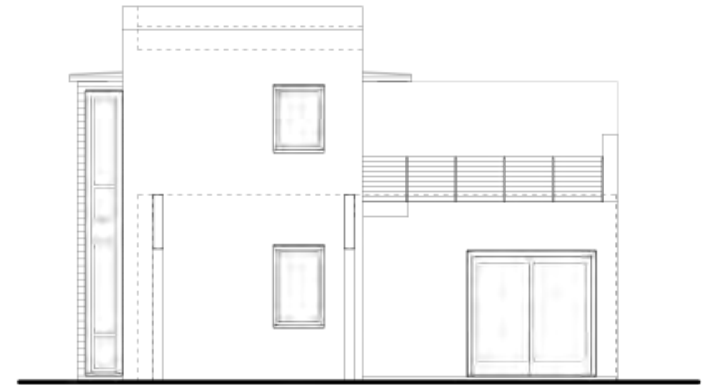
1/8"=1'-0"

**1 LEWIS COURT  
(HOUSE BEHIND 75 & 77 SPRING)**



**1 LEWIS COURT: NORTH ELEVATION**

1/8"=1'-0"



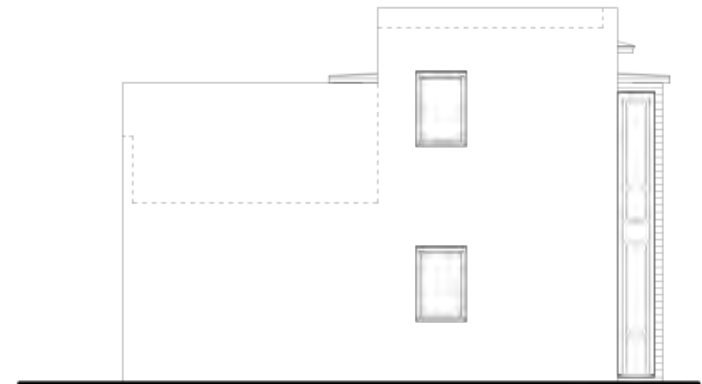
**1 LEWIS COURT: WEST ELEVATION**

1/8"=1'-0"



**1 LEWIS COURT: SOUTH ELEVATION**

1/8"=1'-0"



**1 LEWIS COURT: EAST ELEVATION**

1/8"=1'-0"







**SPRING STREET: LOOKING SOUTH**  
*(1, 2, 3 Smalls & 1 Lewis- beyond)*





2 SMALLS ALLEY

3 SMALLS ALLEY

1 SMALLS ALLEY

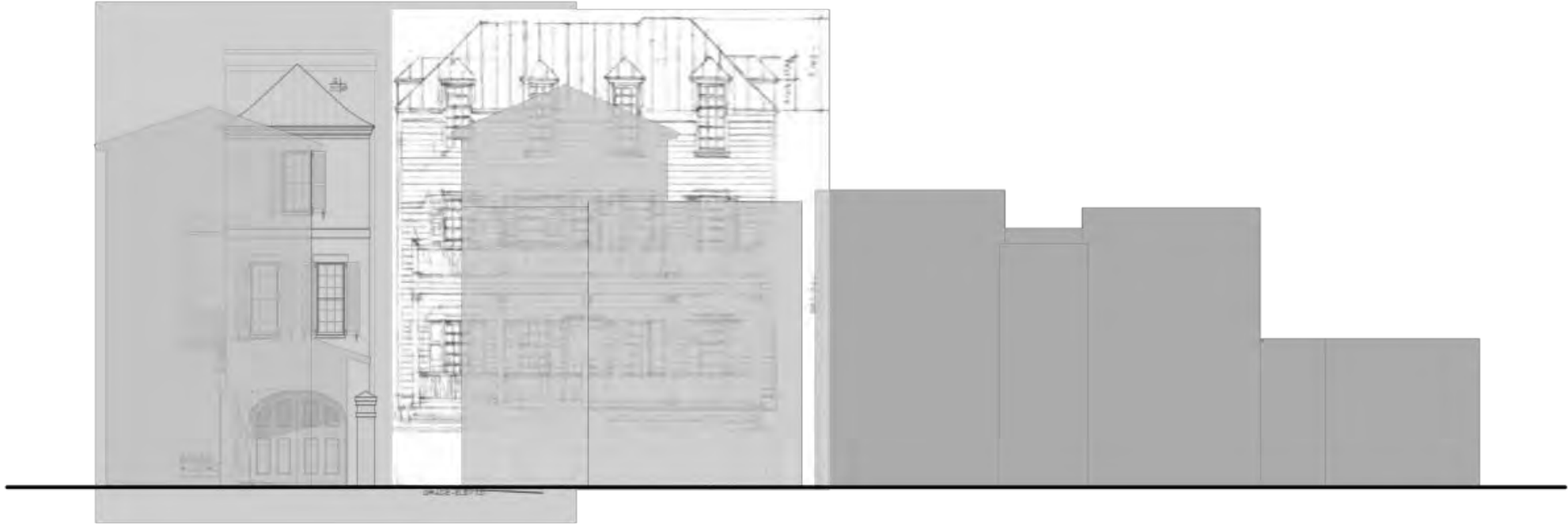
1 LEWIS COURT

POOL HOUSE  
(1 LEWIS COURT)

**BEHIND 71-77 SPRING: LOOKING SOUTH**  
*(71-77 Spring- shaded)*



**CATFIDDLE STREET: FROM KENNEDY STREET  
(1, 2, 3 Smalls & 1 Lewis- shaded)**



**CATFIDDLE STREET: FROM BOGARD STREET  
(1, 2, 3 Smalls & 1 Lewis- shaded)**



**SANCTUARY COURT: FROM 124 SPRING STREET  
(1, 2, 3 Smalls & 1 Lewis- shaded)**



Agenda Item 14:

11 Percy Street - - TMS # 460-08-03-150

Request conceptual approval for renovations and addition to existing single-family residence.

Category 4 / (Cannonborough/Elliottborough) / c. 1886

Old City District



LOCATION MAP

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renovation & addition  
11 PERCY STREET  
CHARLESTON, SC  
  
CONCEPTUAL BAR

DESIGNED  
OK  
DRAWN  
OK | RS  
CHECKED  
OK

DATE  
9-29-2019  
REVISIONS

SHEET  
**A1.0**  
SITE



exterior piazza looking east from sideyard



exterior looking east from rearyard



exterior looking northwest from Percy Street



exterior looking southwest from Percy Street

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 11 PERCY STREET  
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 dgj

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 dgj, lsh

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 dgj

DATE  
 9-29-2019

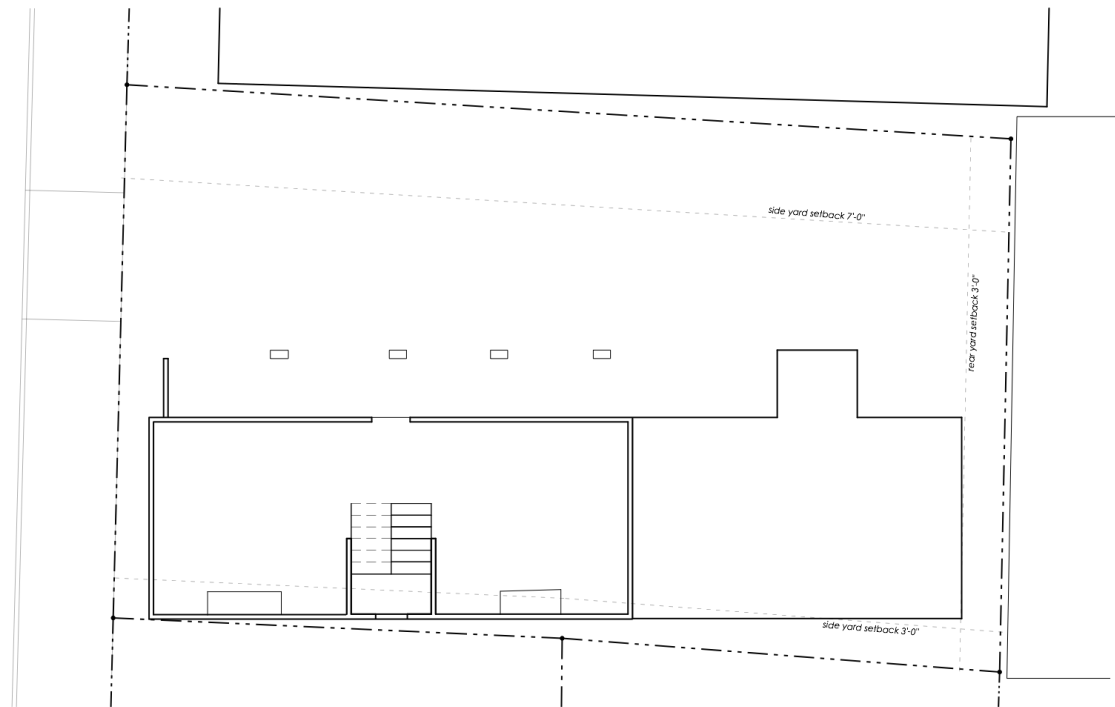
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A1.0

PHOTO





existing site plan: 1/4" = 1'-0"

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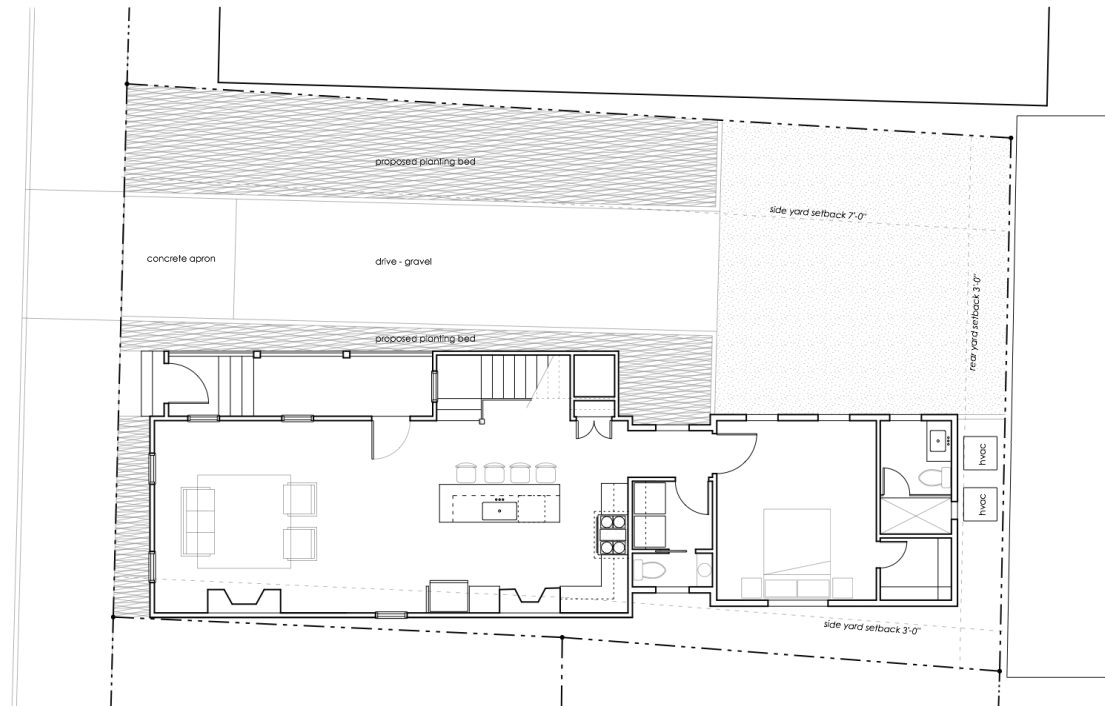
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 DRAWN  
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 dkj

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 A1.1  
 SITE



proposed site plan: 1/4" = 1'-0"

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AKJ | JRS  
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AKJ

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SHEET  
A1.2  
SITE

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renovation & addition  
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CHARLESTON, SC  
  
CONCEPTUAL BAR

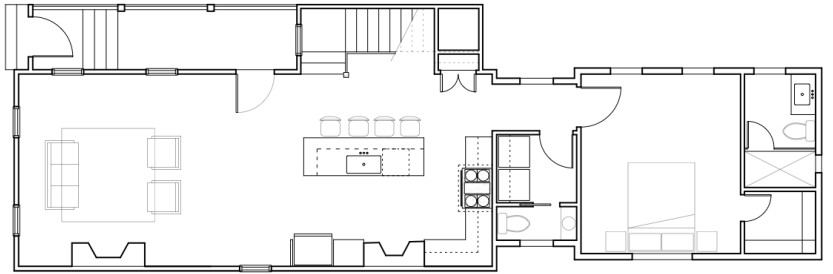
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aj

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9-29-2019  
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A3.1  
PLANS



existing first floor plan: 1/4" = 1'-0"

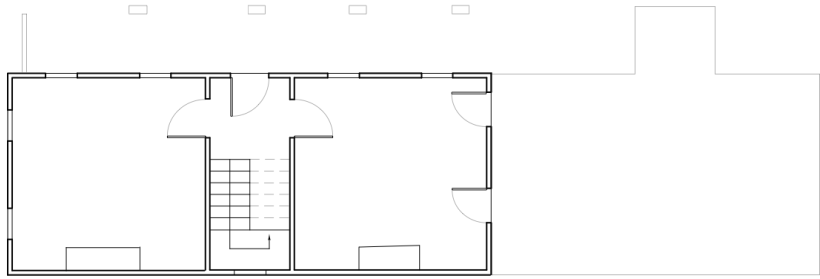


proposed first floor plan: 1/4" = 1'-0"

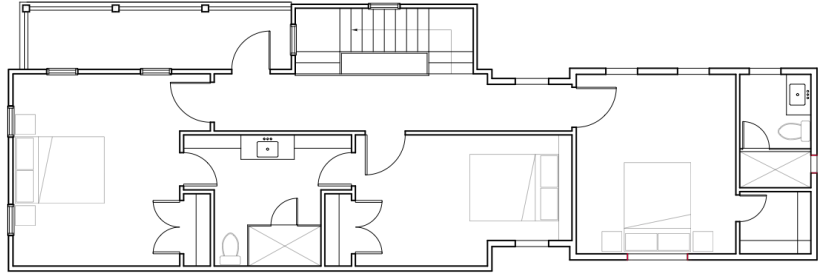
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existing second floor plan: 1/4" = 1'-0"



proposed second floor plan: 1/4" = 1'-0"

renovation & addition  
11 PERCY STREET  
CHARLESTON, SC  
CONCEPTUAL BAR

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CHECKED  
OKJ

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A3.2  
PLANS

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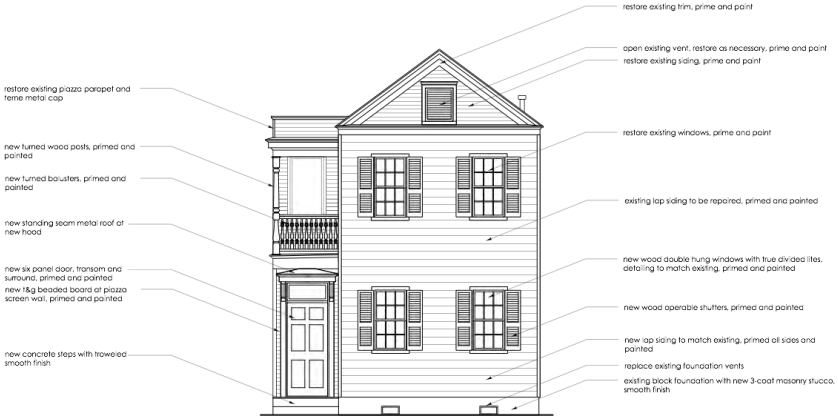
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A4.1  
ELEVATIONS



existing east elevation (percy street): 1/4" = 1'-0"



proposed east elevation (percy street): 1/4" = 1'-0"

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aj

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A4.2  
ELEVATIONS



existing south elevation: 1/4" = 1'-0"



proposed south elevation: 1/4" = 1'-0"

- new low slope membrane roof
- new standing seam metal roof
- new aluminum clad casement window
- new p.l. lap siding, 7" exposure, primed at sides and painted
- new s.l. lap siding, 4" exposure, primed at sides and painted
- new p.l. lap siding, 4" exposure, primed at sides and painted
- new aluminum clad casement window

- restore existing terra metal roof, prime and paint
- restore existing piazza parapet and terra metal cap
- restore existing trim, prime and paint
- restore existing windows, prime and paint
- new turned wood posts, primed and painted
- new turned balusters, primed and painted
- existing lap siding to be repaired, primed and painted
- new standing seam metal roof of new hood
- restore existing windows, prime and paint
- new lap siding to match existing, primed at sides and painted
- new cmu foundation with new 3-coat masonry stucco, smooth finish
- new concrete steps with troweled smooth finish

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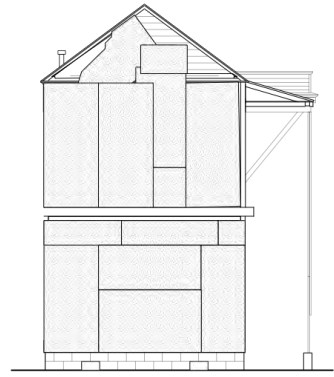
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JENNINGS  
Charleston, SC  
6903  
REGISTERED ARCHITECT

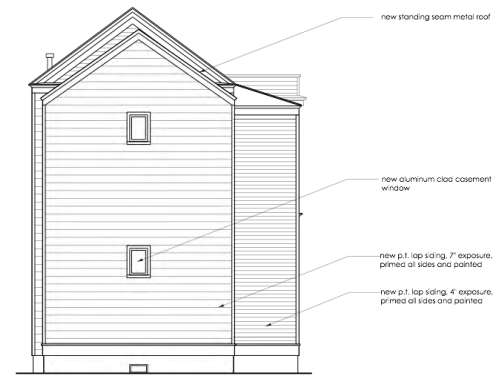
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existing west elevation: 1/4" = 1'-0"



proposed west elevation: 1/4" = 1'-0"

renovation & addition  
11 PERCY STREET  
CHARLESTON, SC

CONCEPTUAL BAR

D E S I G N E D  
ajj

D R A W N  
ajj | hjs

C H E C K E D  
ajj

D A T E  
9-29-2019

R E V I S I O N S

S H E E T

A4.3

ELEVATIONS



existing north elevation: 1/4" = 1'-0"



proposed north elevation: 1/4" = 1'-0"

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 dkj/lrs

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 dkj

DATE  
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REVISIONS

SHEET

A4.4

ELEVATIONS





existing percy street elevation: 1/4" = 1'-0"



proposed percy street elevation: 1/4" = 1'-0"

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djg | hls  
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djg

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9-29-2019  
REVISIONS

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A4.5  
CONTEXT



Agenda Item 15:

31 Rose Lane - - TMS # 460-08-01-125

Request conceptual approval for addition to existing  
single-family residence.

Category 4 / (Cannonborough/Elliottborough) / c. pre-1902  
Old City District

Previously Existing,  
Currently Existing,  
and *Proposed Addition*  
Plans and Elevations  
February 15, 2019

Rivers Property  
31 Rose Street  
Charleston, SC 29403

Barbara Looney, Architect  
5 Hampton Ct.  
Charleston, SC 29403  
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VICINITY MAP (NTS)

REFERENCES:  
 1) DEED BOOK 0816 PAGE 203, CHARLESTON COUNTY RMC.

NOTES:  
 1) AREA WAS DETERMINED BY THE COORDINATE METHOD.  
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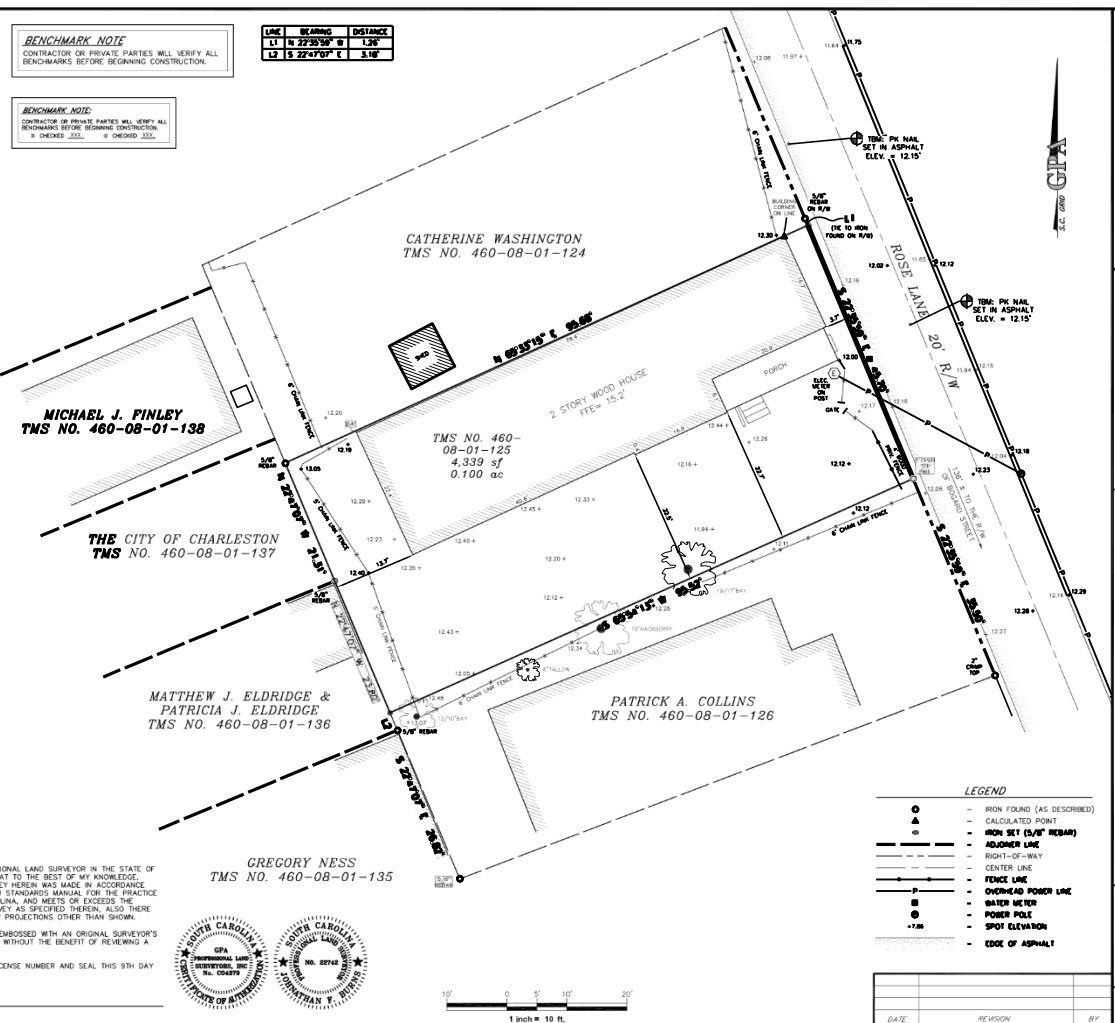
WITNESS MY ORIGINAL SIGNATURE, LICENSE NUMBER AND SEAL THIS 9TH DAY OF JANUARY, 2018.

JONATHAN F. BURNS, PLS-22742

**BENCHMARK NOTE**  
 CONTRACTOR OR PRIVATE PARTIES WILL VERIFY ALL BENCHMARKS BEFORE BEGINNING CONSTRUCTION.

**BENCHMARK NOTE**  
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| LINE | BEARING       | DISTANCE |
|------|---------------|----------|
| L11  | S 22°29'07" W | 1.32'    |
| L2   | S 22°47'07" E | 3.50'    |



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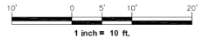
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SCALE  
 1"=10'  
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 ELG

SHOWING TMS NO. 460-08-01-125  
 31 ROSE LANE  
 OWNED BY LUTHER RIVERS  
 LOCATION OF CHARLESTON  
 CHARLESTON COUNTY, SOUTH CAROLINA

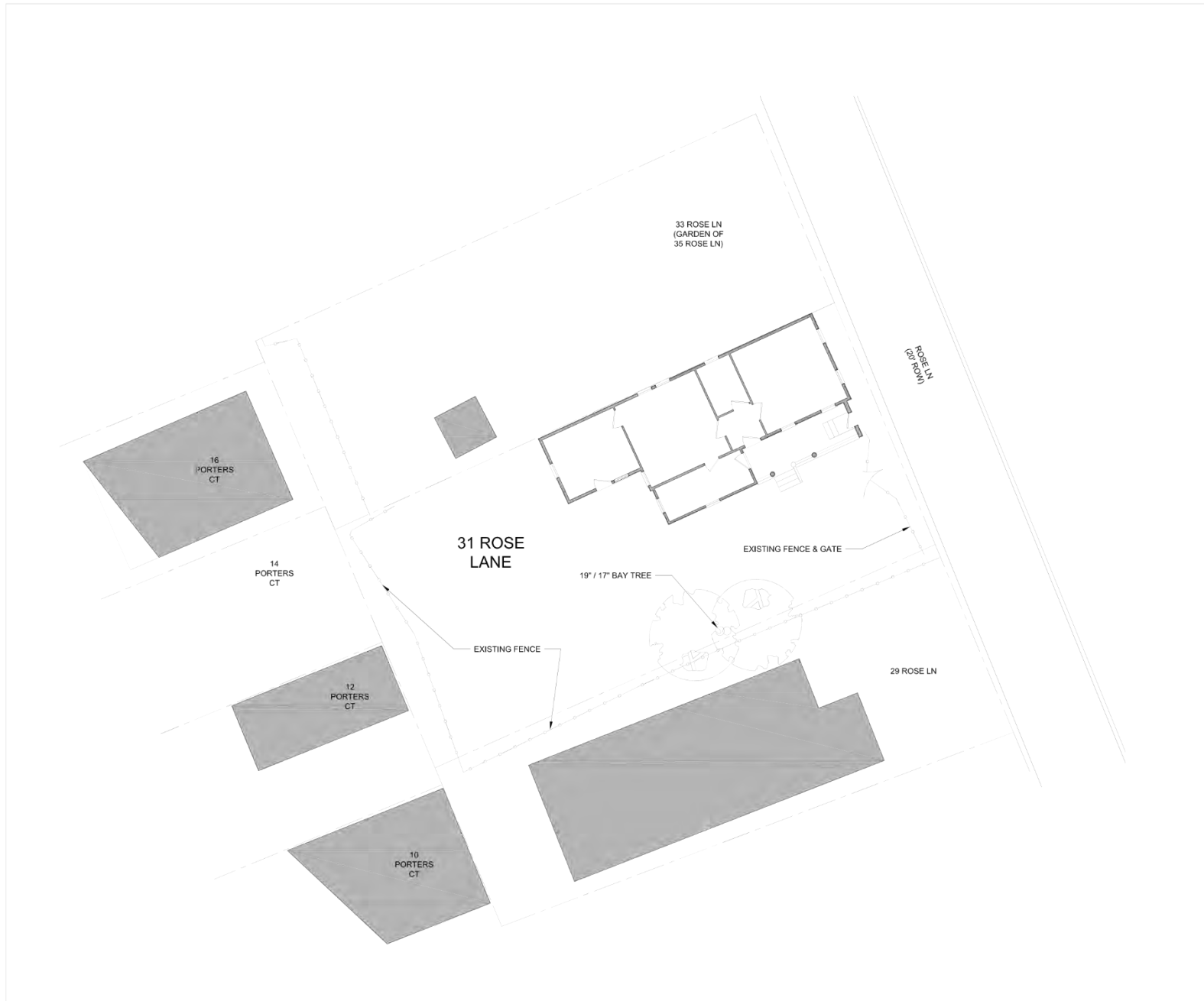
**BOUNDARY & TOPOGRAPHIC SURVEY**

- LEGEND
- - IRON FOUND (AS DESCRIBED)
  - △ - CALCULATED POINT
  - - IRON SET (5/8" REBAR)
  - - ADJACENT LINE
  - - RIGHT-OF-WAY
  - - CENTER LINE
  - - FENCE LINE
  - - OVERHEAD POWER LINE
  - - WATER METER
  - - POWER POLE
  - - SPOT ELEVATION
  - - - - - EDGE OF ASPHALT



| DATE | REVISION | BY |
|------|----------|----|
|      |          |    |
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31 ROSE LANE  
 CHARLESTON,  
 SOUTH CAROLINA  
 2 9 4 0 3

B A R B A R A  
 L O O N E Y  
 A R C H I T E C T  
 P . O . B O X 6 2  
 C H A R L E S T O N  
 S C 2 9 4 0 2

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1" = 10' - 0"

PREVIOUSLY  
 EXISTING  
 SITE PLAN

DATE  
 2/21/2019

As Noted

Sheet No.

AE001



31 ROSE LANE  
 CHARLESTON,  
 SOUTH CAROLINA  
 2 9 4 0 3

B A R B A R A  
 L O O N E Y  
 A R C H I T E C T  
 P . O . B O X 6 2  
 C H A R L E S T O N  
 S C 2 9 4 0 2

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1" = 10' - 0" (Scale)

1" = 10' - 0"  
 CURRENTLY  
 EXISTING  
 SITE PLAN

DATE: 2/21/2019  
 SHEET: AE002  
 AS NOTED



RECLAIMED OLD CHARLESTON BRICK AT DRIVEWAY SKIRT & WALKWAYS

SLAG PEA GRAVEL AT DRIVEWAY, WITH METAL EDGING

31 ROSE LANE  
 CHARLESTON,  
 SOUTH CAROLINA  
 2 9 4 0 3

BARBARA  
 LOONEY  
 ARCHITECT  
 P.O. BOX 62  
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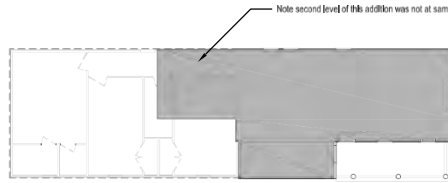
1" = 1' - 0" (Overall Scale)  
 PROPOSED  
 SITE PLAN

DATE: 2/21/2019

AS NOTED

A001

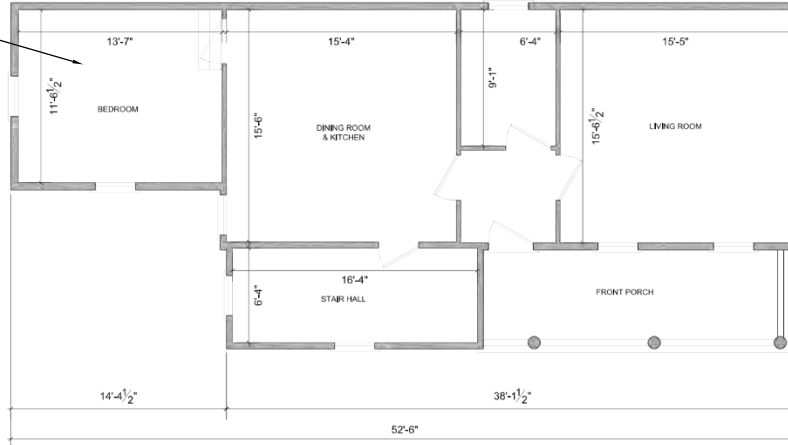




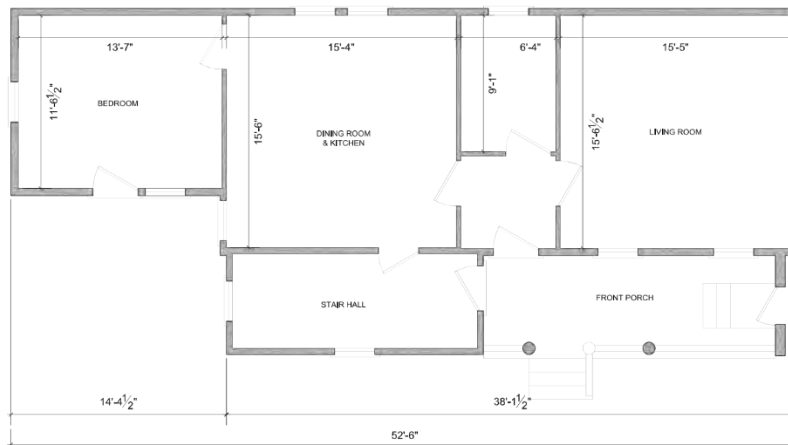
3 Overlay of Existing & Previously Existing Second Level Plans  
Scale: 3/32" = 1'-0"



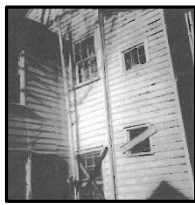
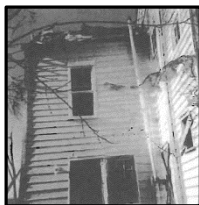
4 Overlay of Existing & Previously Existing First Level Plans  
Scale: 3/32" = 1'-0"



2 Previously Existing Second Level Plan  
Scale: 1/4" = 1'-0"



1 Previously Existing First Level Plan  
Scale: 1/4" = 1'-0"



ROSE LANE

ROSE LANE

31 ROSE LANE  
CHARLESTON,  
SOUTH CAROLINA  
2 9 4 0 3

BARBARA  
LOONEY  
ARCHITECT  
P.O. BOX 62  
CHARLESTON  
SC 29402

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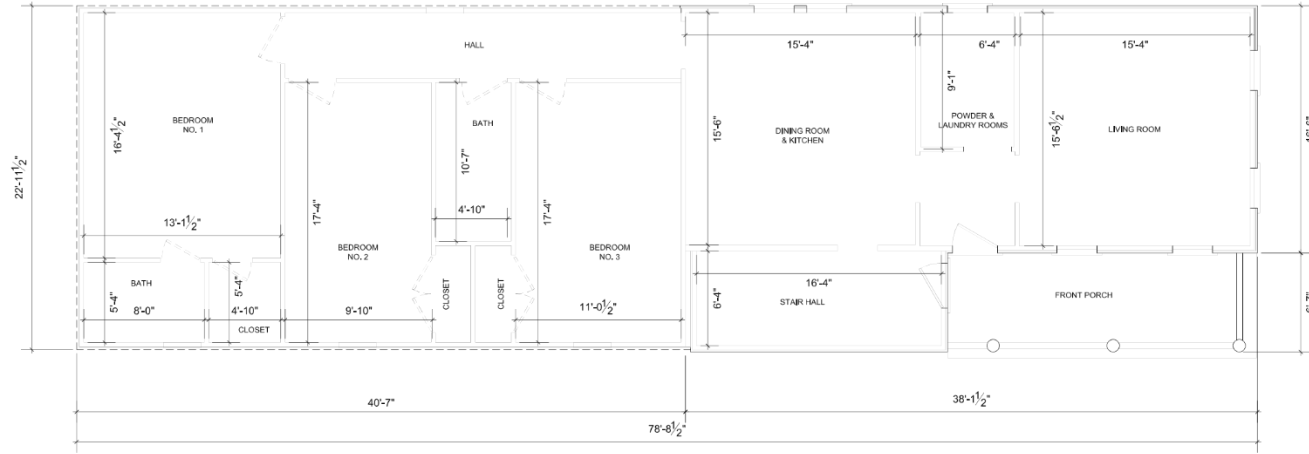
No. | Project name | Date

1-1  
Previously Existing Plans

10/22/2018

As Noted

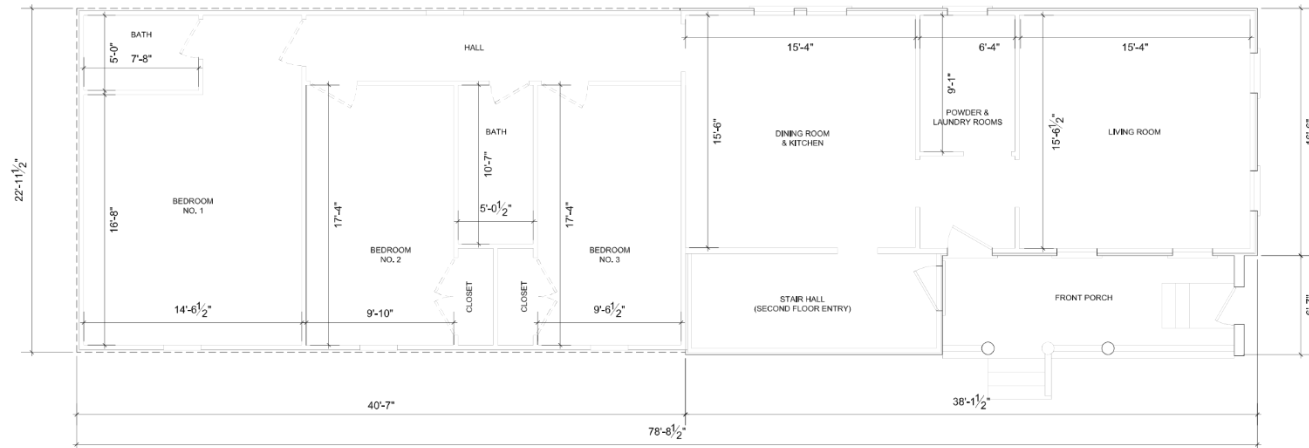
AE101



2 Currently Existing Second Level Plan

Scale: 1/4" = 1'-0"

- Notes:
- all interior walls shown are original framing at original house or 2x4 framing at addition; interior dimensions are to face of studs.
  - exterior addition walls are 2" OSB sheathing on 2x4 stud walls; exterior dimensions at addition are to face of sheathing.



1 Currently Existing First Level Plan

Scale: 1/4" = 1'-0"

31 ROSE LANE  
CHARLESTON,  
SOUTH CAROLINA  
2 9 4 0 3

B A R B A R A  
L O O N E Y  
A R C H I T E C T  
P . O . B O X 6 2  
C H A R L E S T O N  
S C 2 9 4 0 2

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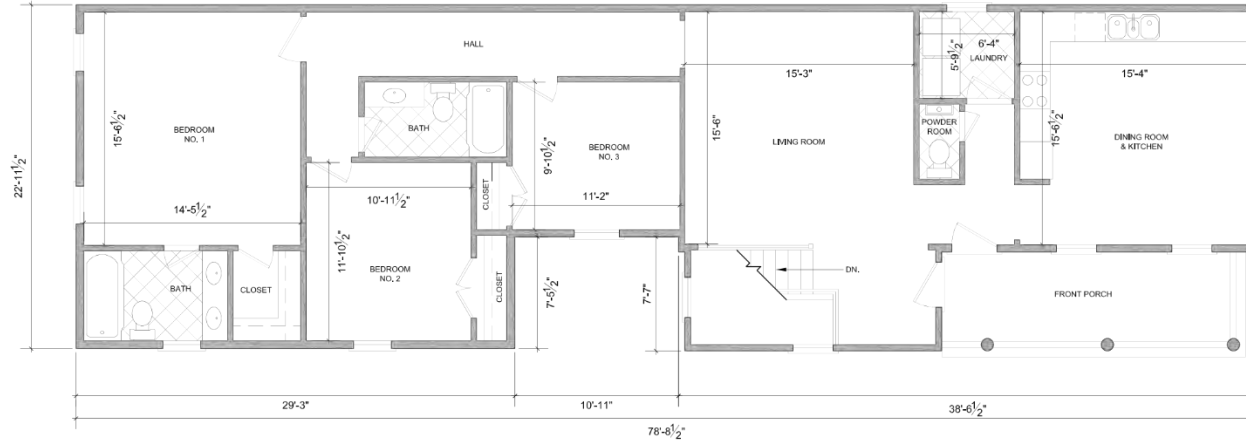
No. | Project name | Date

1-1  
Currently Existing Plans

10/22/2018

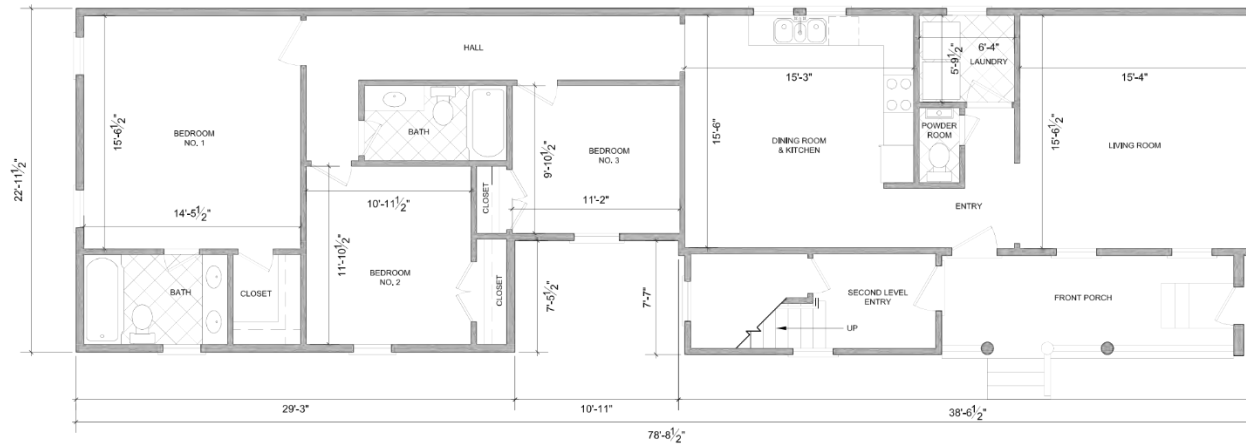
As Noted

AE102



2 Proposed Second Level Plan

Scale: 1/4" = 1'-0"



1 Proposed First Level Plan

Scale: 1/4" = 1'-0"

ROSE LANE

ROSE LANE

31 ROSE LANE  
 CHARLESTON,  
 SOUTH CAROLINA  
 2 9 4 0 3

B A R B A R A  
 L O O N E Y  
 A R C H I T E C T  
 P . O . B O X 6 2  
 C H A R L E S T O N  
 S C 2 9 4 0 2

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No. | Project name | Date

Proposed Addition Plans

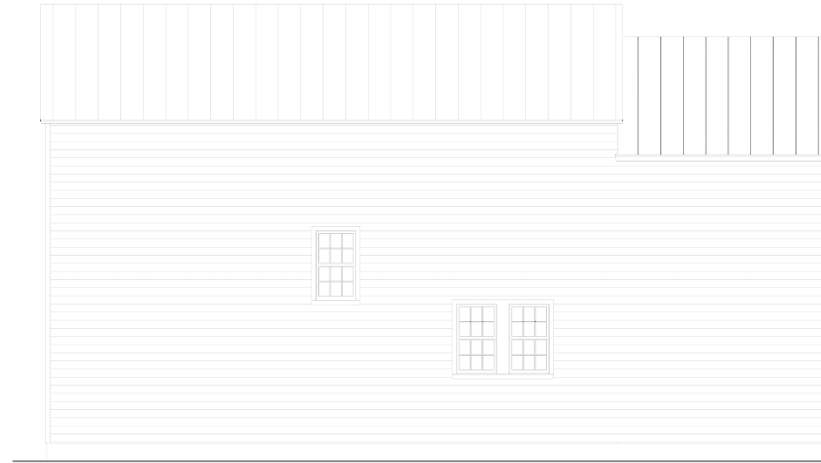
10/22/2018

A101

As Noted



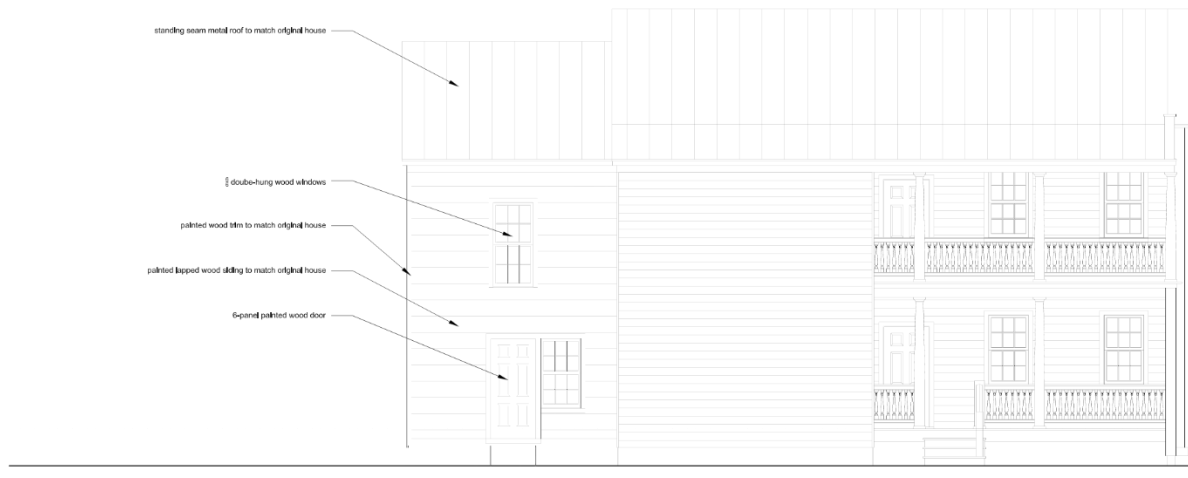
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Scale: 1/4" = 1'-0"



2 Previously Existing Side (North) Elevation  
Scale: 1/4" = 1'-0"



3 Previously Existing Front (East) Elevation  
Scale: 1/4" = 1'-0"



4 Previously Existing Driveway (South) Elevation  
Scale: 1/4" = 1'-0"

31 ROSE LANE  
CHARLESTON,  
SOUTH CAROLINA  
2 9 4 0 3

BARBARA  
LOONEY  
ARCHITECT  
P.O. BOX 62  
CHARLESTON  
SC 29402

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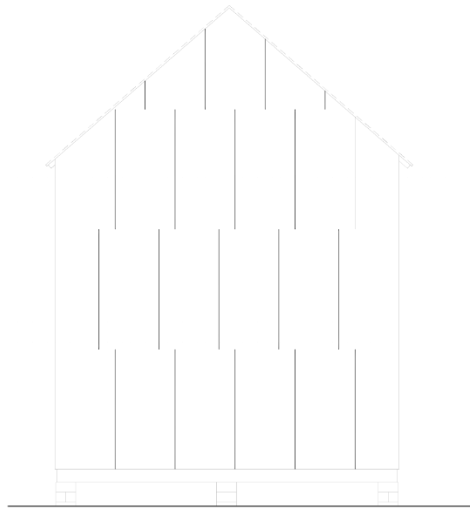
No. | Project name | Date

1-1  
Previously  
Existing  
Elevations

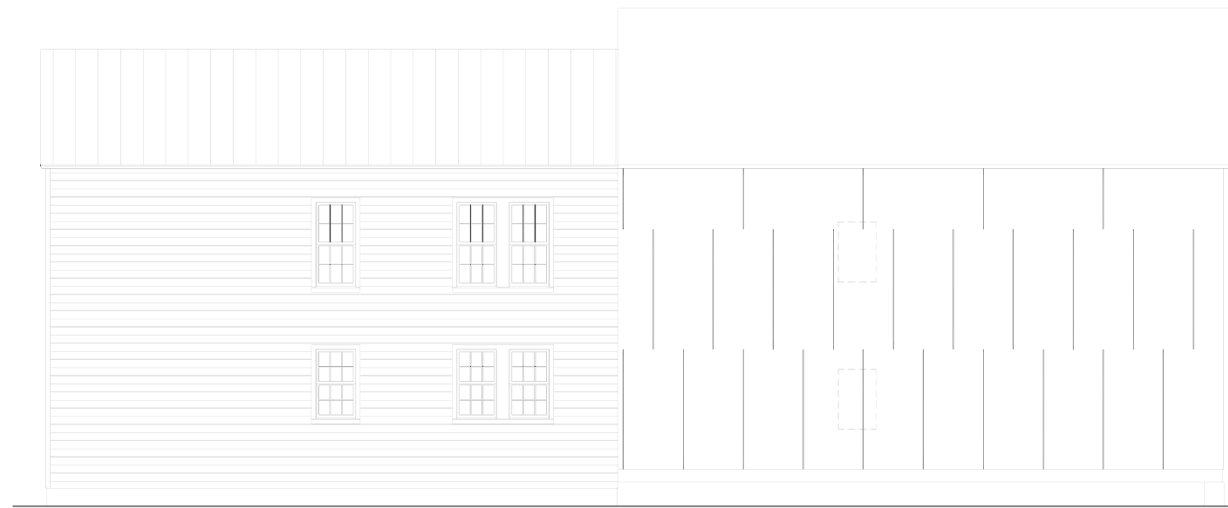
10/22/2018

As Noted

AE201



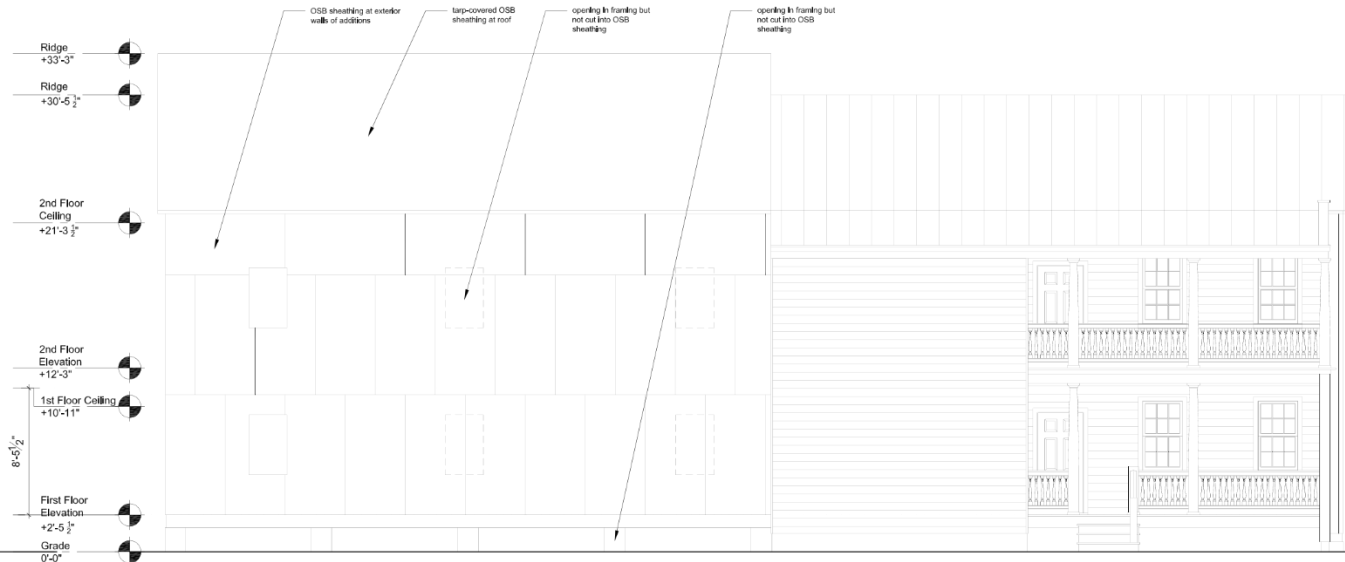
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Scale: 1/4" = 1'-0"



2 Currently Existing Side (North) Elevation  
Scale: 1/4" = 1'-0"



3 Currently Existing Front (East) Elevation  
Scale: 1/4" = 1'-0"



4 Currently Existing Driveway (South) Elevation  
Scale: 1/4" = 1'-0"

31 ROSE LANE  
CHARLESTON,  
SOUTH CAROLINA  
2 9 4 0 3

BARBARA  
LOONEY  
ARCHITECT  
P.O. BOX 62  
CHARLESTON  
S C 2 9 4 0 2

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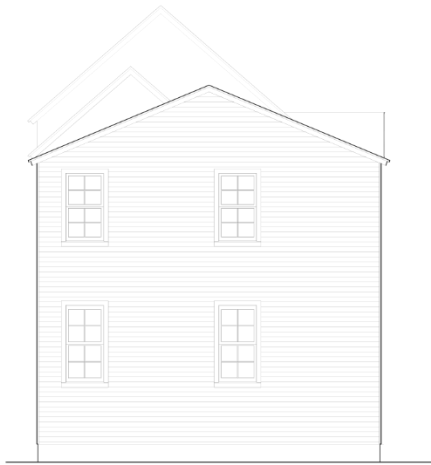
No. | Project name | Date

1-1  
Currently Existing Elevations

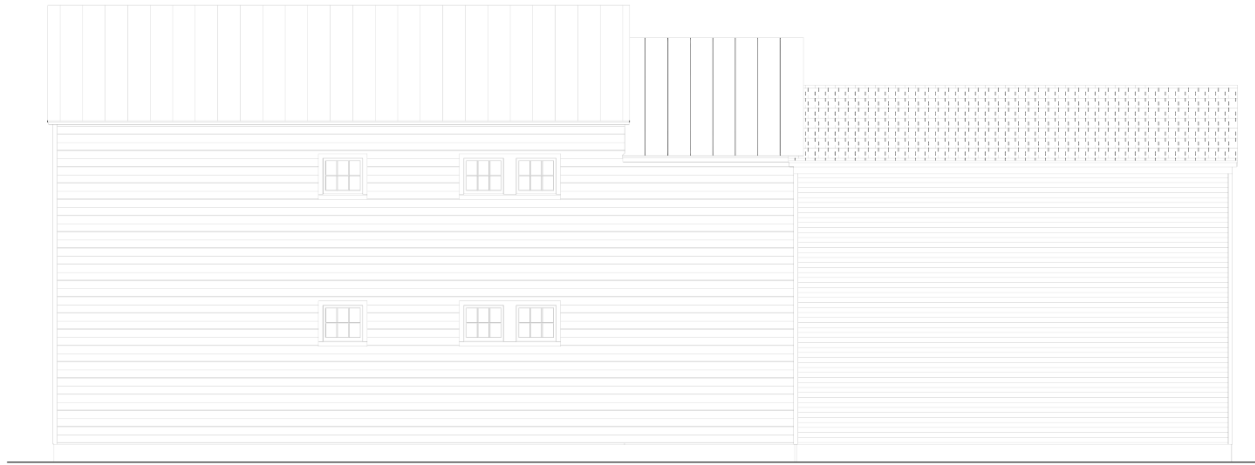
10/22/2018

As Noted

AE202



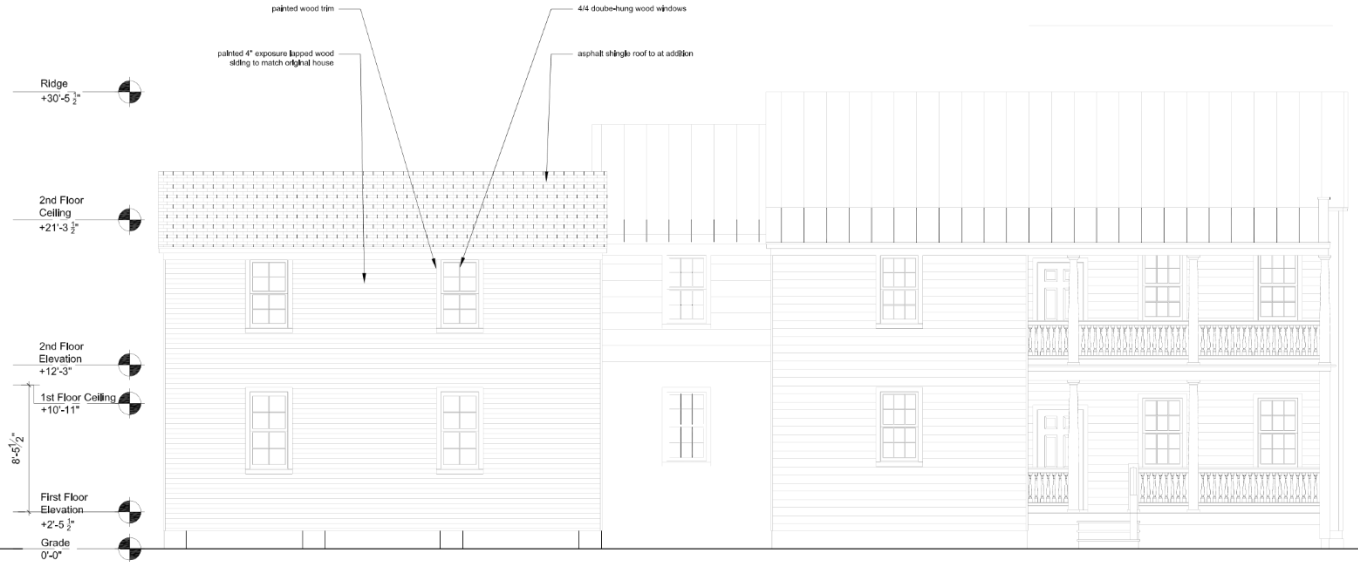
1 Proposed Rear (West) Elevation  
Scale: 1/4" = 1'-0"



2 Proposed Side (North) Elevation  
Scale: 1/4" = 1'-0"



3 Proposed Front (East) Elevation  
Scale: 1/4" = 1'-0"



4 Proposed Driveway (South) Elevation  
Scale: 1/4" = 1'-0"

31 ROSE LANE  
CHARLESTON,  
SOUTH CAROLINA  
2 9 4 0 3

BARBARA  
LOONEY  
ARCHITECT  
P.O. BOX 62  
CHARLESTON  
SC 29402

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No. | Project name | Date

Proposed Elevations - Scheme A

10/22/2018

A201

As Noted



Agenda Item 16:

207A Line Street - - TMS # 460-07-04-114

Request preliminary approval of new construction of a single-family residence to include the addition of rear terrace.

(West Side) / Old City District





**GENERAL NOTES**

1. CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS AT THE PROJECT SITE PRIOR TO COMMENCEMENT OF THE WORK, AND SHALL NOTIFY CLARKE DESIGN GROUP IMMEDIATELY OF ANY DISCREPANCIES AND/OR ANY EXISTING SITE CONDITIONS THAT ARE INCONSISTENT WITH THE DRAWINGS.

2. ALL DRAWINGS SHALL BE USED IN CONJUNCTION WITH ALL OTHER DRAWINGS RELATED TO OTHER DISCIPLINES. THE GENERAL CONTRACTOR SHALL CHECK AND COORDINATE DIMENSIONS AND CLEARANCES WITH THE WORK OF ALL TRADES.

3. THE DRAWINGS HEREIN ARE GRAPHIC IN NATURE AND ARE NOT INTENDED TO CONVEY ALL INFORMATION NECESSARY FOR CONSTRUCTION. CONTRACTOR SHALL COORDINATE SYSTEMS INSTALLATION REQUIREMENTS, ROUGH-IN CONNECTIONS, AND MATERIALS REQUIREMENTS FOR INSTALLATION.

4. DIMENSIONS ARE TO FACE OF STUD U.N.O.

# RESIDENCE

## 207A LINE STREET, LOT 9

### CHARLESTON, S.C.

## TMS# 460-07-04-114

**INDEX:**

- A101A PROPERTY SURVEY
- A101B PROPOSED SITE PLAN
- A101C PROPOSED SITE PLAN
- A102 STREETScape
- A103 FLOOR PLANS
- A201 ELEVATIONS
- A202 ELEVATIONS
- A203 ELEVATIONS
- A204 PREVIOUS VS. PROPOSED ELEVATIONS
- A205 PREVIOUS VS. PROPOSED ELEVATIONS

**CLARKE**  
DESIGN GROUP

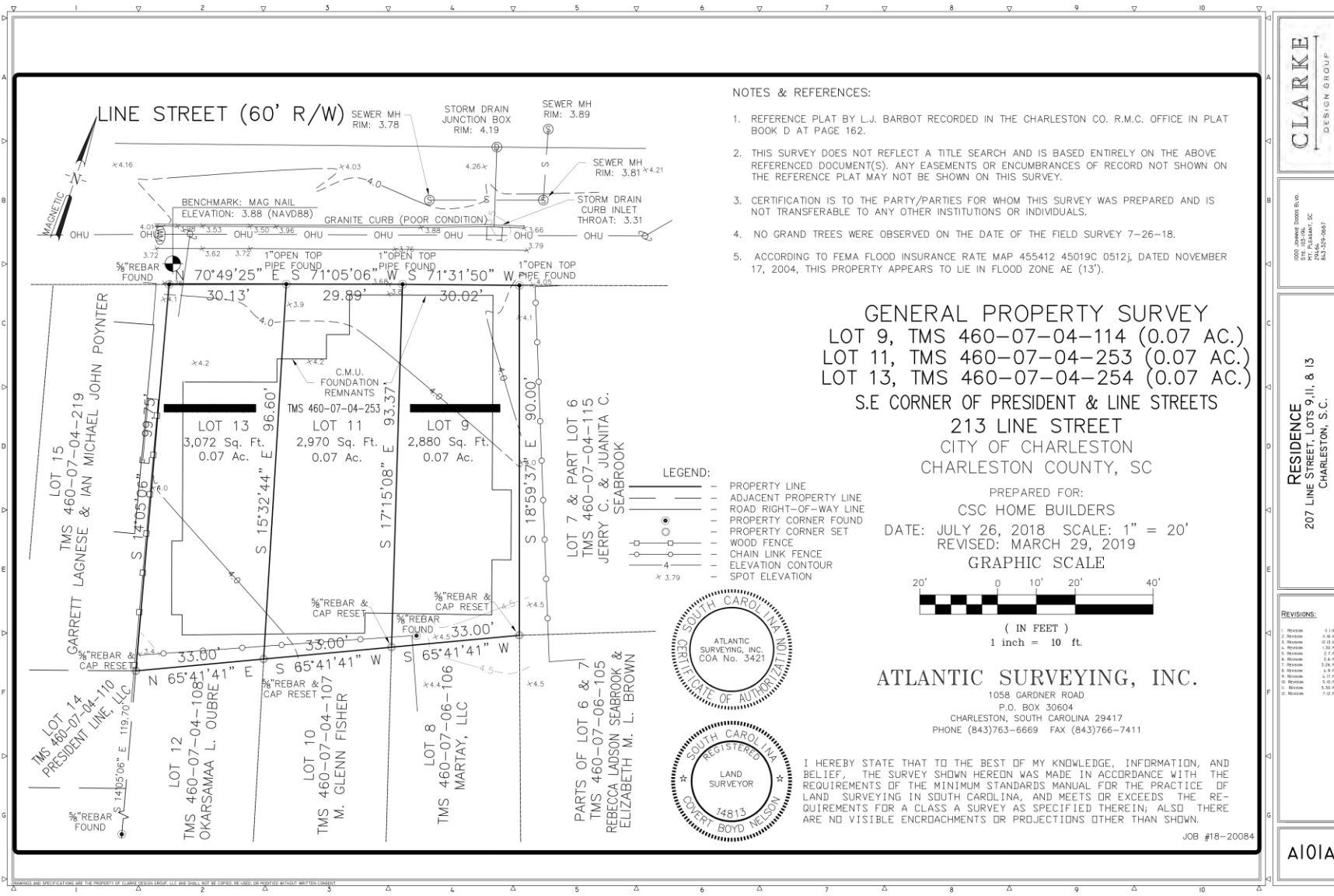
1000 JAMES O'NEAL BLVD.  
STE. 100-04  
FLORENCE, SC 29502  
843.358-0967

**RESIDENCE**  
207A LINE STREET, LOT 9  
TMS# 460-07-04-114  
CHARLESTON, S.C.

**REVISIONS:**

| NO. | REVISION | DATE     |
|-----|----------|----------|
| 1.  | REVISION | 11.11.18 |
| 2.  | REVISION | 01.08.18 |
| 3.  | REVISION | 01.05.18 |
| 4.  | REVISION | 03.01.18 |
| 5.  | REVISION | 2.7.18   |
| 6.  | REVISION | 2.6.18   |
| 7.  | REVISION | 3.28.18  |
| 8.  | REVISION | 4.17.18  |
| 9.  | REVISION | 4.26.18  |
| 10. | REVISION | 4.26.18  |
| 11. | REVISION | 5.03.18  |
| 12. | REVISION | 6.1.18   |
| 13. | REVISION | 6.15.18  |
| 14. | REVISION | 7.12.18  |
| 15. | REVISION | 8.16.18  |
| 16. | REVISION | 9.26.18  |

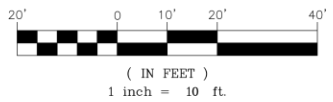
A100



- NOTES & REFERENCES:
1. REFERENCE PLAT BY L.J. BARBOT RECORDED IN THE CHARLESTON CO. R.M.C. OFFICE IN PLAT BOOK D AT PAGE 162.
  2. THIS SURVEY DOES NOT REFLECT A TITLE SEARCH AND IS BASED ENTIRELY ON THE ABOVE REFERENCED DOCUMENT(S). ANY EASEMENTS OR ENCUMBRANCES OF RECORD NOT SHOWN ON THE REFERENCE PLAT MAY NOT BE SHOWN ON THIS SURVEY.
  3. CERTIFICATION IS TO THE PARTY/PARTIES FOR WHOM THIS SURVEY WAS PREPARED AND IS NOT TRANSFERABLE TO ANY OTHER INSTITUTIONS OR INDIVIDUALS.
  4. NO GRAND TREES WERE OBSERVED ON THE DATE OF THE FIELD SURVEY 7-26-18.
  5. ACCORDING TO FEMA FLOOD INSURANCE RATE MAP 455412 45019C 0512j, DATED NOVEMBER 17, 2004, THIS PROPERTY APPEARS TO LIE IN FLOOD ZONE AE (13').

**GENERAL PROPERTY SURVEY**  
**LOT 9, TMS 460-07-04-114 (0.07 AC.)**  
**LOT 11, TMS 460-07-04-253 (0.07 AC.)**  
**LOT 13, TMS 460-07-04-254 (0.07 AC.)**  
**S.E CORNER OF PRESIDENT & LINE STREETS**  
**213 LINE STREET**  
**CITY OF CHARLESTON**  
**CHARLESTON COUNTY, SC**

PREPARED FOR:  
**CSC HOME BUILDERS**  
 DATE: JULY 26, 2018 SCALE: 1" = 20'  
 REVISED: MARCH 29, 2019  
**GRAPHIC SCALE**



- LEGEND:
- — — — — PROPERTY LINE
  - — — — — ADJACENT PROPERTY LINE
  - — — — — ROAD RIGHT-OF-WAY LINE
  - — — — — PROPERTY CORNER POINT
  - — — — — PROPERTY CORNER SET
  - — — — — WOOD FENCE
  - — — — — CHAIN LINK FENCE
  - — — — — ELEVATION CONTOUR
  - — — — — SPOT ELEVATION



**ATLANTIC SURVEYING, INC.**  
 1058 GARDNER ROAD  
 P.O. BOX 30604  
 CHARLESTON, SOUTH CAROLINA 29417  
 PHONE (843)763-6669 FAX (843)766-7411

I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS A SURVEY AS SPECIFIED THEREIN; ALSO THERE ARE NO VISIBLE ENCRUMBRANCES OR PROJECTIONS OTHER THAN SHOWN.

JOB #18-20084



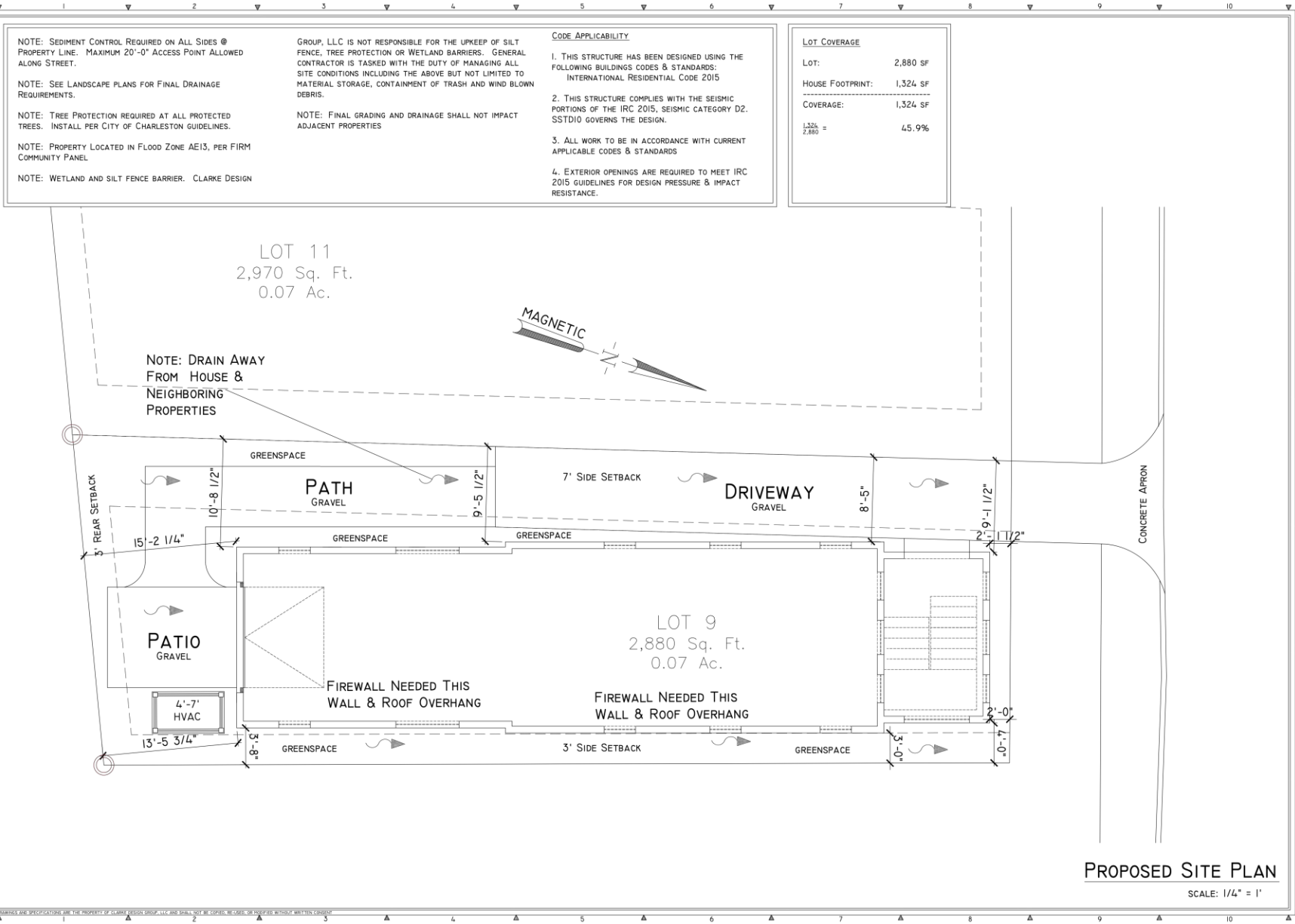
1000 JENNIFER FOREST BLVD  
 MT. PLEASANT, SC  
 29526  
 803-703-0007

**RESIDENCE**  
**207 LINE STREET, LOTS 9, 11, & 13**  
**CHARLESTON, S.C.**

REVISIONS:

|    |         |       |
|----|---------|-------|
| 1  | Revised | 11.18 |
| 2  | Revised | 02.08 |
| 3  | Revised | 02.08 |
| 4  | Revised | 02.08 |
| 5  | Revised | 02.08 |
| 6  | Revised | 02.08 |
| 7  | Revised | 02.08 |
| 8  | Revised | 02.08 |
| 9  | Revised | 02.08 |
| 10 | Revised | 02.08 |

**A101A**



NOTE: SEDIMENT CONTROL REQUIRED ON ALL SIDES @ PROPERTY LINE. MAXIMUM 20'-0" ACCESS POINT ALLOWED ALONG STREET.

NOTE: SEE LANDSCAPE PLANS FOR FINAL DRAINAGE REQUIREMENTS.

NOTE: TREE PROTECTION REQUIRED AT ALL PROTECTED TREES. INSTALL PER CITY OF CHARLESTON GUIDELINES.

NOTE: PROPERTY LOCATED IN FLOOD ZONE AE15, PER FIRM COMMUNITY PANEL

NOTE: WETLAND AND SILT FENCE BARRIER. CLARKE DESIGN

GROUP, LLC IS NOT RESPONSIBLE FOR THE UPKEEP OF SILT FENCE, TREE PROTECTION OR WETLAND BARRIERS. GENERAL CONTRACTOR IS TASKED WITH THE DUTY OF MANAGING ALL SITE CONDITIONS INCLUDING THE ABOVE BUT NOT LIMITED TO MATERIAL STORAGE, CONTAINMENT OF TRASH AND WIND BLOWN DEBRIS.

NOTE: FINAL GRADING AND DRAINAGE SHALL NOT IMPACT ADJACENT PROPERTIES

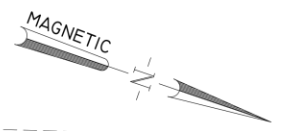
**CODE APPLICABILITY**

1. THIS STRUCTURE HAS BEEN DESIGNED USING THE FOLLOWING BUILDINGS CODES & STANDARDS:  
INTERNATIONAL RESIDENTIAL CODE 2015
2. THIS STRUCTURE COMPLIES WITH THE SEISMIC PORTIONS OF THE IRC 2015, SEISMIC CATEGORY D2. SSTD10 GOVERNS THE DESIGN.
3. ALL WORK TO BE IN ACCORDANCE WITH CURRENT APPLICABLE CODES & STANDARDS
4. EXTERIOR OPENINGS ARE REQUIRED TO MEET IRC 2015 GUIDELINES FOR DESIGN PRESSURE & IMPACT RESISTANCE.

| LOT COVERAGE            |          |
|-------------------------|----------|
| LOT:                    | 2,880 SF |
| HOUSE FOOTPRINT:        | 1,324 SF |
| COVERAGE:               | 1,324 SF |
| $\frac{1,324}{2,880} =$ | 45.9%    |

LOT 11  
2,970 Sq. Ft.  
0.07 Ac.

LOT 9  
2,880 Sq. Ft.  
0.07 Ac.



NOTE: DRAIN AWAY FROM HOUSE & NEIGHBORING PROPERTIES

**CLARKE**  
DESIGN GROUP

---

1000 JENNIFER DODD BLVD  
SUITE 100-04  
FLEMING, SC  
843-358-0967

---

**RESIDENCE**  
207A LINE STREET, LOT 9  
TMS# 460-07-04-114  
CHARLESTON, S.C.

---

**REVISIONS:**

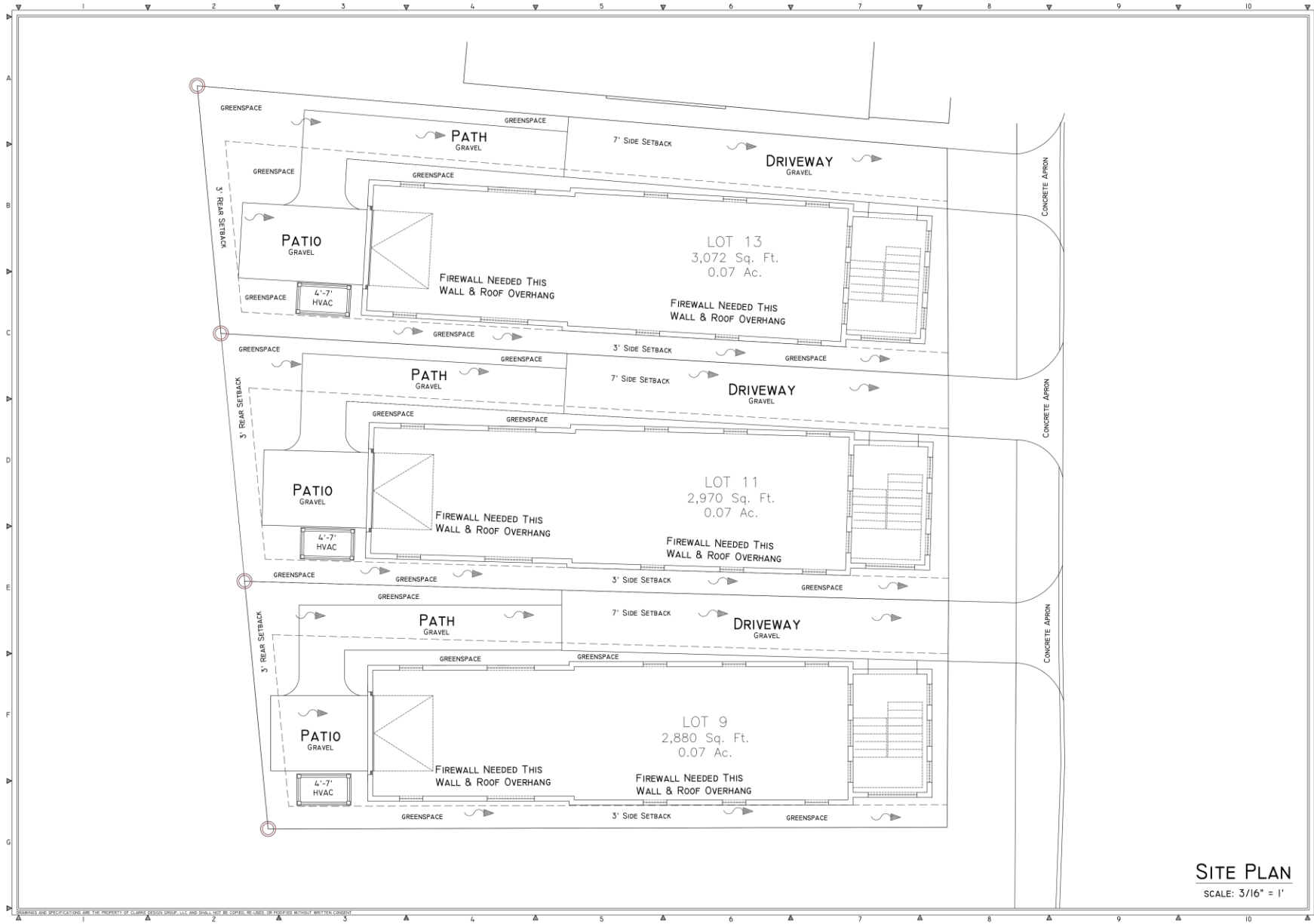
|              |          |
|--------------|----------|
| 1. Revision  | 11.1.18  |
| 2. Revision  | 01.06.18 |
| 3. Revision  | 01.05.18 |
| 4. Revision  | 02.08.18 |
| 5. Revision  | 2.7.19   |
| 6. Revision  | 3.6.19   |
| 7. Revision  | 3.28.19  |
| 8. Revision  | 4.17.19  |
| 9. Revision  | 4.28.19  |
| 10. Revision | 4.29.19  |
| 11. Revision | 5.10.19  |
| 12. Revision | 6.3.19   |
| 13. Revision | 7.12.19  |
| 14. Revision | 8.16.19  |
| 15. Revision | 9.26.19  |

---

A101B

**PROPOSED SITE PLAN**  
SCALE: 1/4" = 1'

DIMENSIONS AND SPECIFICATIONS ARE THE PROPERTY OF CLARKE DESIGN GROUP, LLC AND SHALL NOT BE COPIED, REPRODUCED, OR REVERSED WITHOUT WRITTEN CONSENT



**CLARKE**  
DESIGN GROUP

1000 JENNIFER DONOHUE BLVD.  
SUITE 100-204  
PINEHURST, SC 29585  
843.338-0967

**RESIDENCE**  
207 LINE STREET, LOTS 9, 11, & 13  
CHARLESTON, S.C.

**REVISIONS:**

|              |          |
|--------------|----------|
| 1. Revision  | 11.13.18 |
| 2. Revision  | 01.08.19 |
| 3. Revision  | 02.05.19 |
| 4. Revision  | 1.20.19  |
| 5. Revision  | 2.7.19   |
| 6. Revision  | 2.6.19   |
| 7. Revision  | 3.28.19  |
| 8. Revision  | 4.9.19   |
| 9. Revision  | 4.17.19  |
| 10. Revision | 5.09.19  |
| 11. Revision | 6.5.19   |
| 12. Revision | 6.16.19  |
| 13. Revision | 7.12.19  |

**A101C**

**SITE PLAN**  
SCALE: 3/16" = 1'

ALL DIMENSIONS AND SPECIFICATIONS ARE THE PROPERTY OF CLARKE DESIGN GROUP, LLC AND SHALL NOT BE COPIED, REPRODUCED, OR REUSED WITHOUT WRITTEN CONSENT.



207A LINE STREET, LOT 9  
TMS# 460-07-04-114

207B LINE STREET, LOT 11  
TMS# 460-07-04-253

207C LINE STREET, LOT 13  
TMS# 460-07-04-254

STREETSCAPE  
SCALE: 1/8" = 1'

**CLARKE**  
DESIGN GROUP

1000 JAMES OROON BLVD  
STE 100-04  
FLORENCE, SC  
843.358-0967

**RESIDENCE**  
207 LINE STREET, LOTS 9, 11, & 13  
CHARLESTON, S.C.

REVISIONS:

|              |          |
|--------------|----------|
| 1. Revision  | 11.1.18  |
| 2. Revision  | 01.06.18 |
| 3. Revision  | 01.05.18 |
| 4. Revision  | 1.20.18  |
| 5. Revision  | 2.7.19   |
| 6. Revision  | 2.6.19   |
| 7. Revision  | 3.28.19  |
| 8. Revision  | 4.4.19   |
| 9. Revision  | 4.17.19  |
| 10. Revision | 5.8.19   |
| 11. Revision | 5.30.19  |
| 12. Revision | 7.22.19  |
| 13. Revision | 9.28.19  |

A102



NOTE: SEE ENGINEER'S SHEET FOR FINAL FOUNDATION DIMENSIONS AND DETAILS

GROUND FLOOR PLAN  
SCALE: 1/4" = 1'

FIRST FLOOR PLAN  
SCALE: 1/4" = 1'  
HSP: 1/196

SECOND FLOOR PLAN  
SCALE: 1/4" = 1'  
HSP: 400 (56% OF ATTIC)  
(ATTIC = 715 SQFT)

**CLARKE**  
DESIGN GROUP

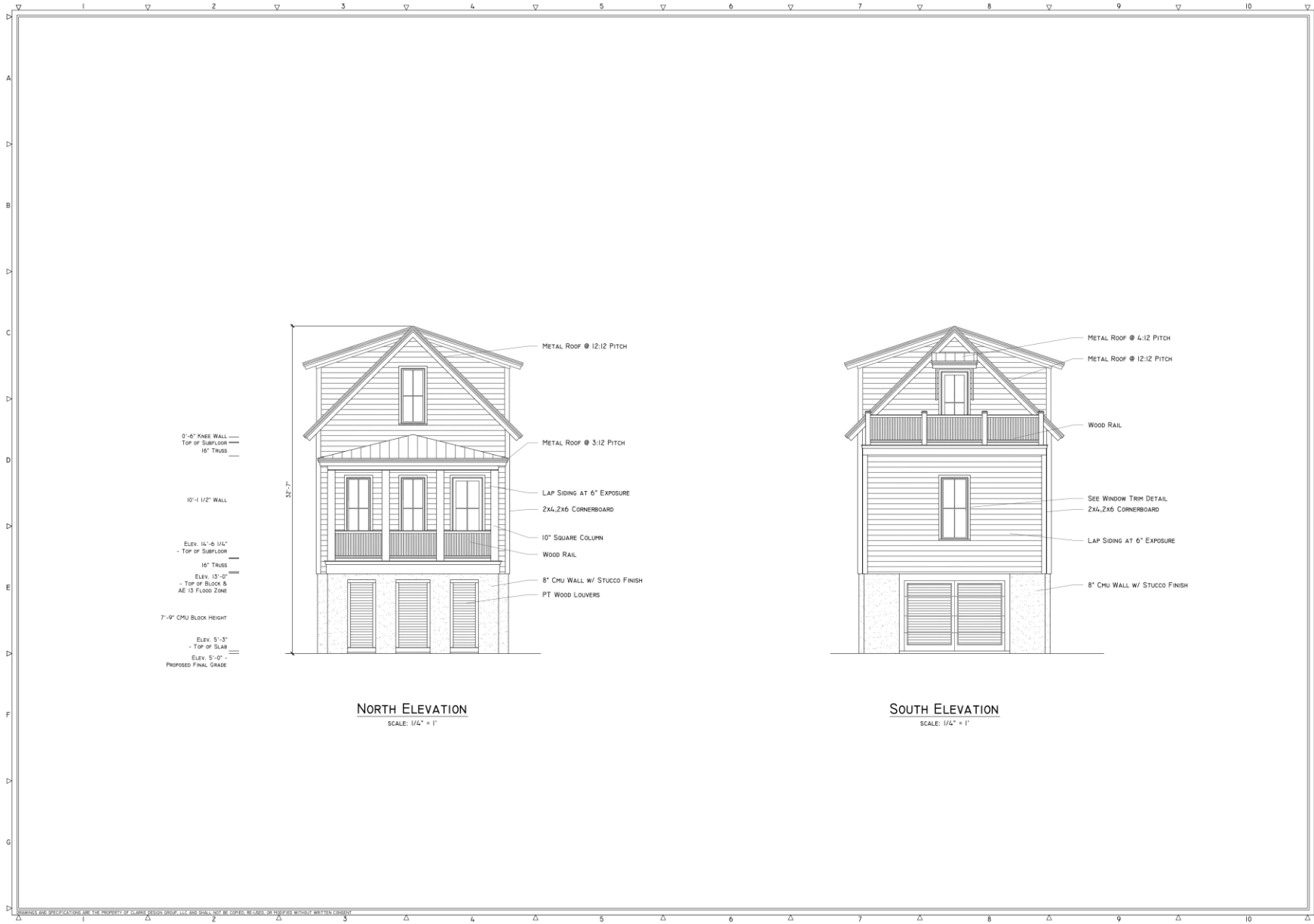
1000 JAMES ODOM BLVD  
STE. 100-242  
FLEMING, SC  
843.359-0967

RESIDENCE  
207A LINE STREET, LOT 9  
TMS# 460-07-04-114  
CHARLESTON, S.C.

REVISIONS:

|              |          |
|--------------|----------|
| 1. Revision  | 11.1.18  |
| 2. Revision  | 01.04.18 |
| 3. Revision  | 02.03.18 |
| 4. Revision  | 03.05.18 |
| 5. Revision  | 07.19.18 |
| 6. Revision  | 08.19.18 |
| 7. Revision  | 08.28.18 |
| 8. Revision  | 09.17.18 |
| 9. Revision  | 09.26.18 |
| 10. Revision | 10.29.18 |
| 11. Revision | 11.29.18 |
| 12. Revision | 01.10.19 |
| 13. Revision | 01.22.19 |
| 14. Revision | 01.22.19 |
| 15. Revision | 01.22.19 |
| 16. Revision | 01.22.19 |

A103



0'-6" KNEE WALL  
 - Top of Sub/Floor  
 - 16" Truss  
  
 10'-1 1/2" WALL  
  
 ELEV. 14'-6 1/4"  
 - Top of Sub/Floor  
 - 16" Truss  
 ELEV. 13'-0"  
 - Top of Block &  
 AE IS FLOOR ZONE  
  
 7'-0" CMU Block Height  
  
 ELEV. 5'-3"  
 - Top of Slab  
 ELEV. 5'-0"  
 - Proposed Final Grade

**NORTH ELEVATION**  
SCALE: 1/4" = 1'

**SOUTH ELEVATION**  
SCALE: 1/4" = 1'

**CLARKE**  
DESIGN GROUP

1000 JAMES O'NEAL BLVD  
 STE 100-04  
 FLEMING, SC 29541  
 843.358-0967

**RESIDENCE**  
**207A LINE STREET, LOT 9**  
**TMS# 460-07-04-114**  
**CHARLESTON, S.C.**

**REVISIONS:**

|              |          |
|--------------|----------|
| 1. Revision  | 11.1.18  |
| 2. Revision  | 01.06.18 |
| 3. Revision  | 02.05.18 |
| 4. Revision  | 03.05.18 |
| 5. Revision  | 2.7.19   |
| 6. Revision  | 2.6.19   |
| 7. Revision  | 3.28.19  |
| 8. Revision  | 4.17.19  |
| 9. Revision  | 4.28.19  |
| 10. Revision | 4.29.19  |
| 11. Revision | 5.05.19  |
| 12. Revision | 6.3.19   |
| 13. Revision | 6.16.19  |
| 14. Revision | 7.12.19  |
| 15. Revision | 8.16.19  |
| 16. Revision | 9.26.19  |

**A201**



0'-6" KNEE WALL  
- Top of Subfloor  
16' Truss

10'-1 1/2" WALL

ELEV. 14'-6 1/4"  
- Top of Subfloor  
16' Truss

ELEV. 13'-0"  
- Top of Block &  
AE 15 Flood Zone

7'-9" CMU Block Height

ELEV. 5'-3"  
- Top of Slab

ELEV. 5'-0"  
- PROPOSED FINAL GRADE

**EAST ELEVATION**  
SCALE: 1/4" = 1'

**CLARKE**  
DESIGN GROUP

1000 JAMES O'NEAL BLVD  
STE 100-04  
FLORENCE, SC  
29502  
843.358-0967

**RESIDENCE**  
207A LINE STREET, LOT 9  
TMS# 460-07-04-114  
CHARLESTON, S.C.

**REVISIONS:**

|              |          |
|--------------|----------|
| 1. Revision  | 11.13.18 |
| 2. Revision  | 11.06.18 |
| 3. Revision  | 12.05.18 |
| 4. Revision  | 1.26.19  |
| 5. Revision  | 2.7.19   |
| 6. Revision  | 2.6.19   |
| 7. Revision  | 3.28.19  |
| 8. Revision  | 4.17.19  |
| 9. Revision  | 4.28.19  |
| 10. Revision | 4.29.19  |
| 11. Revision | 5.10.19  |
| 12. Revision | 6.3.19   |
| 13. Revision | 6.19.19  |
| 14. Revision | 7.12.19  |
| 15. Revision | 8.16.19  |
| 16. Revision | 9.26.19  |

A202





0'-6" KNEE WALL  
- Top of Subfloor  
16' TRUSS

10'-1 1/2" WALL

ELEV. 14'-6 1/4"  
- Top of Subfloor  
16' TRUSS

ELEV. 13'-0"  
- Top of Block &  
AE 15 FLOOR ZONE

7'-9" CMU BLOCK HEIGHT

ELEV. 5'-3"  
- Top of Slab

ELEV. 5'-0"  
- PROPOSED FINAL GRADE

METAL ROOF @ 12:12 PITCH

METAL ROOF @ 3:12 PITCH

LAP SIDING AT 6" EXPOSURE

10' SQUARE COLUMN

WOOD RAIL

8" CMU WALL W/ STUCCO FINISH

WOOD STAIRS W/ WOOD RAIL

METAL ROOF @ 12:12 PITCH

METAL ROOF @ 4:12 PITCH

WOOD RAIL

2x4, 2x6 CORNERBOARD

LAP SIDING AT 6" EXPOSURE

8" CMU WALL W/ STUCCO FINISH

PT WOOD LOUVERS

**WEST ELEVATION**  
SCALE: 1/4" = 1'

**CLARKE**  
DESIGN GROUP

1000 JAMES O'NEAL BLVD  
STE 100-204  
FLORENCE, SC 29506  
843.358-0967

**RESIDENCE**  
207A LINE STREET, LOT 9  
TMS# 460-07-04-114  
CHARLESTON, S.C.

**REVISIONS:**

|              |       |
|--------------|-------|
| 1. Revision  | 11.18 |
| 2. Revision  | 01.08 |
| 3. Revision  | 02.08 |
| 4. Revision  | 03.08 |
| 5. Revision  | 07.09 |
| 6. Revision  | 08.09 |
| 7. Revision  | 08.09 |
| 8. Revision  | 08.09 |
| 9. Revision  | 08.09 |
| 10. Revision | 08.09 |
| 11. Revision | 08.09 |
| 12. Revision | 08.09 |
| 13. Revision | 08.09 |
| 14. Revision | 08.09 |
| 15. Revision | 08.09 |
| 16. Revision | 08.09 |

**A203**



**PREVIOUS SOUTH ELEVATION**  
SCALE: 1/4" = 1'

**PROPOSED SOUTH ELEVATION**  
SCALE: 1/4" = 1'

**CLARKE**  
DESIGN GROUP

1000 JAMES O'NEAL BLVD  
STE 100-204  
FLORENCE, SC  
843.358-0967

**RESIDENCE**  
207A LINE STREET, LOT 9  
TMS# 460-07-04-114  
CHARLESTON, S.C.

**REVISIONS:**

|              |          |
|--------------|----------|
| 1. Revision  | 11.1.18  |
| 2. Revision  | 01.06.18 |
| 3. Revision  | 01.05.18 |
| 4. Revision  | 0.30.18  |
| 5. Revision  | 2.7.19   |
| 6. Revision  | 2.6.19   |
| 7. Revision  | 3.28.19  |
| 8. Revision  | 4.17.19  |
| 9. Revision  | 4.28.19  |
| 10. Revision | 4.29.19  |
| 11. Revision | 5.05.19  |
| 12. Revision | 6.3.19   |
| 13. Revision | 6.16.19  |
| 14. Revision | 7.12.19  |
| 15. Revision | 8.16.19  |
| 16. Revision | 9.26.19  |

**A204**



PREVIOUS EAST ELEVATION

SCALE: 1/4" = 1'

PROPOSED EAST ELEVATION

SCALE: 1/4" = 1'

**CLARKE**  
DESIGN GROUP

1000 JAMES OGDON BLVD.  
STE. 100-94L  
FLORENCE, SC 29502  
843.358-0967

RESIDENCE  
207A LINE STREET, LOT 9  
TMS# 460-07-04-114  
CHARLESTON, S.C.

REVISIONS:

|              |          |
|--------------|----------|
| 1. Revision  | 11.13.18 |
| 2. Revision  | 01.08.18 |
| 3. Revision  | 02.05.18 |
| 4. Revision  | 03.05.18 |
| 5. Revision  | 07.19.18 |
| 6. Revision  | 08.16.18 |
| 7. Revision  | 08.28.18 |
| 8. Revision  | 09.17.18 |
| 9. Revision  | 09.26.18 |
| 10. Revision | 10.29.18 |
| 11. Revision | 11.13.18 |
| 12. Revision | 01.08.18 |
| 13. Revision | 02.05.18 |
| 14. Revision | 07.19.18 |
| 15. Revision | 08.16.18 |
| 16. Revision | 08.28.18 |

A205

209 Line St - Pictures demonstrating the condition of the house structure.



209 Line St - Pictures demonstrating the condition of  
the house structure.

Right side of the house



209 Line St - Pictures demonstrating the condition of  
the house structure.

Right side of the house



209 Line St - Pictures demonstrating the condition of the house structure.

Right side of the house



209 Line St - Pictures demonstrating the condition of the house structure.



Rear of the house



209 Line St - Pictures demonstrating the condition of  
the house structure.

Left side of the house



