



City of Charleston

Board of Architectural Review-SMALL

SEPTEMBER 26, 2019

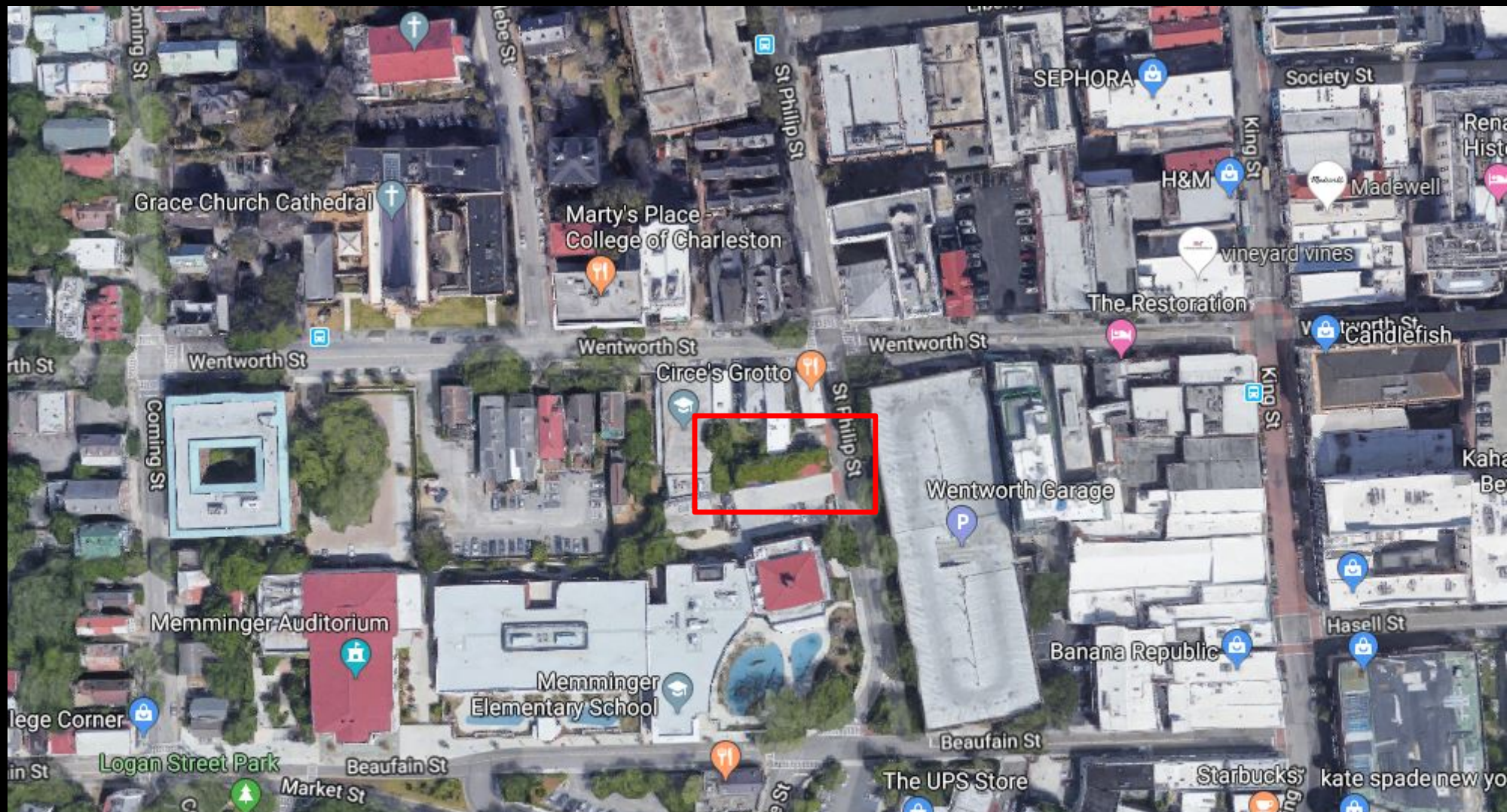
DEPARTMENT OF PLANNING, PRESERVATION & SUSTAINABILITY

Agenda Item 1:

11 ½ St. Philip Street

Requesting final approval for the demolition of the remaining structure

Not Rated / Harleston Village / 1915 / Old and Historic District



CONTEXT



LOOKING NORTH ON ST PHILIP STREET



LOOKING SOUTH ON ST PHILIP STREET



JAN 2016

PREVIOUS SITE PHOTO



CONTEXT PHOTOS



JUNE 2017

EXISTING SITE PHOTO



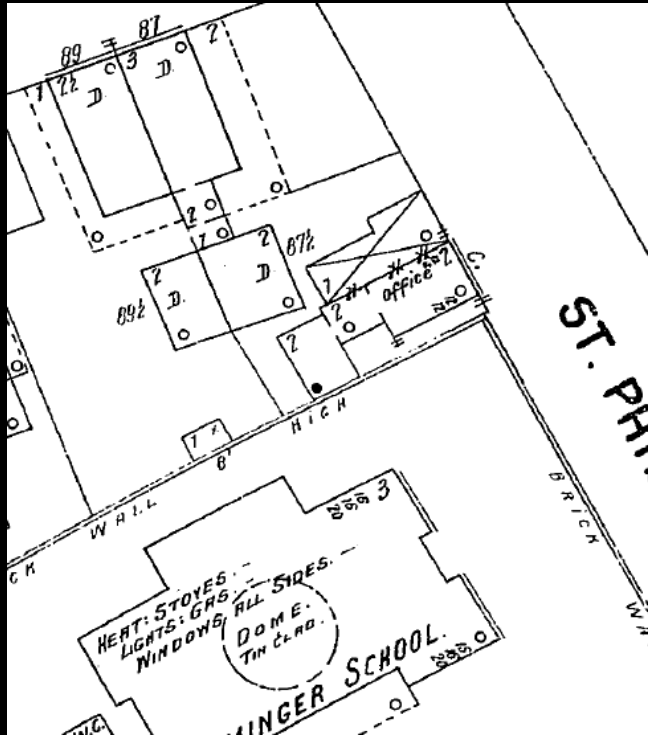
EXISTING SITE PHOTOS



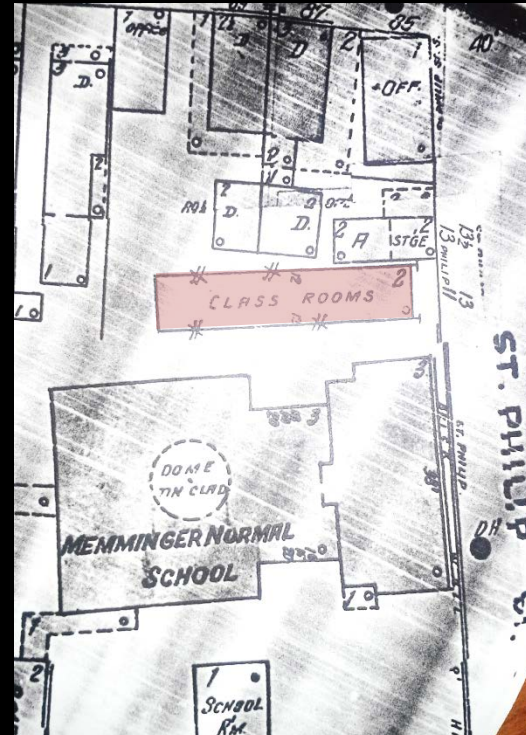
EXISTING SITE PHOTOS



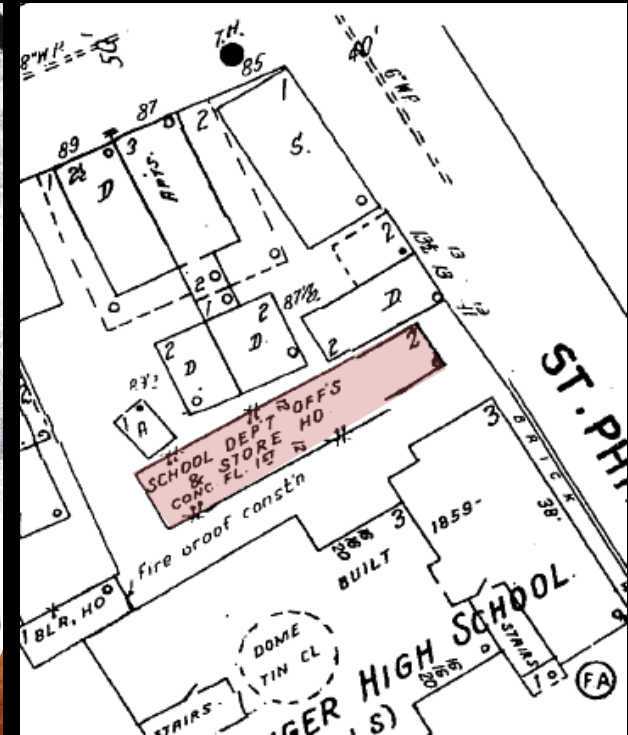
CONTEXT PHOTOS



1902



1928



1944

SANBORN MAPS

Previous motion:

June 24, 2015

87 Wentworth Street/ 11.5 St. Philip Street

APP. NO. 156-24-6

Request conceptual approval for new construction of 3-story office building.

Category 3 (Harleston Village)

c. 1750-75

Old and Historic District

Owner: CKC Properties

Applicant: Luke Jarrett/ Byers Design Group

MOTION:

Deferral- taking into account staff comments (including comment about use of wood); requiring an expanded submittal to include adjacent historic buildings and greater detail on their preservation.

MADE BY: White SECOND: Faust VOTE: FOR 5 AGAINST 0

Previous motion:

August 12, 2015

87 Wentworth Street/ 11.5 St. Philip Street

APP. NO. 158-12-20

Request conceptual approval for modifications and new construction of additions to two historic structures.

Category 3 (Harleston Village) c. 1750; 1902-28 Old and Historic District

Owner: Colin Colbert/ CKC Properties

Applicant: Sandy Byers/ Byers Design Group

MOTION:

Deferral of height, scale, mass, architectural direction and circulation; providing a complete site plan including easements.

MADE BY: Harrison SECOND: Faust VOTE: FOR 3 AGAINST

1

(Wallace against)

Previous motion:

May 26, 2016

11 ½ Saint Philip Street- -

APP. NO. 165-26-1

Request conceptual approval for partial demolition to include removal of interior frame and roof.

Not Rated

(Harleston Village)

c. 1902-1928

Old and Historic District

Owner: CKC Properties LLC

Applicant: Ashley Jennings/ AJ Architects LLC

MOTION:

Deferral requiring development of process for stabilization (to staff) and provision of HABS level documentation of existing conditions prior to moving forward.

MADE BY: Williams SECOND: Huey VOTE: FOR 5 AGAINST 0

Staff Comments:

1. It is difficult to assess the need for removal of the roof and all framing based on the submittal documents and the engineer's own statement that the building shell and floor slab has not been evaluated. We will need to see much more comprehensive existing conditions documentation and photos.
2. We suggest stabilization of the walls, roof structure and slab first after which the vines could safely be removed to further assess conditions and to allow further documentation.
3. Following this process documents could be prepared for renovations/restorations to include addressing the roof, walls, slab and windows.
4. We see no need to remove all windows and roof tiles until they can be individually assessed after stabilization. We also do not see the need to remove the canopy, which should be restored.
5. Proper preservation standards call for as much of the historic fabric as possible remain in place and be repaired as opposed to wholesale replacement, even if in-kind. It may in fact not be possible to save the roof, interior framing and windows, but that should not be assumed until it can be properly assessed.

Staff Recommendation:

Deferral for a revised approach/process and better documentation.

APPLICANT
PRESENTATION

RENEW URBAN CHARLESTON, LLC
ATTN:
mark@renewurban.net
grace@renewurban.net

11.5 St. Philip Street, Charleston SC, 29401

BAR REQUEST - DEMOLITION

To city BAR staff,

It's with great regret that we make this application to raise the remnants of the building located at 11 1/2 St. Phillip Street.

This structure was owned by the Charleston County School Board who neglected it for over 40 years. It was given the American College of the Building Arts in a dramatically compromised structural state. The ACBA immediately sold to a third-party. That third-party immediately engaged a respected structural engineer to develop a stabilization plan. While working with the city in an attempt to reach an agreement as to the specifics of the plan, the building collapsed.

Subsequently, the ownership team and its consultant worked hand-in-hand with the Preservation Society and Historic Charleston Foundation to develop a plan that would restore the building back to its original condition. The utilization of tax credits was a fundamental component of this strategy. Regrettably, the State Historic Preservation Office and the National Park Service deemed the structure to be a 'ruin' and that it did not contribute to the historic fabric of the city. Any attempt to rebuild the structure would be seen as a recreation, not a restoration. Thus, there is no path forward to restoration.

Therefore we respectfully ask to remove the remaining walls left on the property.



Id	Bearing	Distance
L1	N 22°08'17" W	5.78'
L2	S 68°31'57" W	3.30'



VICINITY MAP NTS

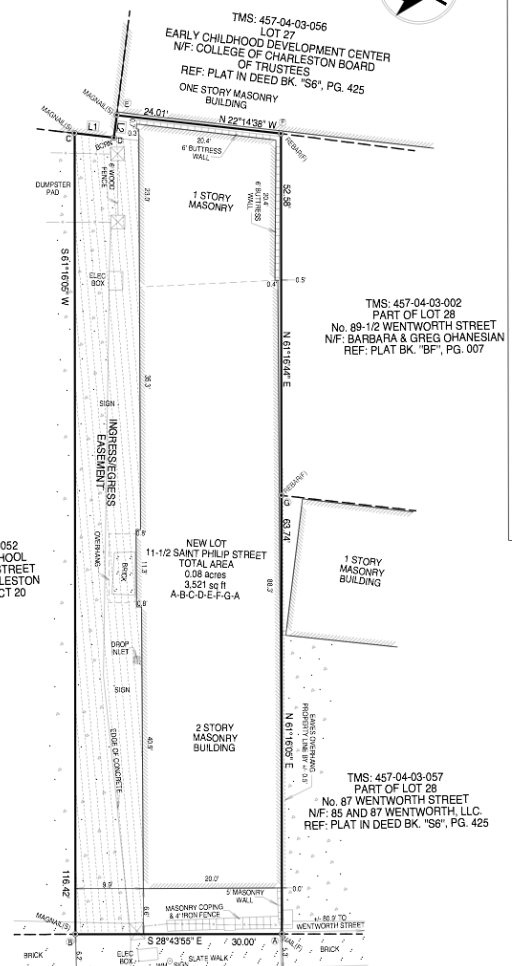
NOTES:

1. THE PROPERTY DESCRIBED ON THIS SURVEY DOES LIE WITHIN A SPECIAL FLOOD HAZARD AREA AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY. THE PROPERTY LIES WITHIN FLOOD ZONE AE, EL 13' ON FLOOD INSURANCE RATE MAP COMMUNITY-PANEL NUMBER 45019C0516J, MAP REVISED NOVEMBER 17, 2004.
2. ANYTHING SHOWN OUTSIDE THE DEFINED BOUNDARY IS FOR DESCRIPTIVE PURPOSES ONLY.
3. CITY PROJECT ID: 140916-1112/SANT PHILIP-1.
4. 20 BEAUFAIN STREET (HARLESTON VILLAGE) (457-04-03-052) REQUEST VARIANCE FROM SEC. 54-824 TO ALLOW A SUBDIVISION TO CREATE 2 LOTS WITH NEW LOT NOT HAVING THE REQUIRED FRONTAGE ON A PUBLIC RIGHT-OF-WAY AND HAVING A 64% LOT OCCUPANCY (ORDINANCE REQUIRES 50-FT. AND LIMITS LOT OCCUPANCY TO 50% RESPECTIVELY) ZONED DR-2F. BOARD OF ZONING APPEALS ZONING APPROVAL SEPTEMBER 2, 2014. APP. NO. 149-02-B10.
5. INGRESS/EGRESS EASEMENT TO ALLOW ACCESS TO THE DUMPSTER AREA.

LEGEND:

- | | |
|-----------------|--------------------------------|
| 1. * REBAR(F) | - REBAR FOUND, OLD. |
| 2. * NAIL(F) | - NAIL FOUND, OLD. |
| 3. * CORN | - BUILDING CORNER, OLD. |
| 4. * MAGNAIL(S) | - MAGNETIC NAIL SET, NEW. |
| 5. WM | - WATER METER |
| 6. ELEC BOX | - UNDER GROUND ELECTRICAL BOX. |
| 7. NF | - NOW OR FORMERLY OWNED BY. |
-
- | | |
|--|-------------------------|
| | PROPERTY LINE |
| | ADJACENT PROPERTY LINE |
| | FENCE LINE |
| | BUILDING LINE |
| | WALL LINE |
| | CORING LINE WITH FENCE |
| | CONCRETE |
| | BRICK |
| | SLATE |
| | INGRESS/EGRESS EASEMENT |

TMS: 457-04-03-052
MEMMINGER SCHOOL
No. 20 BEAUFAIN STREET
N.F. CITY OF CHARLESTON
SCHOOL DISTRICT 20



PLANNING AND RMC USE ONLY

PRELIMINARY SUBDIVISION PLAT

OF A SUBDIVISION BETWEEN No. 20 BEAUFAIN STREET AND 11-1/2 SAINT PHILIP STREET (TMS: 457-04-03-052), TO CREATE NEW LOT 11-1/2 SAINT PHILIP STREET (0.08 acres), CITY OF CHARLESTON, CHARLESTON COUNTY. PREPARED FOR THE AMERICAN SCHOOL OF THE BUILDING ARTS.



SCALE: 1" = 10'

DATE: JUNE 10, 2014
REV: SEPTEMBER 25, 2014

REF: AS SHOWN

TMS: 457-04-03-052

I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN.

FOR REVIEW ONLY

ALEXANDER C. PEABODY, PLS
PEABODY & ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYING
P.O. BOX 22648, CHARLESTON, SC 29413
OFFICE 843-723-5225 MOBILE 843-270-4847



CHARLESTON COUNTY
SOUTH CAROLINA

Charleston County SC



1:1482

23



11.5 ST.PHILIP STREET - JUNE 2019



11.5 ST.PHILIP STREET - JUNE 2019



11.5 ST.PHILIP STREET - JUNE 2019



11.5 ST.PHILIP STREET - JUNE 2019

Agenda Item 2:

105 South Battery

Requesting final approval for the demolition of chimney

Not Rated / (Charlestowne) / c. 1932 / Old and Historic District

APPLICANT
PRESENTATION



North view of Council Street streetscape. Location of 105 South Battery is shown by arrow.



South view of Council Street streetscape. 105 South Battery is shown by arrow, at corner of Council Street and South Battery.



East view of South Battery streetscape. 105 South Battery is shown by arrow, at corner of Council Street and South Battery.



West view of South Battery streetscape. 105 South Battery is shown by arrow.



View of streetscape looking South. North elevation of 105 South Battery, rear chimney not visible.



View of streetscape looking Southeast. Northwest view of 105 South Battery, rear chimney not visible.



Northeast elevation of 105 South Battery. Rear chimney is not visible.



View of rear chimney from Council Street looking East.



View of rear chimney from Council Street looking East. Same aspect of previous photo but approximately 20' further to the South.



View of chimney at roof valley located at the intersection of the South and West elevations. Photo taken standing at backyard fence.



Detailed view of chimney situated at roof valley. Streetscape view of chimney is obstructed by tree.



Detailed view of chimney situated at roof valley. Arrow depicts valley adjoining Northeast corner of chimney.

Agenda Item 3:

441 Race Street

Requesting approval for the demolition of a pre-1944 rear addition.

Not Rated / Westside / c. 1930 / N of Line, S of Mt. Pleasant

APPLICANT
PRESENTATION

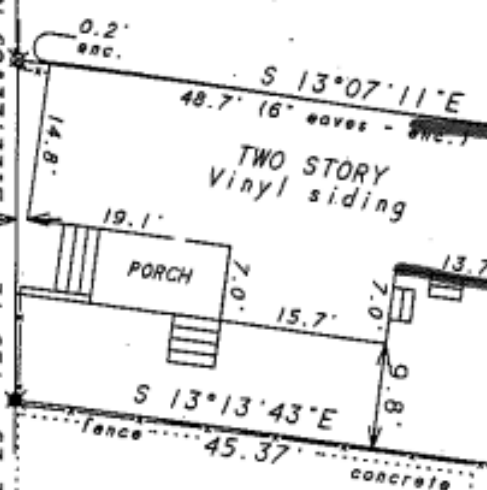
ORIZATION

Old
New

RACE STREET (40' R/W)

curb
SIDEWALK
N 70°21'03"E 31.34'
N 69°37'33"E 31.65'
63.3' to Ashley Ave.

Asbury Andrews
(TMS 460-07-02-126)
439 RACE STREET



120.92' fence

Eugene &
Vera German
(TMS 460-07-02-149)
388 SUMNER ST.
31.32'
S 71°14'17"W

LOT 34
0.087 Acre
3769 Sq. Ft.

Ravencliffzm. LLC
(TMS 460-07-02-255-257)
348 ASHLEY AVENUE

26.60'
N 13°13'43"W
TWO STORY Stucco
Kathleen & Bruce Brady
(TMS 460-07-02-124)
346 ASHLEY AVE.

N 13°13'43"W 48.03' fence
Carroll Lucas
(TMS 460-07-02-123)
344 ASHLEY AVENUE

S 13°07'11"E 48.7' (16' eaves - 8' w.c.)
S 13°13'43"E 45.37' fence concrete



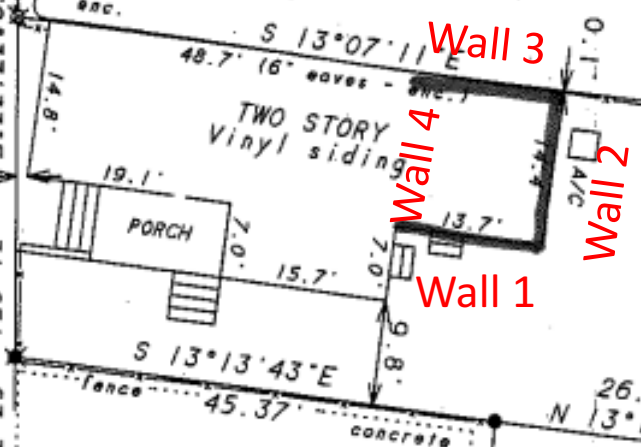
ORIZATION

Old
New

RACE STREET (40' R/W)

curb
SIDEWALK
N 70°21'03"E 31.34'
N 69°37'33"E 31.65'
63.3' to Ashley Ave.

Asbury Andrews
(TMS 460-07-02-126)
439 RACE STREET



Wall 3
Wall 4
Wall 2
Wall 1

LOT 34
0.087 Acre
3769 Sq. Ft.

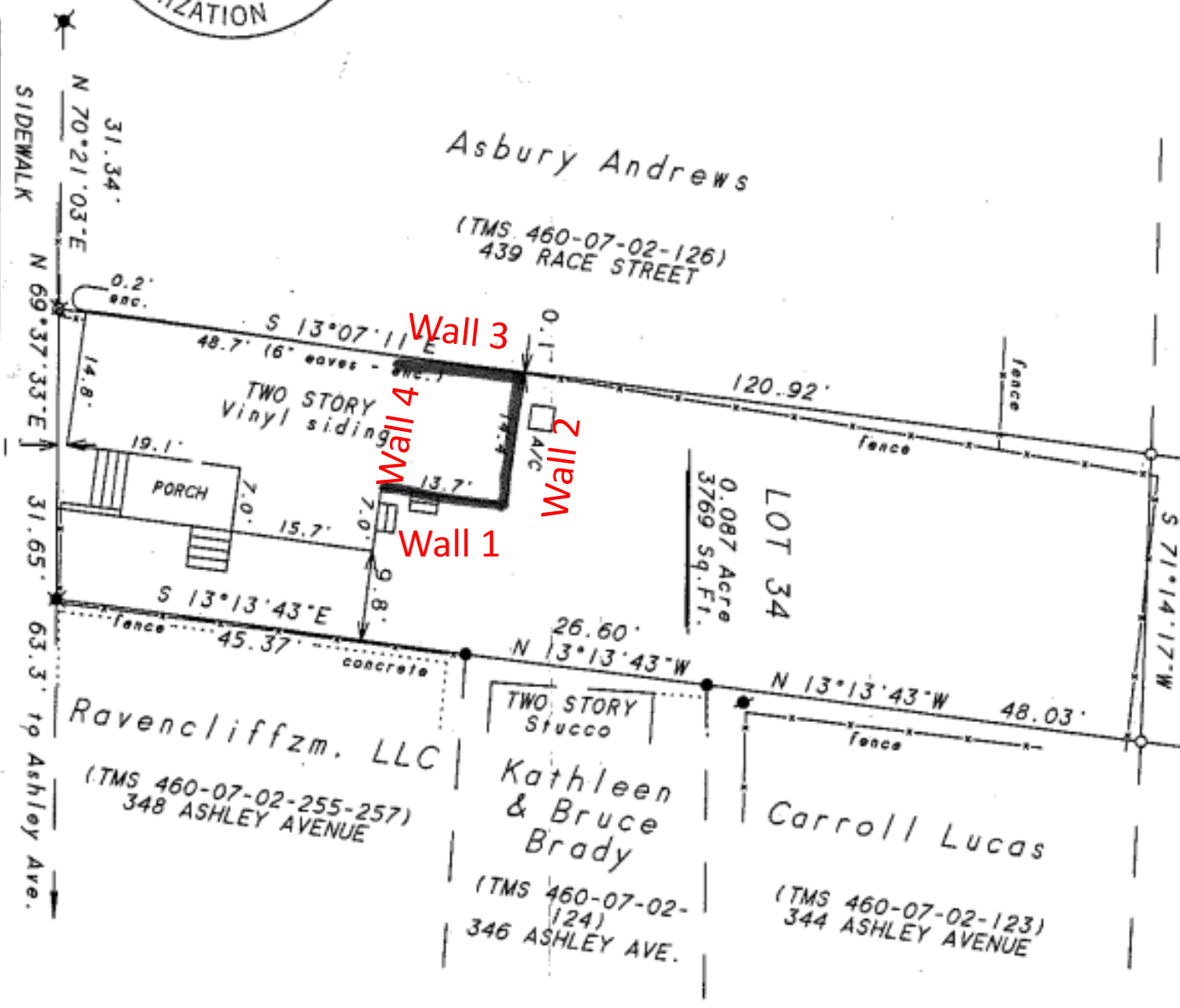
Eugene &
Vera German
(TMS 460-07-02-149)
388 SUMNER ST.
31.32'
S 71°14'17"W

Ravencliffzm, LLC
(TMS 460-07-02-255-257)
348 ASHLEY AVENUE

TWO STORY
Stucco
Kathleen
& Bruce
Brady
(TMS 460-07-02-124)
346 ASHLEY AVE.

Carroll Lucas
(TMS 460-07-02-123)
344 ASHLEY AVENUE

26.60'
N 13°13'43"W
48.03'
N 13°13'43"W
fence



Roof



- Architectural shingles on top of original, deteriorated metal roof

Outside view of Wall 1



- Vinyl siding

Outside
view of
Wall 2



Outside
view of
Wall 2



Outside
view of
Wall 3



Outside
view of
Wall 3



Inside
View of
Wall 2



- Poorly rebuilt by prior owners

Inside
corner
of wall
1 & 2



- Materials with high moisture content due to small roof leak

Inside
Corner of
Wall 1 and
Wall 2



- Rotting beams
- Decaying original brickwork/ piers
- Dirt floor

Inside
Corner of
Wall 1 and
2



- Moldy, rotting original siding, some missing

Ceiling



- Leaking roof
- Substantial mold
- Decaying rafters
- Safety hazard

Ceiling
(and joint
between wall 3
and 4)



- Decaying,
broken
rafters

Ceiling and Wall 2



- Small hole shown in corner of roof

Ceiling and Wall 2



- Small hole shown in corner of roof

Ceiling and Wall 2



- Termite deteriorated main original header
- Previous owner built wall not structurally sound

Exterior Entry



- Decaying, termite-damaged beams
- Not supported by piers and very close to the ground (about 6 inches)

Ceiling and Wall 3



- Leaking, decaying ceiling, not structurally sound
- Where visible, original metal roof shows major damage and decay

View from
Ashley Ave.
(not visible)



View from
Race St.
(barely visible)



View from
Race St.
(barely visible)



View from
Future Right
Side of House
Entering to
Backyard



Agenda Item 4:

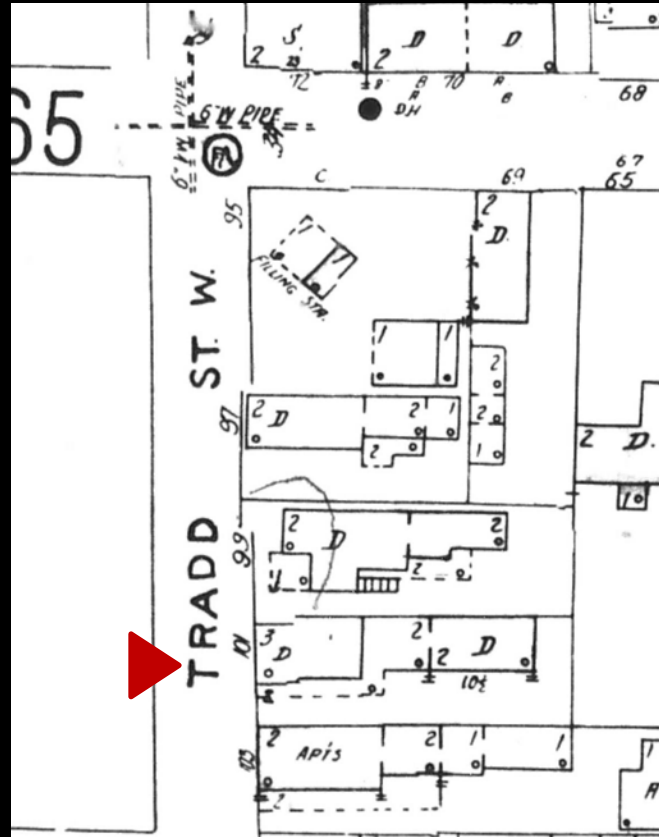
101 Tradd Street

Demolition of two rear sheds

Not Rated / Charlestowne / post 1973 Sanborn Maps

Old and Historic District

WITHDRAWN BY STAFF



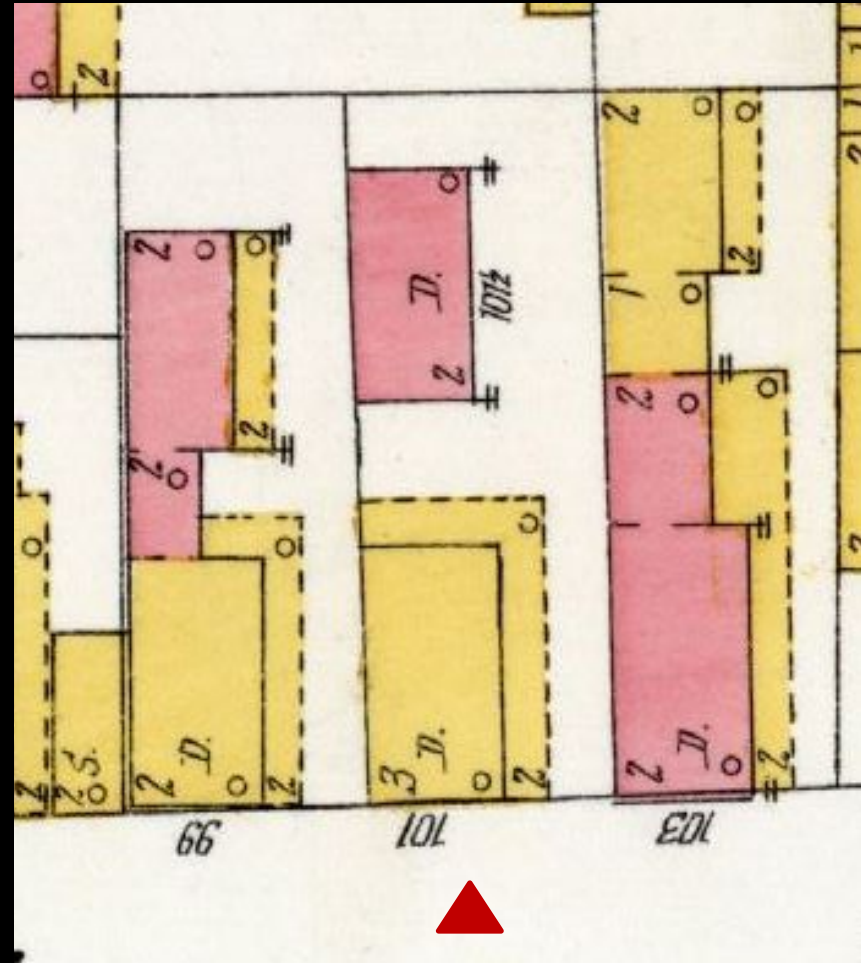
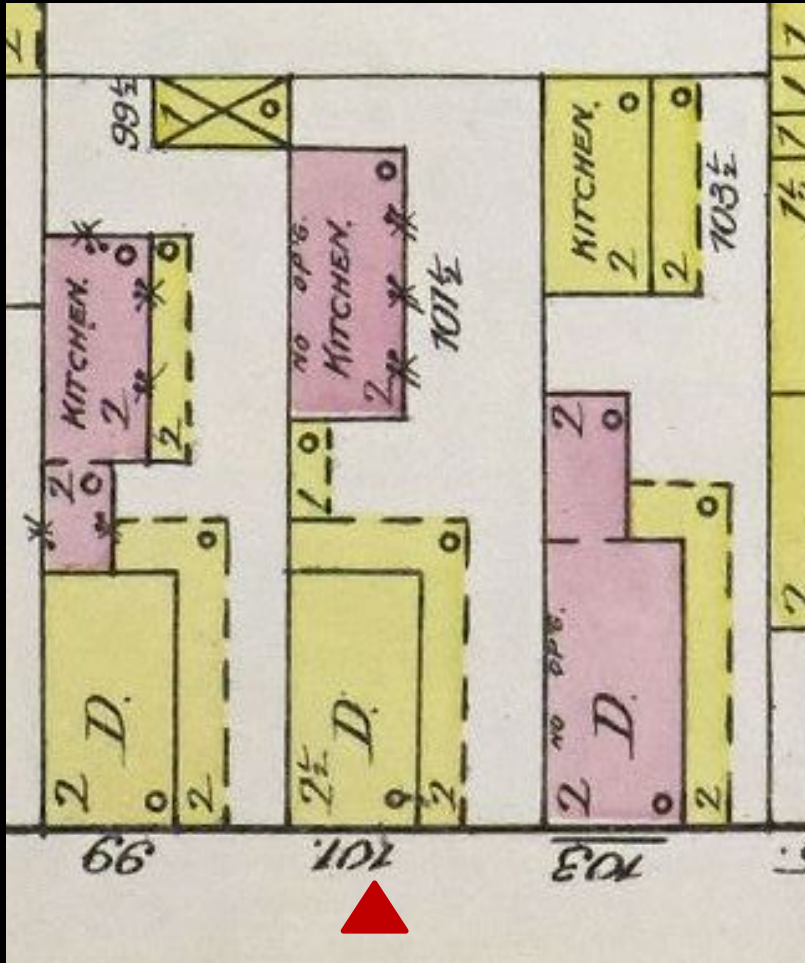
SANBORN MAP

Agenda Item 5:

101 Tradd Street

Conceptual Approval for window alterations at hyphen, window and door alterations in the rear kitchen house, and the installation of two iron balconies

Category 3 / Charlestowne / 1760 / Old and Historic District



SANBORN MAPS

APPLICANT
PRESENTATION

Since 1991



A.H. SCHWACKE & ASSOCIATES

LAND SURVEYING & CONSTRUCTION LAYOUT

1975 FRAMPTON AVE PH: 843-762-7005 FAX 843-762-0109
P.O. BOX 13077, CHARLESTON, SOUTH CAROLINA 29422-3077

REFERENCE:

PLAT BY: A.H. SCHWACKE & ASSOCIATES
DATED: NOVEMBER 12, 1992
(NOT RECORDED)

ZONING:

SR-5:
FRONT: N/A
REAR: 3 Ft.
SOUTH/WEST: 7 Ft.
NORTH/EAST: 3 Ft.

LOT AREA:
4,400.6 Sq. Feet
0.10 Acres

TAX MAP No. 457-16-01-007
No. 101 TRADD STREET

Requested by: CHARLES SULLIVAN,
CARRIAGE PROPERTIES

NOTES:

BEARING SHOWN ARE BASED ON SOUTH CAROLINA STATE PLANE COORDINATE SYSTEM, NAD 83.

AREA DETERMINED BY COORDINATE METHOD.

THE PUBLIC RECORDS REFERENCED ON THIS PLAT ARE ONLY THOSE USED AND/OR NECESSARY TO THE ESTABLISHMENT OF THE BOUNDARY OF THIS PROPERTY. THEY ARE NOT AND DO NOT CONSTITUTE A TITLE SEARCH. ANYTHING SHOWN OUTSIDE THE DEFINED BOUNDARY OF THIS PLAT IS FOR DESCRIPTIVE PURPOSES ONLY.

THE REQUIRED SETBACKS MAY BE DESIGNATED AND/OR VARIED BY THE CITY OF CHARLESTON ARCHITECTURAL REVIEW BOARD. THE ARCHITECTURAL REVIEW BOARD RESERVES THE RIGHT TO GRANT VARIANCES RESPECTING SETBACK GUIDELINES AND/OR TO EXPAND THE "BUILDABLE" AREA.

THE PRESENCE OR ABSENCE OF U.S. ARMY CORPS OF ENGINEERS JURISDICTIONAL WETLANDS IS UNDETERMINED AS OF THE DATE OF THIS SURVEY.

NO SUBSURFACE OR ENVIRONMENTAL INVESTIGATION OR SURVEYS WERE PERFORMED FOR THIS PLAT, THEREFORE THIS PLAT DOES NOT REFLECT THE EXISTENCE OR NONEXISTENCE OF WETLANDS CONTAMINATION OR OTHER NONVISIBLE CONDITIONS WHICH MAY AFFECT THIS PROPERTY.

PROPERTY APPEARS TO BE LOCATED IN FLOOD ZONE AE (EL 13') AS PER FEMA FLOOD MAPS.

PANEL No. 45019C 0518J
DATED: NOVEMBER 17, 2004
COMMUNITY No. 455412

*** SETBACKS SHOULD BE VERIFIED PRIOR TO DESIGN OR CONSTRUCTION BY CONTROLLING AUTHORITY.**

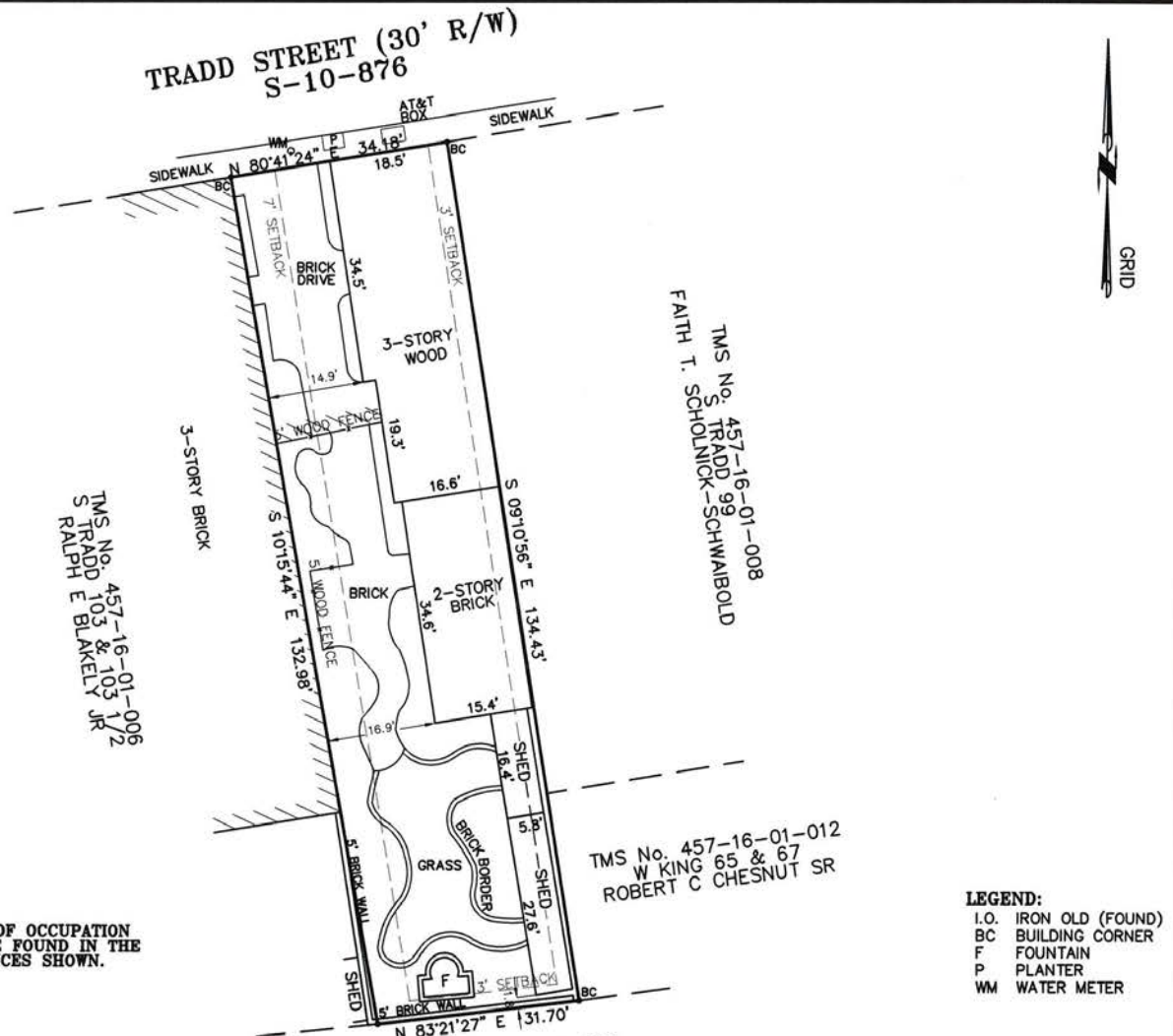
SURVEYOR'S CERTIFICATION

I hereby state that to the best of my knowledge, information, and belief, the survey shown hereon was made in accordance with the requirements of the Standards of Practice Manual for Surveying in South Carolina, and meets or exceeds the requirements for a Class A survey as specified therein. Also there are no visible encroachments or projections other than shown.

KEVIN M. SCHWACKE, SR. PLS
S.C. Registration Number 20468



CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS. THIS PLAT IS COPYRIGHTED AND IS INTENDED ONLY FOR THE ENTITY OR PERSON(S) SHOWN HEREON. THIS PLAT REPRESENTS A SURVEY BASED ON THE LISTED REFERENCES ONLY AND IS NOT THE RESULT OF A TITLE SEARCH.
KIM19 / 19157



- LEGEND:**
- I.O. IRON OLD (FOUND)
 - BC BUILDING CORNER
 - F FOUNTAIN
 - P PLANTER
 - WM WATER METER

TMS No. 457-16-01-008
S TRADD 98
FAITH T. SCHOLNICK-SCHWAIBOLD

TMS No. 457-16-01-006
S TRADD 103 & 103 JR
S RALPH E BLAKELY JR

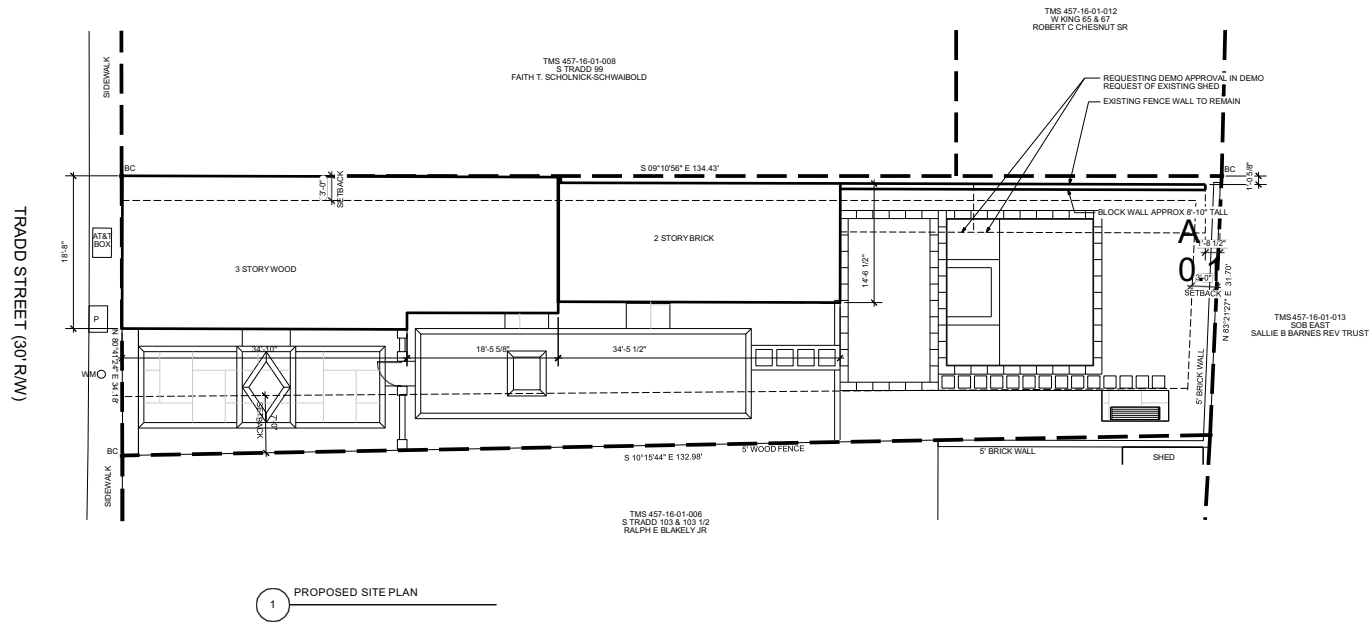
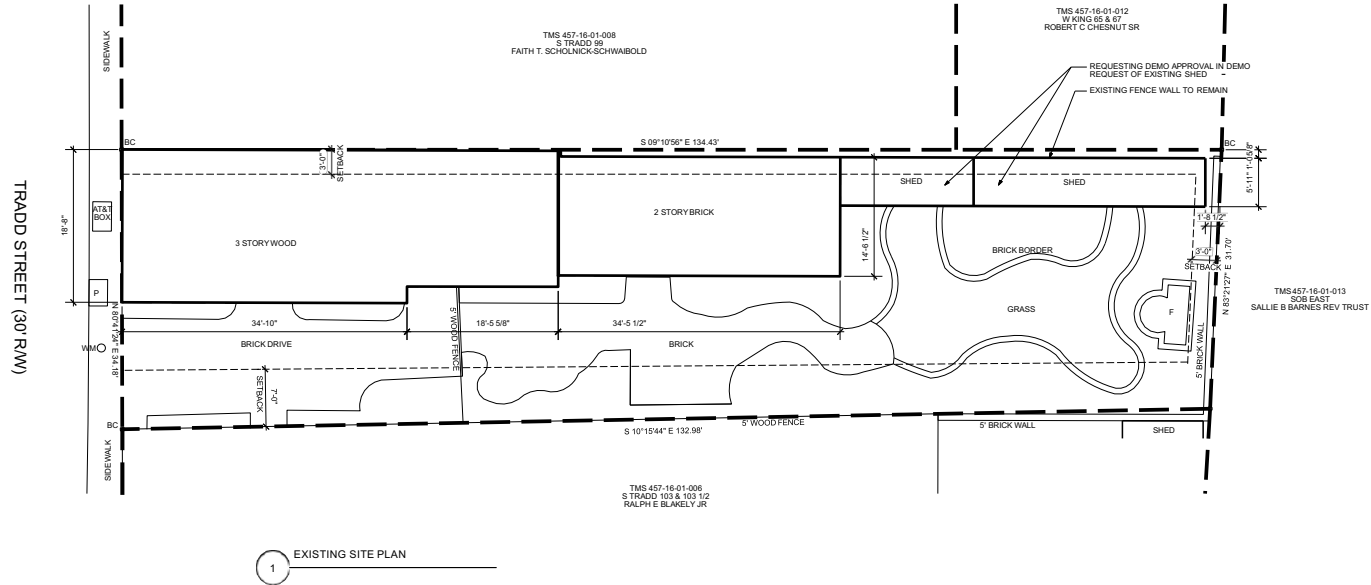
TMS No. 457-16-01-012
W KING 65 & 67
ROBERT C CHESNUT SR

TMS No. 457-16-01-013
SOB EAST
SALLIE B BARNES REV TRUST

AS-BUILT SURVEY
S TRADD 101
101 TRADD STREET
CITY OF CHARLESTON
CHARLESTON COUNTY, SOUTH CAROLINA



DATE: JUNE 11, 2019 SCALE: 1" = 20'



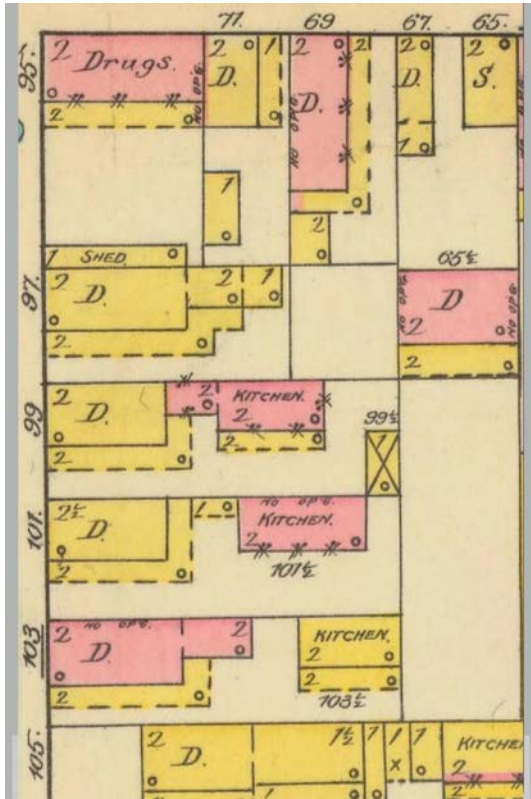
SITE INFORMATION, INCLUDING SITE BOUNDARIES, JURISDICTIONAL LINES, FLOOD ZONES, LOCATIONS OF NEIGHBORING HOUSES, ETC., BASED ON A SURVEY PROVIDED BY A.H. SCHWABKE & ASSOCIATES DATED JUNE 11, 2019.



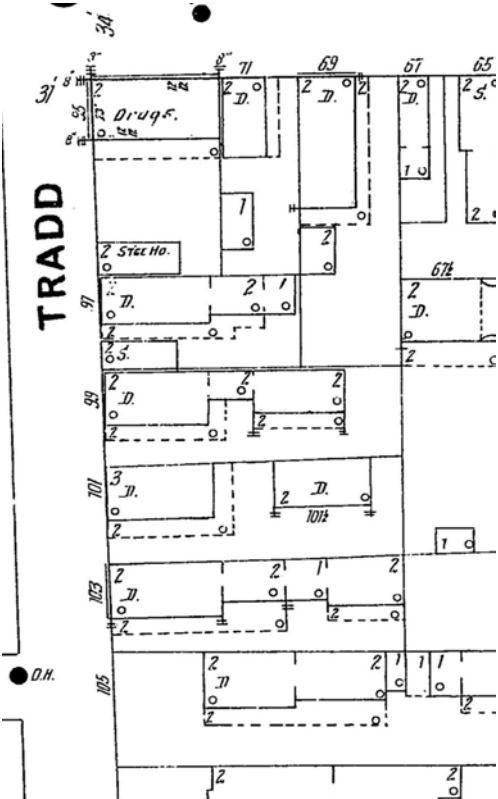
BEAU
 CLOWNEY
 architects

843.722.2040

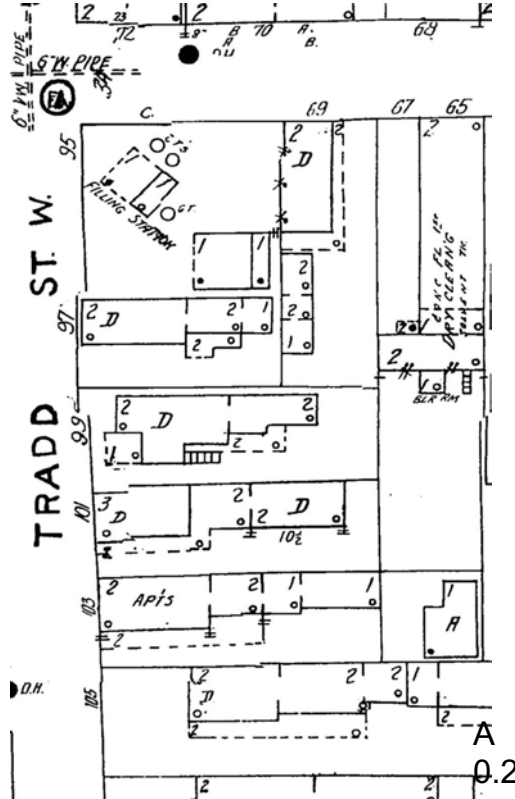
SCM, LLC
 101 TRADD STREET
 CHARLESTON, SC
 SITE PLAN
 1/16" = 1'-0"
 08.19.19



SANBORN MAP 1888

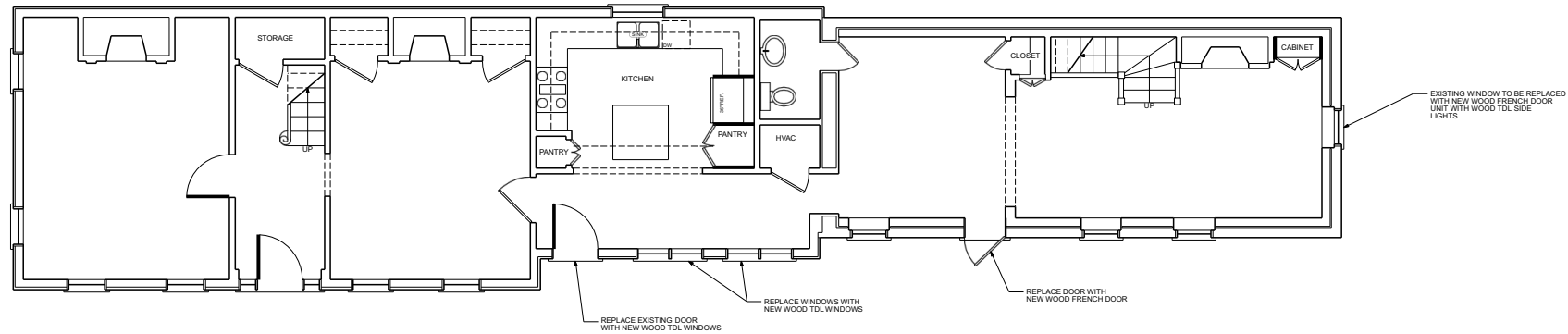


SANBORN MAP 1902

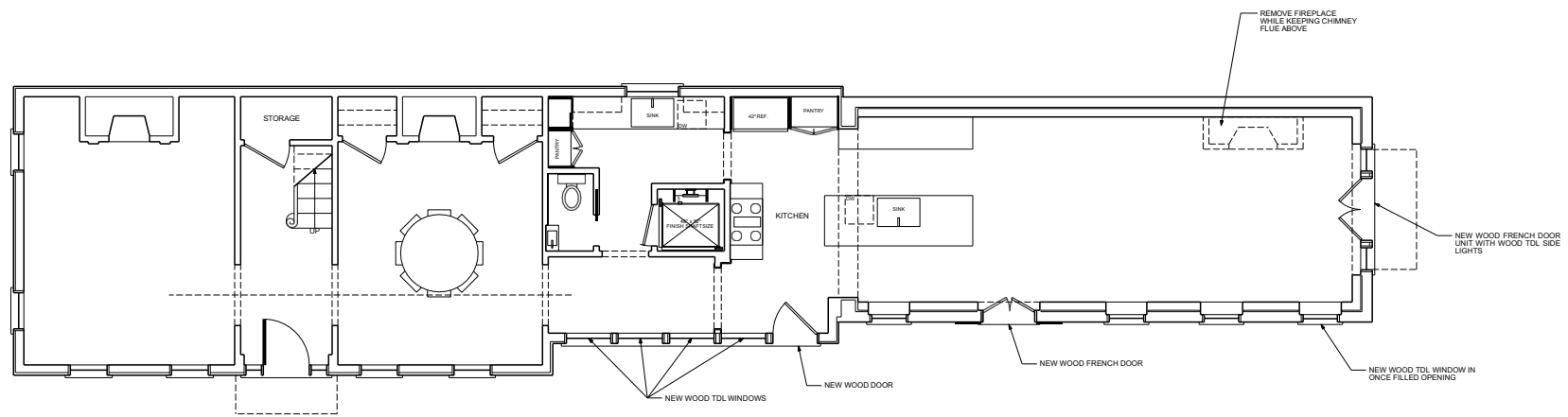


SANBORN MAP 1944 AND 1955

Title	101 Tradd Street (Jane Thomson House)
Object Type	Property File
Scope & Content	Constructed ca. 1778; altered and renovated mid- and late-20th century. Standing on a Grand Modell lot granted in 1689 to Direck Hugland, a New York mariner, this 3-story Charleston single house was built for Jane Thomson in the late 1770s. According to newspaper advertisements, Thomson's millinery business was sufficiently thriving by the early 1770s to compel her to advertise in the South Carolina Gazette for young women to join her shop as apprentices. In the 20th century the new owners raised the roofline of the house to create a full third story, and in more recent years, a double-tiered side piazza was removed.
Subjects	File contains FOHG house histories (1981/incomplete, 2001). Historic buildings--South Carolina--



1 EXISTING FIRST FLOOR PLAN

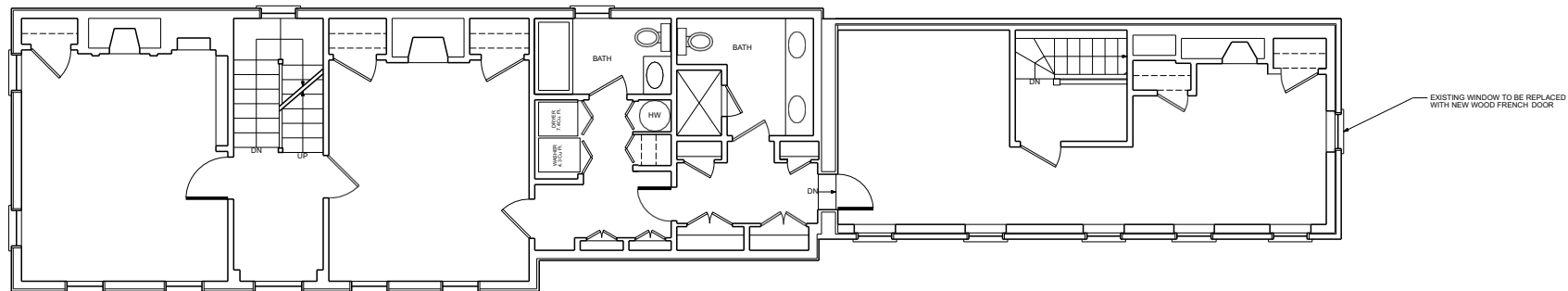


2 PROPOSED FIRST FLOOR PLAN

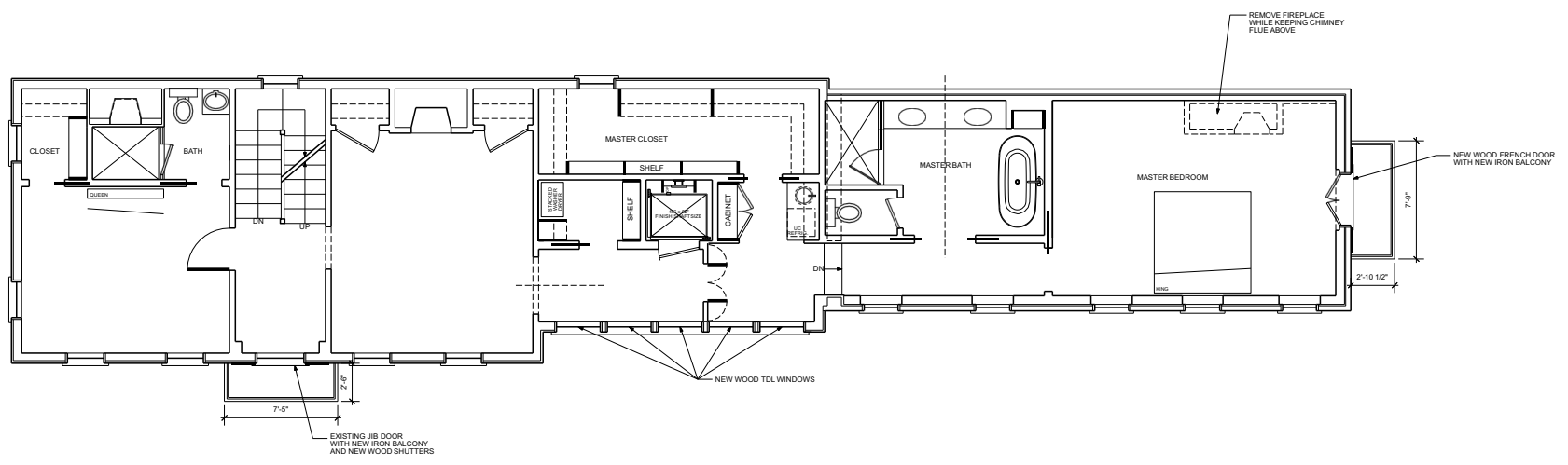
NOTE: DIMENSIONS SHOWN ARE FROM FACE OF STUD UNLESS NOTED OTHERWISE

B E A U
 C L O W N E Y
 a r c h i t e c t s
 8 4 3 . 7 2 2 . 2 0 4 0

SCM, LLC
 101 TRADD STREET
 CHARLESTON, SC
 FIRST FLOOR PLAN
 1/8"=1'-0"
 08.19.19



1 EXISTING SECOND FLOOR PLAN

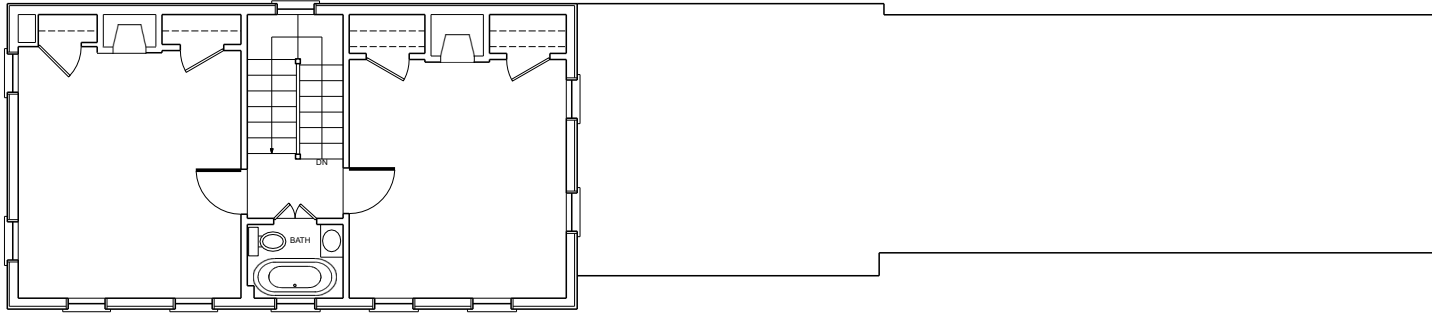


NOTE: DIMENSIONS SHOWN ARE FROM FACE OF STUD UNLESS NOTED OTHERWISE

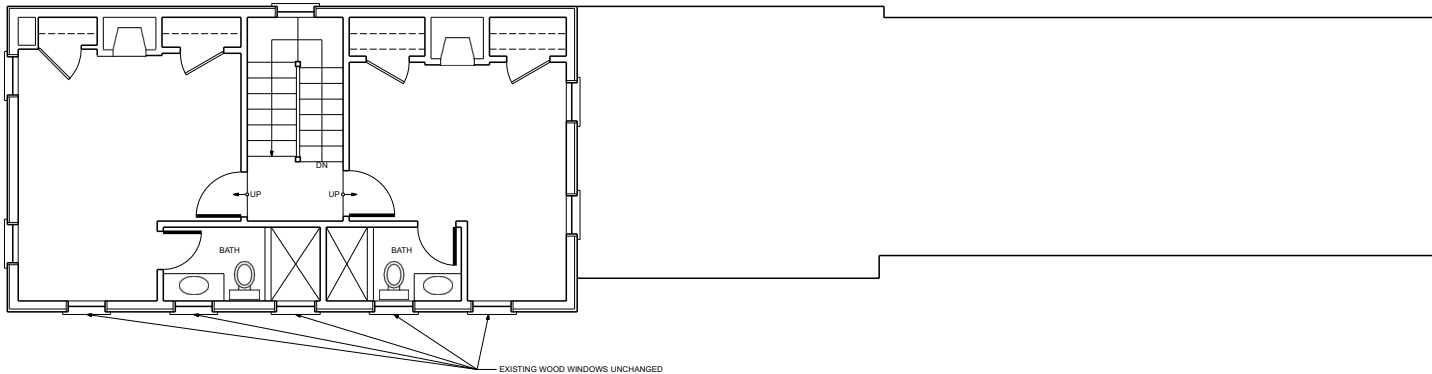
2 PROPOSED SECOND FLOOR PLAN

B E A U
 C L O W N E Y
 a r c h i t e c t s

843.722.2040
 S C M, L L C
 101 TRADD STREET
 CHARLESTON, SC
 SECOND FLOOR PLAN 1
 1/8" = 1'-0"
 08.19.19



1 EXISTING THIRD FLOOR PLAN



2 PROPOSED THIRD FLOOR PLAN

B E A U
C L O W N E Y
architects
8 4 3 . 7 2 2 . 2 0 4 0

SCM, LLC
101 TRADD STREET
CHARLESTON, SC
ROOF PLAN
1/8" = 1'-0"
08.19.19



EAST AND NORTH ELEVATION (TRADD STREET)



WEST ELEVATION



WEST ELEVATION TOWARD REAR



SOUTHWEST CORNER



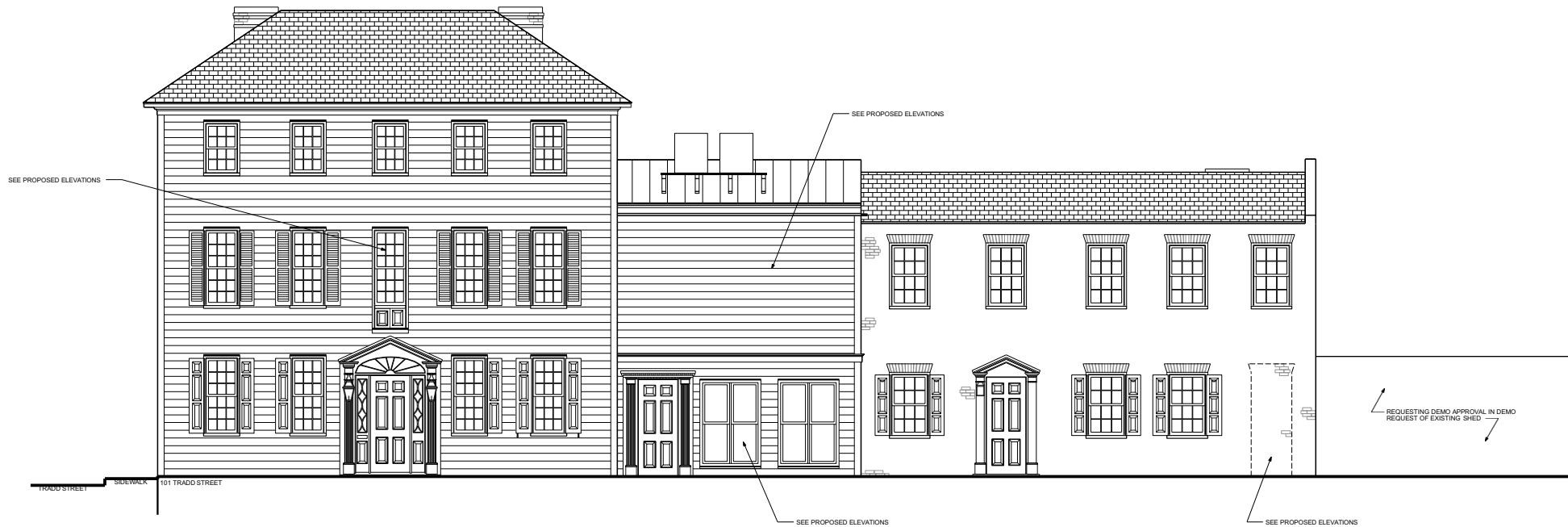
SOUTH ELEVATION (REAR)

B. E A U
C. L O W N E Y
architects

843.722.2040

SCM, LLC
101 TRADD STREET
CHARLESTON, SC
PHOTOGRAPHS
NOSCALE
06.19.19

EX 2.0



1 EXISTING WEST ELEVATION

B. E. A. U
C. L. O. W. N. E. Y
architects

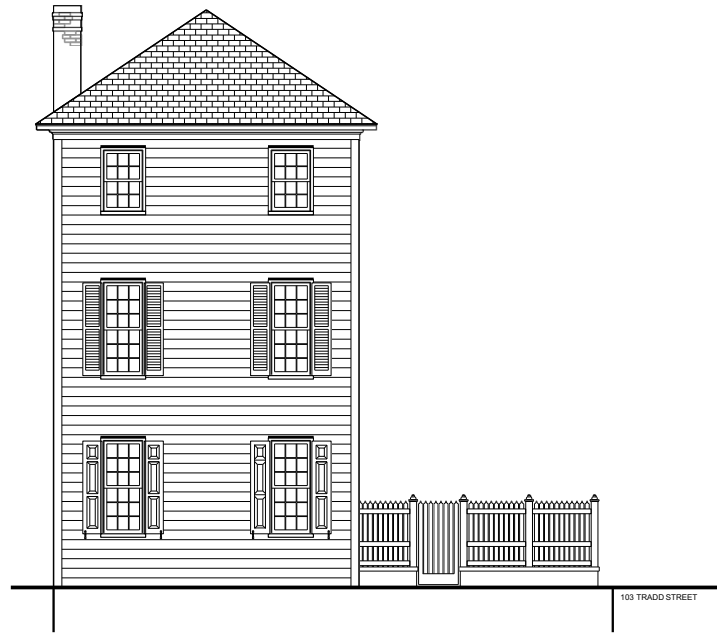
843.722.2040
SCM, LLC
101 TRADD STREET
CHARLESTON, SC
EXISTING EXTERIOR ELEVATIONS
1/8" = 1'-0"
08.19.19



1 PROPOSED WEST ELEVATION

B E A U
C L O W N E Y
architects

843.722.2040
SCM, LLC
101 TRADD STREET
CHARLESTON, SC
PROPOSED EXTERIOR ELEVATION
1/8" = 1'-0"
08.19.19



1 EXISTING NORTH ELEVATION (TRADD STREET)

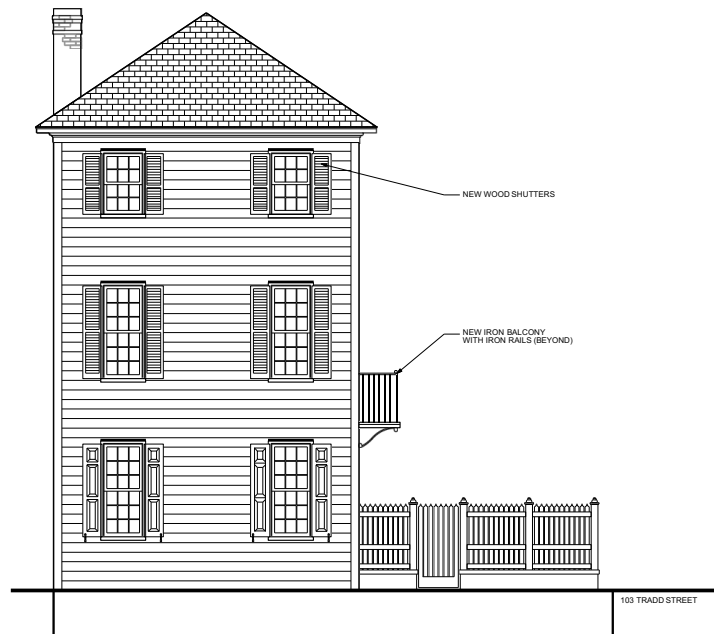


2 EXISTING SOUTH ELEVATION

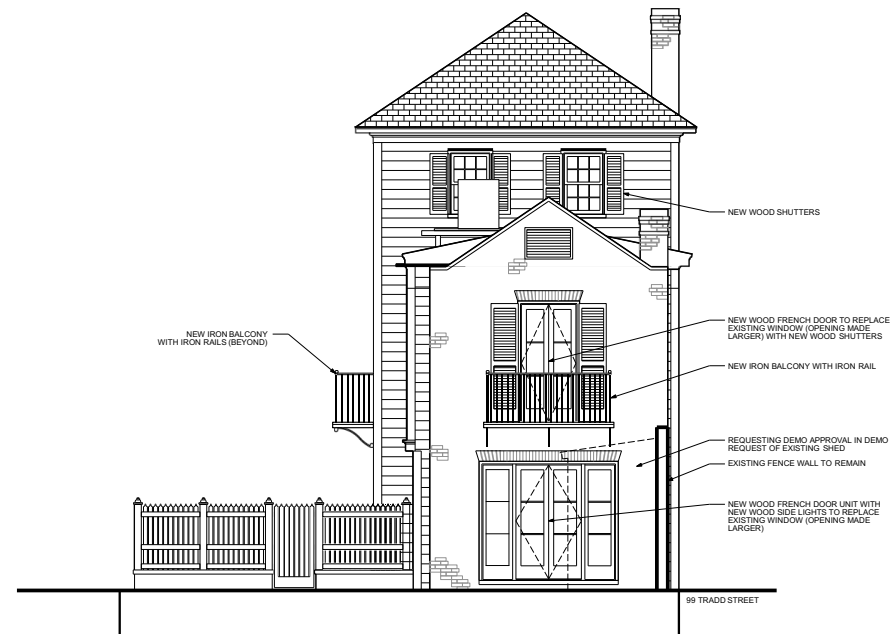
B. E. A. U
C. L O W N E Y
architects

843.722.2040

SCM, LLC
101 TRADD STREET
CHARLESTON, SC
EXISTING EXTERIOR ELEVATIONS
1/8" = 1'-0"
08.19.19



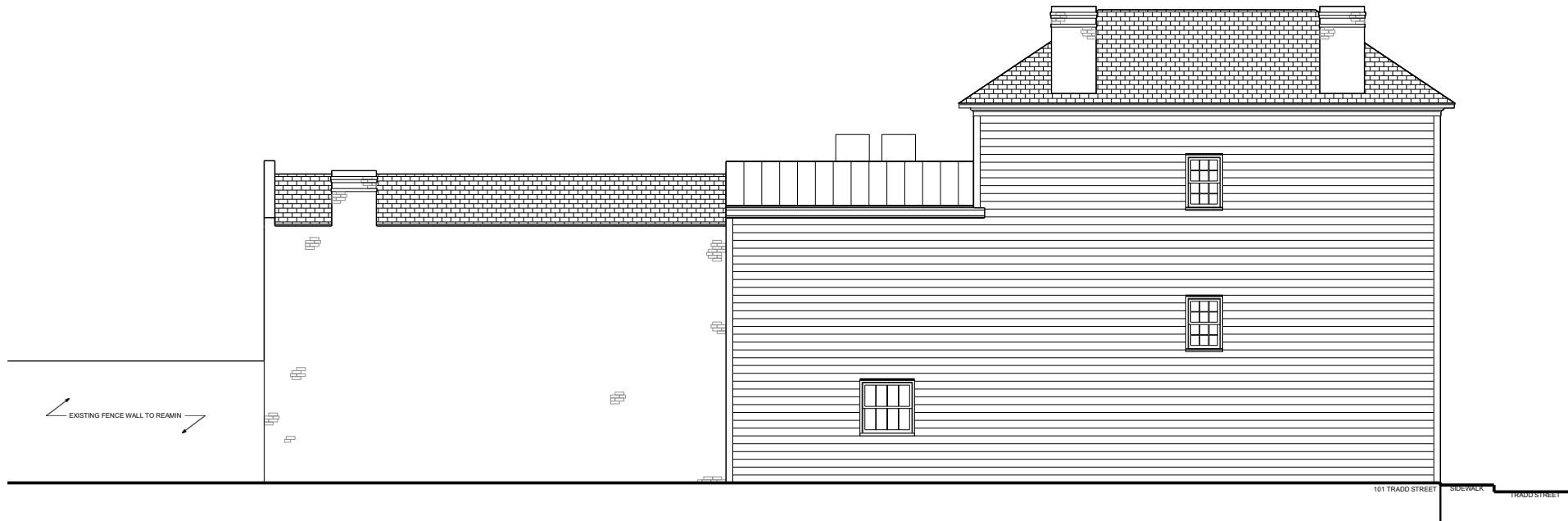
1 PROPOSED NORTH ELEVATION (TRADD STREET)



2 PROPOSED SOUTH ELEVATION

B E A U
C L O U N E Y
a r c h i t e c t s
8 4 3 . 7 2 2 . 2 0 4 0

SCM, LLC
1011 TRADD STREET C
CHARLESTON, SC
PROPOSED EXTERIOR ELEVATION
1/8" = 1'-0"
08.19.18



1 EXISTING EAST ELEVATION

B. E. A. U
C. L. O. W. N. E. Y
architects

843.722.2040
SCM, LLC
101 TRADD STREET
CHARLESTON, SC
EXISTING EXTERIOR ELEVATIONS
1/8" = 1'-0"
08.19.19



NEW IRON BALCONY
WITH IRON RAILS (BEYOND)

EXISTING FENCE WALL TO REMAIN

1 PROPOSED EAST ELEVATION (TO REMAIN UNCHANGED)

B. E. A. U.
C. L. O. W. N. E. Y
architects

843.722.2040

SCM, LLC
101 TRADD STREET
CHARLESTON, SC
PROPOSED EXTERIOR ELEVATIONS
1/8" = 1'-0"
08.19.19

A2.3

Agenda Item 6:

95 Beaufain Street

Requesting after-the-fact approval for the removal of a brick wall and a metal spiral stair, and the construction of a wooden staircase at rear.

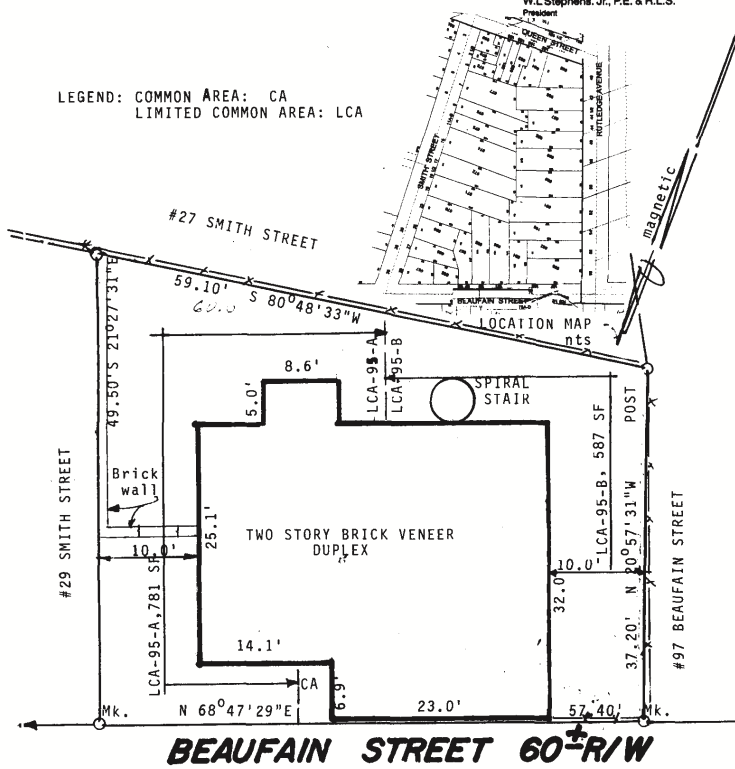
Not Rated / Harleston Village / 1976 / Old and Historic District

APPLICANT
PRESENTATION



W.L. Stephens, Jr., P.E. & R.L.S.
 President

LEGEND: COMMON AREA: CA
 LIMITED COMMON AREA: LCA



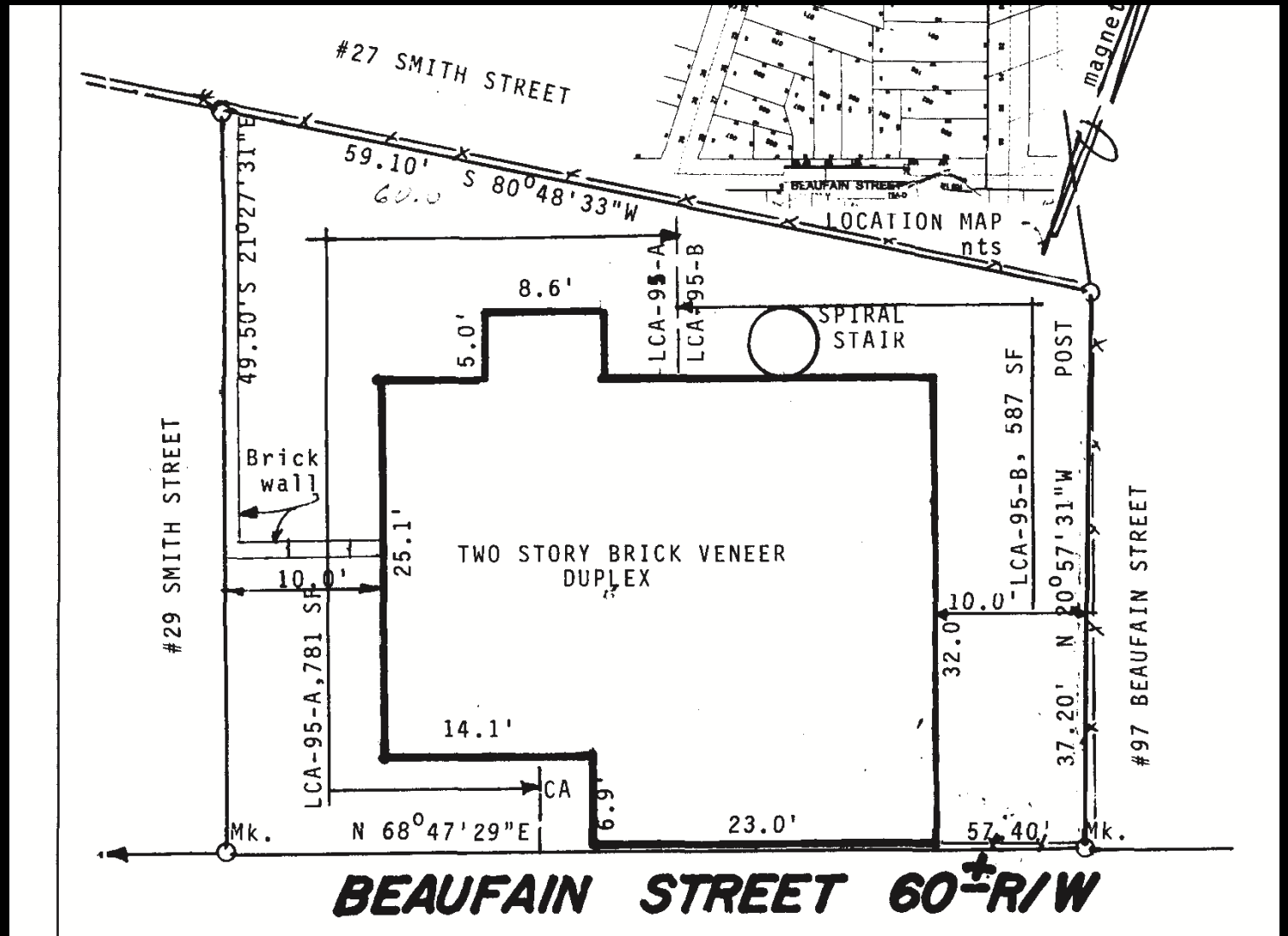
SITE PLAN OF PROPERTY KNOWN AS #95 BEAUFAIN STREET, CITY OF CHARLESTON, CHARLESTON COUNTY, SOUTH CAROLINA.

REFERENCES: PLAT BOOK W, PAGE 187: TMS#457 08 03 098.

NOTE: THIS PROPERTY IS LOCATED IN A SPECIAL FLOOD HAZARD ZONE (FIRM 455412 0514 J, DATED NOVEMBER 17, 2004, FLOOD ZONE AE 13).

OWNED BY: #95 BEAUFAIN STREET PROPERTY OWNERS ASSOCIATION.

SCALE: 1" = 10 FEET



95 BEAUFAIN STREET SURVEY/SITE PLAN - 2005

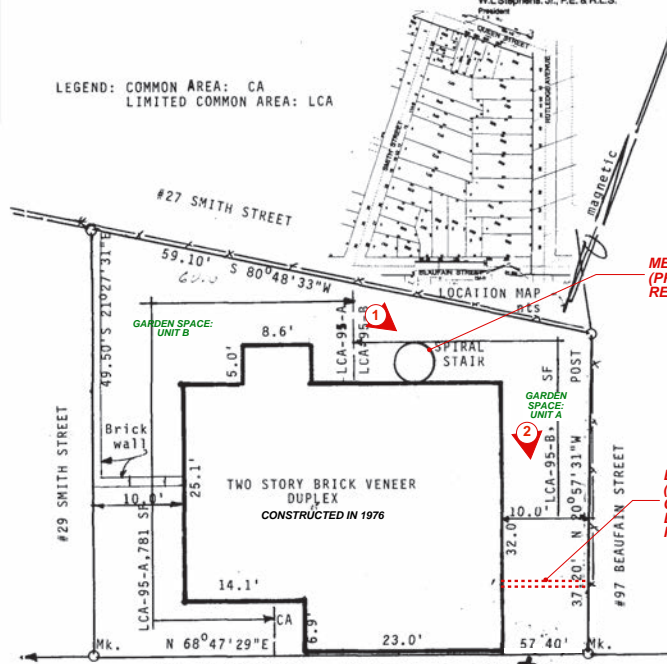
CIVIL ENGINEERS - STRUCTURAL ENGINEERS - LAND SURVEYORS - PLANNERS
BK T543P6328



Stephens Engineering, Inc.

W.L. Stephens, Jr., P.E. & R.L.S.
President

LEGEND: COMMON AREA: CA
LIMITED COMMON AREA: LCA



METAL SPIRAL STAIRWAY-
(PRESENT IN 2005 SURVEY)-
REMOVED IN 2018

BRICK WALL-
(NOT PRESENT IN 2005 SURVEY)-
CONSTRUCTED SOMETIME
BETWEEN 2005 & 2017,
REMOVED IN 2018

METAL SPIRAL STAIRWAY-
(PRESENT IN 2005 SURVEY)-
REMOVED IN 2018

BRICK WALL-
(NOT PRESENT IN 2005 SURVEY)-
CONSTRUCTED SOMETIME
BETWEEN 2005 & 2017,
REMOVED IN 2018



1 PRE-2018 VIEW: FROM REAR- LOOKING WEST



2 PRE-2018 VIEW: FROM WEST SIDEYARD- LOOKING NORTH

BEAUFAIN STREET 60'-R/W

SITE PLAN OF PROPERTY KNOWN AS #95 BEAUFAIN STREET, CITY OF CHARLESTON, CHARLESTON COUNTY, SOUTH CAROLINA.

REFERENCES: PLAT BOOK W, PAGE 187: TMS#457 08 03 098.

NOTE: THIS PROPERTY IS LOCATED IN A SPECIAL FLOOD HAZARD ZONE(FIRM 455412 0514 J, DATED NOVEMBER 17, 2004, FLOOD ZONE AE 13).

OWNED BY: #95 BEAUFAIN STREET PROPERTY OWNERS ASSOCIATION.

SCALE: 1" = 10 FEET

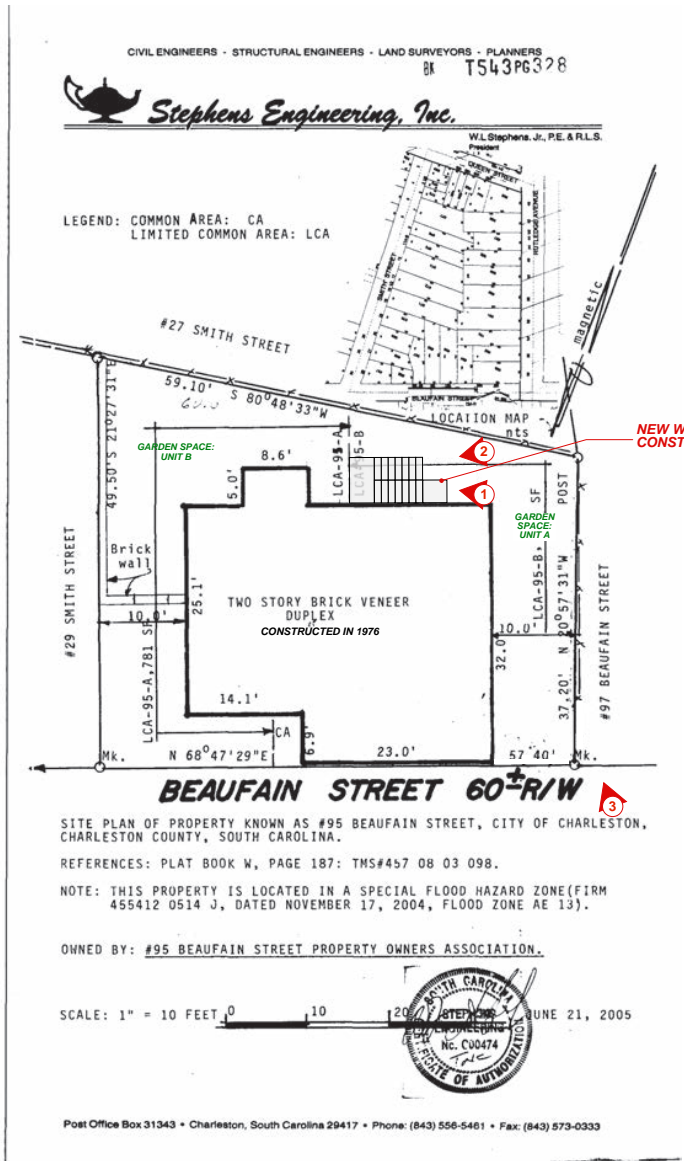


Post Office Box 31343 • Charleston, South Carolina 29417 • Phone: (843) 556-5461 • Fax: (843) 573-0333

BRICK WALL-
(NOT PRESENT IN 2005 SURVEY)-
CONSTRUCTED SOMETIME
BETWEEN 2005 & 2017,
REMOVED IN 2018



95 BEAUFAIN STREET: SITE PLAN - CURRENT

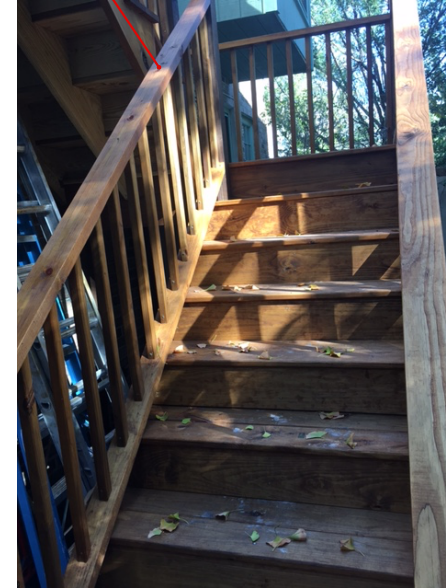


NEW WOOD STAIRWAY-
CONSTRUCTED IN 2018



① CURRENT VIEW: NEW WOOD STAIRS- LOOKING EAST FROM TOP OF STAIRS

NEW WOOD STAIRWAY-
CONSTRUCTED IN 2018



② CURRENT VIEW: NEW WOOD STAIRS- LOOKING EAST



③ CURRENT VIEW: FROM BEAUFAIN ST. - LOOKING SOUTH/EAST (UNIT A: SIDE YARD)

Agenda Item 7:

48 Laurens Street

Requesting final approval for the replacement of windows to match original nine-over-nine configuration.

Category 2 / Ansonborough / 1810 / Old and Historic District

APPLICANT
PRESENTATION

48 LAURENS STREET - WINDOW REPLACEMENT

BAR REVIEW
06.19.2019



DRAWING INDEX

- G001 SURVEY
- A201 EXTERIOR ELEVATIONS
- A202 EXTERIOR ELEVATIONS
- A203 EXTERIOR ELEVATIONS
- A204 EXTERIOR ELEVATIONS

CODE DESIGN:

International Existing Building Code, 2015
International Residential Building Code, 2015

ARCHITECT:

Simons Young + associates
3 Morris St, Suite B
Charleston, SC 29403

Contact: Simons Young
843.277.0996
simons@simonsyoung.com

OWNER:

Falk Family
48 Laurens Street
Charleston, SC 29401

STRUCTURAL ENGINEER:

Rick Lambert
Lambert Engineering Company
843.822.7426

LANDSCAPE ARCHITECT

Glenn R. Gardner
Glenn R. Gardner, Landscape Architect
843.722.5885

CONTRACTOR:

David Hoffman
Edgewood Builders
843.722.6399

**SIMONS
YOUNG**
+ associates

3 MORRIS STREET SUITE B
CHARLESTON SC 29403
843.277.0996
www.simonsyoung.com



No.	Description	Date

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48 LAURENS
COVER PAGE

Project number	15112
Date	06.19.2019
Drawn by	JB
Checked by	SY
Scale	G000

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3 MORRIS STREET SUITE B
CHARLESTON SC 29403
843 277 0996
www.simonsyoung.com



1 EXISTING SOUTH ELEVATION
1/4" = 1'-0"



2 PROPOSED SOUTH ELEVATION
1/4" = 1'-0"

No.	Description	Date

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48 LAURENS EXTERIOR ELEVATIONS

Project number 15112
Date 06.19.2019
Drawn by JB
Checked by SY

A201

Scale 1/4" = 1'-0"

7/30/2019 4:57:52 PM

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CHARLESTON SC 29403
843 277 0996
www.simonsyoung.com



3 EXISTING EAST ELEVATION
1/4" = 1'-0"



4 PROPOSED EAST ELEVATION
1/4" = 1'-0"

No.	Description	Date

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48 LAURENS EXTERIOR ELEVATIONS

Project number 15112
Date 06.19.2019
Drawn by JB
Checked by SY

A202

Scale 1/4" = 1'-0"

7/8/2019 4:57:54 PM

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1 EXISTING NORTH ELEVATION
1/4" = 1'-0"



2 PROPOSED NORTH ELEVATION
1/4" = 1'-0"

No.	Description	Date

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48 LAURENS EXTERIOR ELEVATIONS

Project number 15112
Date 06.19.2019
Drawn by Author
Checked by Checker

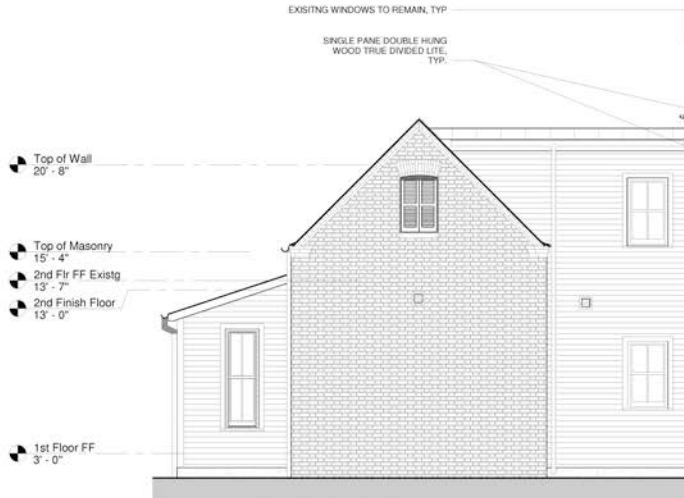
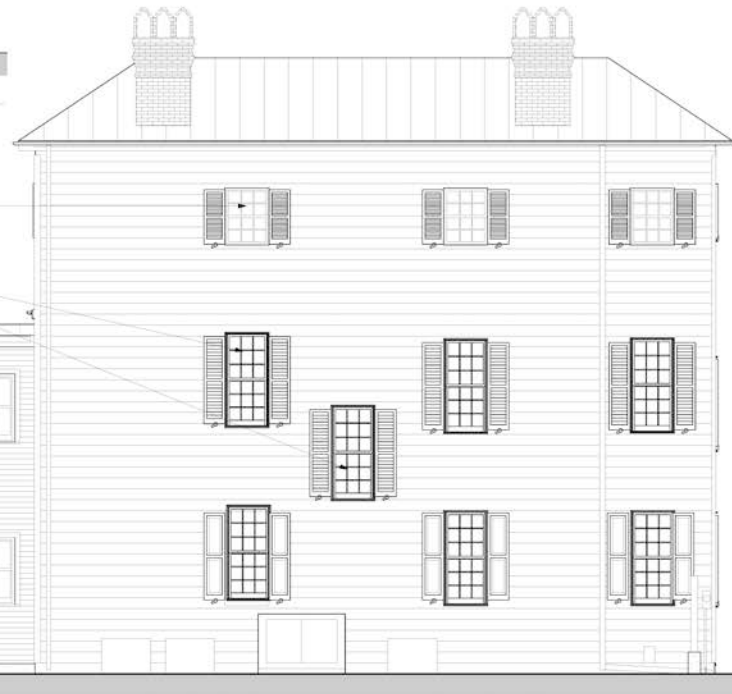
A203

Scale 1/4" = 1'-0"

7/3/2019 4:57:55 PM



1 EXISTING WEST ELEVATION
1/4" = 1'-0"



2 PROPOSED WEST ELEVATION
1/4" = 1'-0"

**SIMONS
YOUNG
+ associates**

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No.	Description	Date

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**48 LAURENS
EXTERIOR ELEVATIONS**

Project number 15112
Date 06.19.2019
Drawn by Author
Checked by Checker

A204

Scale 1/4" = 1'-0"

Agenda Item 8:

525 Meeting Street

Requesting Preliminary approval for modifications to building including new aluminum canopy and hardscaping.

Not Rated / North Central / c. 1975 / Historic Corridor District

APPLICANT
PRESENTATION

PALACE HOTEL RESTAURANT

525 MEETING STREET
CHARLESTON, SOUTH CAROLINA 29403

SCOPE OF WORK:

BUILDING
RENOVATE EXISTING CMU BUILDING, NEW EXTERIOR DOORS,
WINDOWS AND ALUMINUM CANOPY

COURTYARD
RENOVATE EXISTING PAVED AREA INTO GARDEN COURTYARD

CODE / ZONING INFORMATION

ZONING JURISDICTION
CITY OF CHARLESTON

ZONING DISTRICT: GB
T.M.S. #: 459-05-01-022

APPLICABLE CODES
ALL WORK, MATERIALS, AND INSTALLATION SHALL BE IN STRICT ACCORDANCE WITH ALL ORDINANCES, AND THE LATEST ADOPTED ADDITION OF THE NATIONAL, STATE AND LOCAL BUILDING CODES, INCLUDING BUT NOT LIMITED TO THE 2015 INTERNATIONAL EXISTING BUILDING CODE, THE NEC, NFPA CODES, SAFETY AND HEALTH REQUIREMENTS AND ENERGY CODE.

PROJECT CONTACT INFORMATION

PROJECT #: 19.102 **ARCHITECT:**
PROJECT ADDRESS: ROBBIE MARTY ARCHITECT, LLC
525 MEETING STREET CONTACT PERSON: ROBBIE MARTY
CHARLESTON, SC 29403 164 MARKET STREET SUITE 346
 CHARLESTON, SC 29401
 PH. (843) 906-4794
 E-MAIL: ROBBIE@RMACHS.COM



PREVIOUS SUBMITTAL:
CONCEPTUAL APPROVAL WITH STAFF COMMENTS: 1,2,4,6,7,9,10,11 AND BOARD CONDITION TO PROVIDE INFORMATION ON HOW COOLER WILL BE INTEGRATED INTO DESIGN.
See Sheet A4.4 for Cooler Integration Design

1. This project is an improvement on this site but the submittal is inadequate to convey the scope of the project (materials, existing and proposed elevations).
See Additional Notes & Sheets; A3.1-A3.6, A4.1-A4.4
2. The busy, and mixed use of this location of Meeting Street presents great opportunity for an adaptable design direction with its surroundings.
4. The 7 foot wall on the north property line should be solid stucco.
See Sheets; A3.4, A3.7, S3.9
6. Provide more information regarding the awning, and details.
See Sheet; A4.2
7. Letters on awning can be a maximum of 16" per sign ordinance code. 16" is shown
9. Have underside of overhand follow pitch of roof instead of boxed eave. *Boxed Eave is an existing condition*
10. Paint door on the south side the same color as the wall.
Noted
11. Detail site materials.
See Sheets; A4.2, A4.3, A4.4

Sheet Number	Sheet Name	3/4/2019 Zoning Submittal	5/7/2019 Zoning Submittal	6/3/2019 BAR Submittal	8/19/2019 BAR Submittal
A0.1	COVER SHEET	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A0.2	EXISTING PHOTOS	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A0.3	EXISTING PHOTOS	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A0.4	EXISTING PHOTOS	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A0.5	EXISTING PHOTOS	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A0.6	EXISTING PHOTOS	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A0.7	SURVEY	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A1.1	SITE PLAN - EXISTING	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A1.2	SITE PLAN - PROPOSED	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A1.3	AREA PLAN WITH PARKING	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A1.4	AREA PLAN	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A1.5	CONCENTRATION DIAGRAM	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A2.1	FLOOR PLAN - EXISTING	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A2.2	FLOOR PLAN - PROPOSED	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A2.3	ROOF PLAN - EXISTING & PROPOSED	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A3.1	ELEVATIONS - EXISTING	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A3.2	ELEVATIONS - PREVIOUS & PROPOSED	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A3.3	ELEVATIONS - PROPOSED	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A3.4	ELEVATIONS - PREVIOUS & PROPOSED	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A3.5	ELEVATIONS - PREVIOUS & PROPOSED	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A3.6	ELEVATIONS - PREVIOUS & PROPOSED	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A3.7	RENDERING	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A3.8	RENDERING	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A3.9	RENDERING	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A3.10	RENDERING	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A4.1	BUILDING SECTIONS	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A4.2	COURTYARD DETAILS	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A4.3	CANOPY DETAILS	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A4.4	WALK-IN COOLER DETAILS	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

ROBBIE MARTY ARCHITECT
164 MARKET STREET SUITE 346
CHARLESTON, SC 29401
843.906.4794
martyp@gmail.com

COVER SHEET

PALACE HOTEL
525 MEETING STREET
CHARLESTON, SOUTH CAROLINA

ZONING SET	03/04/19
ZONING SET	05/07/19
BAR SET	06/03/19
BAR SET	08/29/19

A0.1



525 Meeting Front



Walnut Street



527 Meeting Street



525 Meeting Rear

ROBBIE MARTY ARCHITECT
164 MARKET STREET SUITE 346
CHARLESTON, SC 29401
843.906.4794
martyp@gmail.com

EXISTING PHOTOS

PALACE HOTEL
525 MEETING STREET
CHARLESTON, SOUTH CAROLINA

ZONING SET	03/04/19
ZONING SET	05/07/19
BAR SET	06/03/19
BAR SET	08/29/19

A0.2



WEST SIDE OF MEETING



MEETING STREET INTERSECTION

ROBBIE MARTY ARCHITECT
 164 MARKET STREET SUITE 346
 CHARLESTON, SC 29401
 843.906.4794
 rmarty@gmail.com

EXISTING PHOTOS

PALACE HOTEL
 525 MEETING STREET
 CHARLESTON, SOUTH CAROLINA

ZONING SET	03/04/19
ZONING SET	05/07/19
BAR SET	06/03/19
BAR SET	08/29/19

A0.3



530 Meeting Street



Meeting Cooper Corner

ROBBIE MARTY ARCHITECT
 164 MARKET STREET SUITE 346
 CHARLESTON, SC 29401
 843.906.4794
 rmarty@gmail.com

EXISTING PHOTOS

PALACE HOTEL
 525 MEETING STREET
 CHARLESTON, SOUTH CAROLINA

ZONING SET	03/04/19
ZONING SET	05/07/19
BAR SET	06/03/19
BAR SET	08/29/19

A0.4



WALNUT STREET



WALNUT STREET

ROBBIE MARTY ARCHITECT
 164 MARKET STREET SUITE 346
 CHARLESTON, SC 29401
 843.906.4794
 rmarty@gmail.com

EXISTING PHOTOS

PALACE HOTEL
 525 MEETING STREET
 CHARLESTON, SOUTH CAROLINA

ZONING SET	03/04/19
ZONING SET	05/07/19
BAR SET	06/03/19
BAR SET	08/29/19

A0.5



WALNUT AND MEETING



WALNUT AND MEETING

ROBBIE MARTY ARCHITECT
 164 MARKET STREET SUITE 346
 CHARLESTON, SC 29401
 843.906.4794
 rmarty@gmail.com

EXISTING PHOTOS

PALACE HOTEL
 525 MEETING STREET
 CHARLESTON, SOUTH CAROLINA

ZONING SET	03/04/19
ZONING SET	05/07/19
BAR SET	06/03/19
BAR SET	08/29/19

A0.6



CERTIFY THAT THE MEASUREMENTS SHOWN HEREON ARE CORRECT AND THAT THERE ARE NO ENCROACHMENTS OR PROJECTIONS UNLESS SHOWN.

CERTIFY THAT THE PROPERTY SHOWN HEREON IS IN A SPECIAL FLOOD HAZARD ZONE ACCORDING TO FEMA AND FLOOD HAZARD BOUNDARY MAPS.

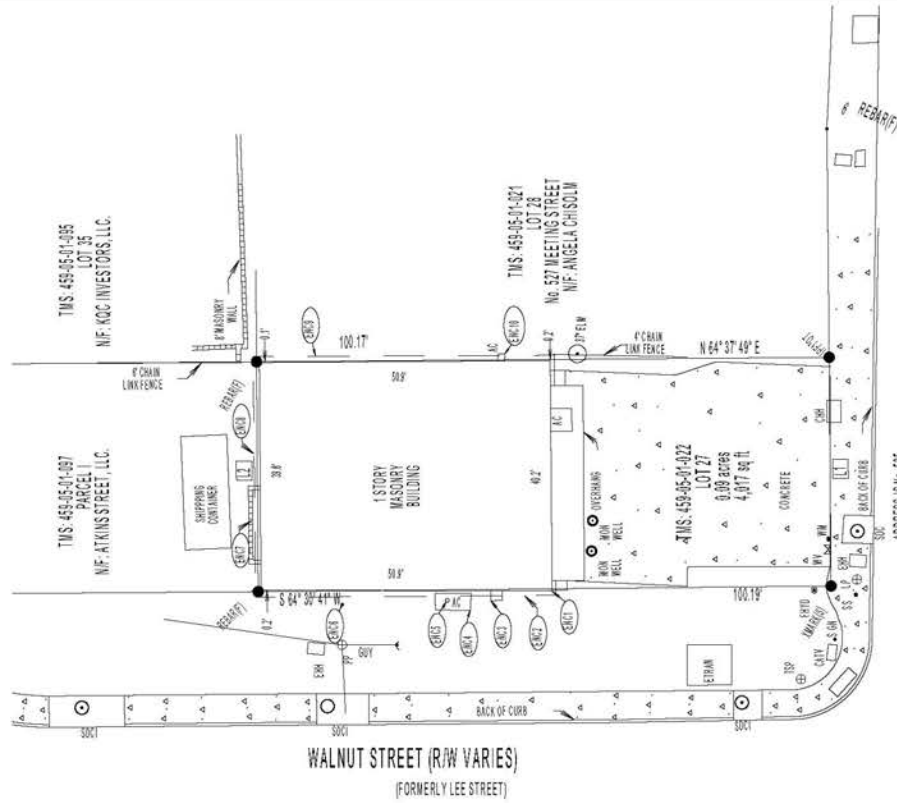
NOTES:

1. PROPERTY LIES IN FLOOD ZONE A.E. 17 ON FIRM COMMUNITY PANEL NUMBER 450100012L, MAP REVISION NOVEMBER 17, 2004.
2. THE BEARINGS SHOWN ARE MAGNETIC AND SUBJECT TO LOCAL ATTRACTION.
3. ANYTHING SHOWN OUTSIDE OF THE DEFINED BOUNDARY IS FOR DESCRIPTIVE PURPOSES ONLY.
4. THIS SURVEY IS BASED ON THE REFERENCE SHOWN AND DOES NOT CONSTITUTE A TITLE SEARCH.
5. ALL TREES 24" DIAMETER AT BREAST HEIGHT AND LARGER SHOWN HEREON.

LEGEND:

1. (R) (C) T - 1" ORB TOP PNE FOUND, O.D.
2. (R) (R) (F) - 5/8" REBAR FOUND, O.D.
3. (X) MARK(S) - "X" SCRIBED IN CONCRETE, NEW.
4. (P) - POWER POLE
5. (L) P - LIGHT POLE
6. (T) S P - TRAFFIC SIGNAL POLE
7. (E) H H - ELECTRICAL HAND HOLE
8. (E) T R A N - ELECTRICAL TRANSFORMER
9. (G) U Y - GUY WIRE
10. (W) V - WATER VALVE
11. (F) R D - FIRE HYDRANT
12. (W) U - WATER METER
13. (C) A V - CABLE BOX
14. (S) P H - SWITCH SERVICE
15. (S) S C I - STORM DRAIN CURB INLET
16. (S) S C I - UNDERGROUND MONITORING WELL
17. (M) O W E L L - 30" ELM DIAMETER AT BREAST HEIGHT
18. (3") E L M - 30" ELM DIAMETER AT BREAST HEIGHT
19. (E) N C - ENCROACHMENT

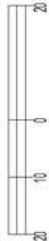
ENCROACHMENT TABLE	
ENC1	BUILDING CORNER INTO R/W BY 4'-0.3'
ENC2	EAVE OVERHANGS R/W BY 4'-1.1'
ENC3	SINK INTO R/W BY 4'-1.9'
ENC4	AIR CONDITIONER INTO R/W BY 4'-3.8'
ENC5	VENT INTO R/W BY 4'-2.2'
ENC6	SATELLITE INTO R/W BY 4'-2.5'
ENC7	MASONRY COPING OVER PROPERTY LINE BY 4'-2.1'
ENC8	EAVE OVERHANGS PROPERTY LINE BY 4'-0.8'
ENC9	EAVE OVERHANGS PROPERTY LINE BY 4'-1.0'
ENC10	WINDOW UNIT AIR CONDITIONER OVERHANGS PROPERTY LINE BY 4'-1.1'



MEETING STREET (R/W VARIES)

PLAT

OF LOT 27, No. 525 MEETING STREET,
CITY OF CHARLESTON, CHARLESTON COUNTY,
BEING CONVEYED TO SP REAL ESTATE, LLC.



SCALE: 1" = 20'

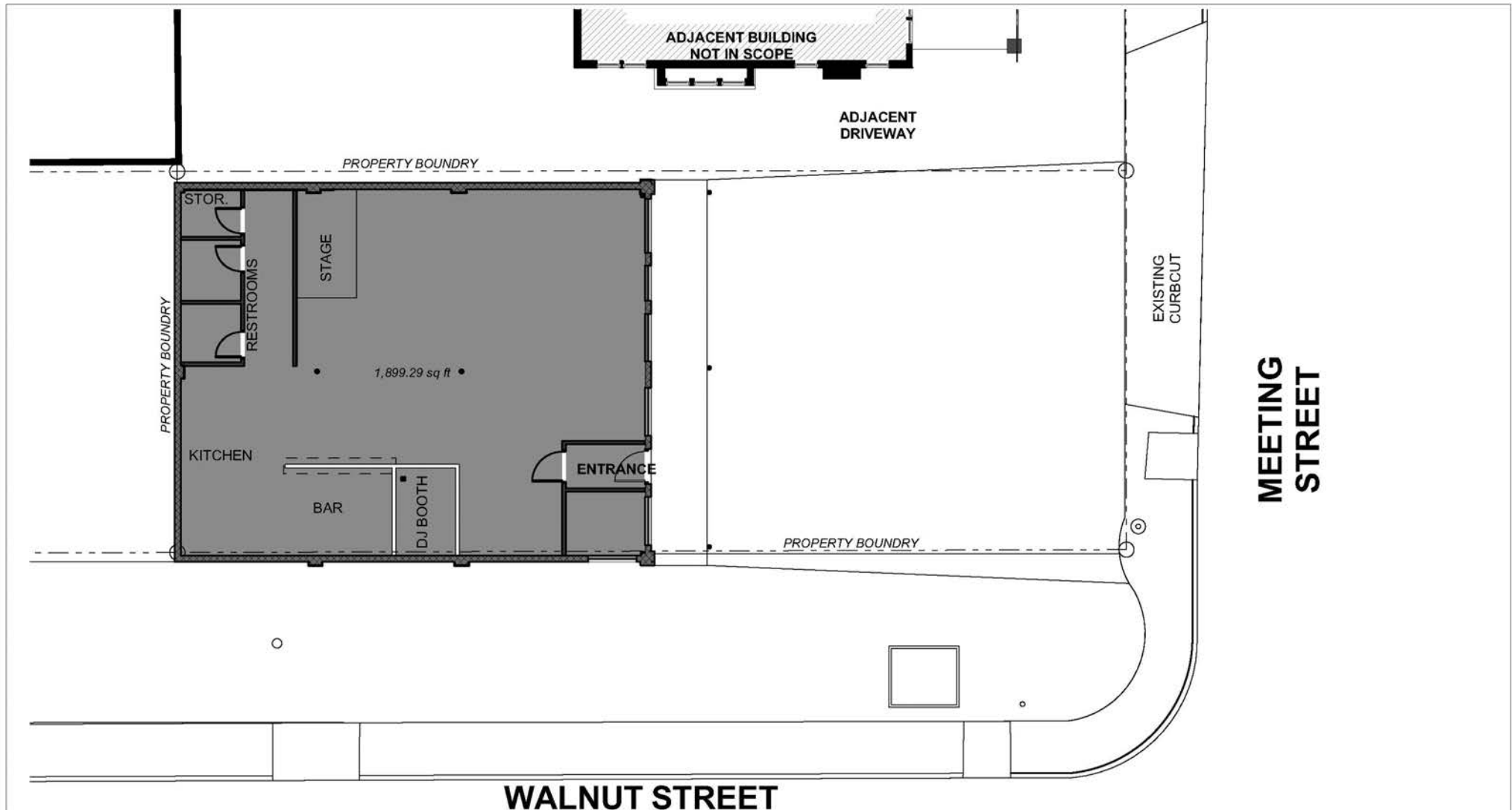
DATE: AUGUST 22, 2017

REF: PLAT BK. 'C', PG. 134

TMS: 459-05-01-022

ALEXANDER C. PEARBODY, PLS
PEARBODY & ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYING
P.O. BOX 22046, CHARLESTON, SC 29413
OFFICE 843-723-5225 MOBILE 843-270-4547

CHARLESTON COUNTY
SOUTH CAROLINA



SITE PLAN - EXISTING

SCALE: 1" = 10'

ROBBIE MARTY ARCHITECT
164 MARKET STREET SUITE 346
CHARLESTON, SC 29401
843.906.4794
marty@gmail.com

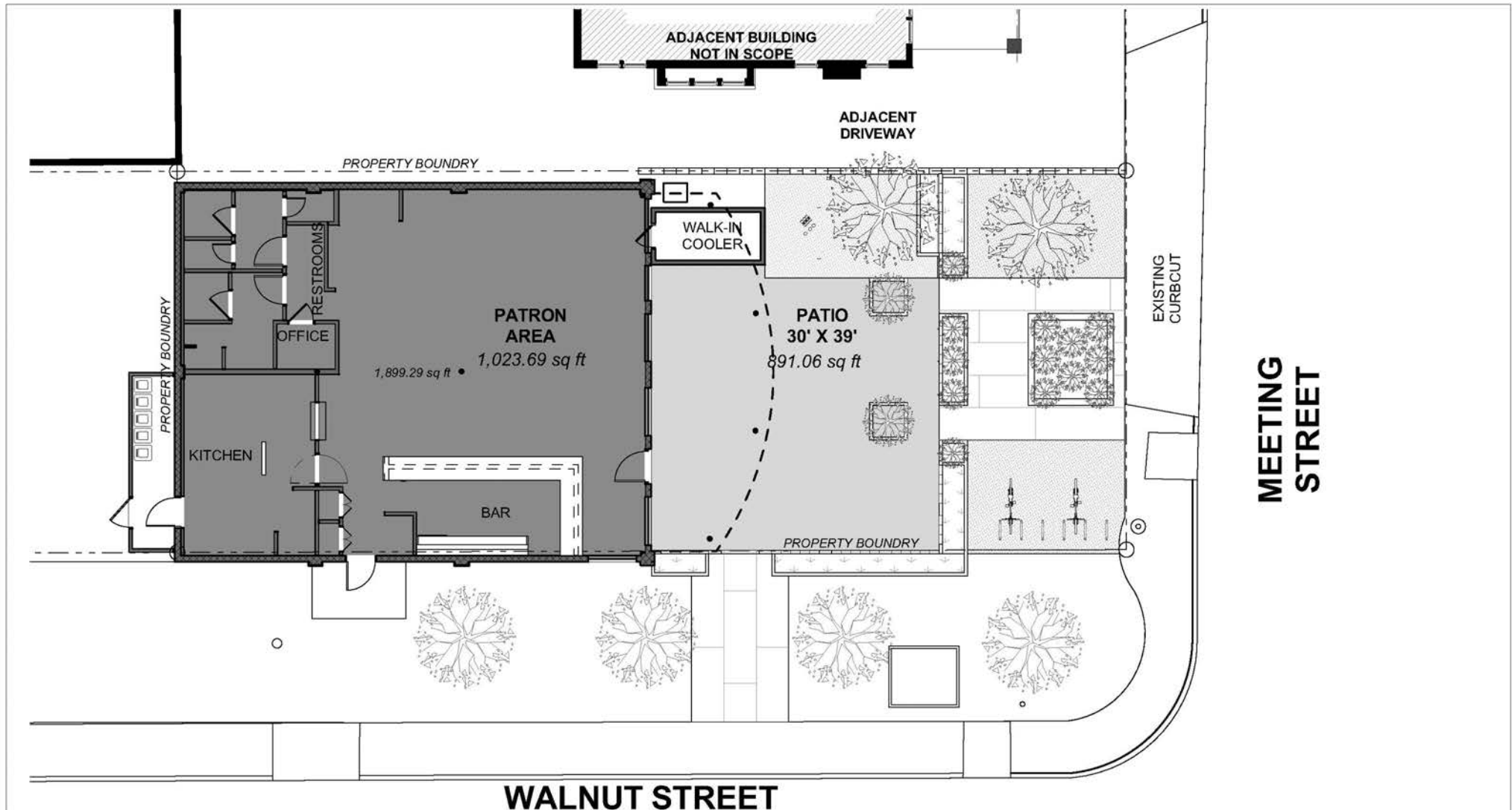
SITE PLAN - EXISTING

PALACE HOTEL

525 MEETING STREET
CHARLESTON, SOUTH CAROLINA

ZONING SET	03/04/19
ZONING SET	05/07/19
BAR SET	06/03/19
BAR SET	08/29/19

A1.1



SITE PLAN - PROPOSED

SCALE: 1" = 10'

ROBBIE MARTY ARCHITECT
 164 MARKET STREET SUITE 346
 CHARLESTON, SC 29401
 843.906.4794
 martyp@gmail.com

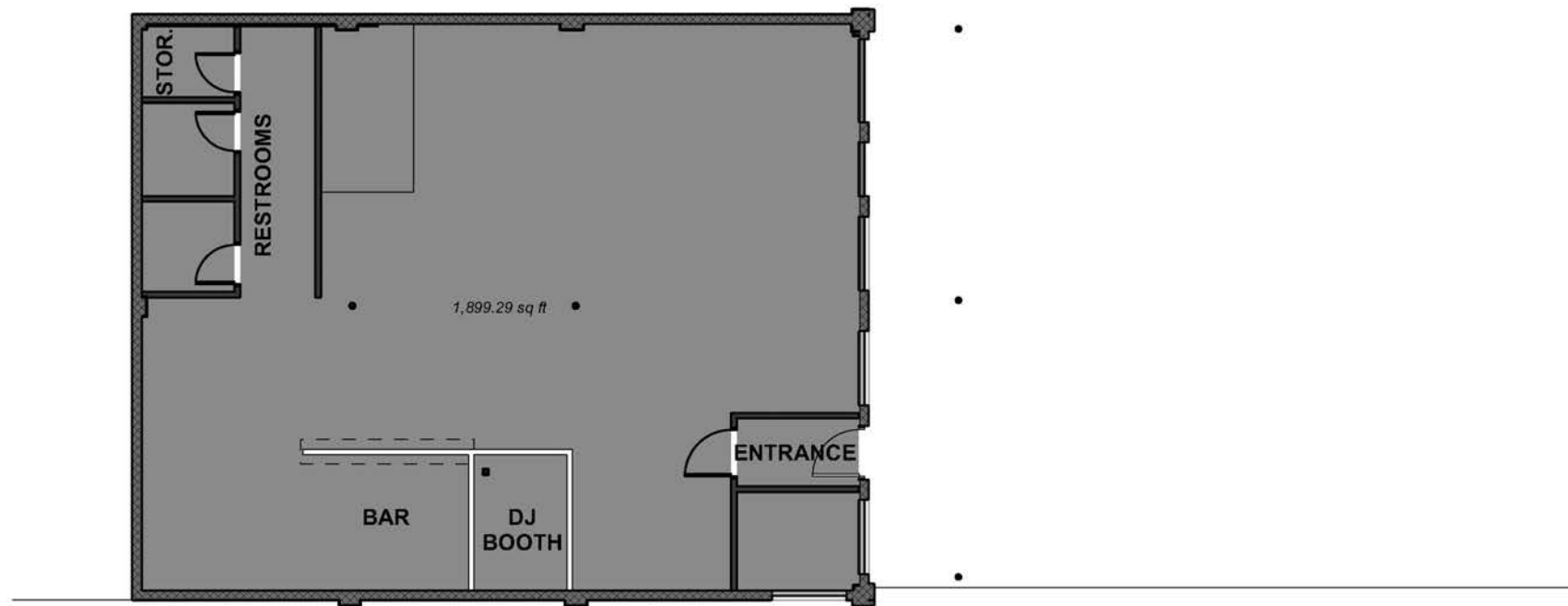
SITE PLAN - PROPOSED

PALACE HOTEL

525 MEETING STREET
 CHARLESTON, SOUTH CAROLINA

ZONING SET	03/04/19
ZONING SET	05/07/19
BAR SET	06/03/19
BAR SET	08/29/19

A1.2



FLOOR PLAN - EXISTING
SCALE: 1/8" = 1'-0"

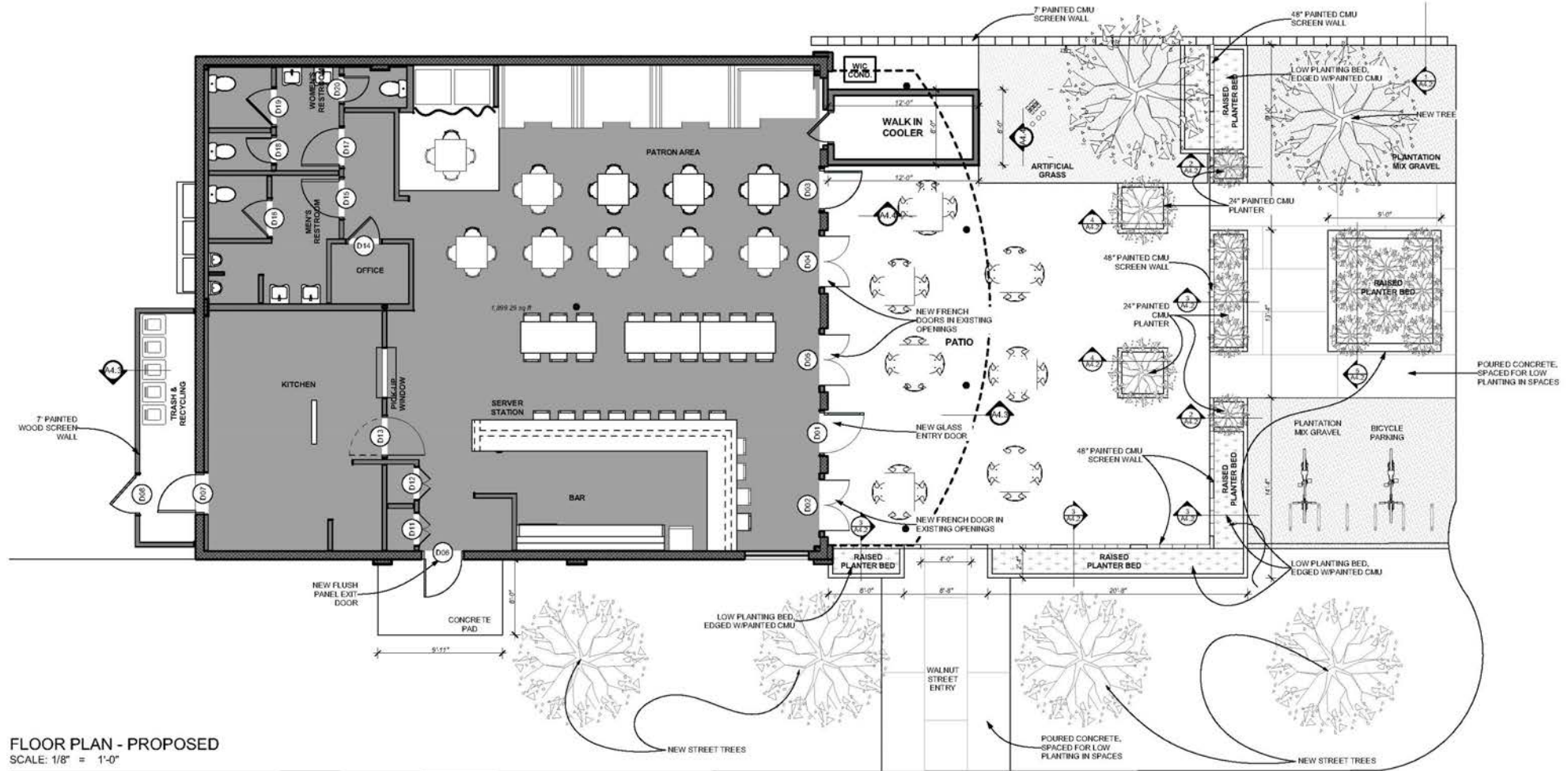
ROBBIE MARTY ARCHITECT
164 MARKET STREET SUITE 346
CHARLESTON, SC 29401
843.906.4794
martyp@gmail.com

FLOOR PLAN - EXISTING

PALACE HOTEL
525 MEETING STREET
CHARLESTON, SOUTH CAROLINA

ZONING SET	03/04/19
ZONING SET	05/07/19
BAR SET	06/03/19
BAR SET	08/29/19

A2.1



ROBBIE MARTY ARCHITECT
 164 MARKET STREET SUITE 346
 CHARLESTON, SC 29401
 843.906.4794
 martyp@gmail.com

FLOOR PLAN - PROPOSED

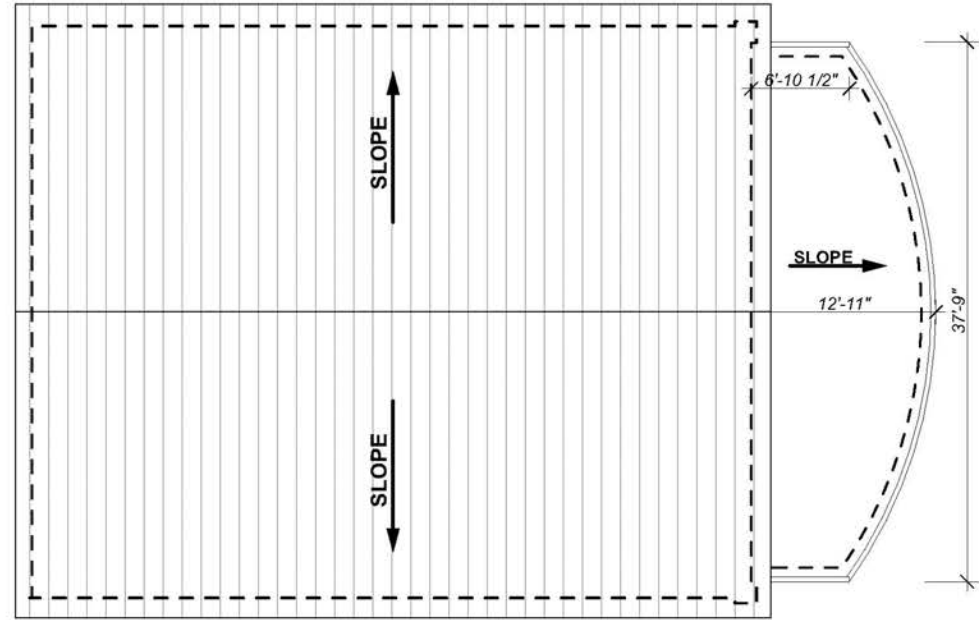
PALACE HOTEL
 525 MEETING STREET
 CHARLESTON, SOUTH CAROLINA

ZONING SET	03/04/19
ZONING SET	05/07/19
BAR SET	06/03/19
BAR SET	08/29/19

A2.2



ROOF PLAN - EXISTING



ROOF PLAN - PROPOSED (PREVIOUSLY APPROVED)

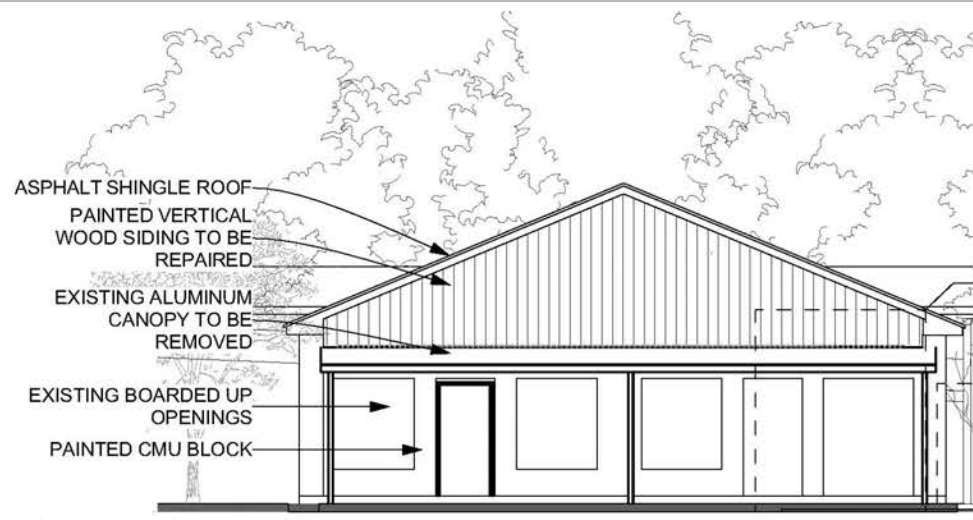
ROBBIE MARTY ARCHITECT
 164 MARKET STREET SUITE 346
 CHARLESTON, SC 29401
 843.906.4794
 martyp@gmail.com

ROOF PLAN - EXISTING &
 PROPOSED

PALACE HOTEL
 525 MEETING STREET
 CHARLESTON, SOUTH CAROLINA

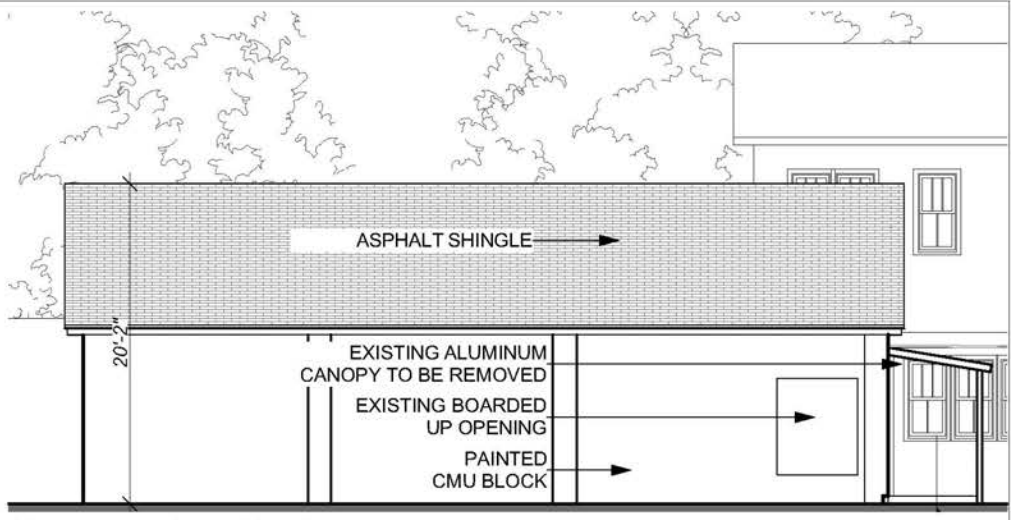
ZONING SET	03/04/19
ZONING SET	05/07/19
BAR SET	06/03/19
BAR SET	08/29/19

A2.3



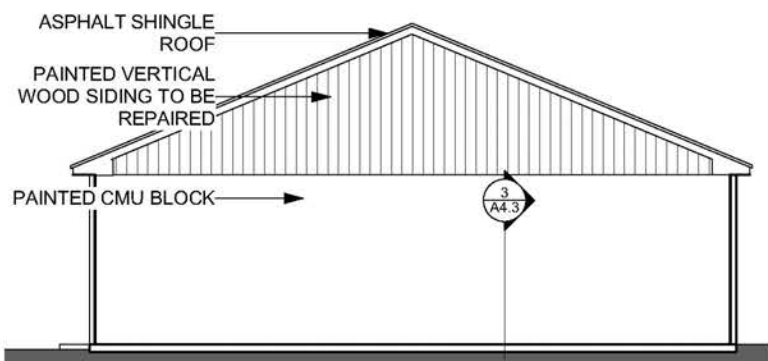
FRONT ELEVATION - EXISTING

SCALE: 1/8" = 1'-0"



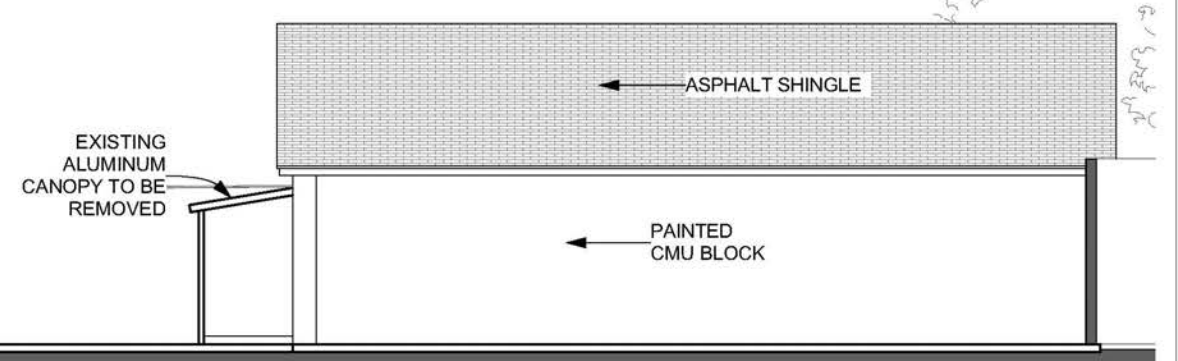
SOUTH ELEVATION - EXISTING

SCALE: 1/8" = 1'-0"



WEST ELEVATION - EXISTING

SCALE: 1/8" = 1'-0"



NORTH ELEVATION - EXISTING

SCALE: 1/8" = 1'-0"

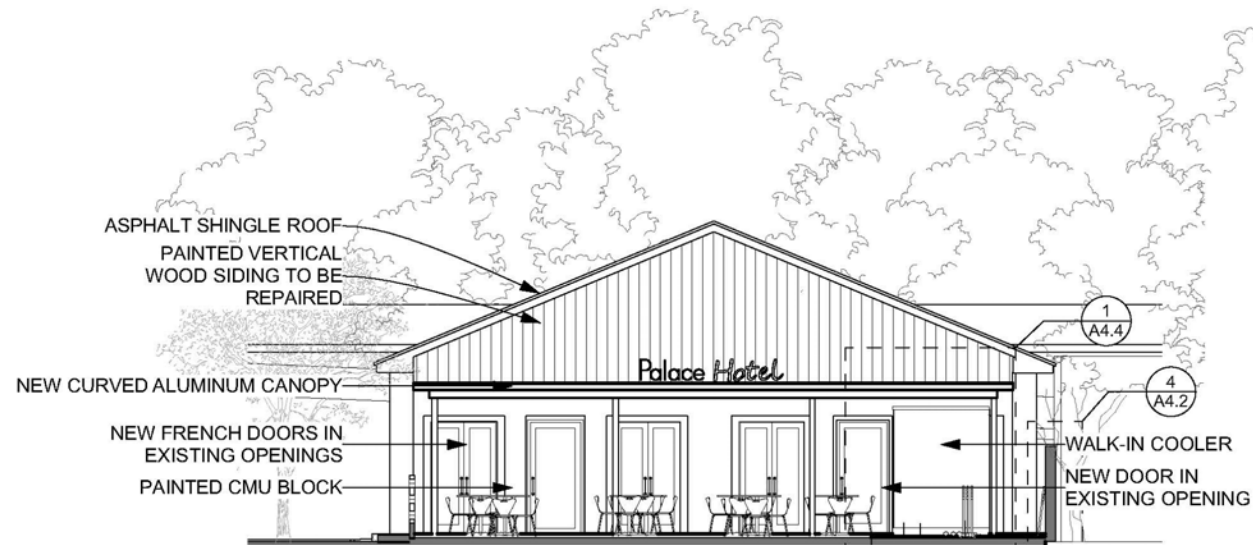
ROBBIE MARTY ARCHITECT
164 MARKET STREET SUITE 346
CHARLESTON, SC 29401
843.906.4794
martyp@gmail.com

EXTERIOR ELEVATIONS -
EXISTING

PALACE HOTEL
525 MEETING STREET
CHARLESTON, SOUTH CAROLINA

ZONING SET	03/04/19
ZONING SET	05/07/19
BAR SET	06/03/19
BAR SET	08/29/19

A3.1



FRONT ELEVATION - PROPOSED

SCALE: 1/8" = 1'-0"



525 Meeting - BAR SUBMITTAL 060319

ROBBIE MARTY ARCHITECT
164 MARKET STREET SUITE 346
CHARLESTON, SC 29401
843.906.4794
martyp@gmail.com

FRONT ELEVATIONS - EXISTING
& PROPOSED

PALACE HOTEL
525 MEETING STREET
CHARLESTON, SOUTH CAROLINA

ZONING SET	03/04/19
ZONING SET	05/07/19
BAR SET	06/03/19
BAR SET	08/29/19

A3.2



MEETING STREET ELEVATION - PROPOSED

SCALE: 1/8" = 1'-0"



ROBBIE MARTY ARCHITECT
164 MARKET STREET SUITE 346
CHARLESTON, SC 29401
843.906.4794
martyp@gmail.com

EXTERIOR ELEVATIONS -
EXISTING & PROPOSED

PALACE HOTEL
525 MEETING STREET
CHARLESTON, SOUTH CAROLINA

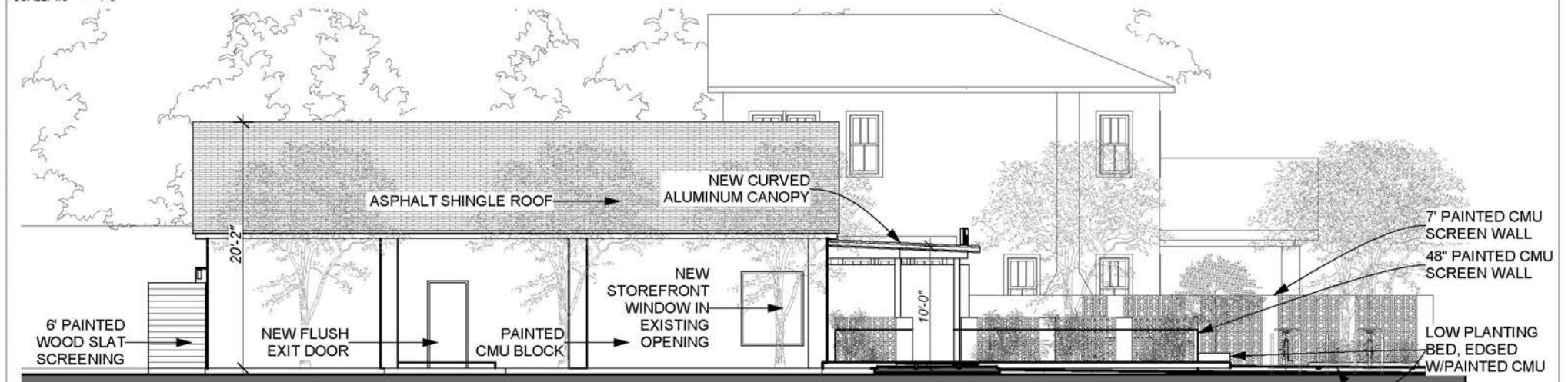
ZONING SET	03/04/19
ZONING SET	05/07/19
BAR SET	06/03/19
BAR SET	08/29/19

A3.3



SOUTH ELEVATION - PROPOSED

SCALE: 1/8" = 1'-0"



525 Meeting - BAR SUBMITTAL 060319

ROBBIE MARTY ARCHITECT
164 MARKET STREET SUITE 346
CHARLESTON, SC 29401
843.906.4794
marty@gmail.com

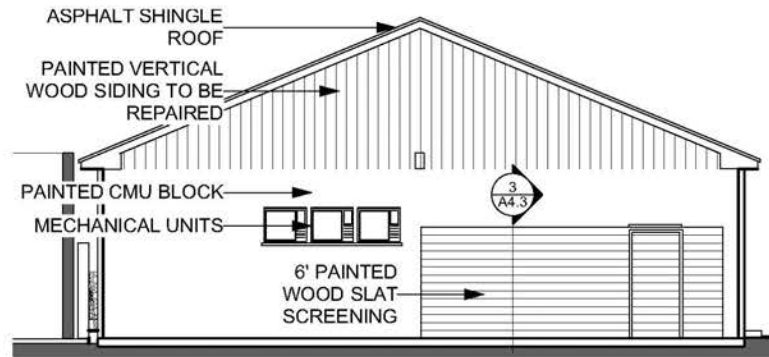
**EXTERIOR ELEVATIONS -
EXISTING AND PROPOSED**

PALACE HOTEL

525 MEETING STREET
CHARLESTON, SOUTH CAROLINA

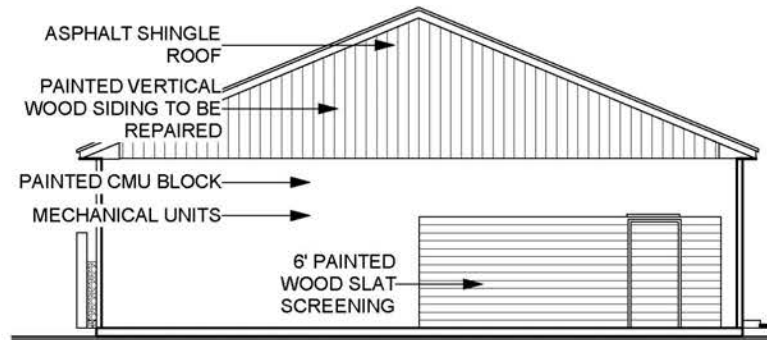
ZONING SET	03/04/19
ZONING SET	05/07/19
BAR SET	06/03/19
BAR SET	08/29/19

A3.4



WEST ELEVATION - PROPOSED

SCALE: 1/8" = 1'-0"



525 Meeting - BAR SUBMITTAL 060319

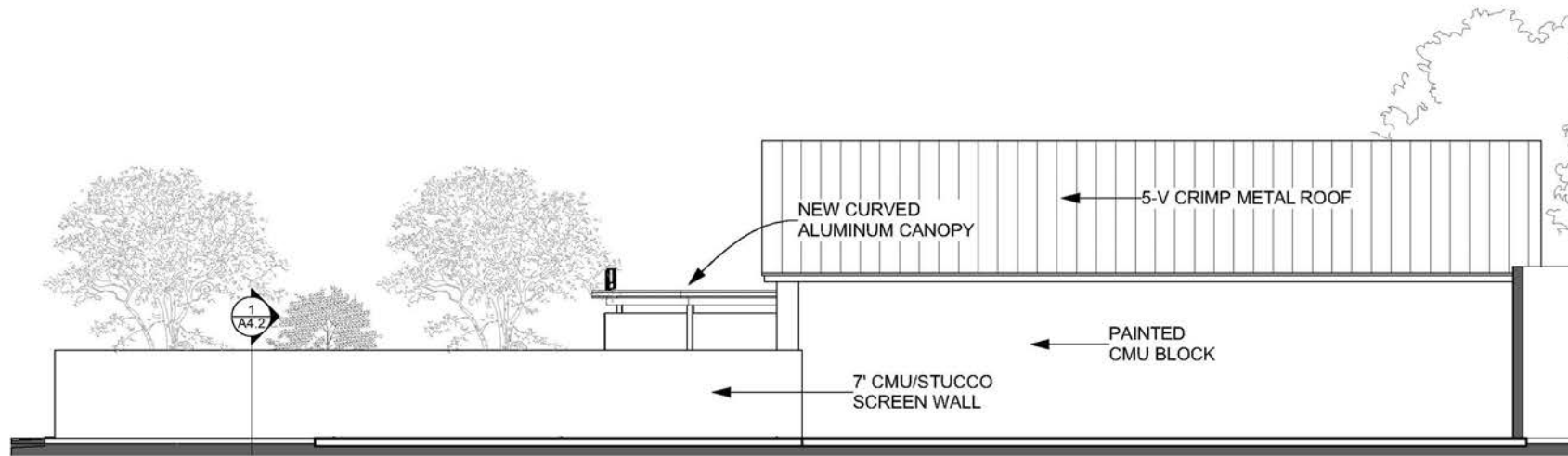
ROBBIE MARTY ARCHITECT
 164 MARKET STREET SUITE 346
 CHARLESTON, SC 29401
 843.906.4794
 martyp@gmail.com

EXTERIOR ELEVATIONS -
 EXISTING & PROPOSED

PALACE HOTEL
 525 MEETING STREET
 CHARLESTON, SOUTH CAROLINA

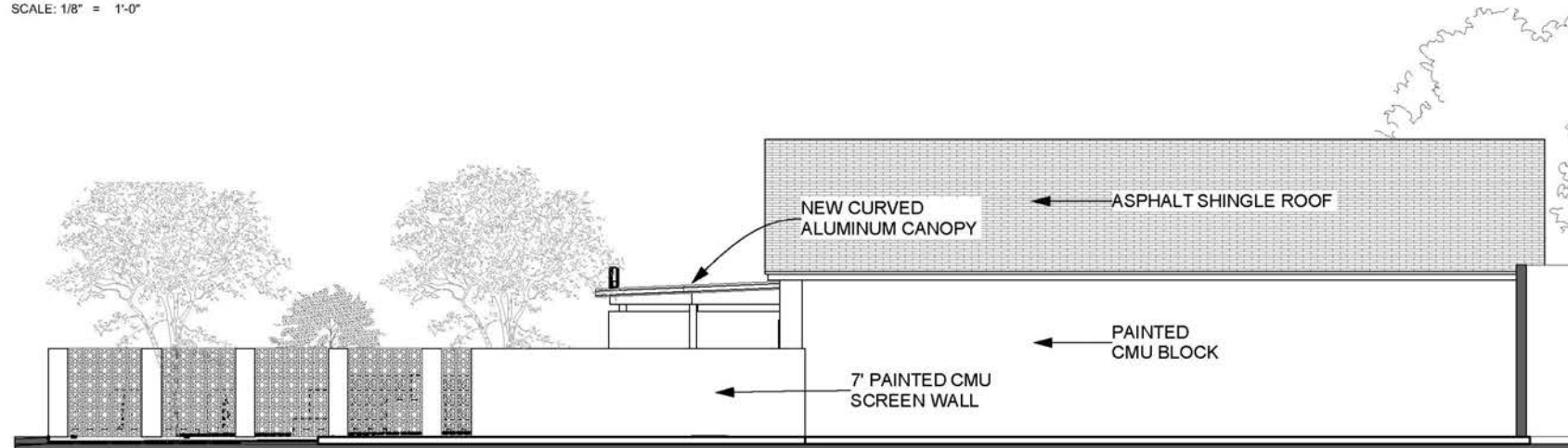
ZONING SET	03/04/19
ZONING SET	05/07/19
BAR SET	06/03/19
BAR SET	08/29/19

A3.5



NORTH ELEVATION - PROPOSED

SCALE: 1/8" = 1'-0"



525 Meeting - BAR SUBMITTAL 060319

ROBBIE MARTY ARCHITECT
164 MARKET STREET SUITE 346
CHARLESTON, SC 29401
843.906.4794
martyp@gmail.com

EXTERIOR ELEVATIONS -
EXISTING AND PROPOSED

PALACE HOTEL
525 MEETING STREET
CHARLESTON, SOUTH CAROLINA

ZONING SET	03/04/19
ZONING SET	05/07/19
BAR SET	06/03/19
BAR SET	08/29/19

A3.6



525 MEETING - PREVIOUS SUBMITTAL



525 Meeting - Front Rendering

ROBBIE MARTY ARCHITECT
 164 MARKET STREET SUITE 346
 CHARLESTON, SC 29401
 843.906.4794
 martyp@gmail.com

RENDERING

PALACE HOTEL
 525 MEETING STREET
 CHARLESTON, SOUTH CAROLINA

ZONING SET	03/04/19
ZONING SET	05/07/19
BAR SET	06/03/19
BAR SET	08/29/19

A3.7



525 MEETING CORNER - PREVIOUS SUBMITTAL



525 Meeting - Corner of Meeting and Walnut

ROBBIE MARTY ARCHITECT
 164 MARKET STREET SUITE 346
 CHARLESTON, SC 29401
 843.906.4794
 martyp@gmail.com

RENDERING

PALACE HOTEL
 525 MEETING STREET
 CHARLESTON, SOUTH CAROLINA

ZONING SET	03/04/19
ZONING SET	05/07/19
BAR SET	06/03/19
BAR SET	08/29/19

A3.8



525 Meeting - Walnut Street Entrance

ROBBIE MARTY ARCHITECT
 164 MARKET STREET SUITE 346
 CHARLESTON, SC 29401
 843.906.4794
 rmarty@gmail.com

RENDERING

PALACE HOTEL
 525 MEETING STREET
 CHARLESTON, SOUTH CAROLINA

ZONING SET	03/04/19
ZONING SET	05/07/19
BAR SET	06/03/19
BAR SET	08/29/19

A3.9



525 Meeting - Courtyard

ROBBIE MARTY ARCHITECT
 164 MARKET STREET SUITE 346
 CHARLESTON, SC 29401
 843.906.4794
 rmarty@gmail.com

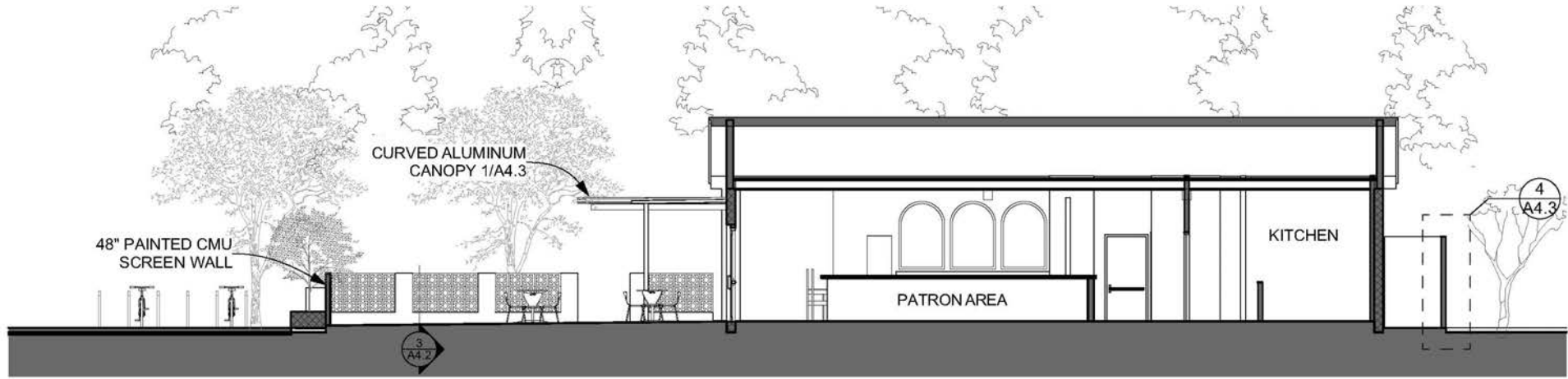
RENDERING

PALACE HOTEL

525 MEETING STREET
 CHARLESTON, SOUTH CAROLINA

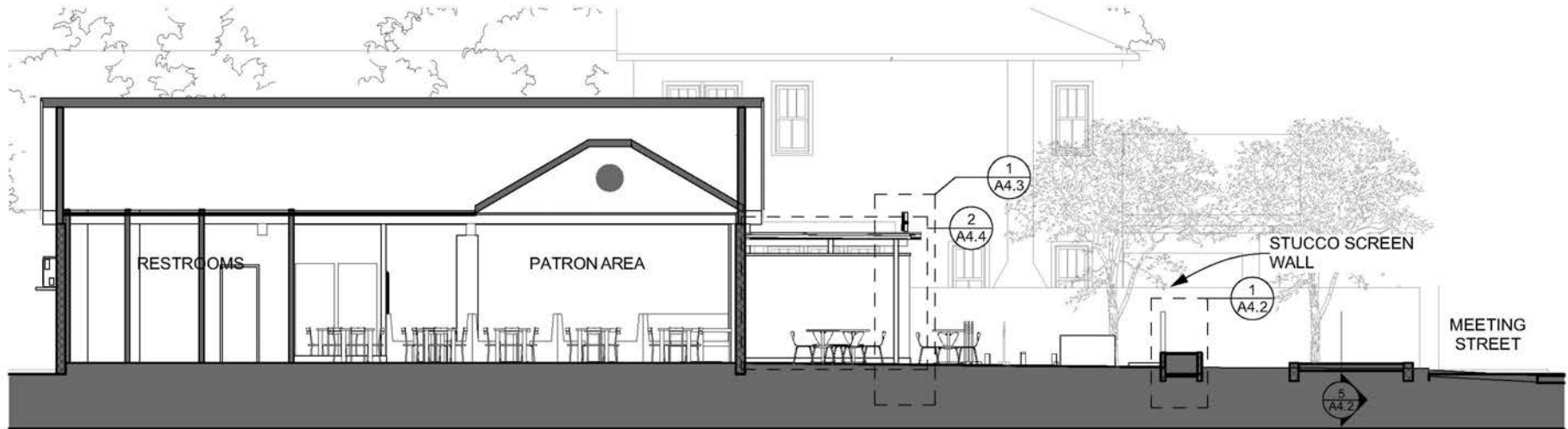
ZONING SET	03/04/19
ZONING SET	05/07/19
BAR SET	06/03/19
BAR SET	08/29/19

A3.10



BUILDING SECTION

SCALE: 1/8" = 1'-0"



BUILDING SECTION THROUGH COURTYARD

SCALE: 1/8" = 1'-0"

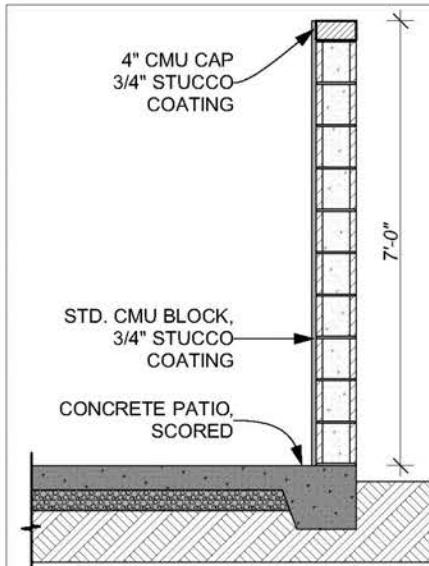
ROBBIE MARTY ARCHITECT
 164 MARKET STREET SUITE 346
 CHARLESTON, SC 29401
 843.906.4794
 martyp@gmail.com

BUILDING SECTION

PALACE HOTEL
 525 MEETING STREET
 CHARLESTON, SOUTH CAROLINA

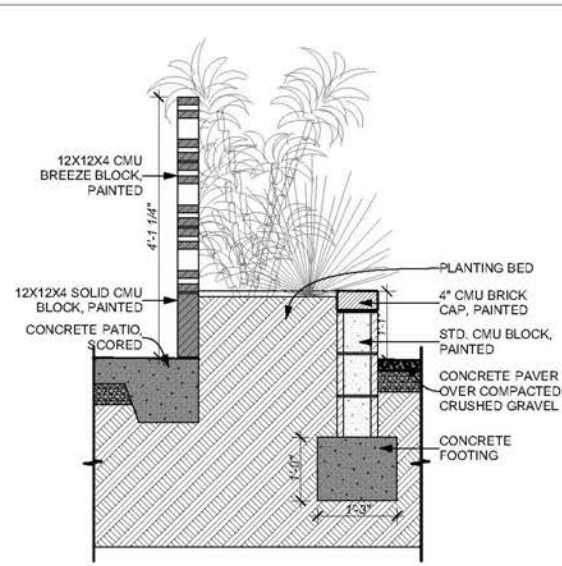
ZONING SET	03/04/19
ZONING SET	05/07/19
BAR SET	06/03/19
BAR SET	08/29/19

A4.1



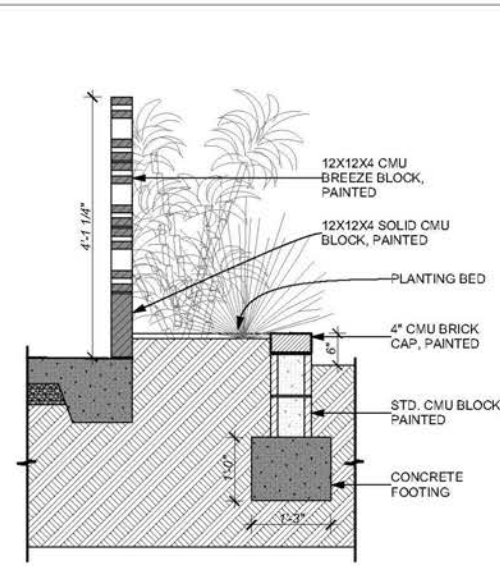
SECTION THROUGH COURTYARD WALL

SCALE: 1/2" = 1'-0"



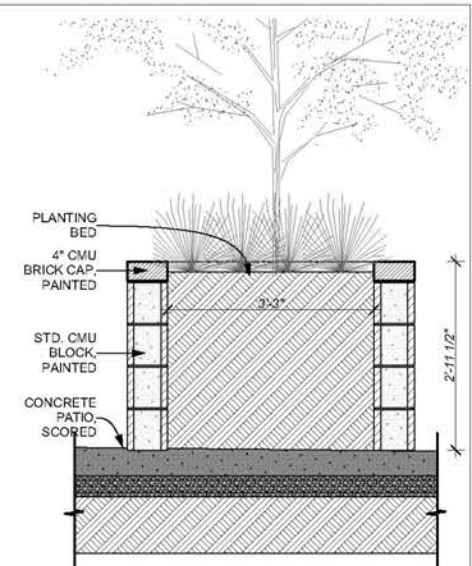
SECTION THROUGH PLANTER BED

SCALE: 1/2" = 1'-0"



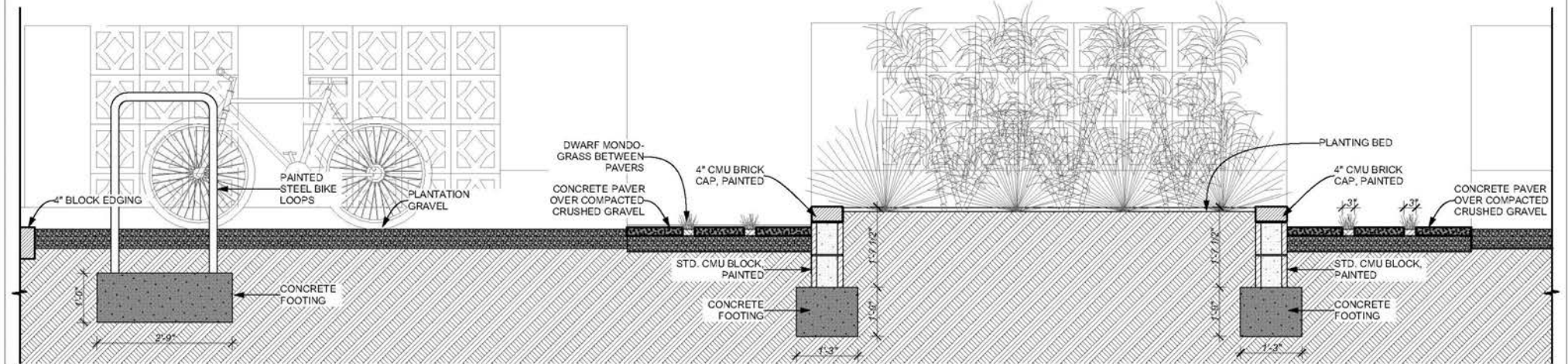
SECTION THROUGH LOW PLANTER/TYPICAL

SCALE: 1/2" = 1'-0"



SECTION @ LARGE PLANTER

SCALE: 1/2" = 1'-0"



SECTION THROUGH ENTRANCE PLANTER BED

SCALE: 1/2" = 1'-0"

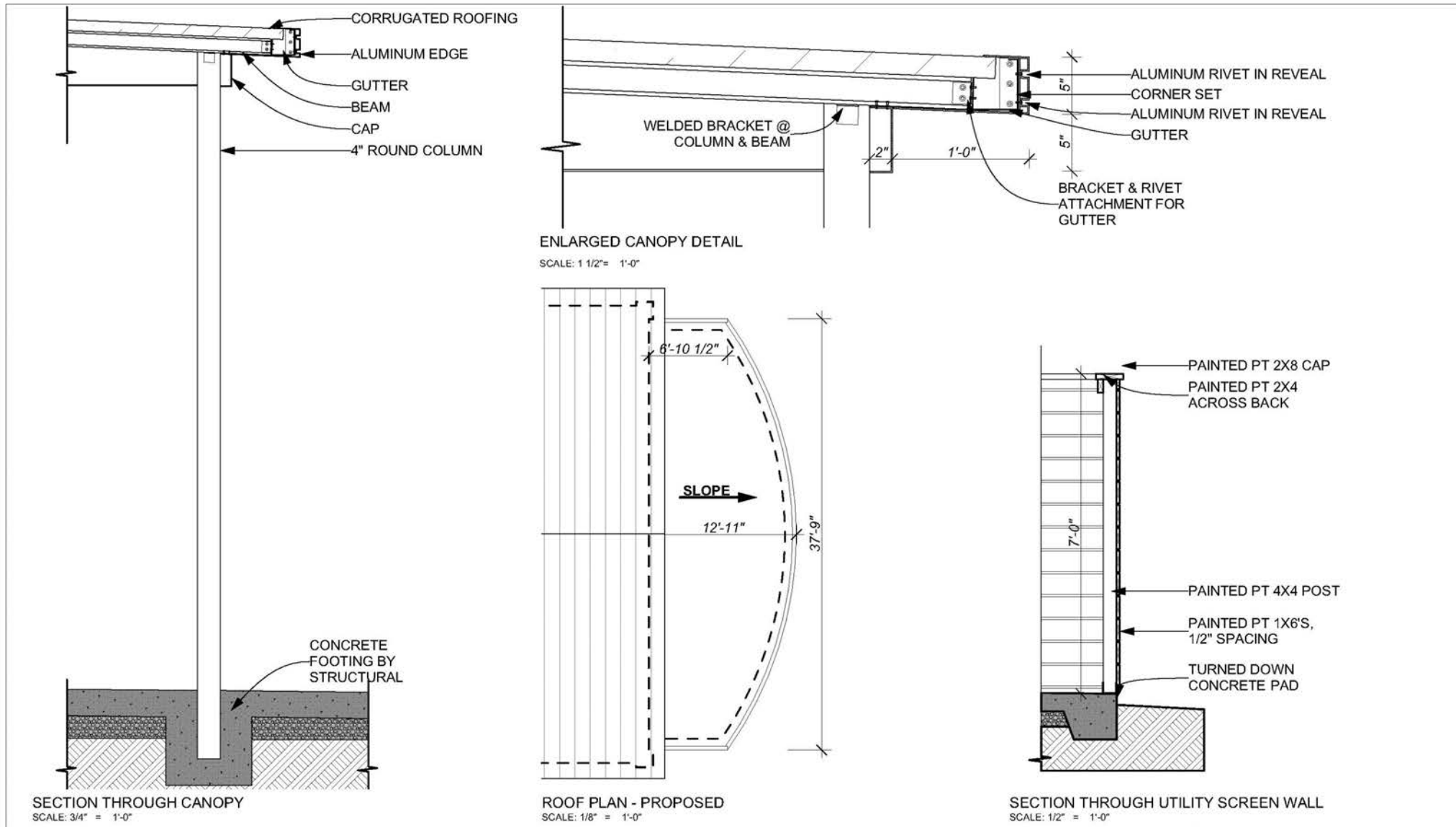
ROBBIE MARTY ARCHITECT
164 MARKET STREET SUITE 346
CHARLESTON, SC 29401
843.906.4794
martyp@gmail.com

COURTYARD DETAILS

PALACE HOTEL
525 MEETING STREET
CHARLESTON, SOUTH CAROLINA

ZONING SET	03/04/19
ZONING SET	05/07/19
BAR SET	06/03/19
BAR SET	08/29/19

A4.2



ROBBIE MARTY ARCHITECT
164 MARKET STREET SUITE 346
CHARLESTON, SC 29401
843.906.4794
martyp@gmail.com

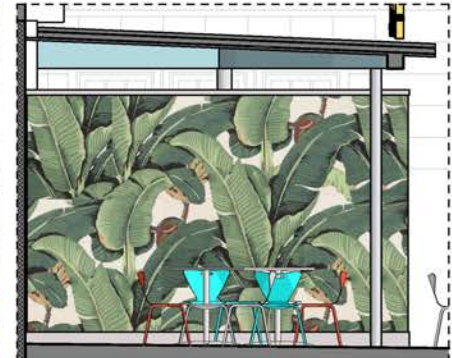
CANOPY DETAILS

PALACE HOTEL
525 MEETING STREET
CHARLESTON, SOUTH CAROLINA

ZONING SET	03/04/19
ZONING SET	05/07/19
BAR SET	06/03/19
BAR SET	08/29/19



525 Meeting - Walk-in Cooler



WALK-IN COOLER WRAP LONG SIDE

SCALE: 1/4" = 1'-0"



WALK-IN COOLER WRAP

SCALE: 1/4" = 1'-0"

ROBBIE MARTY ARCHITECT
164 MARKET STREET SUITE 346
CHARLESTON, SC 29401
843.906.4794
rmartyp@gmail.com

WALK-IN COOLER DETAILS

PALACE HOTEL
525 MEETING STREET
CHARLESTON, SOUTH CAROLINA

ZONING SET	03/04/19
ZONING SET	05/07/19
BAR SET	06/03/19
BAR SET	08/29/19

A4.4

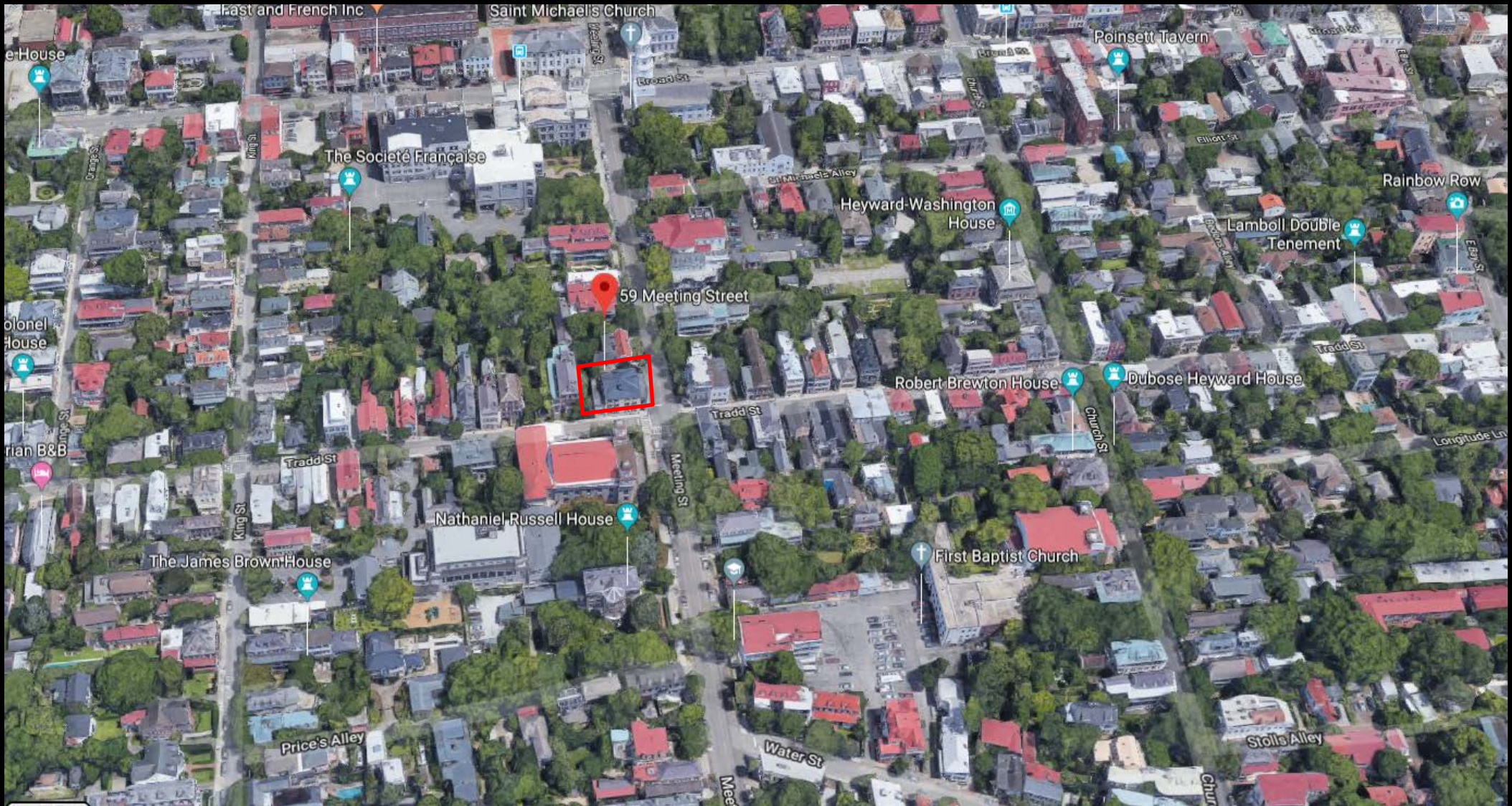
Agenda Item 9:

59 Meeting Street

Requesting conceptual approval for the installation of windows in existing second floor piazza enclosure.

Category 1 / Charlestowne / 1751 / Old and Historic District

APPLICANT
PRESENTATION



CONTEXT



EXISTING SITE PHOTOS



EXISTING SITE PHOTOS



Looking west on Tradd Street

CONTEXT PHOTOS



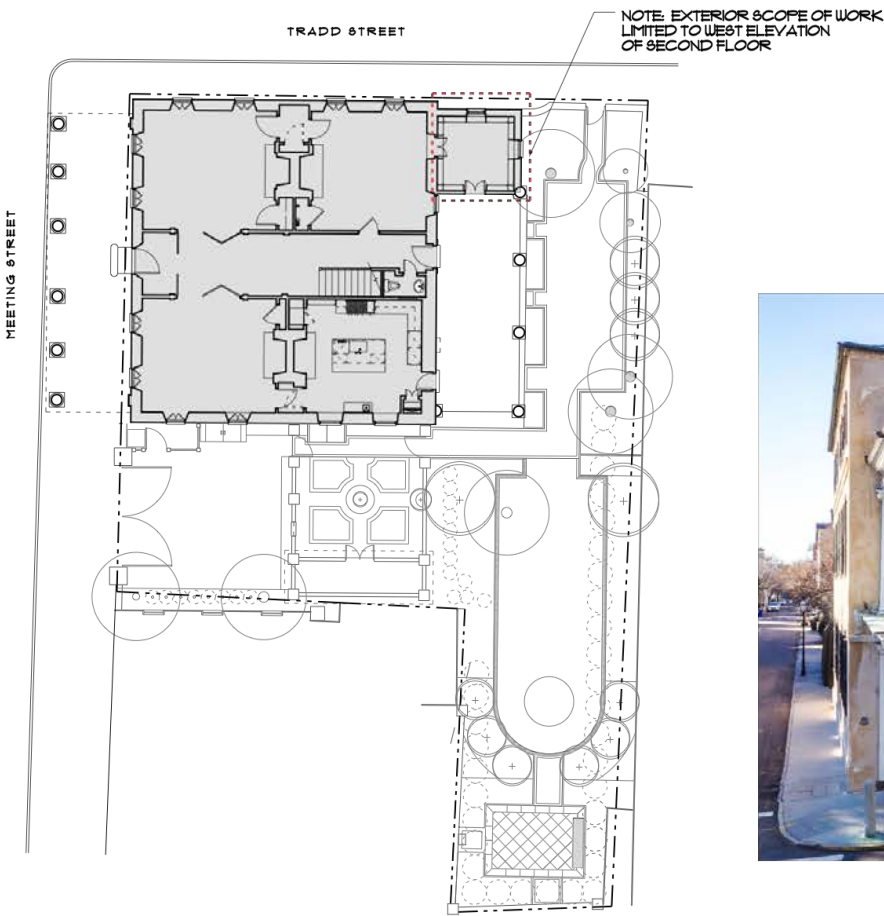
Looking west on Tradd Street

CONTEXT PHOTOS

HISTORIC IMAGES

SANBORN MAPS

APPLICANT
PRESENTATION



1 EXISTING SITE PLAN
SCALE: 1/8"=1'-0"



2 MEETING STREET ELEVATION
NO SCALE

Glenn Keyes Architects
 12 Vandenberg Street
 Charleston, SC 29403
 (843) 722-4100
 www.glennkeyesarchitects.com

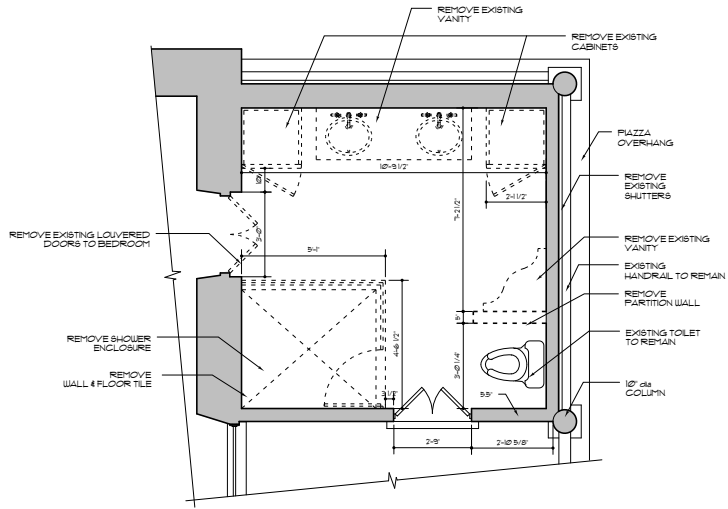


59 Meeting Street
The Branford-Horry House
 c.1765
 Charleston, South Carolina

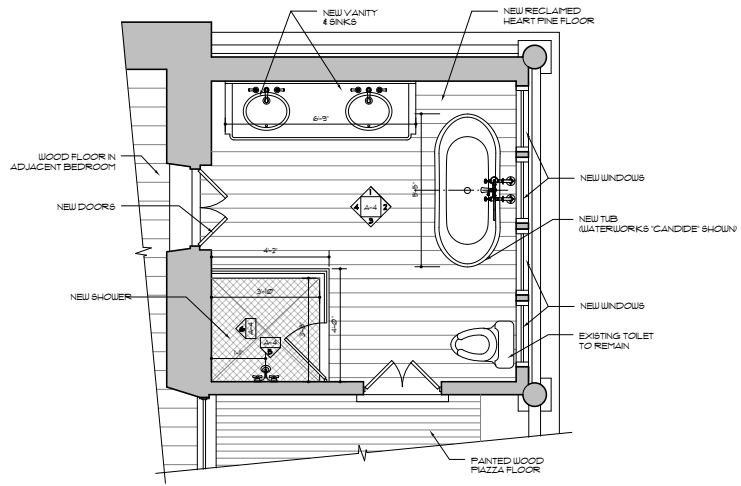
EXISTING SITE PLAN

REV	DATE

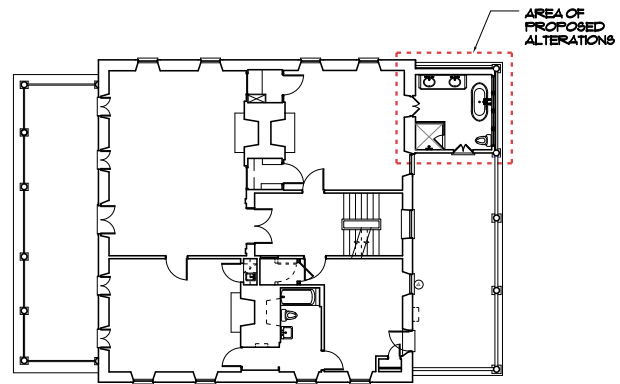
PROJECT NUMBER 1903
 DRAWING DATE 8/1/19
 SHEET NUMBER A-0



1
A-1
EXISTING/DEMOLITION PLAN
SCALE 1/2\"/>



2
A-1
PROPOSED PLAN
SCALE 1/2\"/>



3
A-1
KEY 2nd FLOOR PLAN
SCALE 1/8\"/>

Glenn Keyes Architects
12 Vandenberg Street
Charleston, SC 29405
(843) 722-4100
www.glennkeyesarchitects.com

59 Meeting Street
The Branford-Horry House
c.1765
Charleston, South Carolina

MASTER BATH

REV.	DATE
PROJECT NUMBER	1303
DRAWING DATE	8/7/19
SHEET NUMBER	A-1



1 **SOUTHWEST ELEVATION**
A-2 NO SCALE



2 **SOUTH ELEVATION**
A-2 NO SCALE



3 **ENCLOSURE DETAIL**
A-2 NO SCALE

Glenn Keyes Architects
 12 Vandenberg Street
 Charleston, SC 29403
 (843) 722-4100
 www.glennkeyesarchitects.com

59 Meeting Street
The Branford-Horry House
 c.1765
 Charleston, South Carolina

EXISTING CONDITIONS

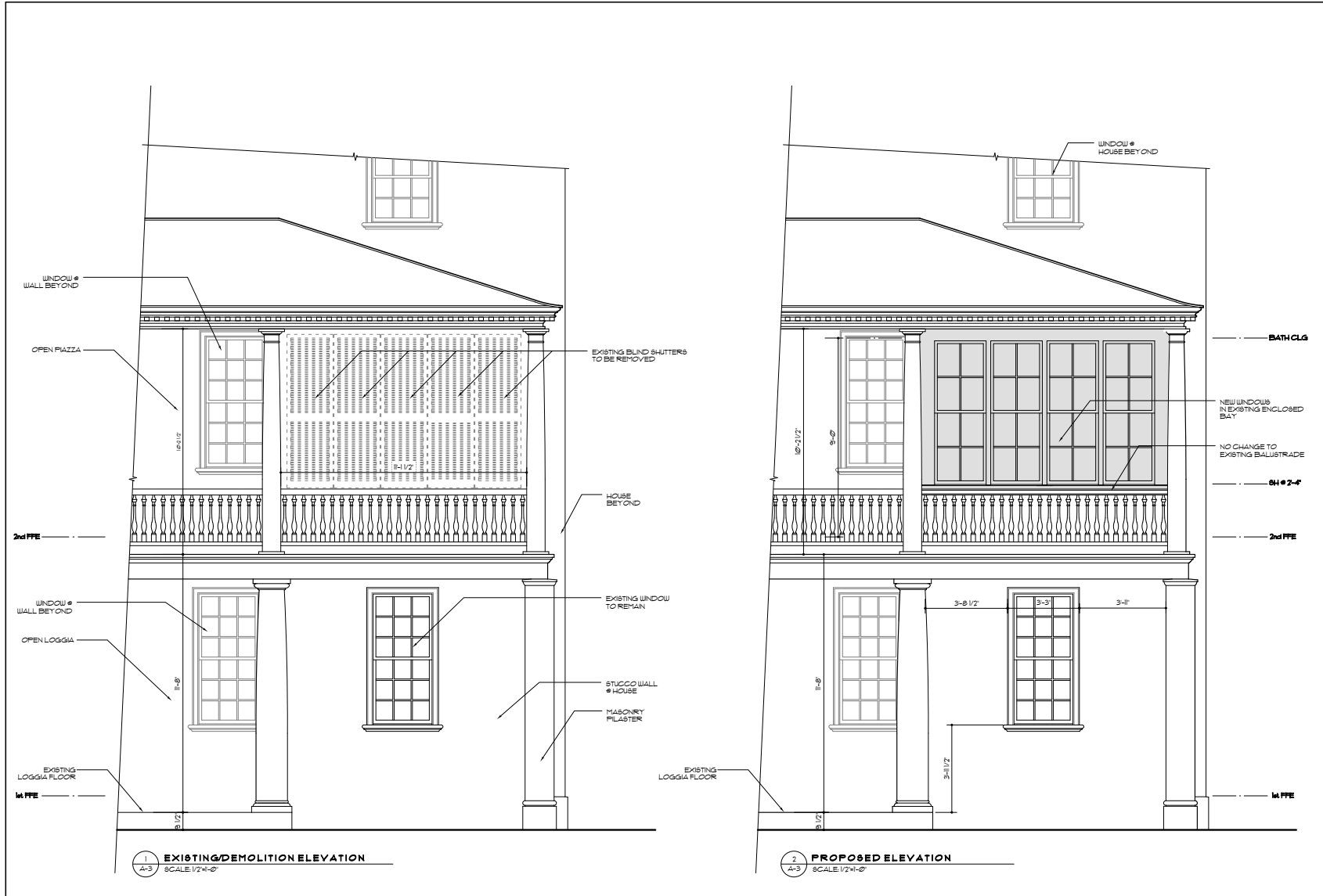
REV.	DATE

PROJECT NUMBER
1903

DRAWING DATE
8/1/19

SHEET NUMBER

A-2



1 EXISTING & DEMOLITION ELEVATION
SCALE 1/2"=1'-0"

2 PROPOSED ELEVATION
SCALE 1/2"=1'-0"

Glenn Keyes Architects
 12 Vandenberg Street
 Charleston, South Carolina
 29403-7224-110
 www.glennkeyesarchitects.com

59 Meeting Street
The Branford-Horry House
 c.1765
 Charleston, South Carolina

EXISTING ELEVATION

REV	DATE

PROJECT NUMBER 1903

DRAWING DATE 8/7/19

SHEET NUMBER A-3

Agenda Item 10:

25 Legare Street

Requesting final approval for door and window alterations to south and north elevations, and reconstruction of south elevation of non-historic hyphen.

Category 4 / Charlestowne / 1840 / Old and Historic District

APPLICANT
PRESENTATION

LIEBERGALL RESIDENCE

- RESTORATION -



SCOPE OF WORK

A RENOVATION / RESTORATION OF HISTORIC HOME BACK TO A SINGLE FAMILY RESIDENCE.

WINDOWS AND DOORS AS INDICATED IN DRAWINGS ARE TO BE RETURNED TO ORIGINAL SIZE AND LOCATION. ELEVATION THROUGH DEMOLITION AND RECONSTRUCTION OF HISTORIC DETAILS AND MASONRY OPENINGS.

POORLY CONSTRUCTED NON HISTORIC HYPHEN TO BE DEMOLISHED AS INDICATED IN PLAN AND ELEVATION.

PROJECT CONTACT INFORMATION

OWNER JON AND ANNE LIEBERGALL
25 LEGARE STREET
CHARLESTON, SC 29401
JON@VUMIE.COM

PROJECT ADDRESS 25 LEGARE STREET
CHARLESTON, SC 29401
CHARLESTON COUNTY

PROJECT LEADER PATTI WILLBOURNE DESIGN
BURNETH DRAKE DESIGN
107 RITT STREET
MT. PLEASANT, SC 29464

STRUCTURAL ENGINEER HHS VAIL
VAIL ENGINEERING, LLC

CONTRACTOR ARTI CONSTRUCTION
CHARLESTON, SC 29401

LOT INFORMATION

TAX ID 457-11-01-106
ZONE L-53
FLOOR ZONE -F-1
FLOOR ELEVATION 0.0
CEILING ELEVATION 8.0
GROUND ELEVATION 10.0
LOT AREA 65.00 sq. ft. 10' x 65' 0"

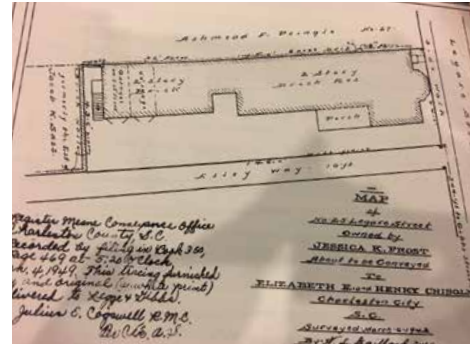
EXISTING LOT COVER 4.364 SF
PROPOSED LOT COVER 4.364 SF (4.364 SF x 100%)

EXISTING HEATED FIRST FLOOR AREA 2,871 SF
EXISTING HEATED SECOND FLOOR AREA 2,886 SF
PROPOSED HEATED NO CHANGE

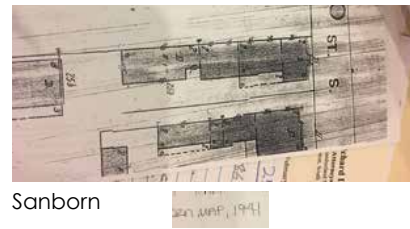
SHEET INDEX

N	NOTE
S1.0	SURVEY
A1.0	EXISTING FIRST FLOOR PLAN PROPOSED FIRST FLOOR PLAN
A1.1	EXISTING SECOND FLOOR PLAN PROPOSED SECOND FLOOR PLAN
A1.2	EXISTING ROOF PLAN PROPOSED ROOF PLAN
A2.1	SOUTH ELEVATION EXISTING SOUTH ELEVATION PROPOSED
A2.2	WEST ELEVATION EXISTING WEST ELEVATION PROPOSED NORTH ELEVATION EXISTING NORTH ELEVATION PROPOSED
A3.0	BUILDING SECTION D - not included
A3.1	BUILDING SECTION F EXISTING BUILDING SECTION F PROPOSED
A4.0	WALL SECTION @ HYPHEN HYPHEN ELEVATION
A5.1	WINDOW SCHEDULE INTERIOR DOOR SCHEDULE INTERIOR DOOR SCHEDULE
A6.1	INTERIOR ELEVATIONS - not included
A6.2	INTERIOR ELEVATIONS - not included
A6.3	INTERIOR ELEVATIONS - not included
A6.4	INTERIOR ELEVATIONS - not included
A6.5	INTERIOR ELEVATIONS - not included
A6.6	INTERIOR ELEVATIONS - not included
A6.7	INTERIOR ELEVATIONS - not included
A7.1	REFLECTED CEILING PLAN - not included
E1.1	ELECTRICAL PLAN - not included

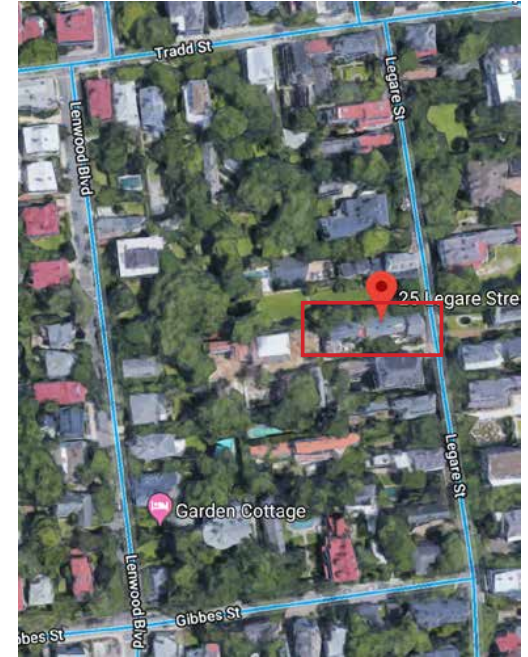
LIEBERGALL RESIDENCE
25 LEGARE STREET
CHARLESTON, SOUTH CAROLINA



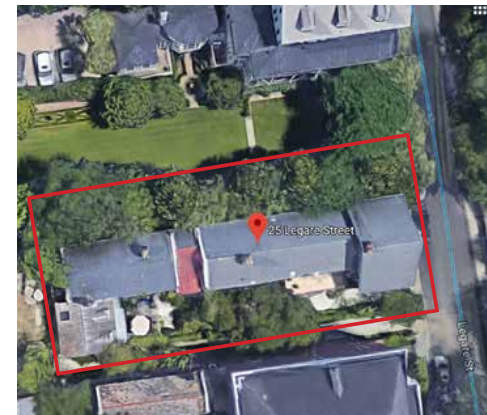
Survey 1946



Sanborn



Aerial View of 25 Legare



Aerial View Zoomed In



Site Context Images



Front of House



South Elevation looking North East



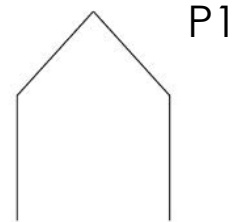
Drive to 23 Legare St.



Drive to 25 Legare St.



South Elevation looking North West



Existing Conditions



Line of original masonry opening



Replace existing window with existing central door



Proposed Elevation



Existing Elevation



Replace existing doors, see elevations

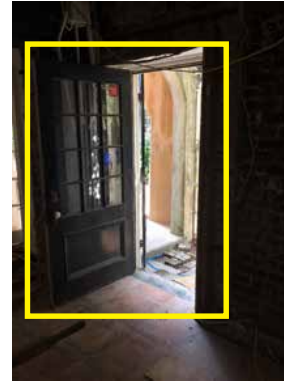
Loggia with deck

P2

Existing Conditions



Original masonry opening



Non - historic window

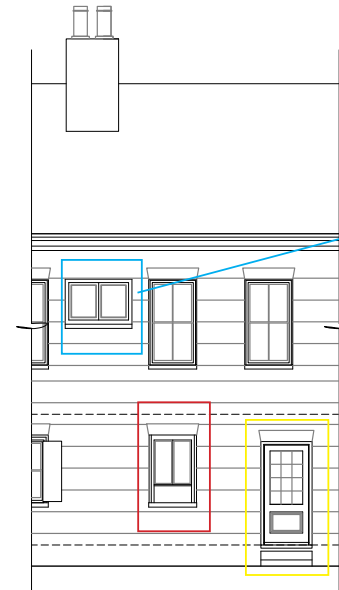
Existing Door

Existing window to be restores to original. Match window to the west.

Existing door to be rebuilt and returned to original masonry opening



Proposed Elevation

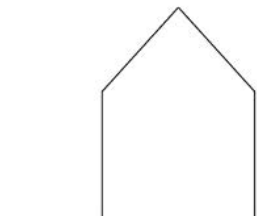


Existing Elevation



Replace light, existing masonry opening to remain

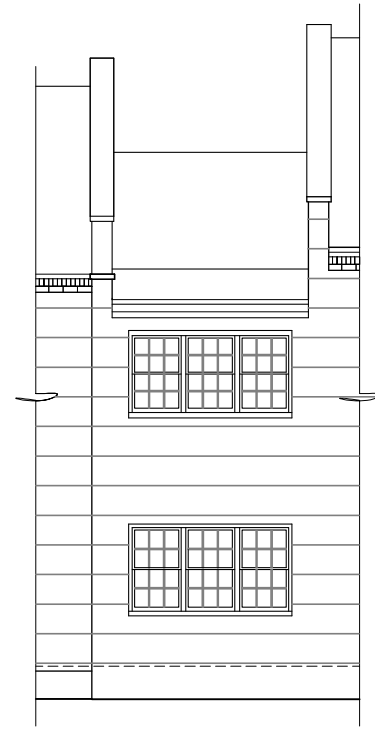
P3



Existing Hyphen Conditions



Area of new hyphen railing



Existing Elevation



Proposed Elevation

Existing gap between old and new

P4

Existing Conditions



Adjacent door



Original height of flooring



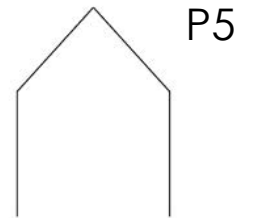
Existing door to be replaced and raised. Will match adjacent door



Proposed Elevation



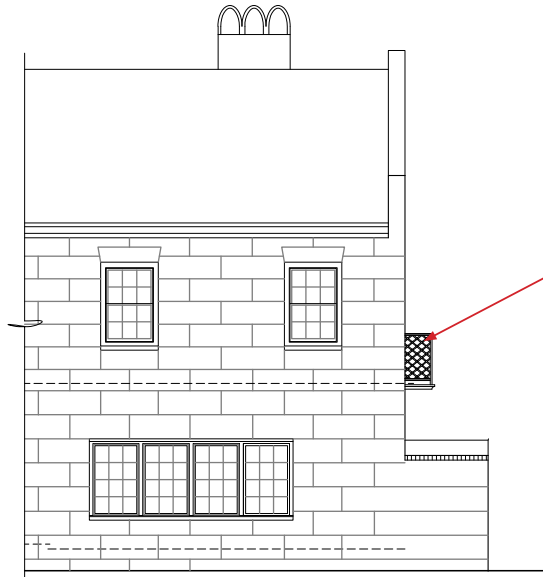
Existing Elevation



Existing Conditions



Aluminum window framing



Proposed Elevation



New balcony to match existing



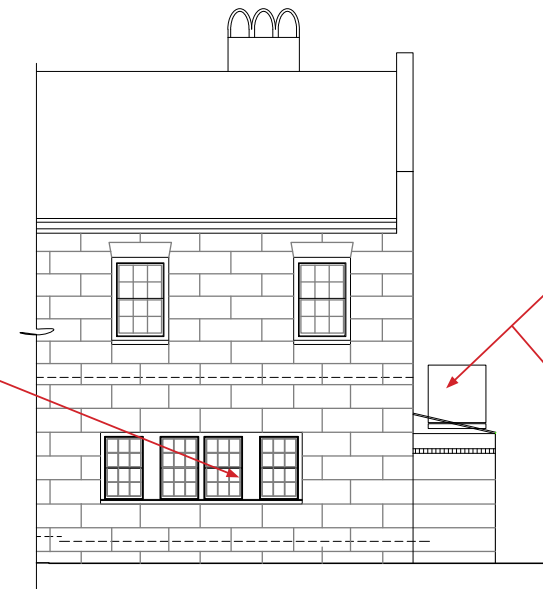
Shed roof to be removed
Existing wall to remain



Existing windows behind shrubs



Existing windows to be replaced



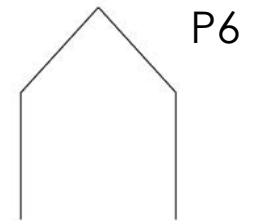
Existing Elevation



Removal of HVAC placement



Interior of existing masonry wall



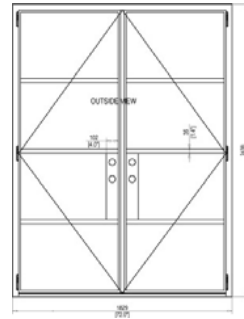
DEN

W40 HIGH-PERFORMANCE

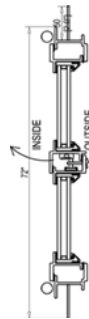
CAD DRAWING SAMPLES: 72" X 96"



SIDE SECTION



FRONT ELEVATION



TOP SECTION

DESCRIPTION

High-performance profile with nearly infinite capabilities

RECOMMENDED USES

Ideal for all unit types, including bi-fold, slider, and oversized units

JAMB & STILE WIDTHS

2.65"

MUNTIN SIZES

1.18" or 1.38" **STANDARD** 0.75" **MINIMUM**
*0.75" muntins require single pane glass

MUNTIN OPTIONS

Trapezoidal, L-shape, Radius, and Bevel

TYPICAL GLASS THICKNESS

0.875"



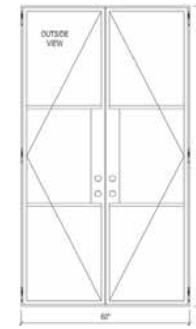
W20 HISTORICAL

HYPHEN

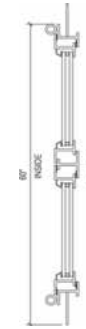
CAD DRAWING SAMPLES: 60" X 107"



SIDE SECTION



FRONT ELEVATION



TOP SECTION

DESCRIPTION

Historically-accurate style; our narrowest profile

RECOMMENDED USES

Ideal for French doors and all window types

JAMB & STILE WIDTHS

1.5"

MUNTIN SIZES

1.18" **STANDARD** 0.75" **MINIMUM**
*0.75" muntins require single pane glass

MUNTIN OPTIONS

Trapezoidal

TYPICAL GLASS THICKNESS

0.625"



LIEBERGALL RESIDENCE

- RESTORATION -



SCOPE OF WORK	PROJECT CONTACT INFORMATION	LOT INFORMATION	SHEET INDEX
A RENOVATION / RESTORATION OF HISTORIC HOME BACK TO A SINGLE FAMILY RESIDENCE.	OWNER JON AND ANNE LIEBERGALL 25 LEGARE STREET CHARLESTON, SC 29401 JON@VUWISE.COM	TMS# 457-11-04-106 ZONED : R3 FLOOD ZONE : AE13 FRONT SETBACK : NA REAR SETBACK : 3' SIDE SETBACK : 18' total 6' min north 12' min south LOT SIZE : 6,519 SF	N NOTES S1.0 SURVEY
WINDOWS AND DOORS AS INDICATED IN DRAWINGS ARE TO BE RETURNED TO ORIGINAL SIZE AND LOCATION DETERMINED THROUGH DEMOLITION AND DISCOVERY OF HISTORIC LINTELS AND MASONRY OPENINGS.	PROJECT ADDRESS 25 LEGARE STREET CHARLESTON, SC 29401 CHARLESTON COUNTY	EXISTING LOT COVERAGE: 4,364 SF PROPOSED LOT COVERAGE (113 sf reduction) 4,251 SF	A1.0 EXISTING FIRST FLOOR PLAN PROPOSED FIRST FLOOR PLAN A1.1 EXISTING SECOND FLOOR PLAN PROPOSED SECOND FLOOR PLAN
POORLY CONSTRUCTED NON HISTORIC HYPHEN TO BE REBUILT AS INDICATED IN PLAN AND ELEVATION.	PROJECT DESIGNER PATTI WILBOURNE DESIGN ELIZABETH DRAKE DESIGN 107 PITT STREET MT. PLEASANT, SC 29464	EXISTING HEATED FIRST FLOOR MAIN: 2,971 SF EXISTING HEATED SECOND FLOOR MAIN: 2,988 SF PROPOSED HEATED: NO CHANGE	A2.1 SOUTH ELEVATION EXISTING SOUTH ELEVATION PROPOSED A2.2 WEST ELEVATION EXISTING WEST ELEVATION PROPOSED NORTH ELEVATION EXISTING NORTH ELEVATION PROPOSED
	STRUCTURAL ENG CHRIS VAIL VAIL ENGINEERING, LLC		A3.0 BUILDING SECTION D- not included A3.1 BUILDING SECTION F EXISTING BUILDING SECTION F PROPOSED PARTIAL ROOF PLAN @ HYPHEN
	CONTRACTOR ARTIS CONSTRUCTION CHARLESTON, SC 29401		A4.0 WALL SECTION @ HYPHEN HYPHEN ELEVATION A5.1 WINDOW SCHEDULE EXTERIOR DOOR SCHEDULE INTERIOR DOOR SCHEDULE
			A6.1 INTERIOR ELEVATIONS- not included A6.2 INTERIOR ELEVATIONS- not included A6.3 INTERIOR ELEVATIONS- not included A6.4 INTERIOR ELEVATIONS- not included A6.5 INTERIOR ELEVATIONS- not included A6.6 INTERIOR ELEVATIONS- not included A6.7 INTERIOR ELEVATIONS- not included
			A7.1 REFLECTED CEILING PLAN- not included
			E1.1 ELECTRICAL PLAN- not included

LIEBERGALL RESIDENCE
25 LEGARE STREET
CHARLESTON, SOUTH CAROLINA

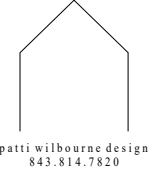
DATE: 08.27.2019

ISSUE: BMR SUBMITTAL

DRAWN BY: LIZ DRAKE
SHEET:

C

TITLE: COVER



patti wilbourne design
843.814.7820

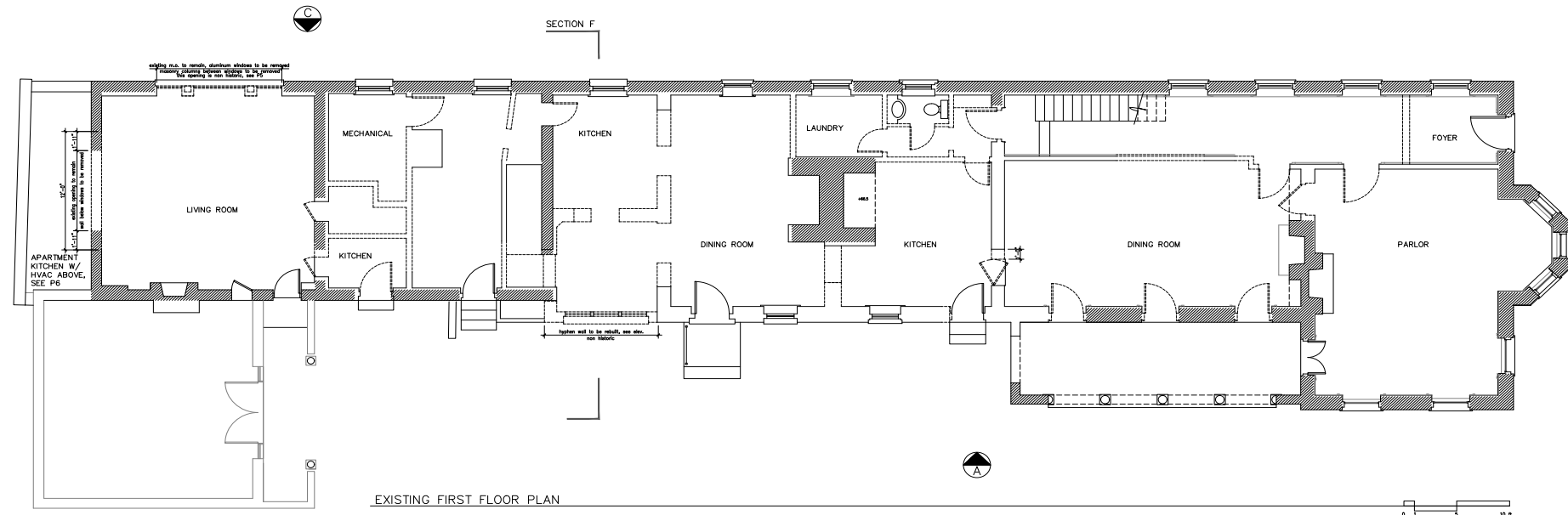
LIEBERGALL RESIDENCE
2.5 LEGARE STREET
CHARLESTON, SOUTH CAROLINA

DATE:
08.27.2019

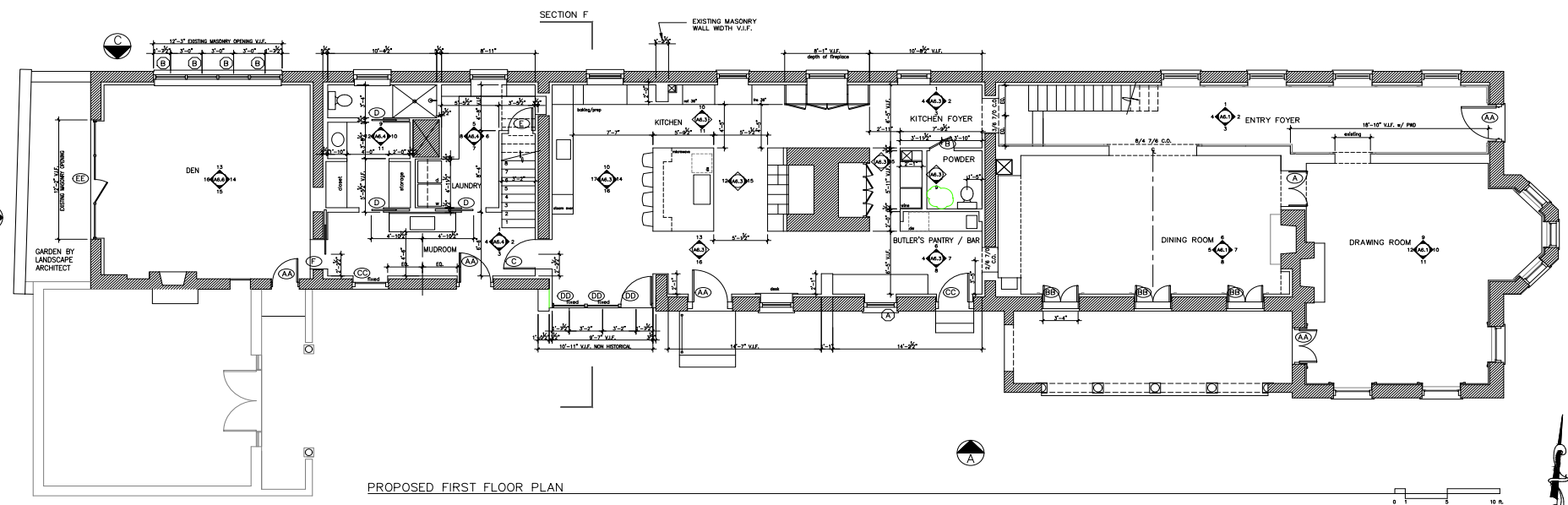
ISSUE:
BAR SUBMITTAL
DRAWN BY:
LIZ DRAKE
SHEET:

A1.0

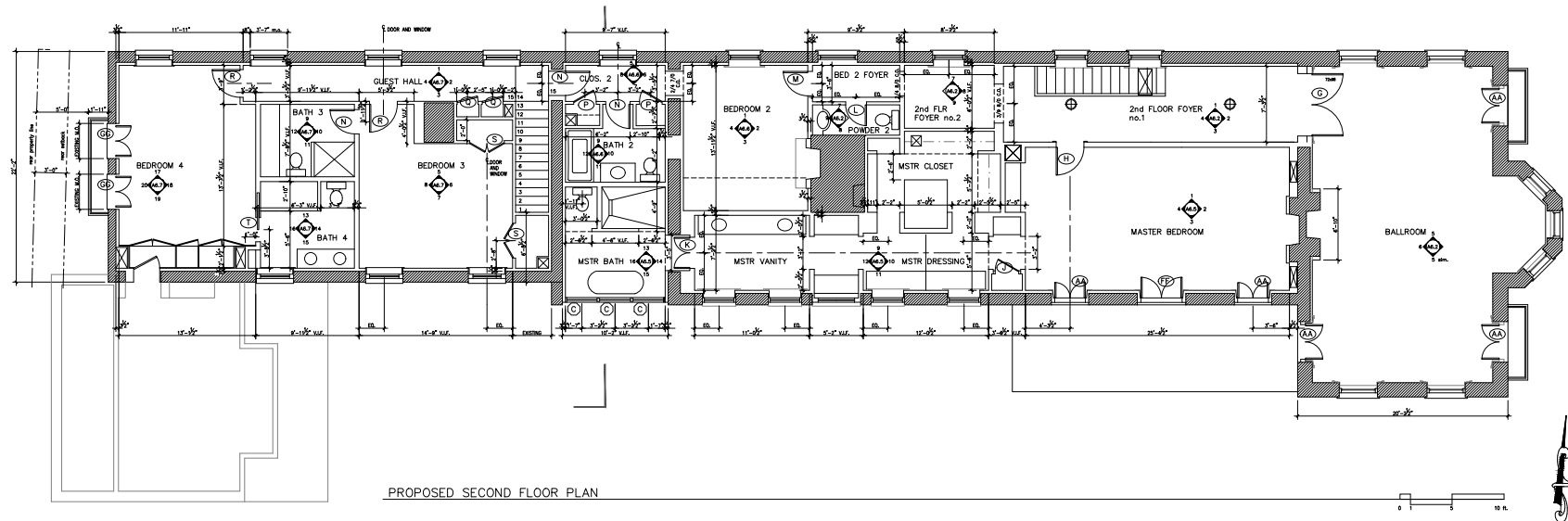
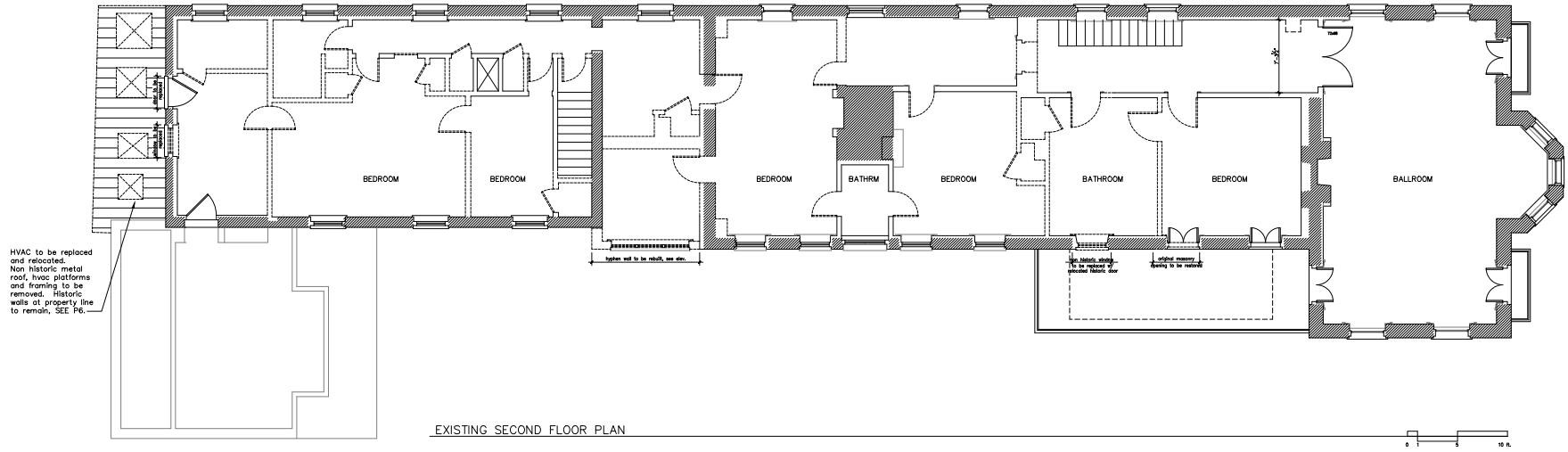
TITLE:
FLOOR PLAN



EXISTING FIRST FLOOR PLAN



PROPOSED FIRST FLOOR PLAN

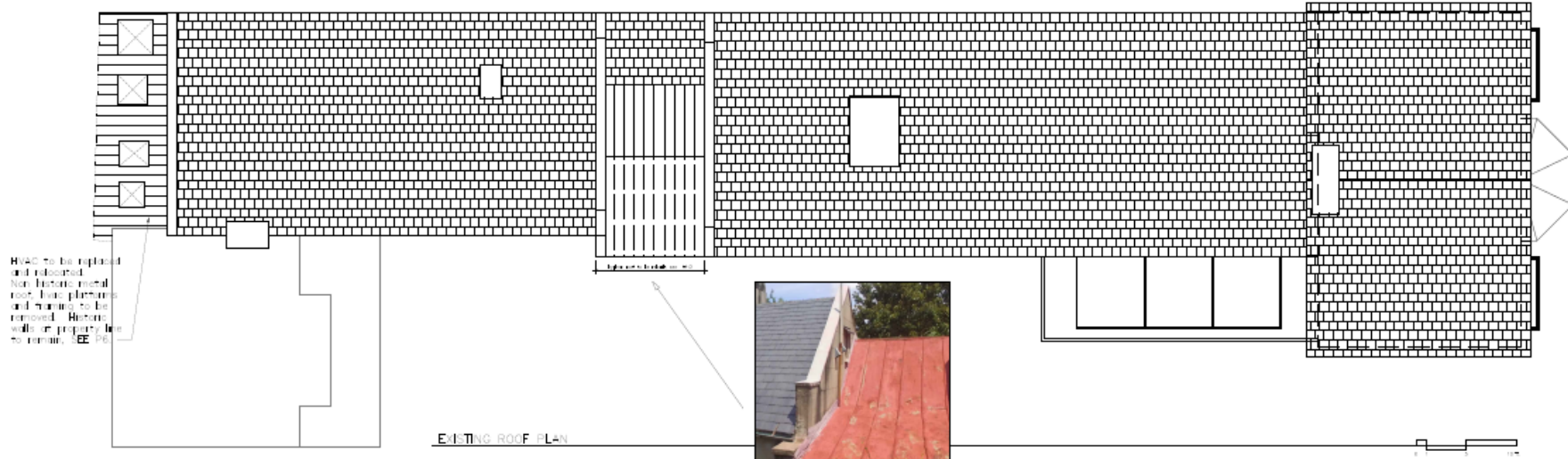


LIEBERGALL RESIDENCE
25 LE GARE STREET
CHARLESTON, SOUTH CAROLINA

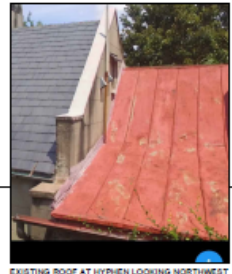
DATE: 08.27.2019
DRAWN BY: LIZ DRAKE
SHEET:

A1.1

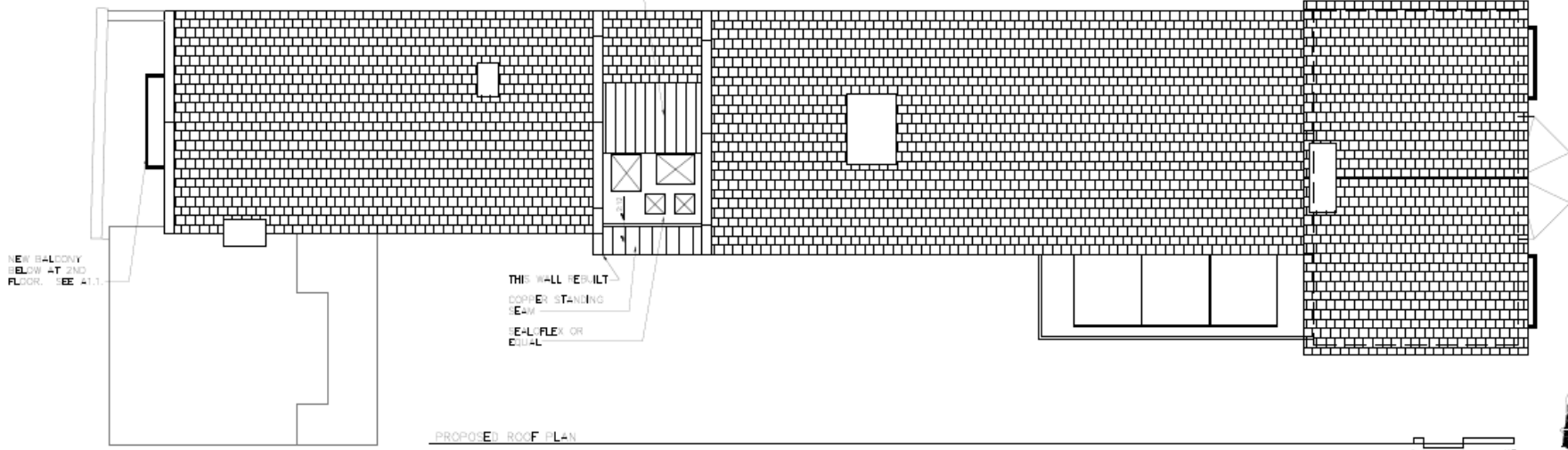
TITLE:
P L A N S



HVAC to be replaced and relocated. Non-historic metal roof, flashing, gutters and trim to be removed. Historic walls on property line to remain. SEE P6.



EXISTING 10:12 ROOF TO BE EITHER RE-VALUED AND RE-CATED OR RE-LAID



NEW BALCONY BELOW AT 2ND FLOOR. SEE A1.1.

THIS WALL REMILT COPPER STANDING SEAM SEAL FLEX OR EQUAL

LIEBERGALL RESIDENCE
25 LEGARE STREET
CHARLESTON, SOUTH CAROLINA

DATE: 06.20.2019

DATE SUBMITTED: 06.20.2019
DRAWN BY: LIZ DRAKE
APP'D:

A1.2

TYPE: ROOF PLANS



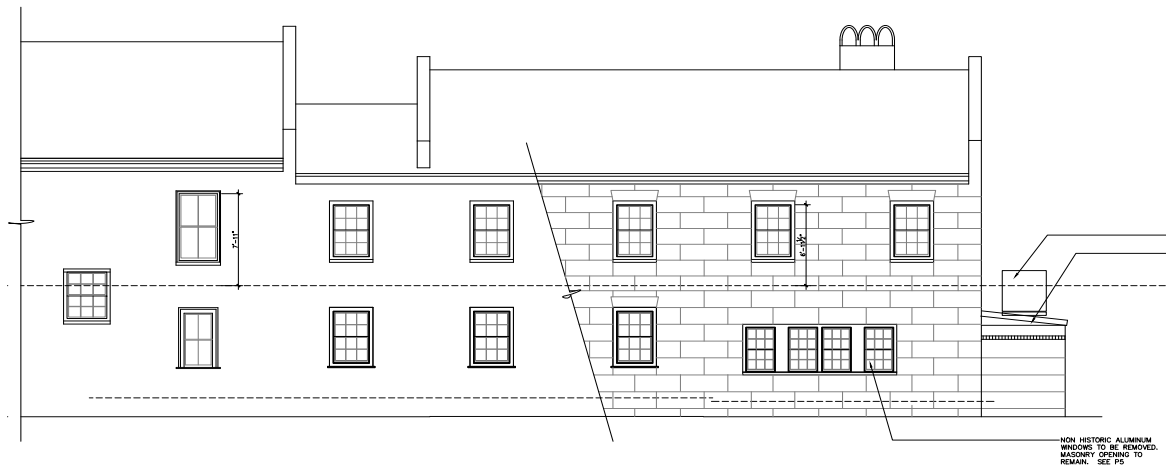
A - EXISTING SOUTH ELEVATION



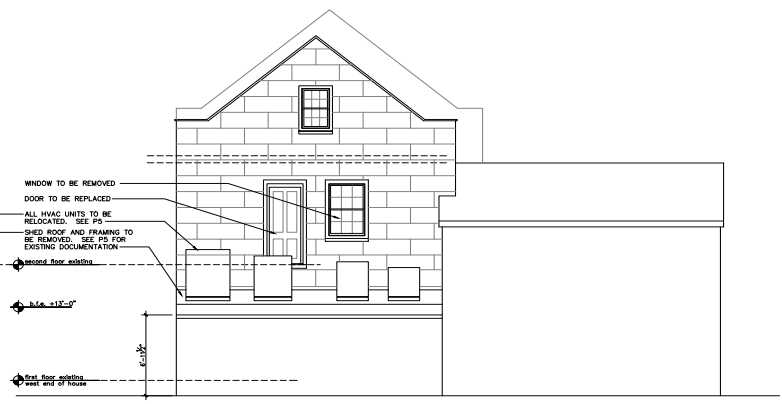
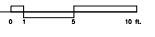
A - PROPOSED SOUTH ELEVATION

LIEBERGALL RESIDENCE
25 LEGARE STREET
CHARLESTON, SOUTH CAROLINA

LIEBERGALL RESIDENCE
25 LEGARE STREET
CHARLESTON, SOUTH CAROLINA

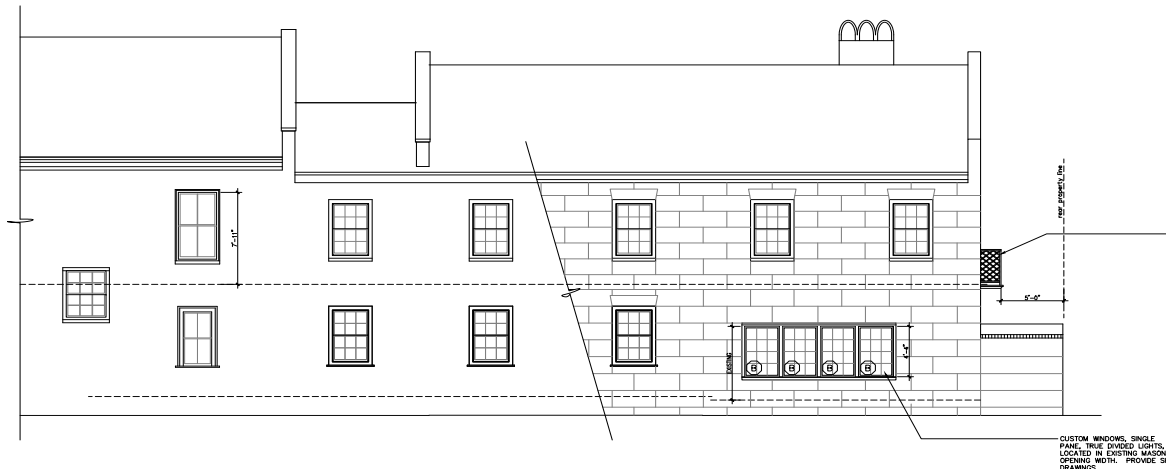
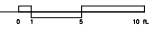


C. EXISTING NORTH ELEVATION



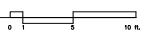
- WINDOW TO BE REMOVED
- DOOR TO BE REPLACED
- ALL HVAC UNITS TO BE RELOCATED. SEE PS
- SHED ROOF AND FRAMING TO BE REMOVED. SEE PS FOR EXISTING DOCUMENTATION
- second floor ceiling
- 1st fl. +11'-0"
- 1st floor ceiling
- West end of house

B. EXISTING WEST ELEVATION



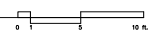
C. EXISTING NORTH ELEVATION

SCALE 1/4" = 1'-0"



- NEW CUSTOM WOOD FRENCH DOOR, SINGLE GLAZE TRIPLE DIVIDED LIGHT TO MATCH THAT AT MASTER BEDRM. PROVIDE SHOP DRAWINGS. REPAIR STUCCO AT NECESSARY
- NEW BALCONY AND RAILING TO MATCH EXISTING AT EAST ELEVATION
- second floor ceiling
- 1st fl. +11'-0"
- 1st floor ceiling
- West end of house

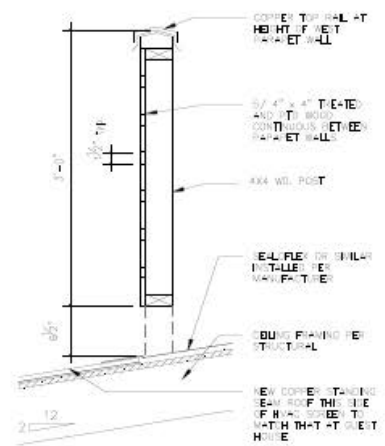
B. PROPOSED WEST ELEVATION



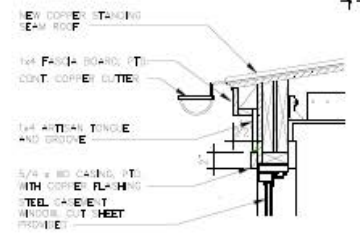
DATE: 08.27.2019
REVISION: BAR SUBMITTAL
DRAWN BY: LIZ DRAKE
SHEET:

A2.1

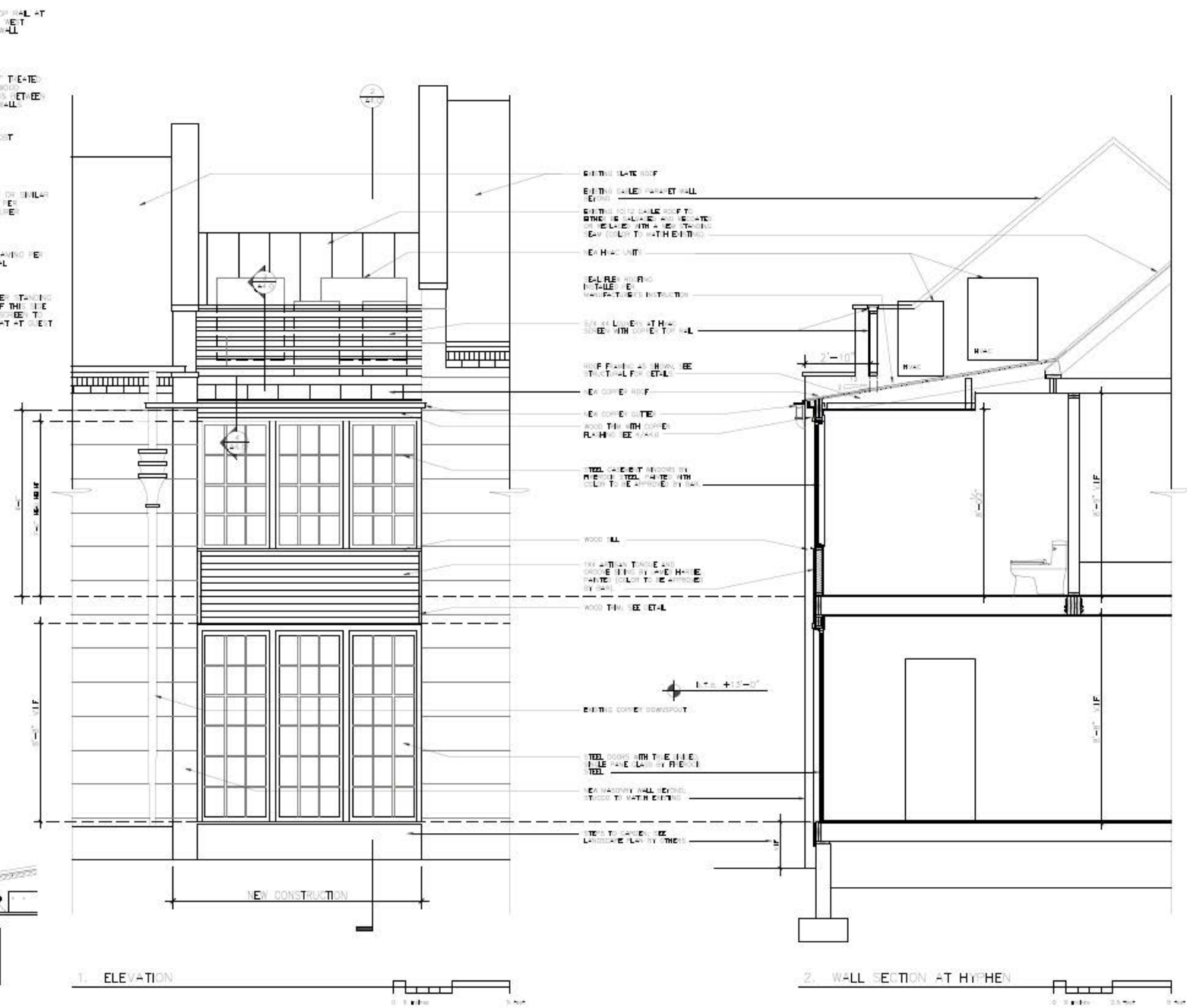
ELEVATIONS



3. DETAIL AT HVAC SCREEN
1/2" = 1'-0"



4. DETAIL AT HVAC SCREEN
1/2" = 1'-0"



1. ELEVATION

2. WALL SECTION AT HYPHEN

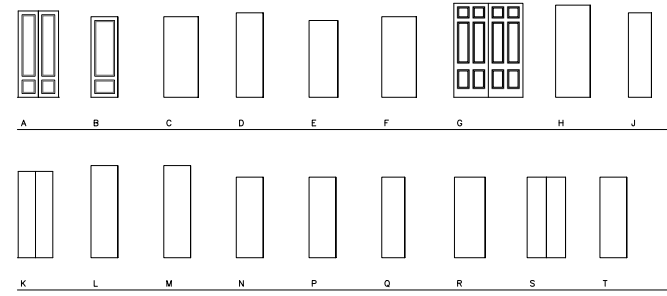
LIEBERGALL RESIDENCE
25 LEGARE STREET
CHARLESTON, SOUTH CAROLINA

DATE: 08.28.2019
NO. 28.2019

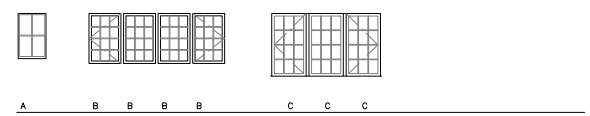
DATE SUBMITTED: 08.28.2019
DRAWN BY: LIZ DRAKE

A4.0

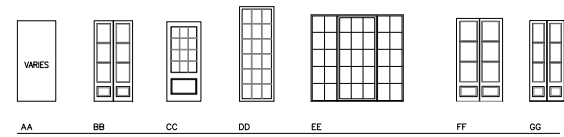
THIS HYPHEN WALL SECTION & ELEV.



			CLG HGT V.I.F.	#	LOCATION
(A)	3/6 7/6	FRENCH DOOR paneled?		1	DRAWING ROOM / DINING ROOM
(B)	2/4 7/0	PANELED?		1	POWDER
(C)	3/0 7/0	PANELED?		1	KITCHEN TO MUDROOM
(D)	2/4 7/4	POCKET DOOR paneled?	8'-7"	3	LAUNDRY / DEN BATHROOM
(E)	2/6 6/6	PANELED?		1	TO BASEMENT
(F)	3/0 7/0	POCKET DOOR paneled?		1	DEN / MUDROOM
(G)	6/2 8/2	EXISTING FRENCH DOOR; 4 paneled	10'-0"	1	TO BALLROOM; EXISTING
(H)	3/0 8/0	FRENCH DOOR paneled?	10'-0"	1	TO MASTER BEDROOM
(J)	2/0 7/3	PANELED?	10'-0"	1	CLOSET DOOR AT MASTER
(K)	3/0 7/6	FRENCH DOOR paneled?	10'-0"	1	TO MASTER BATH
(L)	2/0 8/0	PANELED?	10'-0"	1	POWDER no. 2
(M)	2/4 8/0	PANELED?	10'-0"	1	TO BEDROOM 2
(N)	2/4 7/0	PANELED?	8'-8"	3	BATHROOM 2, BATHROOM 3
(P)	2/2 7/0	PANELED?	8'-8"	2	CLOSET 2
(S)	2/0 7/0	PANELED?	8'-8"	2	GUEST HALL CLOSET
(R)	2/8 7/0	PANELED?	8'-8"	2	BEDROOM 3, BEDROOM 4
(S)	3/4 7/0	FRENCH DOOR	8'-8"	2	BEDROOM 3 CLOSET
(T)	2/4 7/0	PANELED?	8'-8"	1	BATHROOM 4



				CLG HGT V.I.F.	#	LOCATION
(A)	2/5 3/11	DOUBLE HUNG 4 LITE	1	EXISTING	RESTORE WINDOW TO ORIGINAL; SUBMIT SHOP DRAWINGS	BUTLER PANTRY
(B)	2/9 4/4	CASEMENT 12 LITE	4	EXISTING	BY FIREROCK STEEL; PROVIDE SHOP DRAWINGS; NEW LOWER SILL; TWO FIXED, TWO OPERABLE	DEN
(C)	2/10 5/6	CASEMENT 12 LITE	3	7'-6"	BY FIREROCK STEEL; PROVIDE SHOP DRAWINGS; TWO FIXED, ONE OPERABLE (CENTER)	MASTER BATH

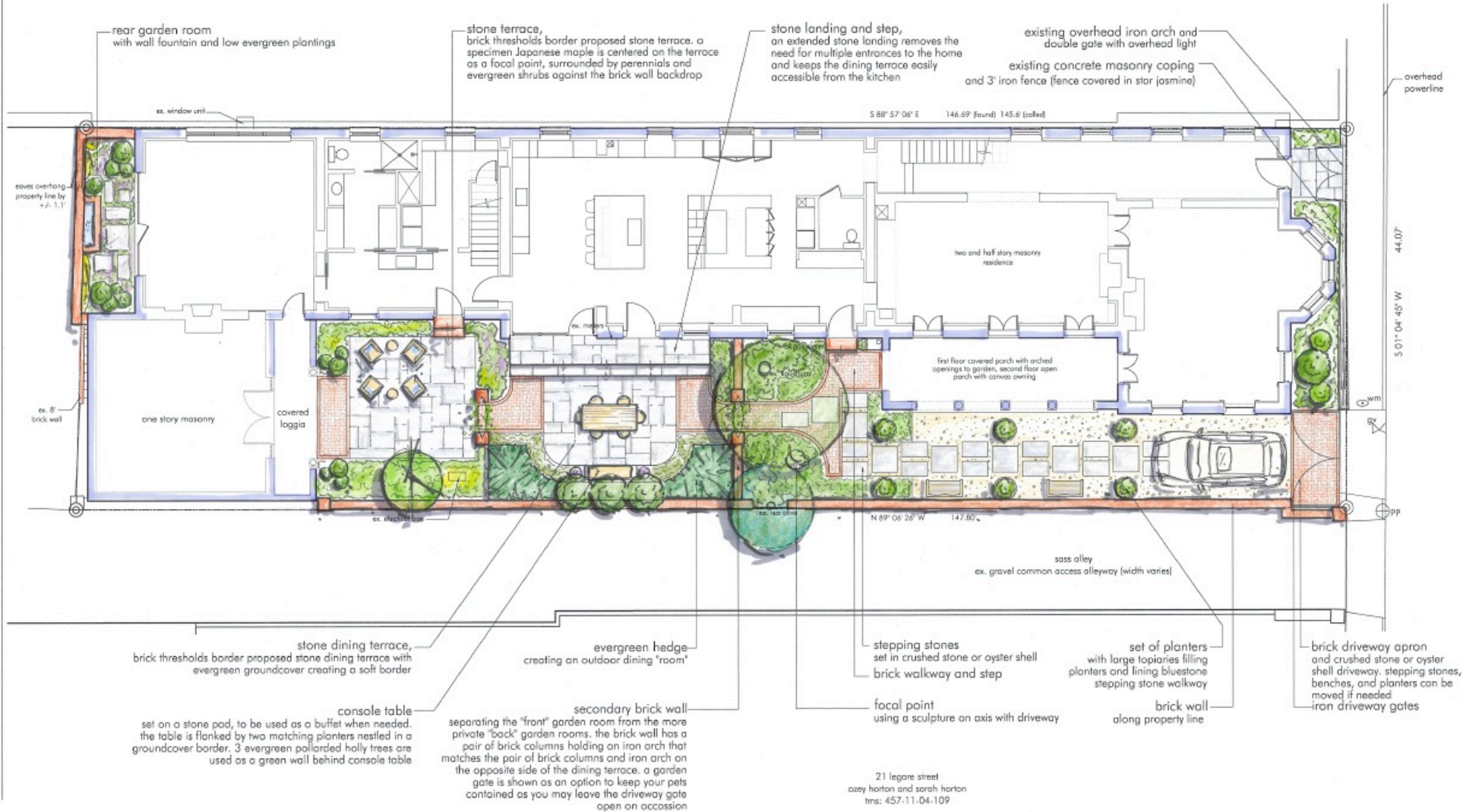


				CLG HGT V.I.F.	#	LOCATION
(AA)	VARIES	EXISTING DOOR TO BE REFURBISHED				
(BB)	3/4 7/0	3/4 LITE 6 LITE CUSTOM FRENCH DOOR by MW MILLWORK	3		SEE DOORS AT MASTER BEDRM	
(CC)	3/0 7/0	3/4 LITE 12 LITE CUSTOM WOOD DOOR by MW MILLWORK	2		SEE DOOR AT LAUNDRY / MUD	
(DD)	2/10 8/2	FULL LITE 18 LITE CUSTOM DOOR by FIREROCK STEEL	3		TWO FIXED, ONE OPERABLE see plan	
(EE)	8/0 7/6	FULL LITE 15 LITE CUSTOM DOOR W/ CUSTOM SIDELITES 10 LITES EACH by FIREROCK STEEL	1		ALL LITES TO BE EQUAL WIDTH; DOOR SIZE DEPENDENT ON LITE SIZE	
(FF)	4/0 7/2	3/4 LITE 6 LITE CUSTOM FRENCH DOOR by MW MILLWORK	1			
(GG)	3/0 7/0	3/4 LITE 6 LITE CUSTOM FRENCH DOOR by MW MILLWORK	2		SEE DOORS AT MASTER BEDRM	

PROPOSED PLAN

29 legone street
john and adriane mcavoy
tms: 457-11-04-105

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rear garden room with wall fountain and low evergreen plantings

stone terrace, brick thresholds border proposed stone terrace. a specimen Japanese maple is centered on the terrace as a focal point, surrounded by perennials and evergreen shrubs against the brick wall backdrop

stone landing and step, an extended stone landing removes the need for multiple entrances to the home and keeps the dining terrace easily accessible from the kitchen

existing overhead iron arch and double gate with overhead light
existing concrete masonry coping and 3' iron fence (fence covered in star jasmine)

ex. window unit
eaves overhang property line by +/- 1.1'

S 88° 57' 06" E 146.69' (found) 145.6' (called)

overhead powerline

one story masonry

covered loggia

two and half story masonry residence

first floor covered porch with arched openings to garden, second floor open porch with arched opening

44.07'
S 01° 04' 45" W

ex. 8' brick wall

ex. flagstone

N 89° 06' 26" W 147.60'

PP

sass alley
ex. gravel common access alleyway (width varies)

stone dining terrace, brick thresholds border proposed stone dining terrace with evergreen groundcover creating a soft border

evergreen hedge creating an outdoor dining "room"

stepping stones set in crushed stone or oyster shell brick walkway and step

set of planters with large topiaries filling planters and lining bluestone stepping stone walkway

brick driveway apron and crushed stone or oyster shell driveway, stepping stones, benches, and planters can be moved if needed
iron driveway gates

console table set on a stone pad, to be used as a buffet when needed. the table is flanked by two matching planters nestled in a groundcover border. 3 evergreen pollarded holly trees are used as a green wall behind console table

secondary brick wall separating the "front" garden room from the more private "back" garden rooms. the brick wall has a pair of brick columns holding an iron arch that matches the pair of brick columns and iron arch on the opposite side of the dining terrace. a garden gate is shown as an option to keep your pets contained as you may leave the driveway gate open on occasion

focal point using a sculpture on axis with driveway

21 legone street
cazy horton and sarah horton
tms: 457-11-D4-109

GLEN K. GERNER LANDSCAPE ARCHITECT
practice box 235
columbus, south carolina 29601
p 843.722.5880
f 843.722.5880
e gk@glkgardner.com

Date: 05/06/19 rev
Rev: 08/10/19 #10
Rev: 08/29/19 #11



Project Name
Liebergall Residence

20 Legone Street
Columbus, South Carolina 29601

total lot: 0.15 acres
6,319 sq ft
Proposed Plan
sheet 3

Agenda Item 11:

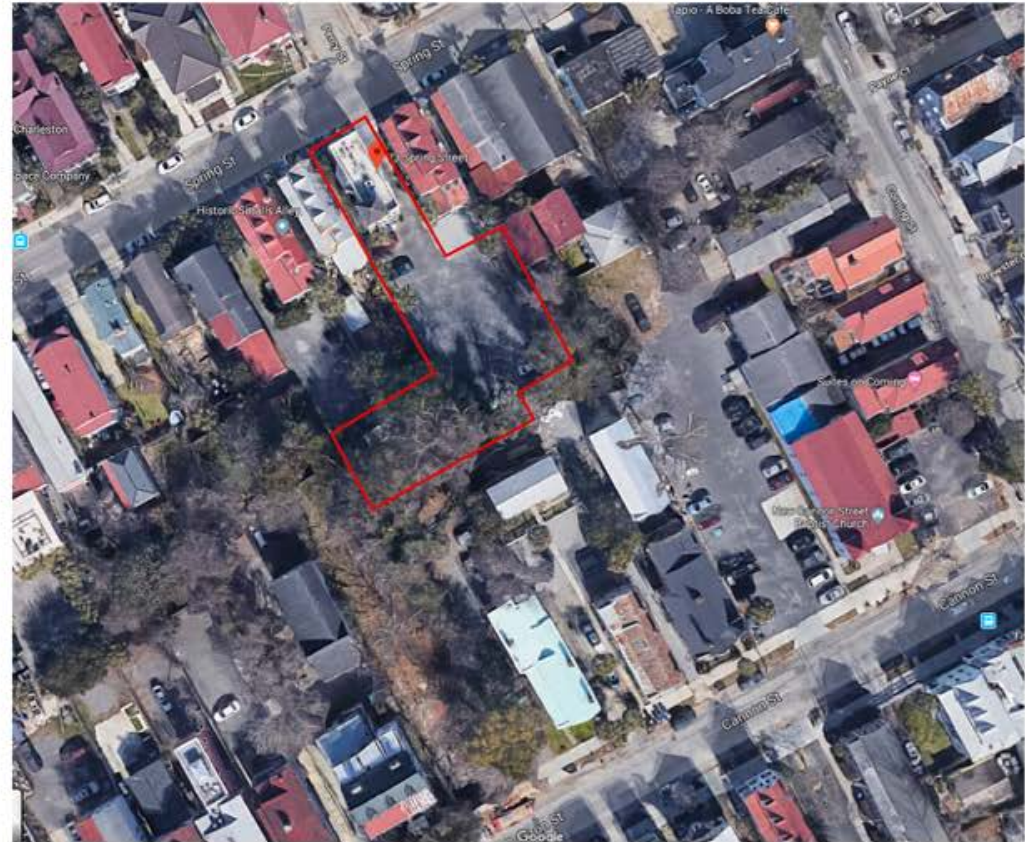
73 Spring Street

Requesting conceptual approval for the construction of three residential buildings and one commercial building.

New Construction / Cannonborough / Old City District

APPLICANT
PRESENTATION

**73 Spring Street: three new residential buildings & a new office building at rear of property
(located behind existing non-historic building: commercial space with one residential unit above)
(B.A.R. - Conceptual Review : September 2019)**





AERIAL VIEW: looking north



AERIAL VIEW: looking east



AERIAL VIEW: looking south



AERIAL VIEW: looking west



71 SPRING

**DRIVEWAY
(SMALLS ALLEY)**

73 SPRING

75 SPRING

77 SPRING

**LEWIS
COURT**

79 SPRING



71 SPRING

**DRIVEWAY
(SMALLS ALLEY)**



73 SPRING

**DRIVEWAY
(SMALLS ALLEY)**



77 SPRING

**LEWIS
COURT**

79 SPRING



DRIVEWAY (SMALLS ALLEY): looking south



DRIVEWAY (SMALLS ALLEY): looking west



DRIVEWAY (SMALLS ALLEY): looking north



DRIVEWAY (SMALLS ALLEY): looking east



LEWIS COURT: looking south



LEWIS COURT: looking south

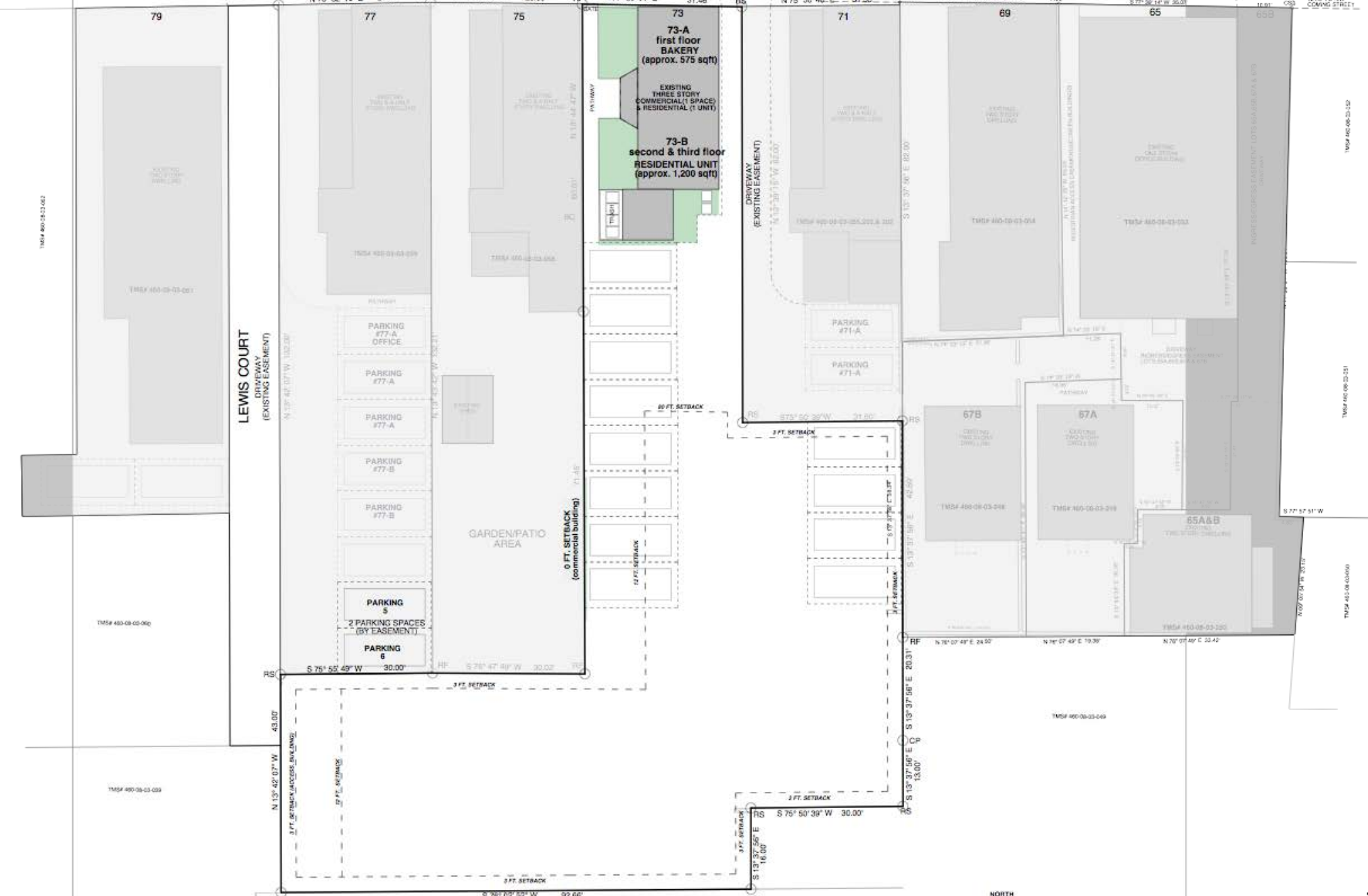


LEWIS COURT: looking north



LEWIS COURT: looking north

FIRE HYDRANT-approx. 100'

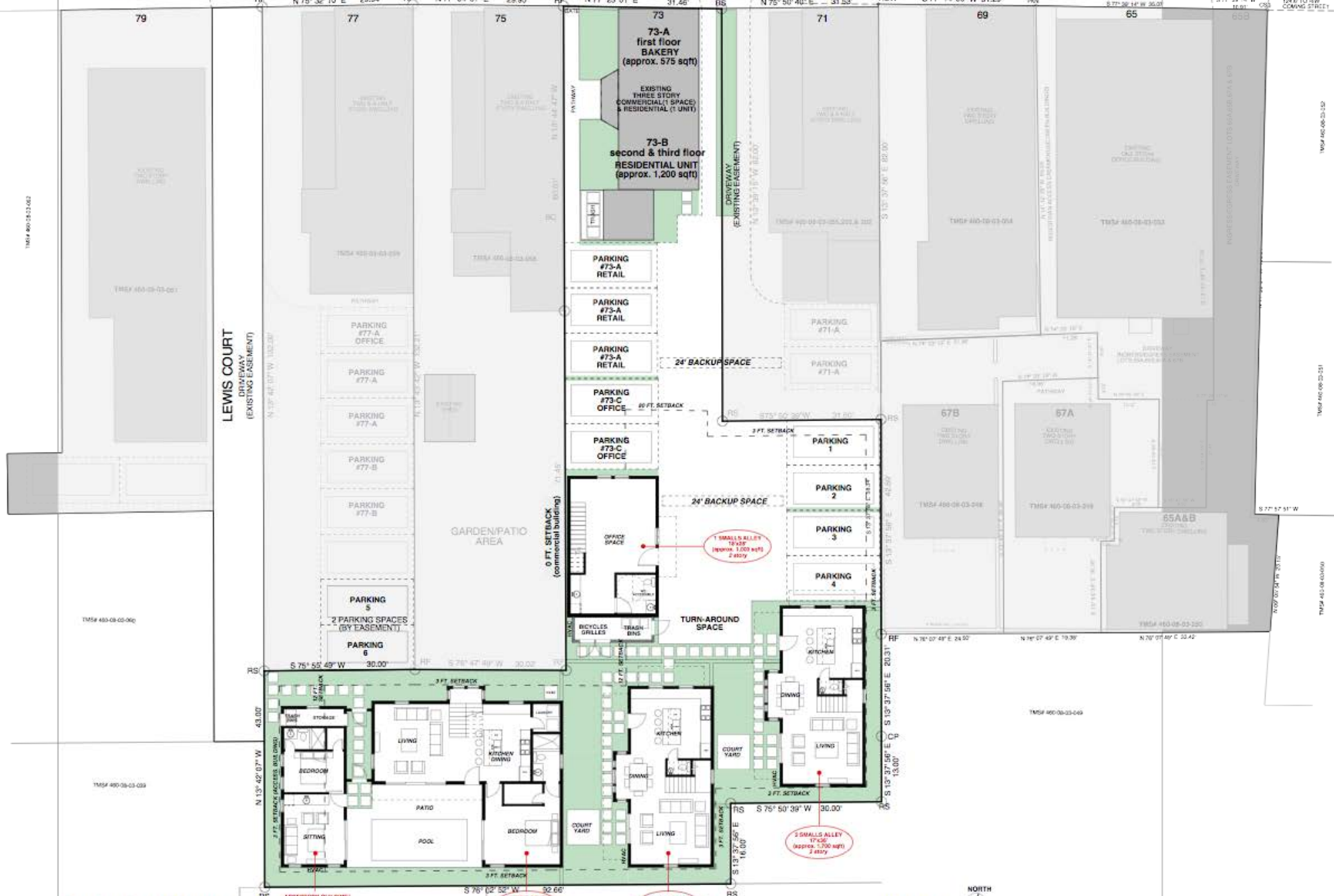


EXISTING SITE PLAN

1/16"=1'-0"



FIRE HYDRANT-approx. 100'



SITE / FIRST FLOOR PLAN

LEWIS COURT
DRIVEWAY
(EXISTING EASEMENT)

ACCESSORY BUILDING:
POOL HOUSE
17x10
(approx. 400 sqft)

1 LEWIS COURT
39x25
(approx. 1,200 sqft)
2 story

1 SMALL ALLEY
17x5
(approx. 1,750 sqft)
2 story

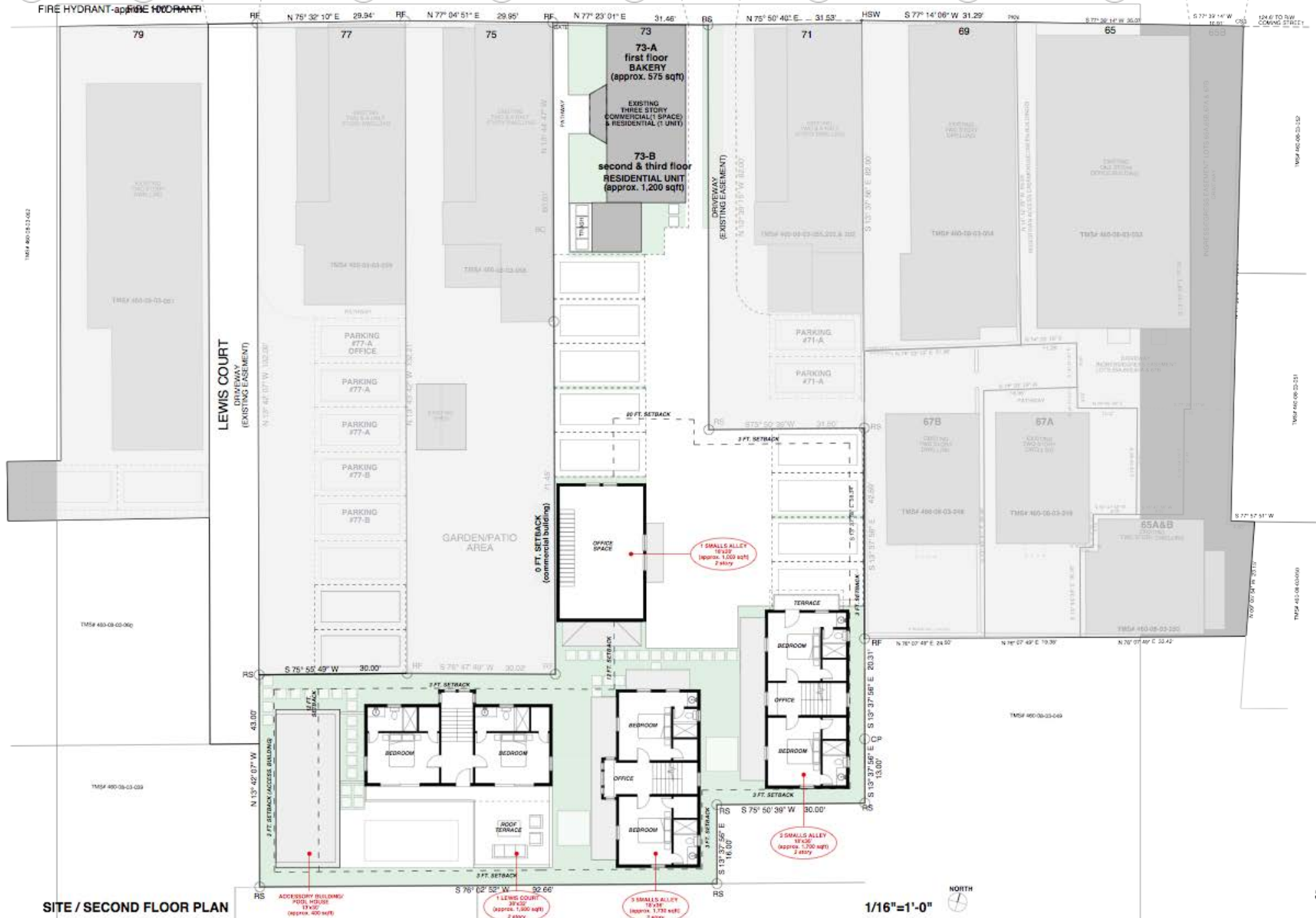
1 SMALL ALLEY
19x5
(approx. 1,000 sqft)
2 story

2 SMALL ALLEY
17x5
(approx. 1,750 sqft)
2 story

1/16"=1'-0"

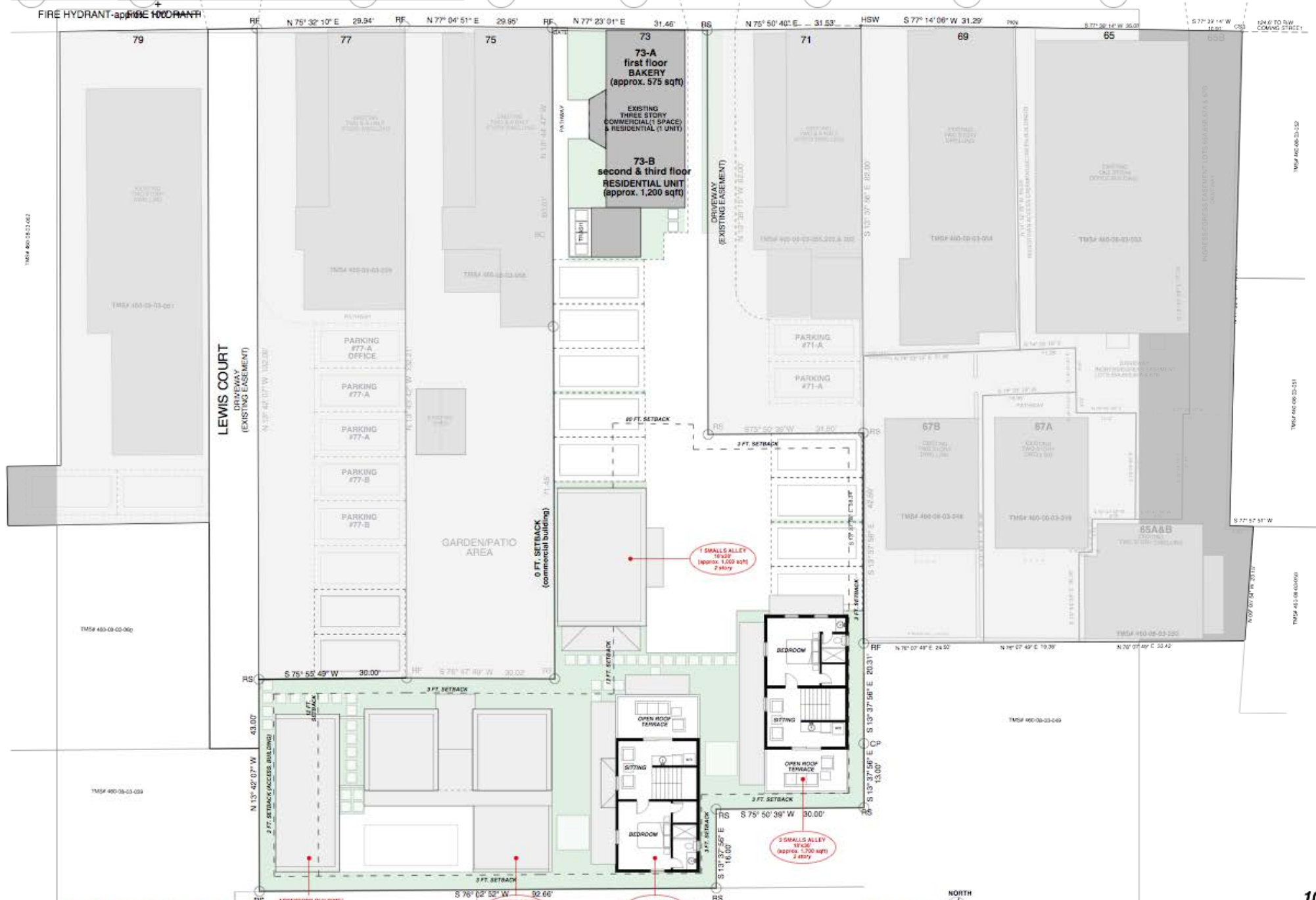


FIRE HYDRANT APPROXIMATE LOCATION



SITE / SECOND FLOOR PLAN

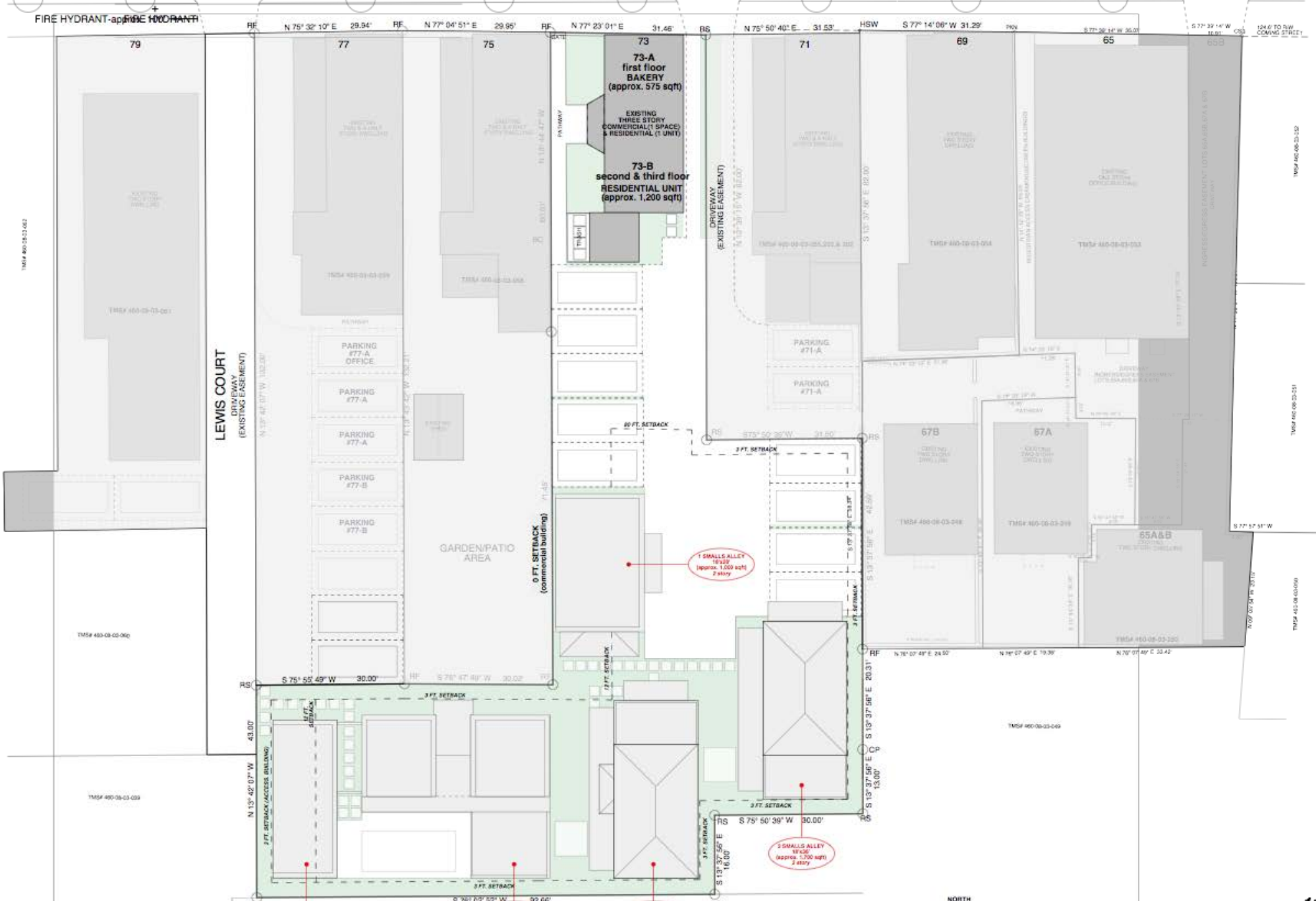
1/16"=1'-0"



SITE / THIRD FLOOR PLAN

1/16"=1'-0"

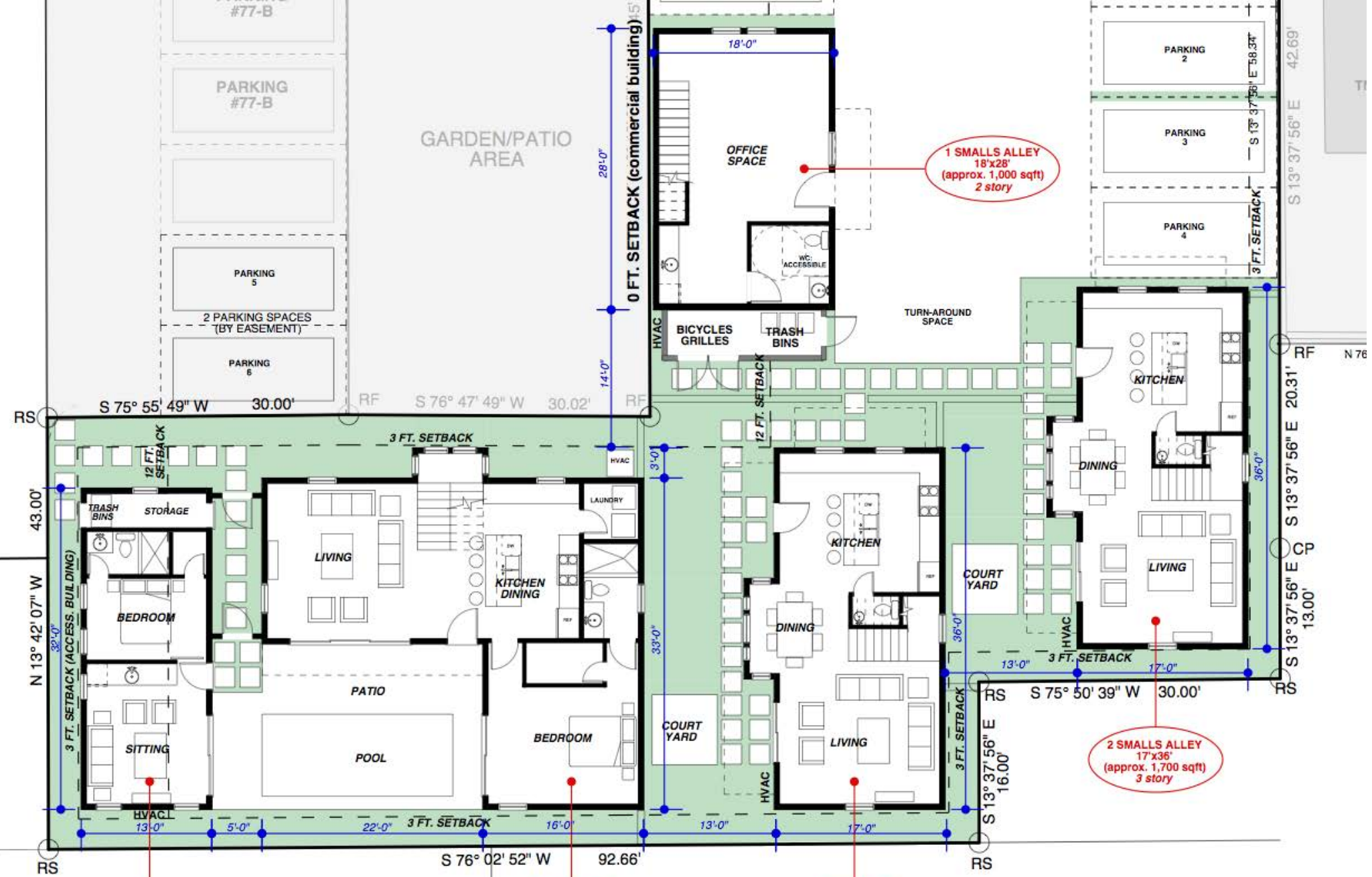




SITE / ROOF PLAN

1/16"=1'-0"





ACCESSORY BUILDING/
POOL HOUSE
13'x30'
(approx. 400 sqft)

FIRST FLOOR PLAN

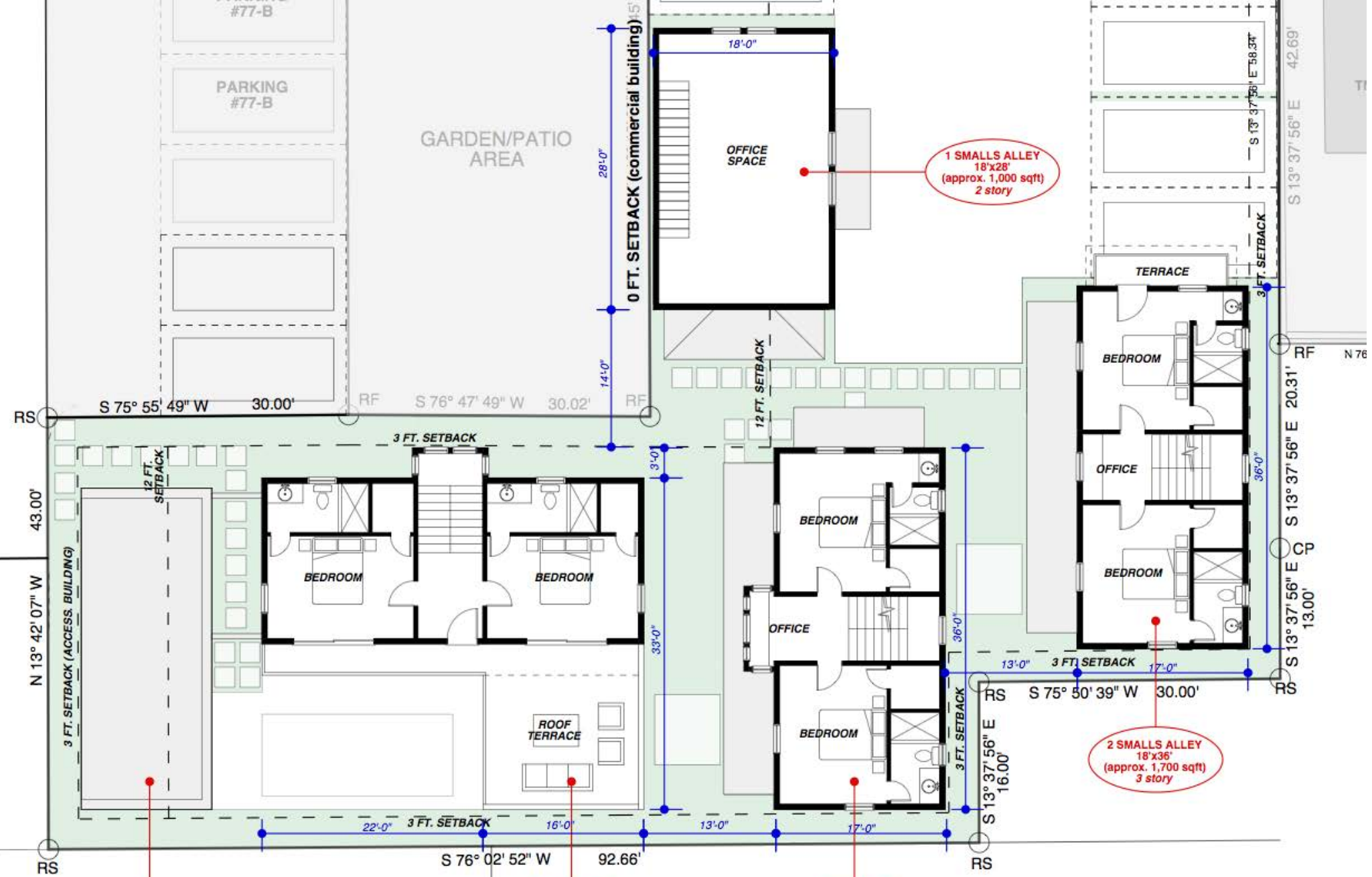
1 LEWIS COURT
38'x32'
(approx. 1,600 sqft)
2 story

1 SMALLS ALLEY
18'x28'
(approx. 1,000 sqft)
2 story

2 SMALLS ALLEY
17'x36'
(approx. 1,700 sqft)
3 story

3 SMALLS ALLEY
18'x36'
(approx. 1,730 sqft)
3 story

1/8"=1'-0" NORTH



ACCESSORY BUILDING/
POOL HOUSE
13'x30'
(approx. 400 sqft)

SECOND FLOOR PLAN

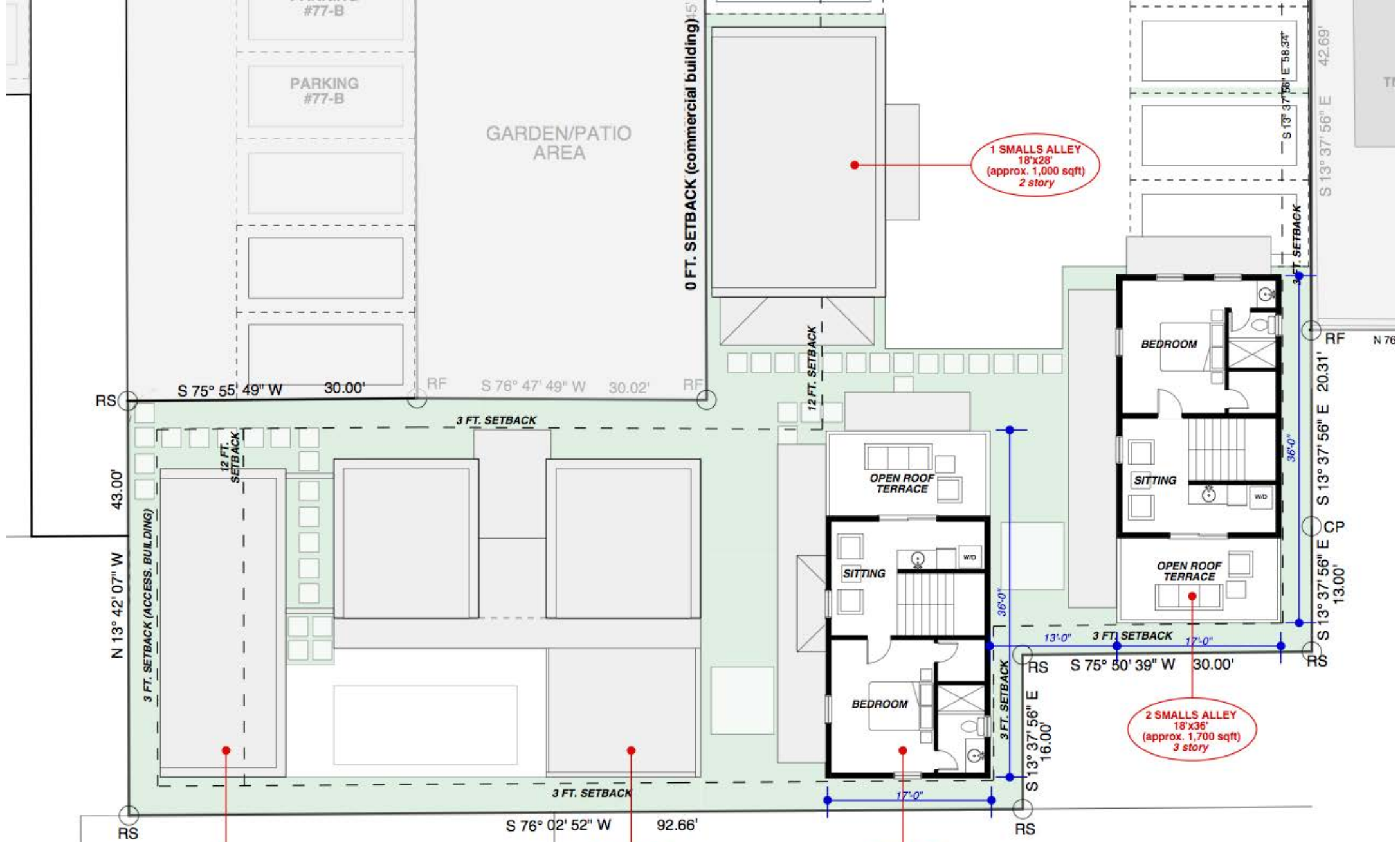
1 LEWIS COURT
38'x32'
(approx. 1,600 sqft)
2 story

3 SMALLS ALLEY
18'x36'
(approx. 1,730 sqft)
3 story

2 SMALLS ALLEY
18'x36'
(approx. 1,700 sqft)
3 story

1 SMALLS ALLEY
18'x28'
(approx. 1,000 sqft)
2 story

1/8"=1'-0"



ACCESSORY BUILDING/
POOL HOUSE
13'x30'
(approx. 400 sqft)


1 LEWIS COURT
38'x32'
(approx. 1,600 sqft)
2 story

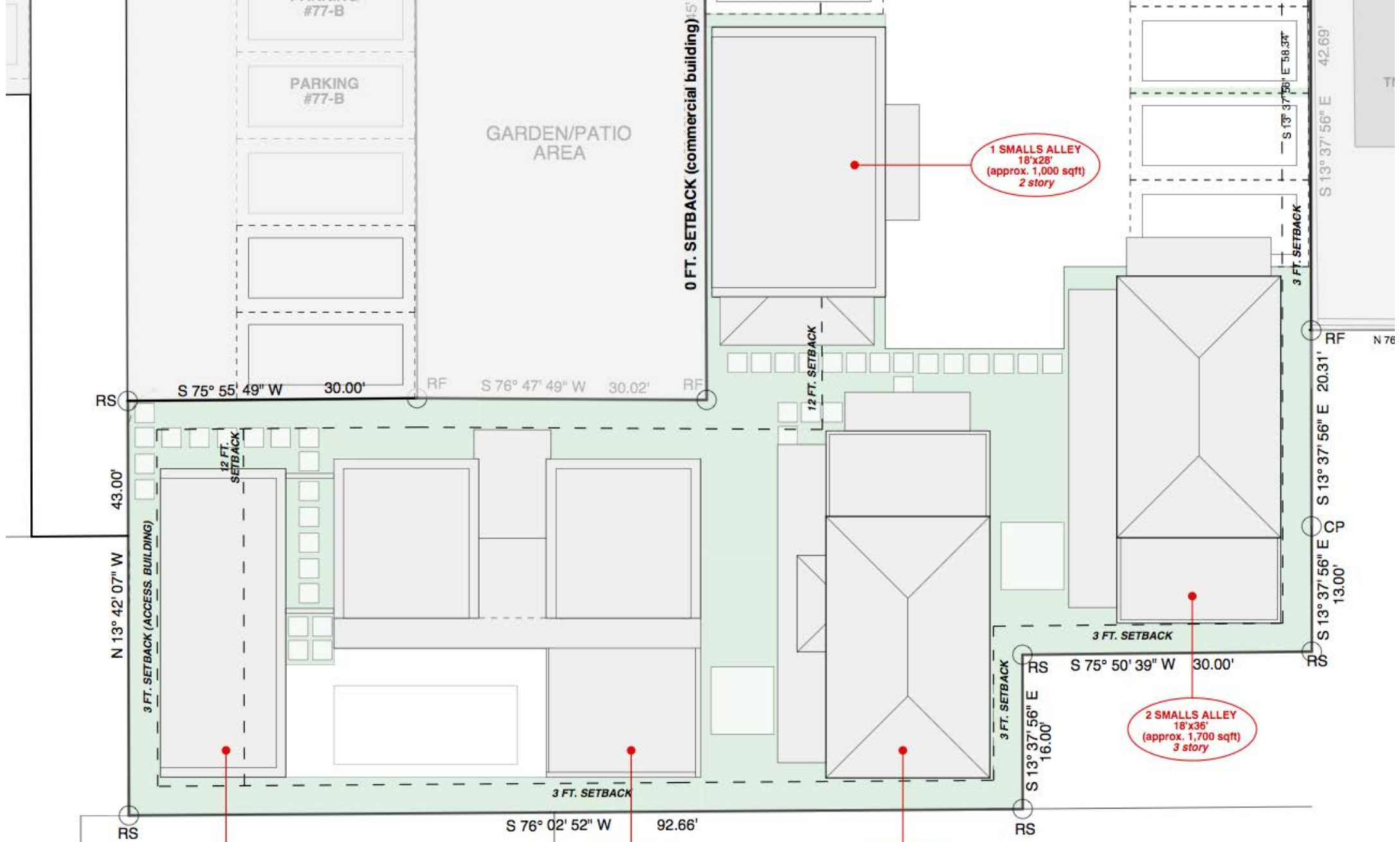
3 SMALLS ALLEY
18'x36'
(approx. 1,730 sqft)
3 story

2 SMALLS ALLEY
18'x36'
(approx. 1,700 sqft)
3 story

1 SMALLS ALLEY
18'x28'
(approx. 1,000 sqft)
2 story

THIRD FLOOR PLAN

1/8"=1'-0" 



1 SMALLS ALLEY
18'x28'
(approx. 1,000 sqft)
2 story


2 SMALLS ALLEY
18'x36'
(approx. 1,700 sqft)
3 story

ACCESSORY BUILDING/
POOL HOUSE
13'x30'
(approx. 400 sqft)

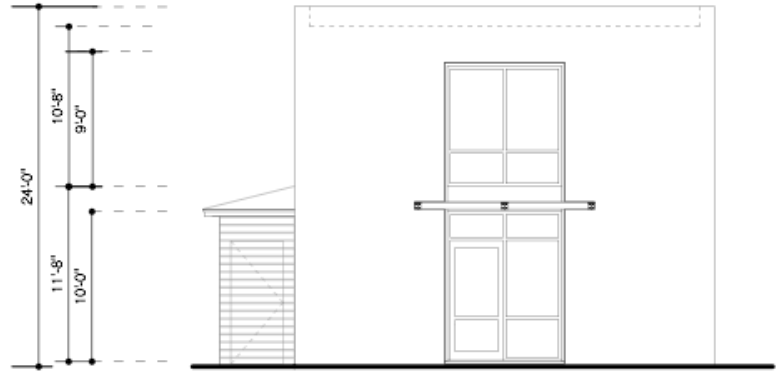
1 LEWIS COURT
38'x32'
(approx. 1,600 sqft)
2 story

3 SMALLS ALLEY
18'x36'
(approx. 1,730 sqft)
3 story

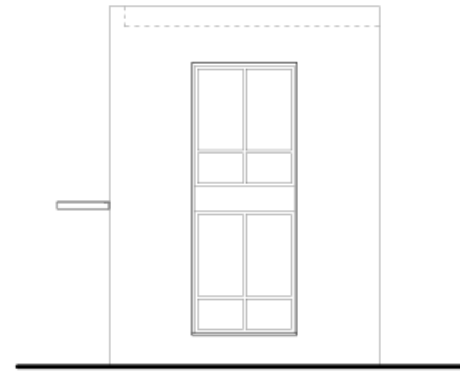
ROOF PLAN

1/8"=1'-0" 

**1 SMALLS ALLEY
(OFFICE BUILDING)**



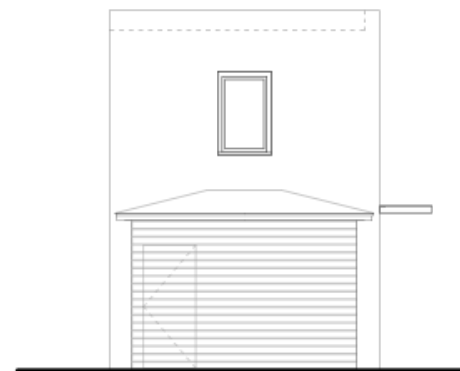
1 SMALLS ALLEY: EAST ELEVATION 1/8"=1'-0"



1 SMALLS ALLEY: NORTH ELEVATION 1/8"=1'-0"



1 SMALLS ALLEY: WEST ELEVATION 1/8"=1'-0"



1 SMALLS ALLEY: SOUTH ELEVATION 1/8"=1'-0"

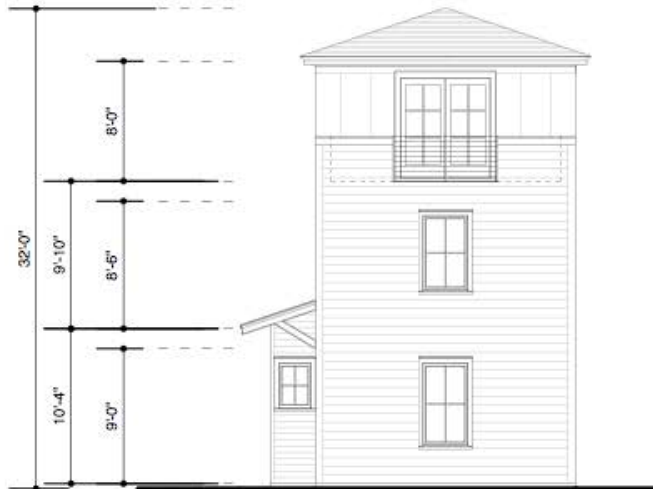
**2 SMALLS ALLEY
(HOUSE BEHIND 71 SPRING)**



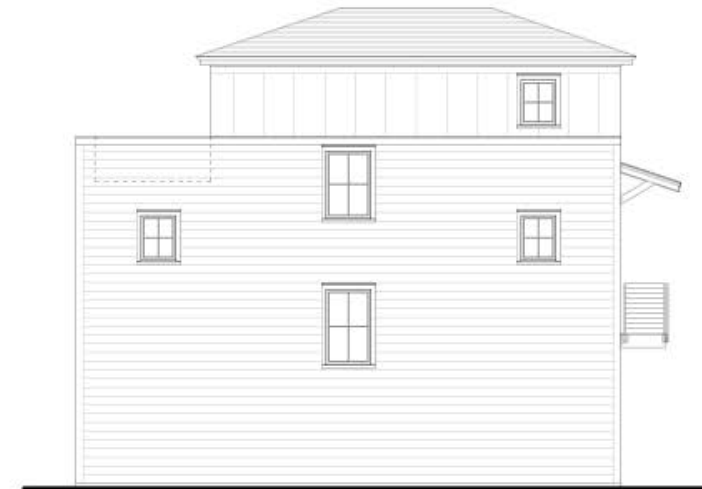
2 SMALLS ALLEY: NORTH ELEVATION 1/8"=1'-0"



2 SMALLS ALLEY: WEST ELEVATION 1/8"=1'-0"



2 SMALLS ALLEY: SOUTH ELEVATION 1/8"=1'-0"



2 SMALLS ALLEY: EAST ELEVATION 1/8"=1'-0"

**3 SMALLS ALLEY
(HOUSE BEHIND 73 SPRING)**



3 SMALLS ALLEY: NORTH ELEVATION

1/8"=1'-0"



3 SMALLS ALLEY: WEST ELEVATION

1/8"=1'-0"



3 SMALLS ALLEY: SOUTH ELEVATION

1/8"=1'-0"



3 SMALLS ALLEY: EAST ELEVATION

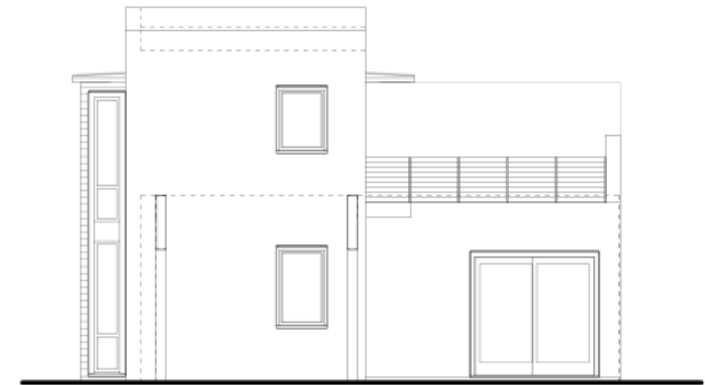
1/8"=1'-0"

**1 LEWIS COURT
(HOUSE BEHIND 75 & 77 SPRING)**



1 LEWIS COURT: NORTH ELEVATION

1/8"=1'-0"



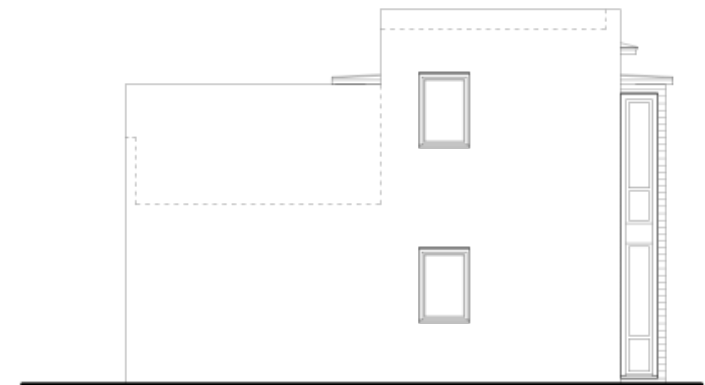
1 LEWIS COURT: WEST ELEVATION

1/8"=1'-0"



1 LEWIS COURT: SOUTH ELEVATION

1/8"=1'-0"



1 LEWIS COURT: EAST ELEVATION

1/8"=1'-0"



2 SMALLS ALLEY

3 SMALLS ALLEY

1 SMALLS ALLEY

1 LEWIS COURT

POOL HOUSE
(1 LEWIS COURT)

BEHIND 71-77 SPRING: LOOKING SOUTH



POOL HOUSE
(1 LEWIS COURT)

1 LEWIS COURT

1 SMALLS ALLEY
(beyond)

3 SMALLS ALLEY

2 SMALLS ALLEY

BEHIND 71-77 SPRING: LOOKING NORTH





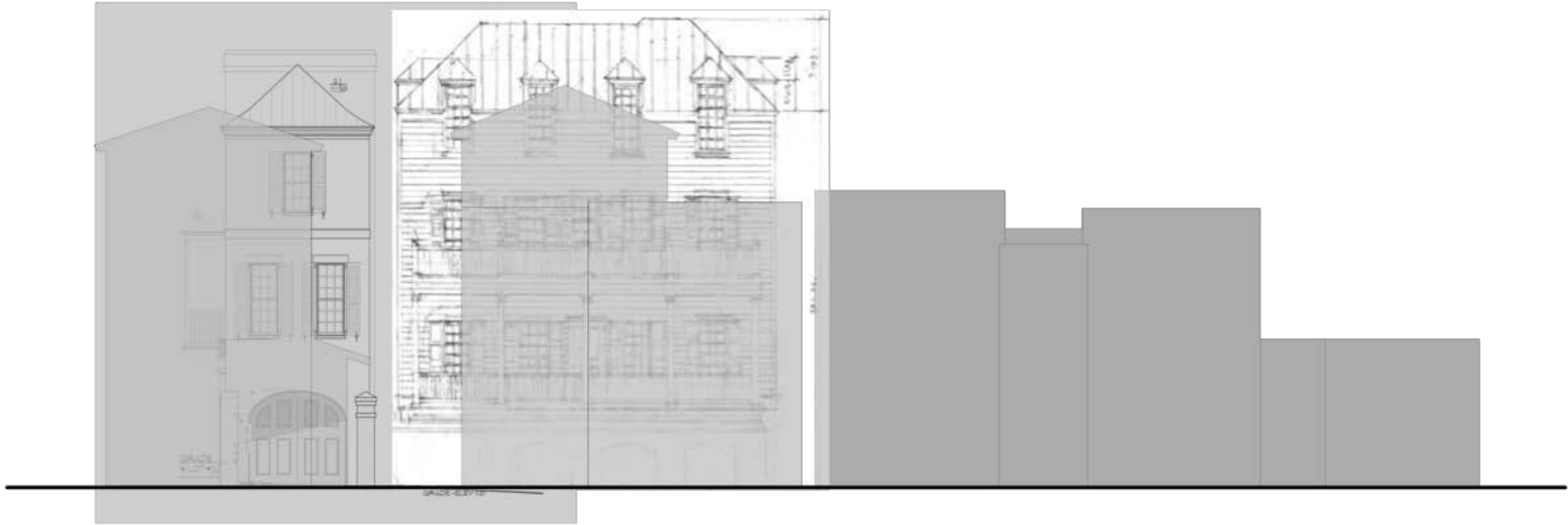
SPRING STREET: LOOKING SOUTH
(1, 2, 3 Smalls & 1 Lewis- beyond)



BEHIND 71-77 SPRING: LOOKING SOUTH
(71-77 Spring- shaded)



**CATFIDDLE STREET: FROM KENNEDY STREET
(1, 2, 3 Smalls & 1 Lewis- shaded)**



CATFIDDLE STREET: FROM BOGARD STREET
(1, 2, 3 Smalls & 1 Lewis- shaded)



**SANCTUARY COURT: FROM 124 SPRING STREET
(1, 2, 3 Smalls & 1 Lewis- shaded)**

Agenda Item 12:

40 Hasell Street

Requesting conceptual approval for a 1st floor piazza enclosure with steel windows, and modifications to an existing 2nd floor piazza enclosure.

Category 3/ Ansonborough / circa 1840 / Old and Historic District

Previous motion:

MOTION: Deferral for restudy with staff comments noted.

MADE BY: HUEY SECOND: WILSON VOTE: FOR 5 AGAINST 0

Board comments:

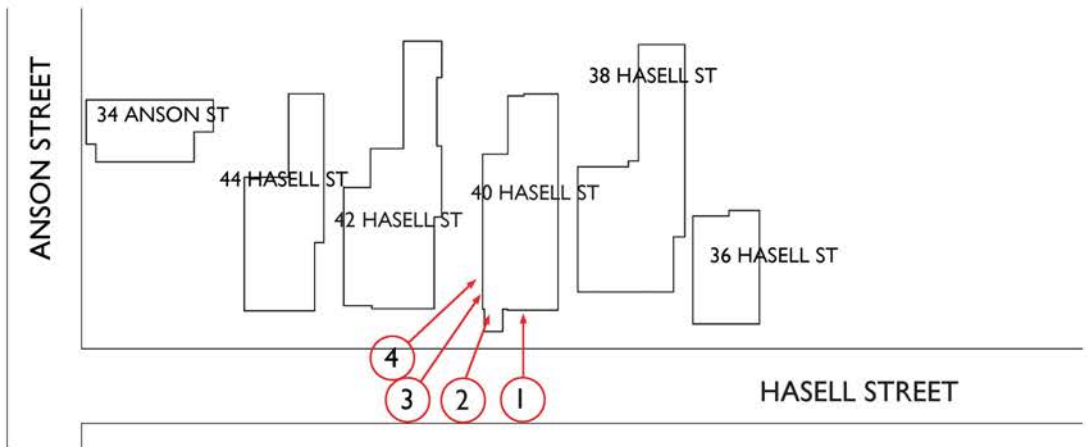
APPLICANT
PRESENTATION



BIASCOECHEA & CRUZ RESIDENCE

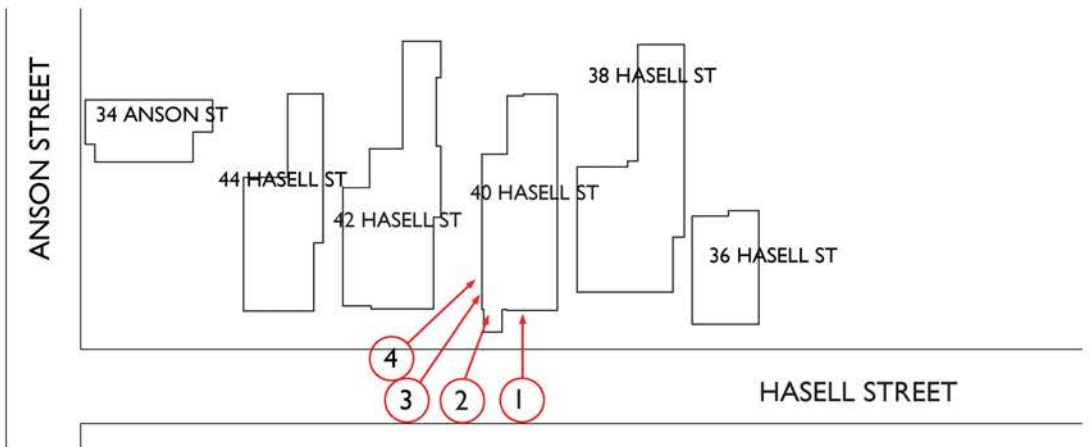
INDEX

C1	EXTERIOR VIEWS
C2	EXTERIOR VIEWS
S1	SURVEY
S2	PROPOSED SITE PLAN
S3	SITE LOCATION
S4	STREETSCAPE
S5	STREETSCAPE
S6	SANBORN MAPS
S7	SANBORN MAPS AND SITE PLANS
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A1.0	PROPOSED FOUNDATION PLAN
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A1.2	PREVIOUS AND PROPOSED SECOND FLOOR PLAN
A1.3	PROPOSED THIRD FLOOR PLAN
A1.4	PROPOSED ROOF PLAN
P2.1	PREVIOUS SOUTH ELEVATION
A2.1	EXISTING AND PROPOSED SOUTH ELEVATION
X2.2	EXISTING WEST ELEVATION
P2.2	PREVIOUS WEST ELEVATION
A2.2	PROPOSED WEST ELEVATION
P2.3	PREVIOUS NORTH ELEVATION
A2.3	EXISTING AND PROPOSED NORTH ELEVATION
X2.4	EXISTING EAST ELEVATION
P2.4	PREVIOUS EAST ELEVATION
A2.4	PROPOSED EAST ELEVATION
A2.5	PROPOSED SECTION E
A3.1	TYPICAL WALL ELEVATION, WALL SECTION AND STAIR SECTION
A4.1	DOOR AND WINDOW SCHEDULES
A4.2	DOOR AND WINDOW DETAILS
X2.0	EXISTING EXTERIOR IMAGES
X2.1	EXISTING EXTERIOR IMAGES
X2.2	EXISTING EXTERIOR IMAGES
X2.3	EXISTING EXTERIOR IMAGES
X2.4	EXISTING EXTERIOR IMAGES
X2.5	EXISTING EXTERIOR IMAGES



STREET CONTEXT PLAN





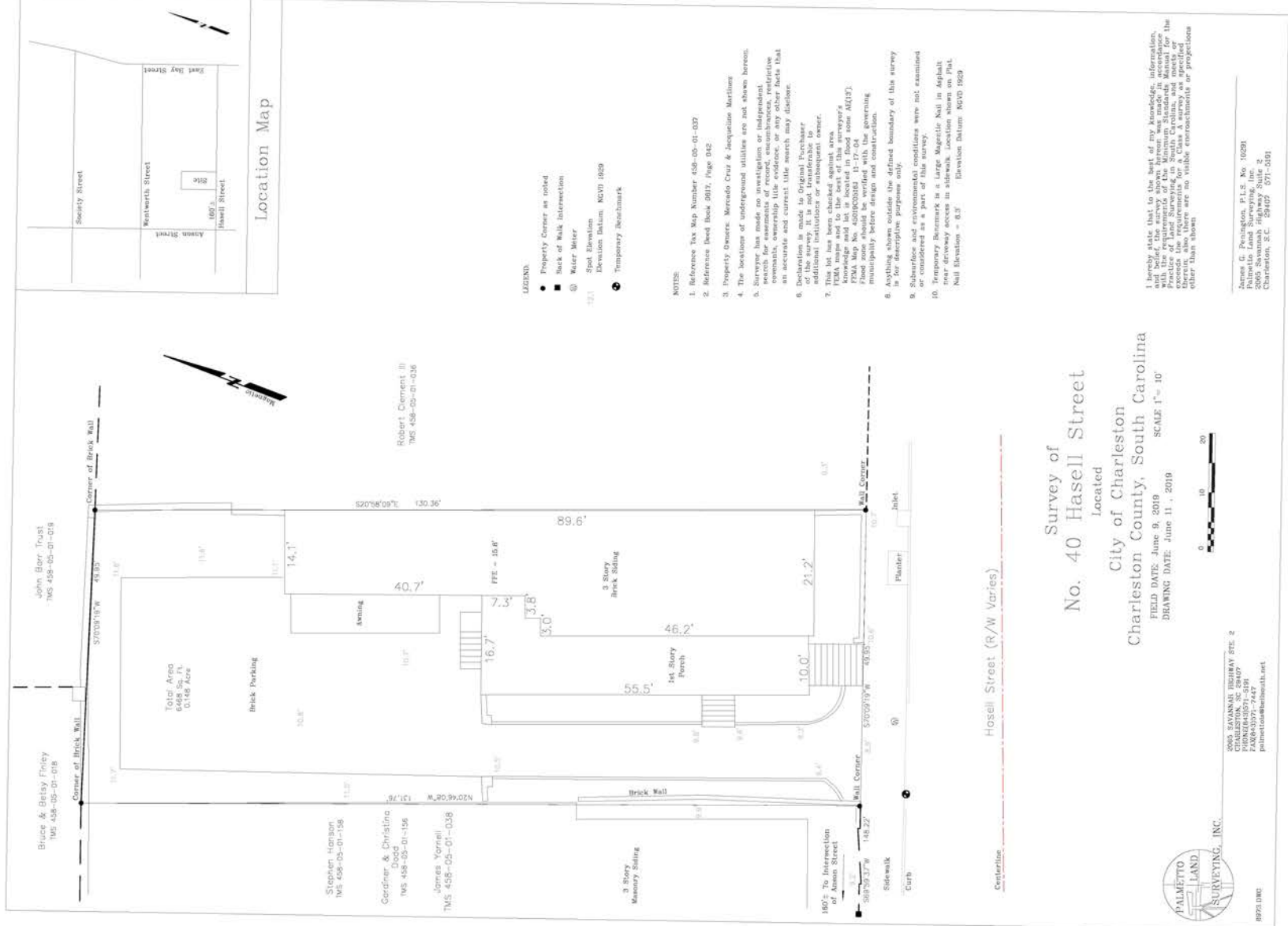
STREET CONTEXT PLAN



3



4



- LEGEND**
- Property Corner as noted
 - Back of Walk Intersection
 - ⊙ Meter Meter
 - ① Spot Elevation
 - ② Temporary Benchmark

- NOTES**
1. Reference Tax Map Number 408-00-01-007
 2. Reference deed Book 0017, Page 042
 3. Property Owners: Mercado Cruz & Jacqueline Marlines
 4. The location of underground utilities are not shown hereon.
 5. Surveyor has made no investigation or independent search for easements of record, encroachments, restrictive covenants, or other matters which may affect the title or ownership of the land shown hereon, or any other facts that an accurate and current title search may disclose.
 6. The location of the survey is not to be construed as an additional invitation or subsequent owner.
 7. This lot has been checked against area, volume, and other data from the Palmetto Land Surveying, Inc. (PLS) PLSA Map No. 4201000184, 11-17-04 and other records. The survey is not to be construed as a warranty of the accuracy of the survey. It is not to be construed as a warranty of the accuracy of the survey. It is not to be construed as a warranty of the accuracy of the survey.
 8. Nothing shall constitute the defined boundary of this survey in the absence of a physical monument.
 9. Subsurface conditions and other conditions were not examined or considered as a part of this survey.
 10. Temporary Benchmark is a Large Marble Nail in asphalt rear driveway access in sidewalk, location shown on Plat. Nail Elevation = 8.37' Elevation Datum: NAVD 1989

Survey of
No. 40 Hasell Street
 Located
 City of Charleston, South Carolina

FIELD DATE: June 9, 2019 SCALE: 1" = 10'
 DRAWING DATE: June 11, 2019



8082 S.WANNAB HIGHWAY STE. 2
 CHARLESTON, SC 29405
 PHONE: 843-571-5591
 palmettolandsurveying.com

RP73.DWG

James C. Beckwith, P.E. No. 10291
 Palmetto Land Surveying, Inc.
 2005 Swannab Highway Suite 2
 Charleston, S.C. 29407 571-5591

Bruce & Betsy Finley
TMS 458-05-01-018

John Barr Trust
TMS 458-05-01-019

Bruce & Betsy Finley
TMS 458-05-01-018

John Barr Trust
TMS 458-05-01-019



Total Area
6468 Sq. Ft.
0.148 Acre

Brick Parking

Stephen Hanson
TMS 458-05-01-158

Gardiner & Christina
Dodd
TMS 458-05-01-156

James Yarnell
TMS 458-05-01-038

Sidewalk
Curb

Hasell Street (R/W Varies)

EXISTING SITE PLAN

scale 1/8"=1'-0"



Total Area
6468 Sq. Ft.
0.148 Acre

Brick Parking

Stephen Hanson
TMS 458-05-01-158

Gardiner & Christina
Dodd
TMS 458-05-01-156

James Yarnell
TMS 458-05-01-038

AREA OF NEW WORK

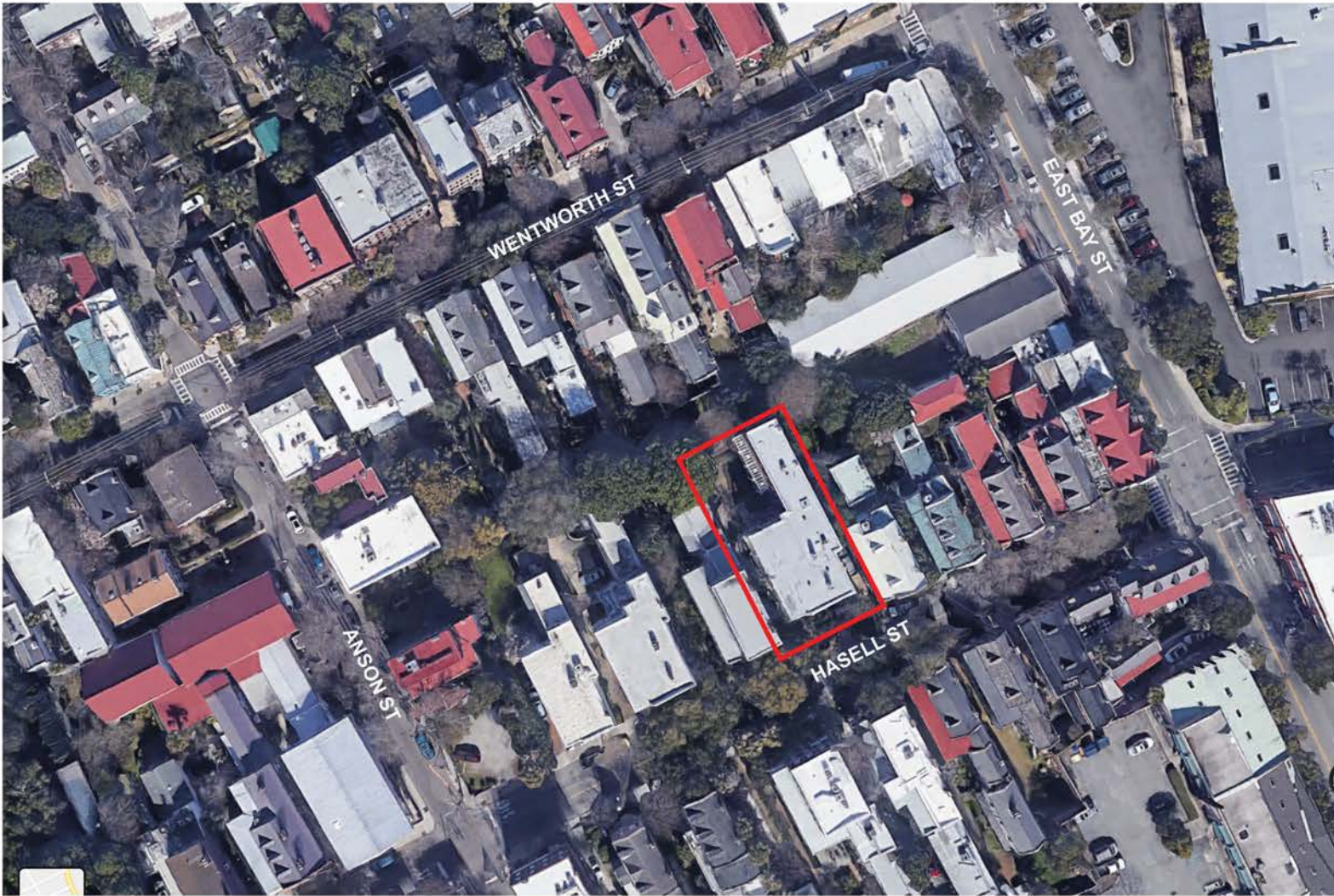
Sidewalk
Curb

Hasell Street (R/W Varies)

PROPOSED SITE PLAN

scale 1/8"=1'-0"







27 HASELL



29 HASELL



31 HASELL



33 HASELL



35 HASELL



37 HASELL



41 HASELL



43 HASELL



45 HASELL



34 ANSON



44 HASELL



42 HASELL



40 HASELL



38 HASELL



36 HASELL



34 HASELL



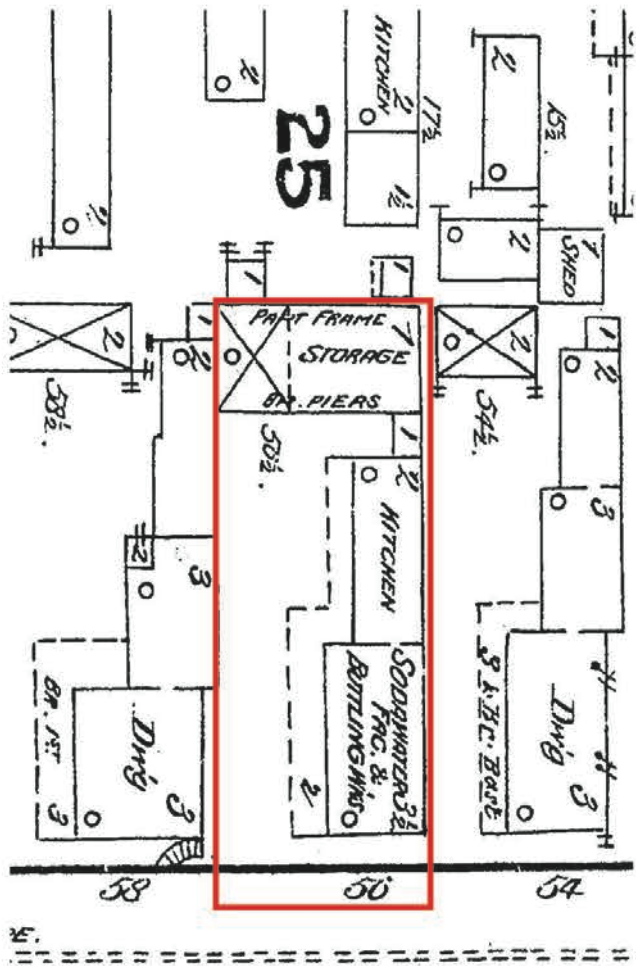
32 HASELL



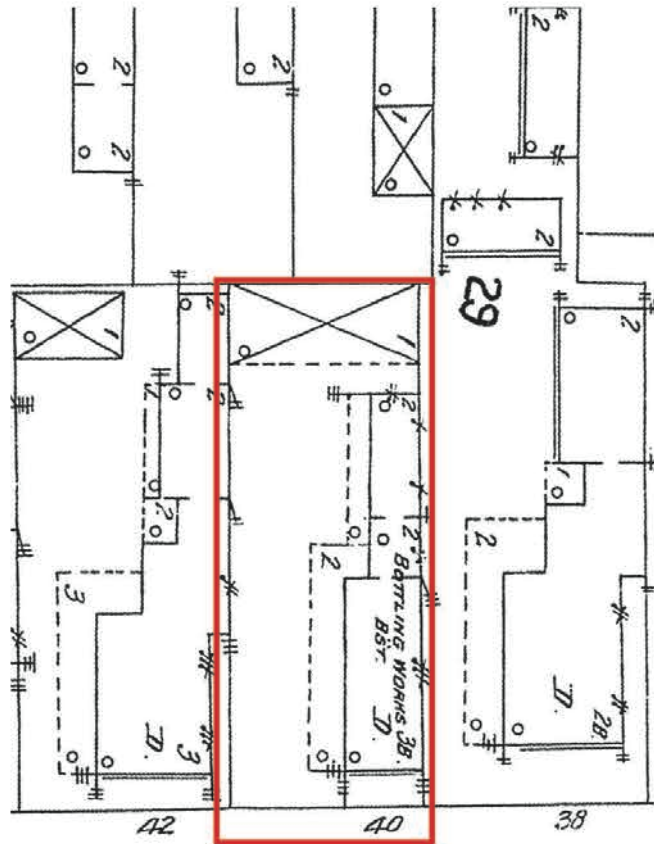
30 HASELL



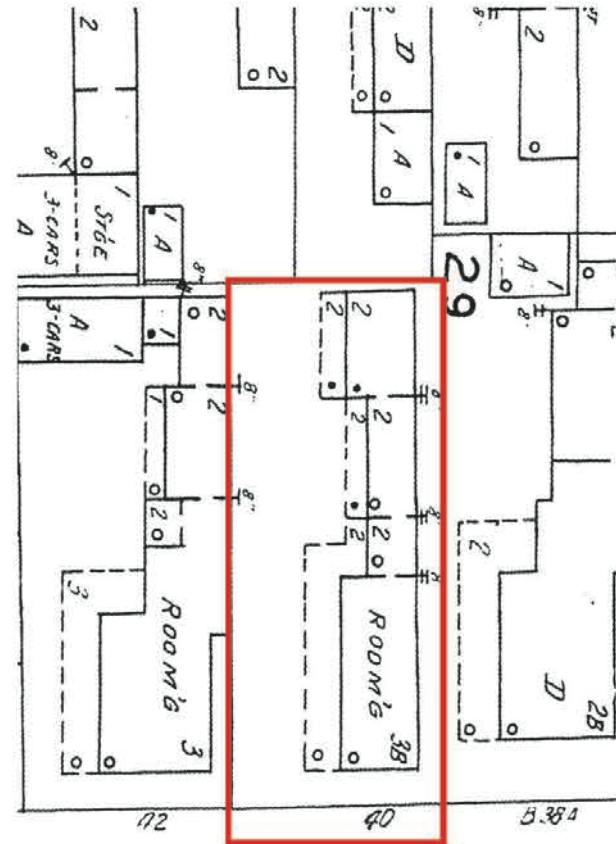
28 HASELL



1884 SANBORN MAP
scale 1/16" = 1'-0"



1902 SANBORN MAP
scale 1/16" = 1'-0"



1944 SANBORN MAP
scale 1/16" = 1'-0"

CVF Buildings -- 40 Hasell St

From: Scrapbooks of Charleston, SC Architectural Inventory
1973

OWNERSHIP RECORD

Present Owner

Mailing Address

Original Owner

Assessor Map 49581.5-1.1.132

Approximate Lot Size 50 X 136
of Acres

Property Currently Zoned

Assessment: Land

Improvements

TOTAL

Physical Condition: Good Fair Poor

Structure

Grounds

Neighborhood

PHYSICAL DESCRIPTION

Facade Material Brick

Foundation Flat

Roof Form Flat

Porch or Veranda 2 Height 3

Building Height in stories 3

Roof Dormers

Chimneys Where

Facade Emphasis

Window Sash: 1st 2nd 3rd

Entrance: Fan Lintel Trans

Sidelights undecorated

INTERIOR DETAILS

Mantels Overmantels

Staircase Wainscoting

Interior Doors of Period

Door and Window Frames

Other Panelling

Ceiling Cornices

Chair Rails Base Molds

Wallcoverings of Period

Hardware

Ceiling medallions

Original Floors

Other

Significant Outbuildings

Landscaping

CHARLESTON, SOUTH CAROLINA ³
ARCHITECTURAL INVENTORY FORM WOM

Address 40 Hasell St

Area

Architect/Builder

Date of Construction

Source of Date

Architectural Style

Present Use

Original Use

Incidence in Area

Importance to its neighborhood:
Great Moderate Minor

Accessible to the Public

Historic Notes:

Architectural Significance
National Valuable to City

Valuable Notable Worthy of
Mention Other

Significance of Interiors

Significance of Landscaping

Historic Significance

Representation in Other Surveys W.C.M.

This is Charleston (page)
National Register



HISTORIC CHARLESTON FOUNDATION
HURRICANE HUGO DAMAGE ASSESSMENT FORM

Date of Survey: 11/21/81

Survey Team:

Members: Arson 2

Video: Reel/Frame

Camera:

Slides: []

B. & W.: []

Name of Property: (if any)

Street Address: 40 Hasell

Tax Map Number: 458-5-1-37

Current Owner:

DESCRIPTION

Principal Building Dependency [] Other []

No. of Stories: Basement [] 1 [] 2 [] 3 [] 4 []

Attic or Half Story []

Material:

Structure: Brick Wood Frame [] Stone [] Metal []
Other []:

Surface Covering: Stucco [] Wood Siding [] Other []:

Roof Covering: Slate [] Metal [] Tile [] Asphalt []
Other []: Flat built up

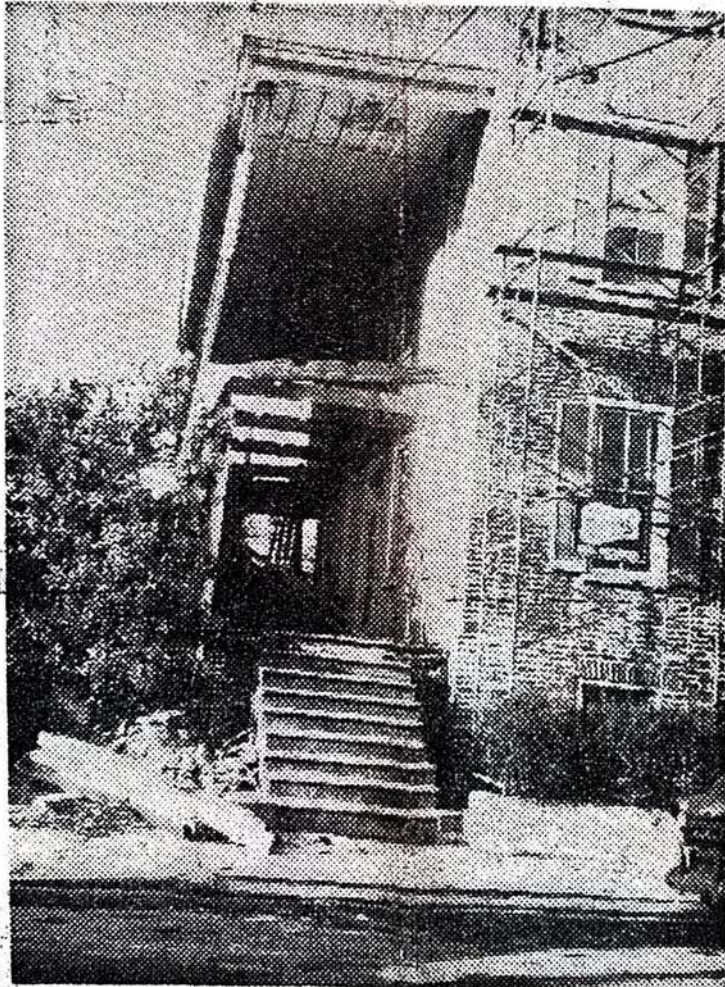
Piazza: Foundation: Brick Stone [] Wood []
Other []:

Main Piazza: Brick Wood Other []:

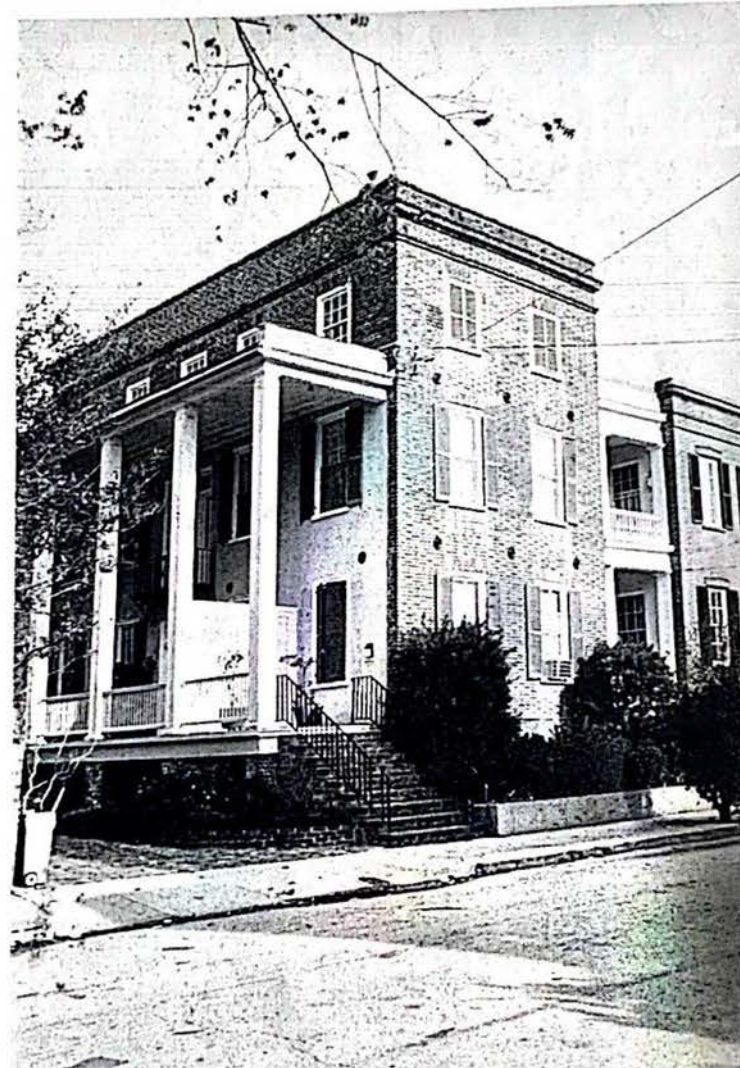
Roof Covering (if different from main building):

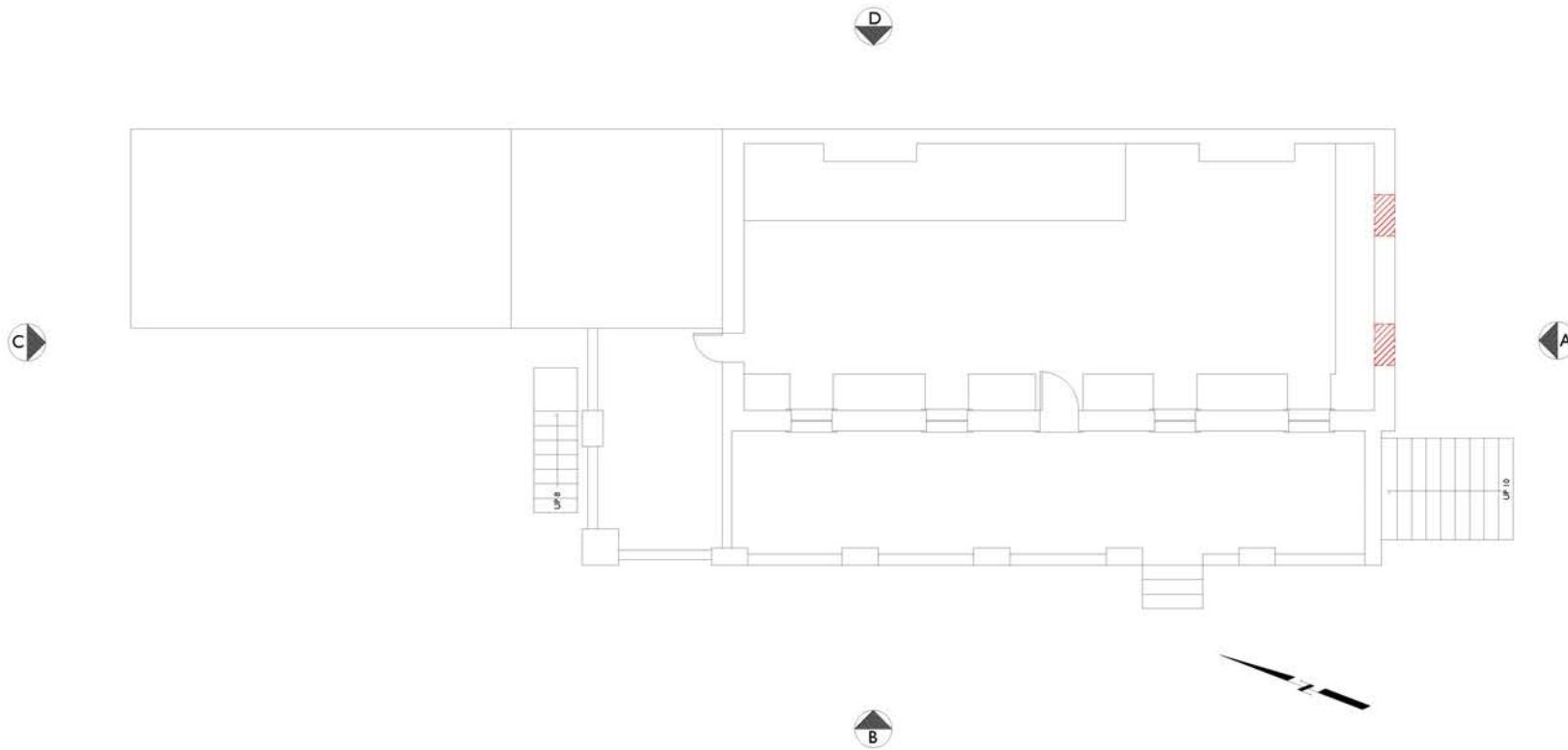
Chimneys: Brick Brick & Stucco [] Stone [] Other []

Comments:



40 Hasell St. Before Restoration



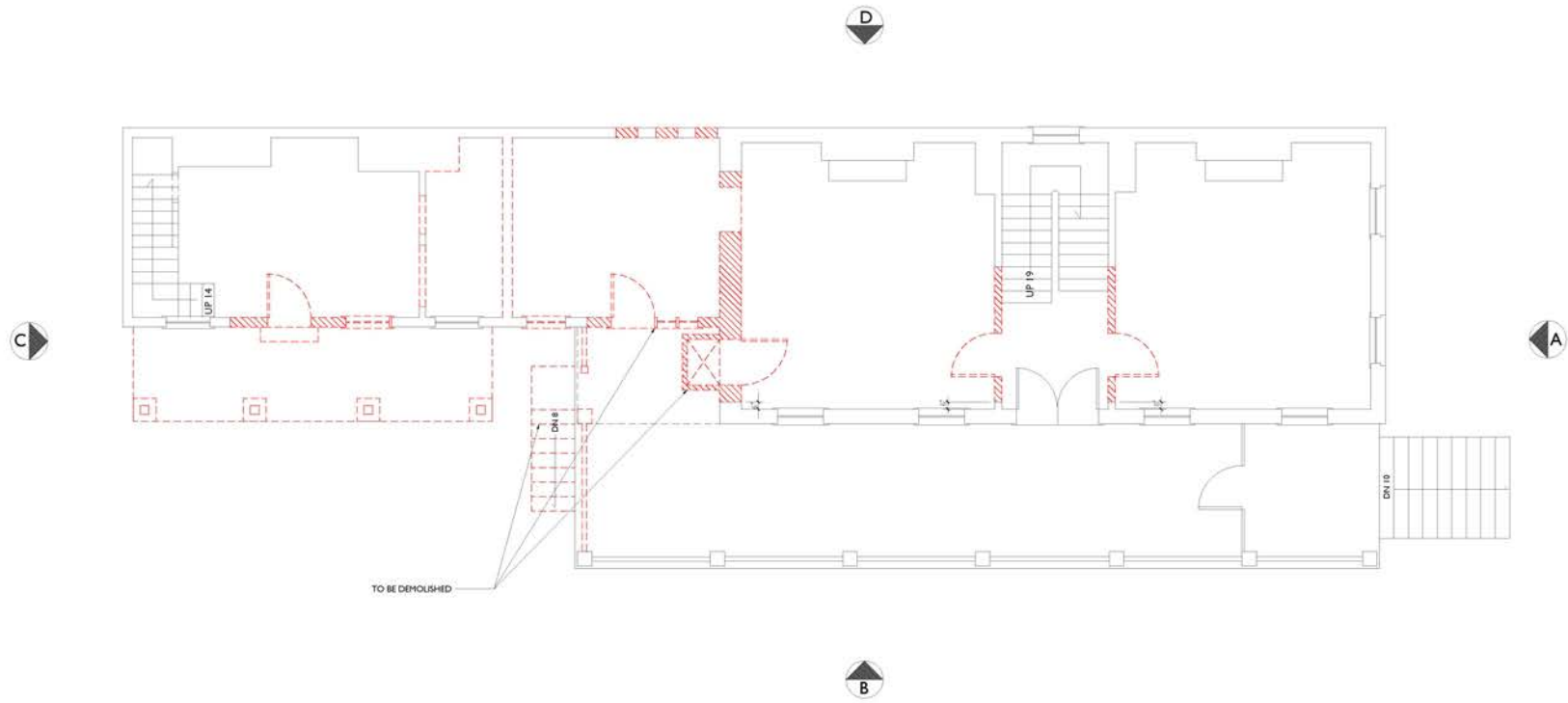


EXISTING FOUNDATION PLAN

scale 1/4"=1'-0"


 TO BE REMOVED



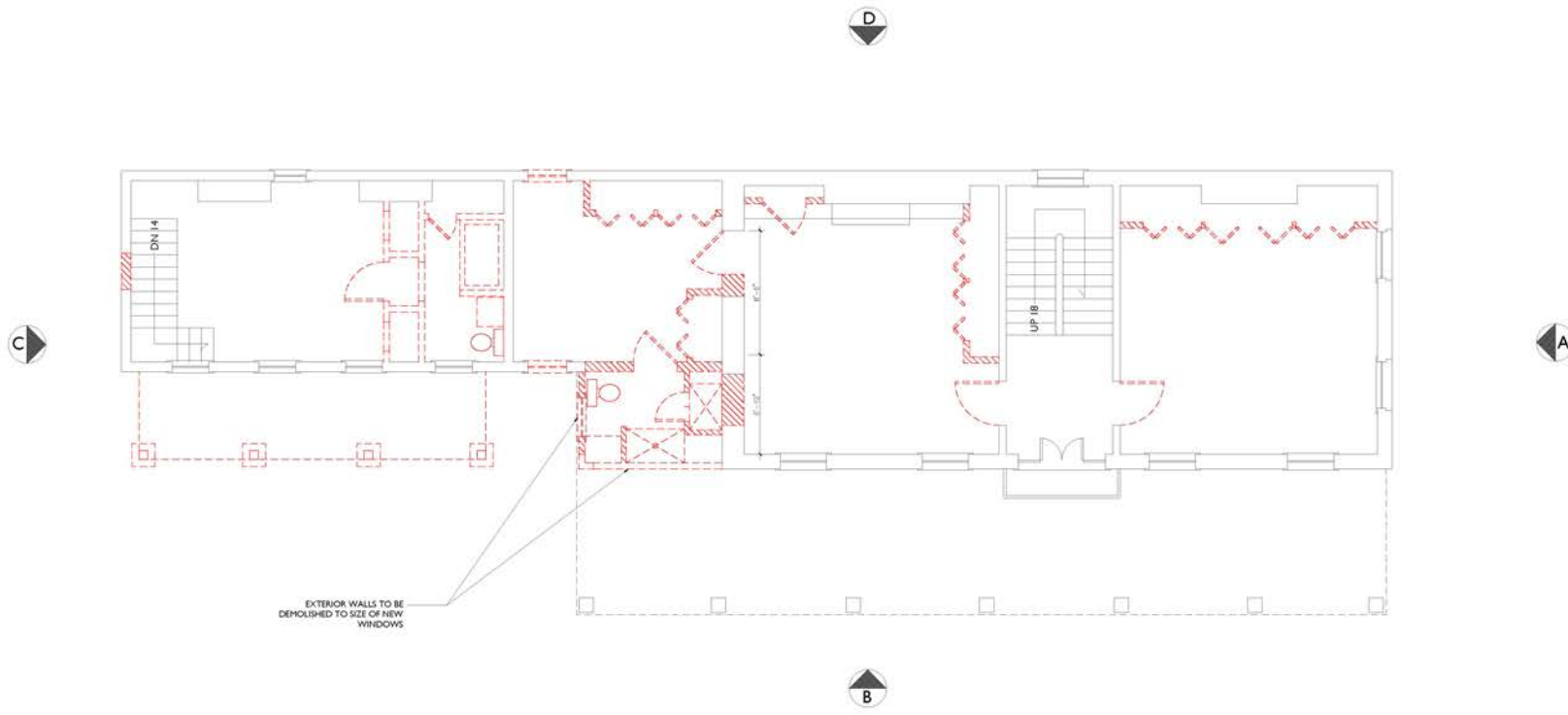


EXISTING FIRST FLOOR PLAN

scale 1/4"=1'-0"

 TO BE REMOVED



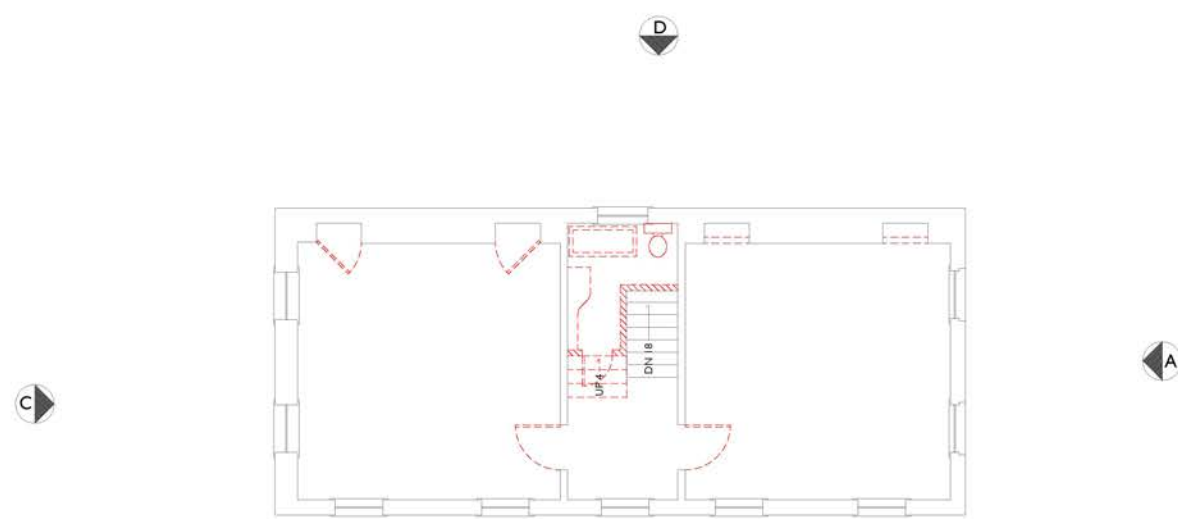


EXISTING SECOND FLOOR PLAN

scale 1/4"=1'-0"

 TO BE REMOVED




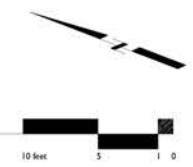


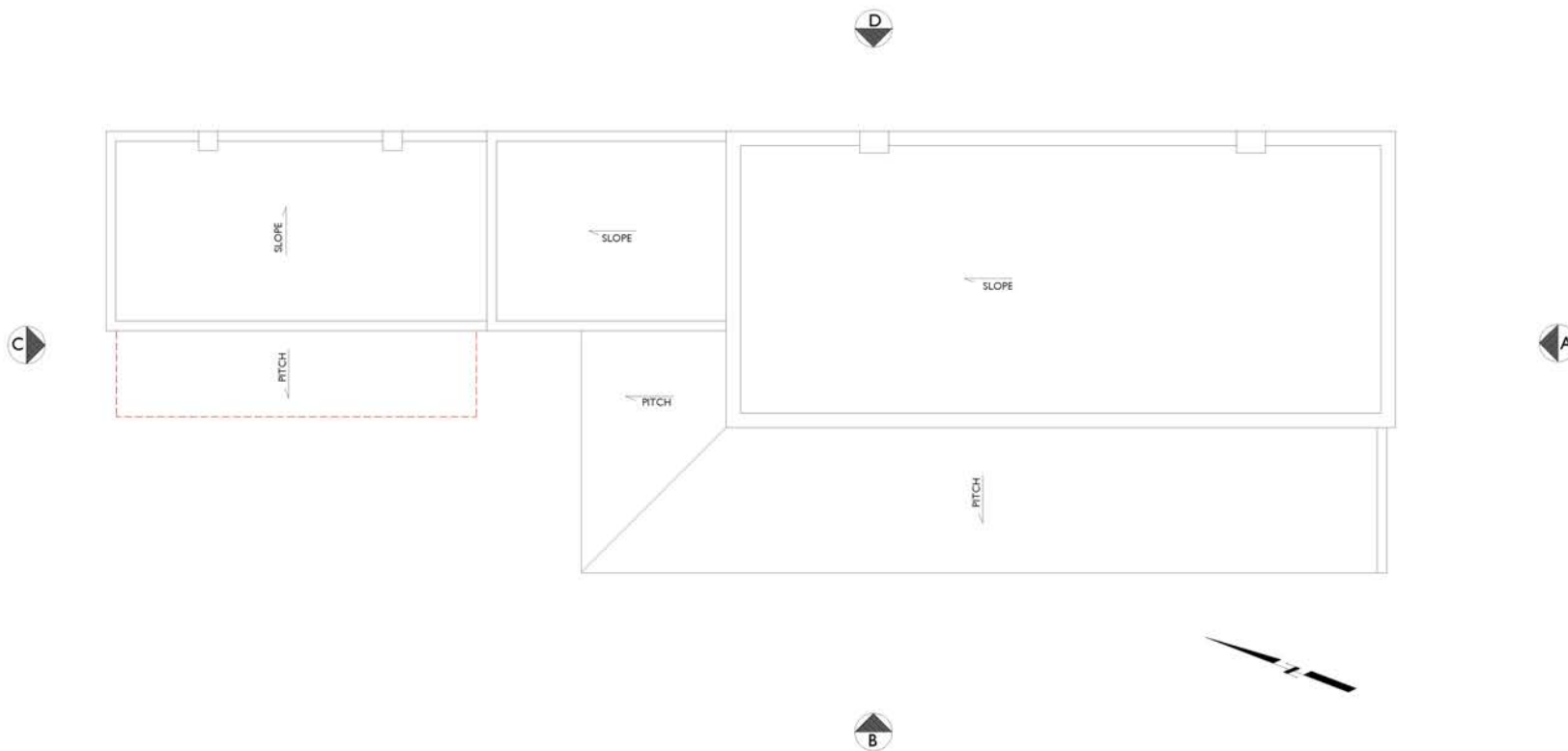
NO EXTERIOR CHANGES TO BE MADE TO THIRD FLOOR

EXISTING THIRD FLOOR PLAN

scale 1/4"=1'-0"


 TO BE REMOVED



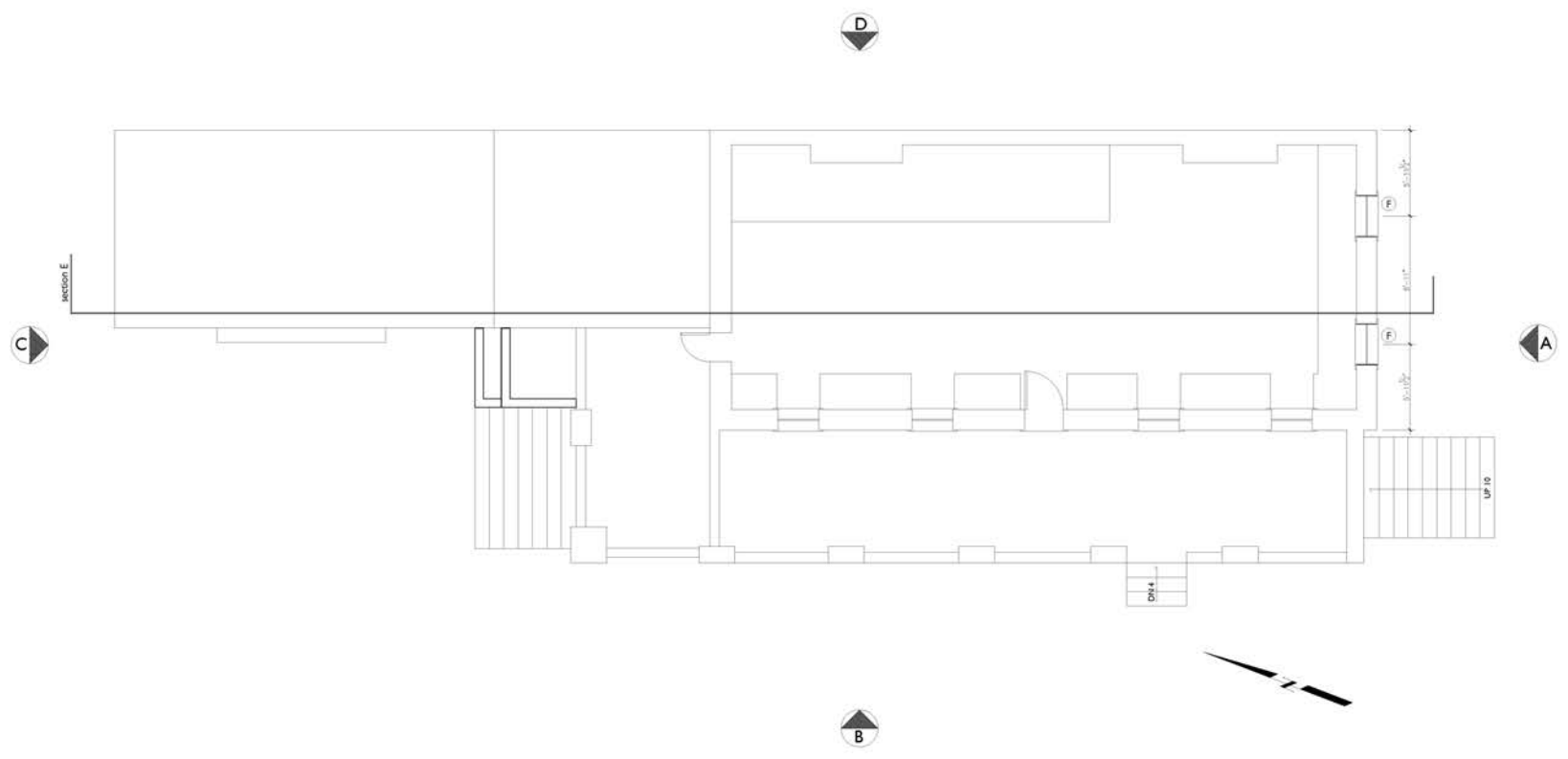


EXISTING ROOF PLAN

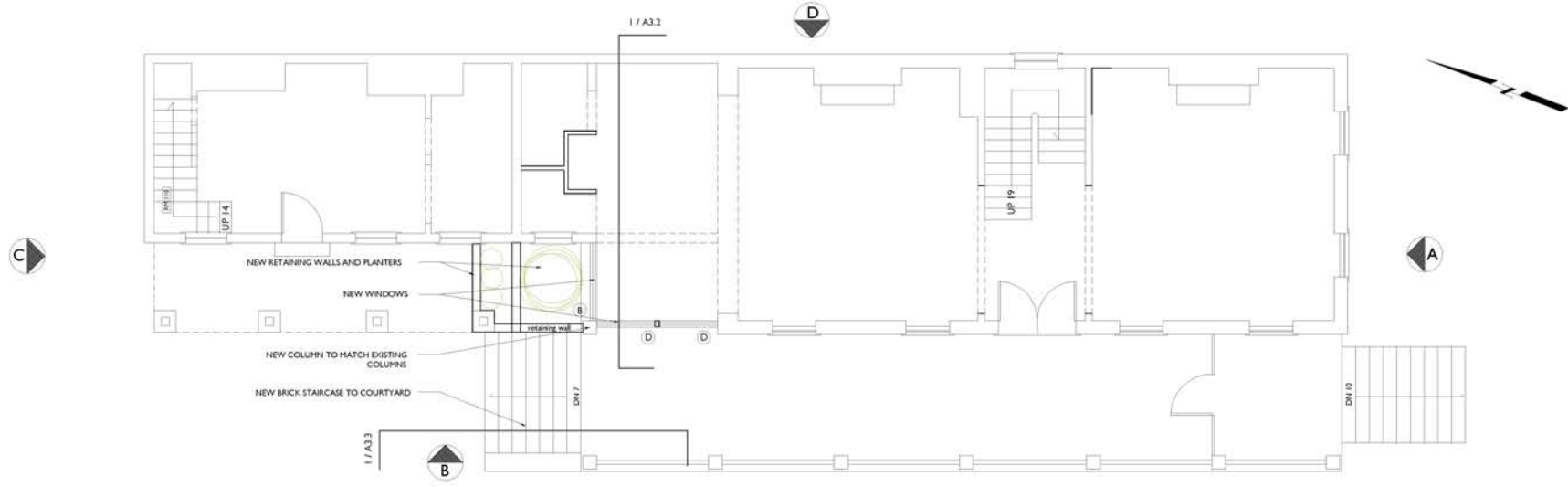
scale 1/4"=1'-0"

 TO BE REMOVED



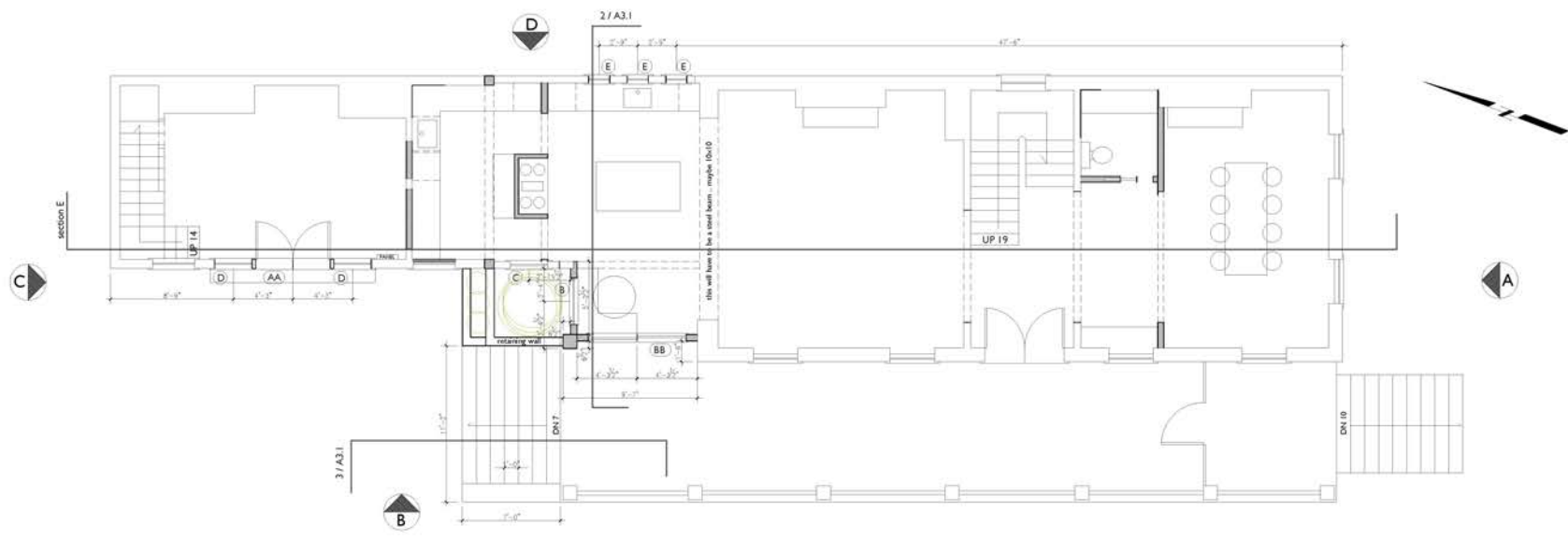


PROPOSED FOUNDATION PLAN
scale 1/4"=1'-0"



PREVIOUS FIRST FLOOR PLAN

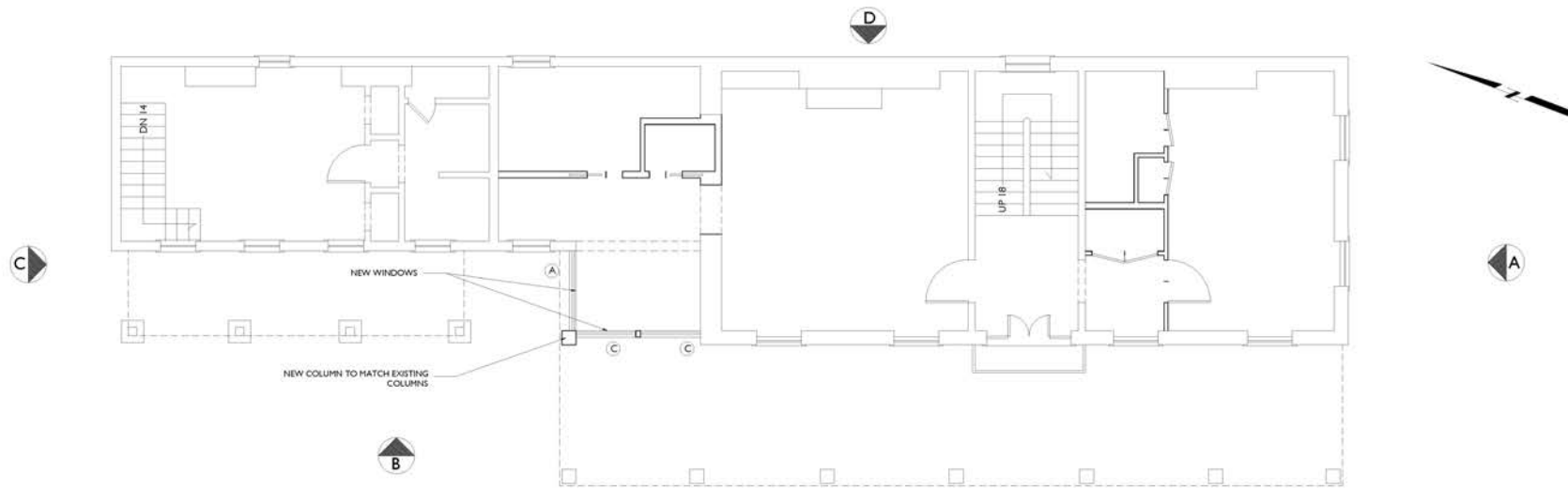
scale 1/4"=1'-0" NEW 2x4 FRAMING
HEATED : 3,376 SF NEW 2x6 FRAMING



PROPOSED FIRST FLOOR PLAN

scale 1/4"=1'-0" NEW 2x4 FRAMING
HEATED : 3,376 SF NEW 2x6 FRAMING

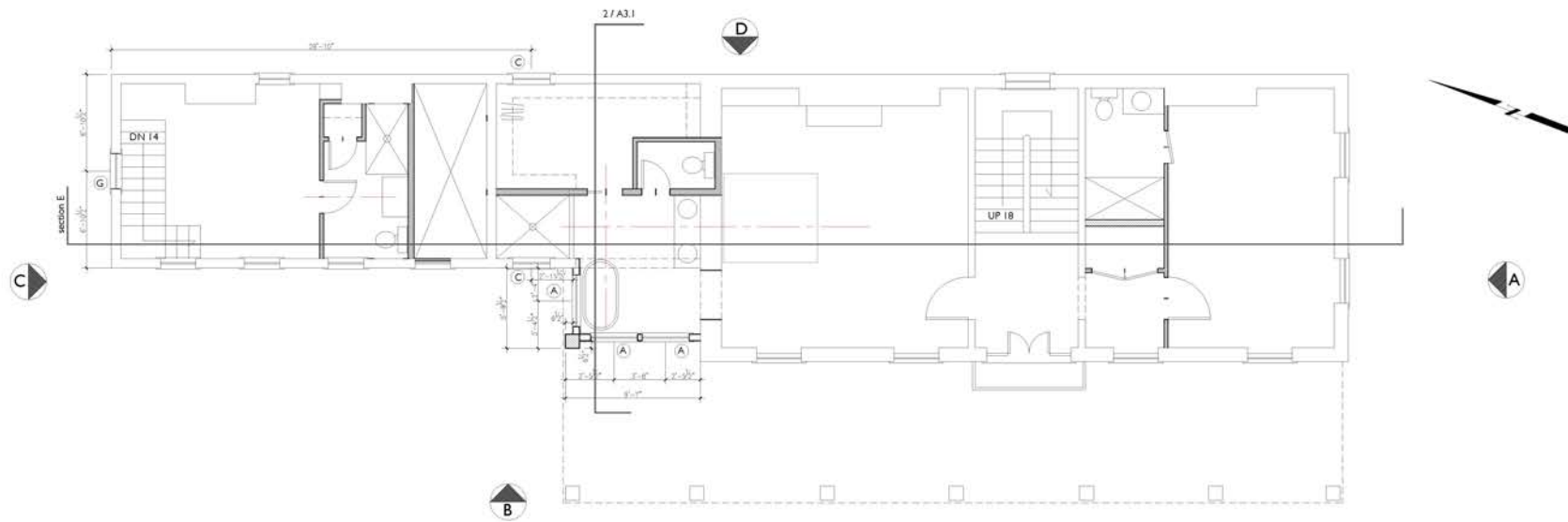




PREVIOUS SECOND FLOOR PLAN

scale 1/4"=1'-0"

- NEW 2x4 FRAMING
- NEW 2x6 FRAMING

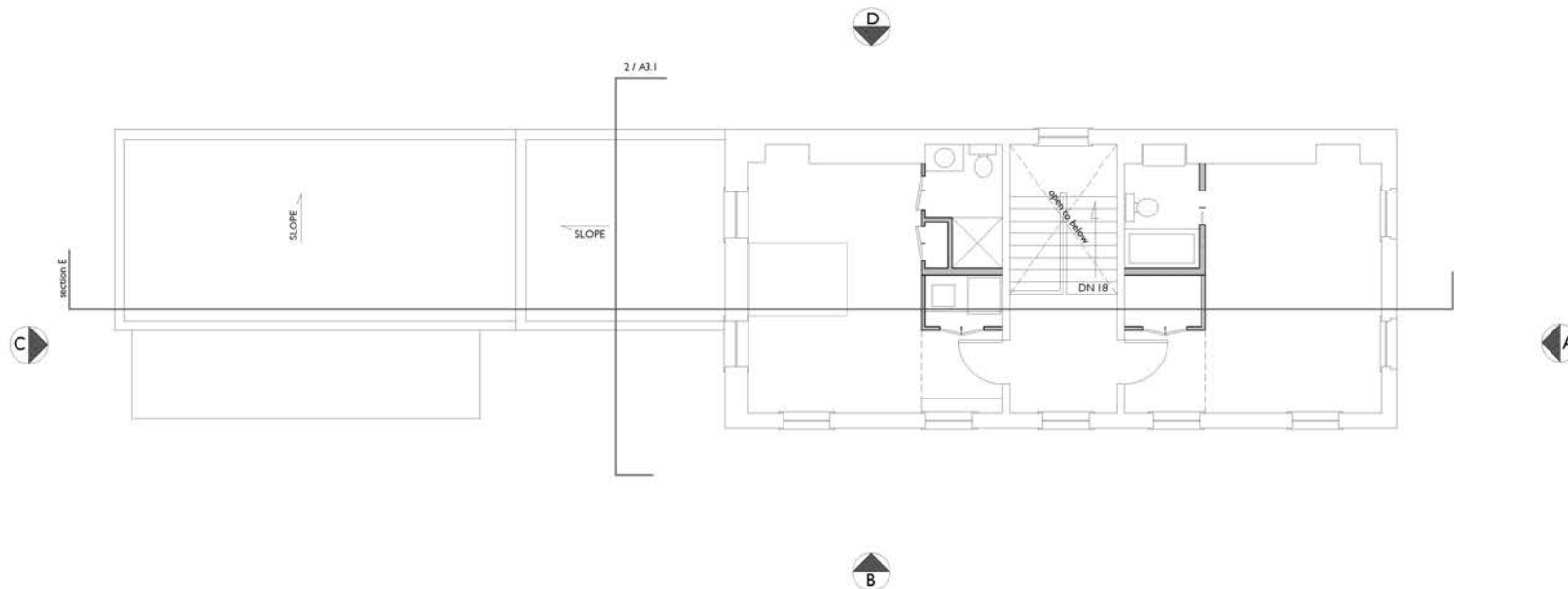


PROPOSED SECOND FLOOR PLAN

scale 1/4"=1'-0"

- NEW 2x4 FRAMING
- NEW 2x6 FRAMING

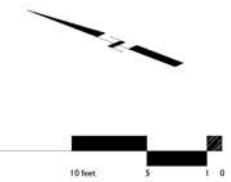


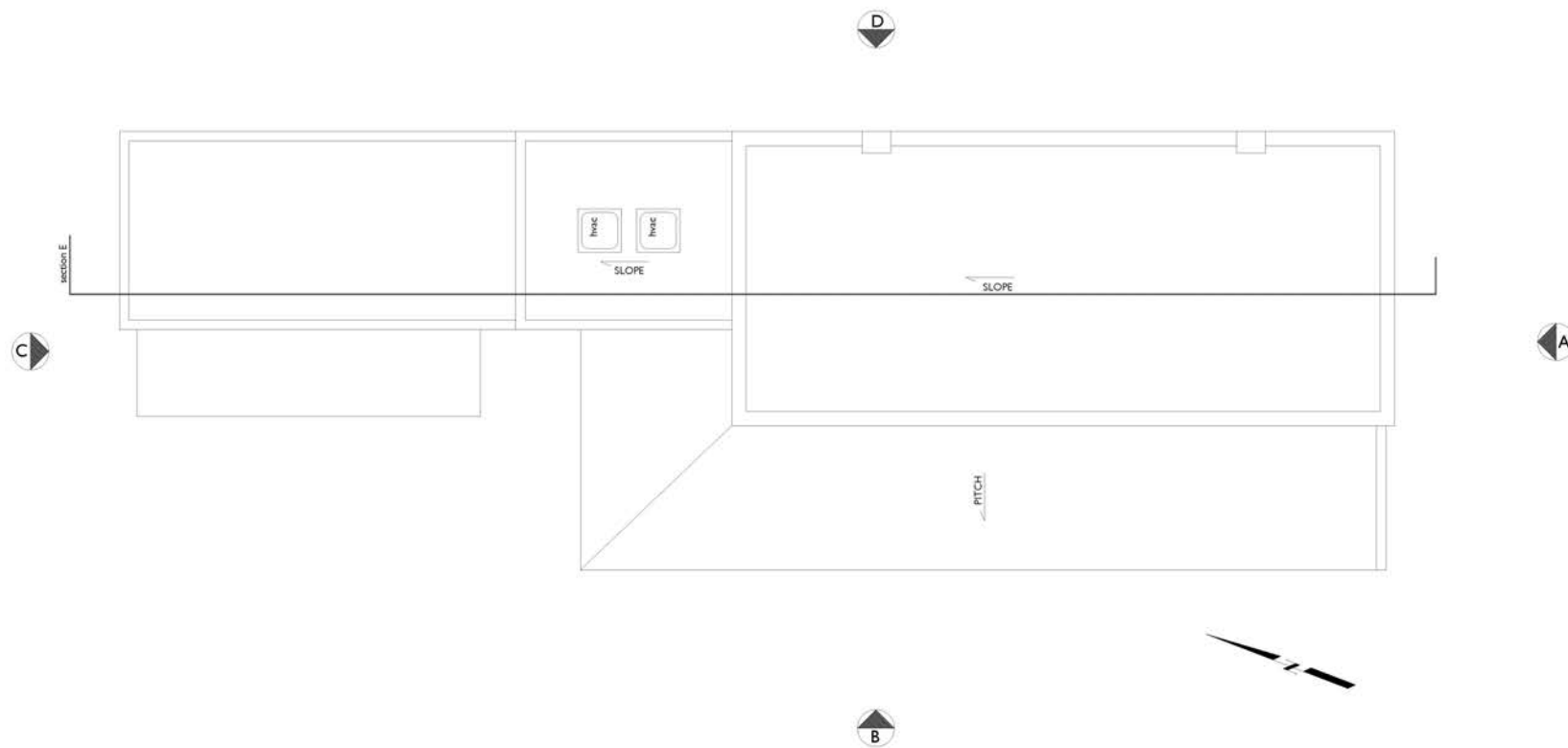


PROPOSED THIRD FLOOR PLAN

scale 1/4"=1'-0"

- NEW 2x4 FRAMING
- NEW 2x6 FRAMING





PROPOSED ROOF PLAN
scale 1/4"=1'-0"





PREVIOUS SOUTH ELEVATION

scale 1/4"=1'-0"





EXISTING SOUTH ELEVATION

scale 1/4"=1'-0"

 TO BE REMOVED



PROPOSED SOUTH ELEVATION

scale 1/4"=1'-0"






EXISTING GUEST HOUSE PORCH PULLING AWAY FROM STRUCTURE



EXISTING WEST ELEVATION

scale 1/4"=1'-0"

 TO BE REMOVED





PREVIOUS WEST ELEVATION

scale 1/4"=1'-0"

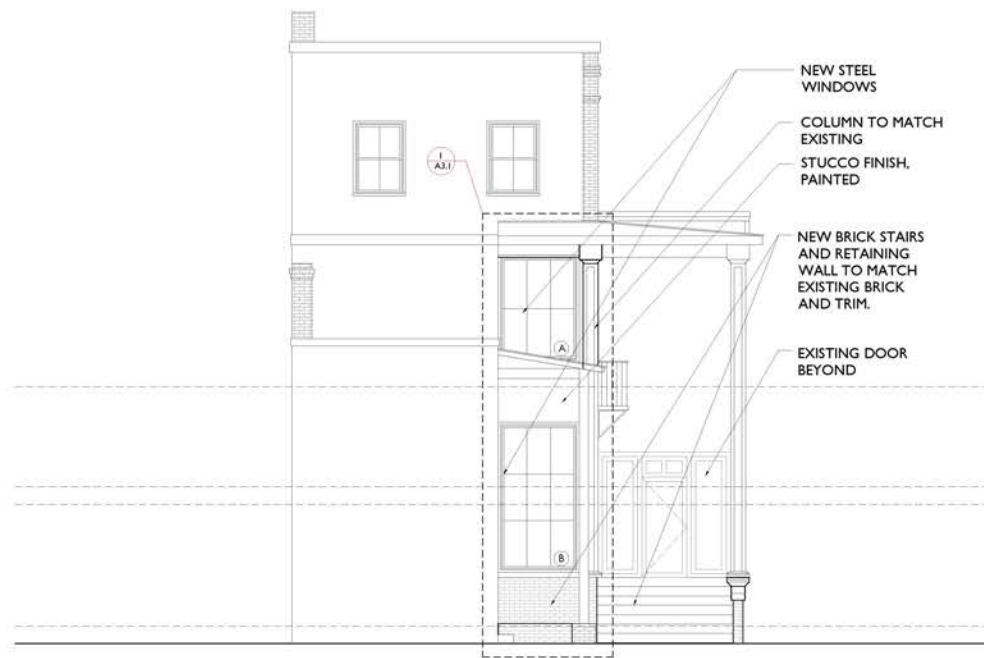




PROPOSED WEST ELEVATION

scale 1/4"=1'-0"

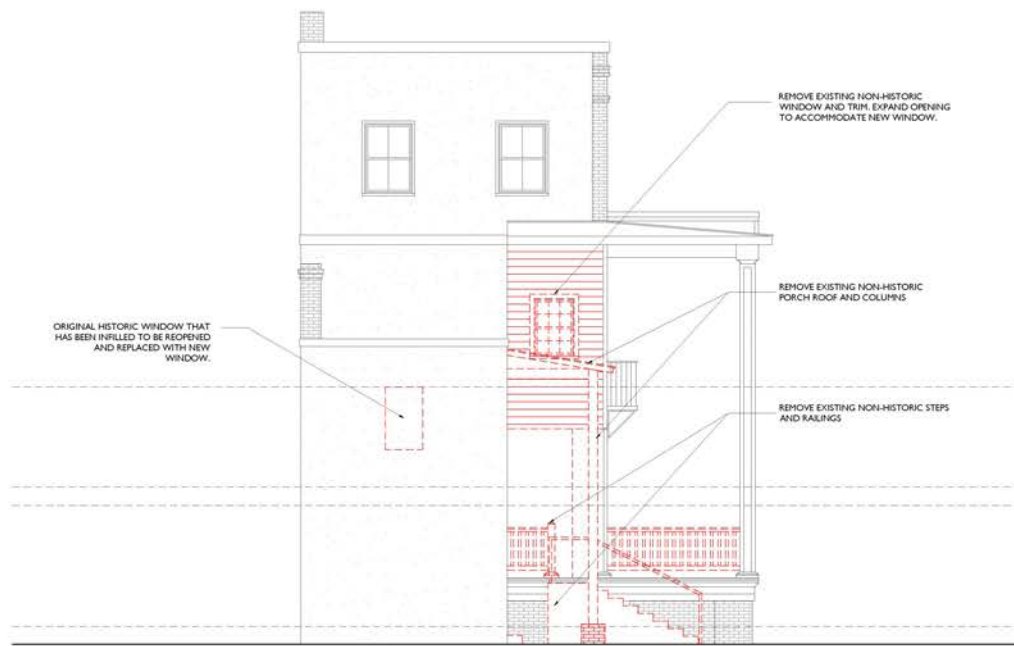




PREVIOUS NORTH ELEVATION


scale 1/4"=1'-0"

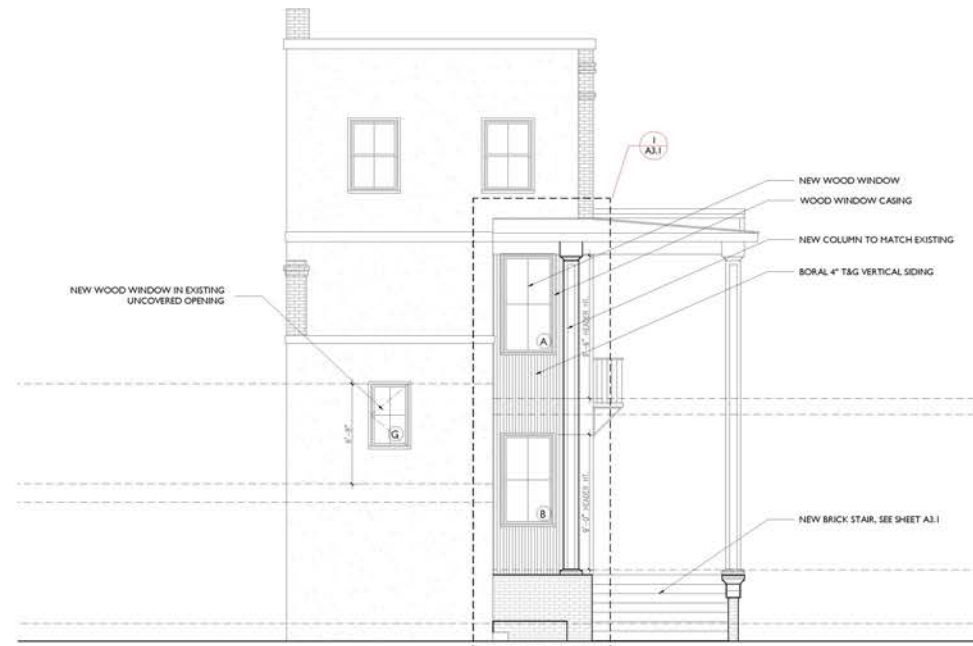




EXISTING NORTH ELEVATION

scale 1/4"=1'-0"

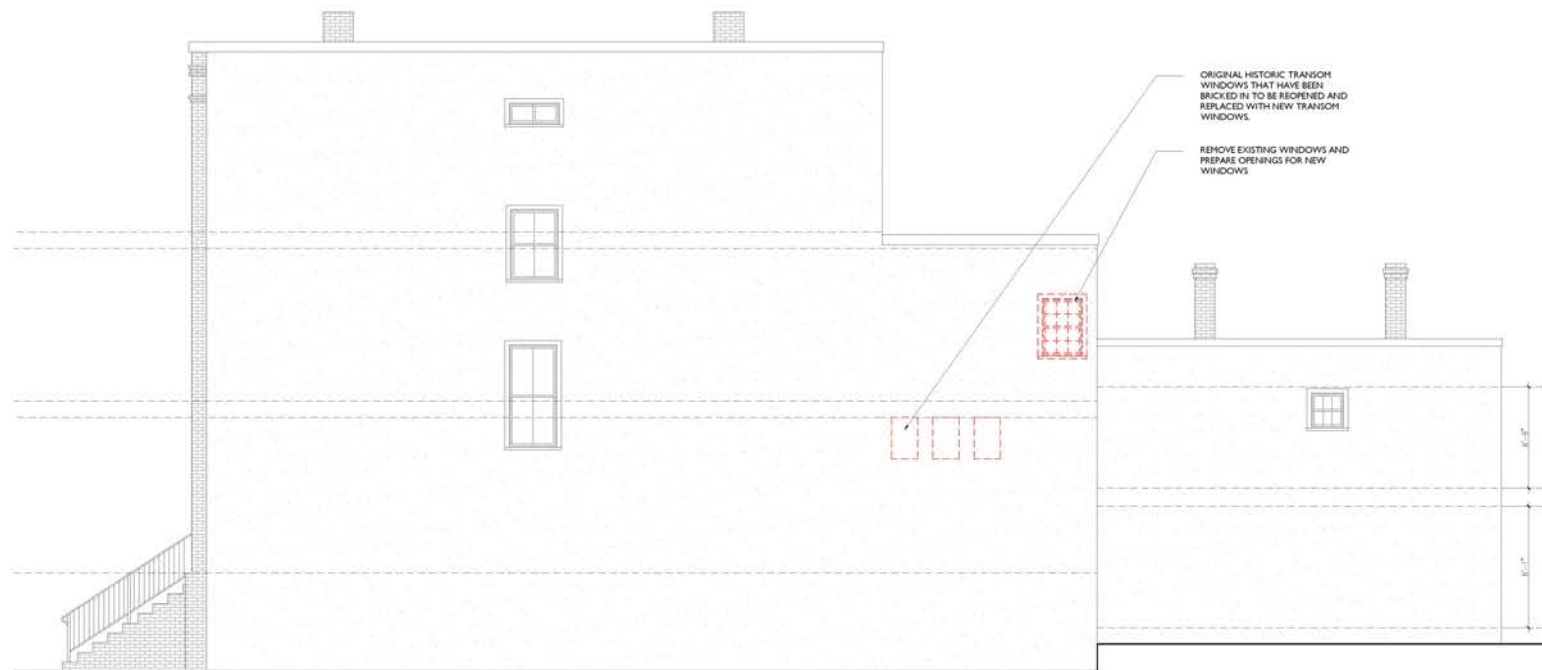
 TO BE REMOVED



PROPOSED NORTH ELEVATION


scale 1/4"=1'-0"





EXISTING EAST ELEVATION

scale 1/4"=1'-0"

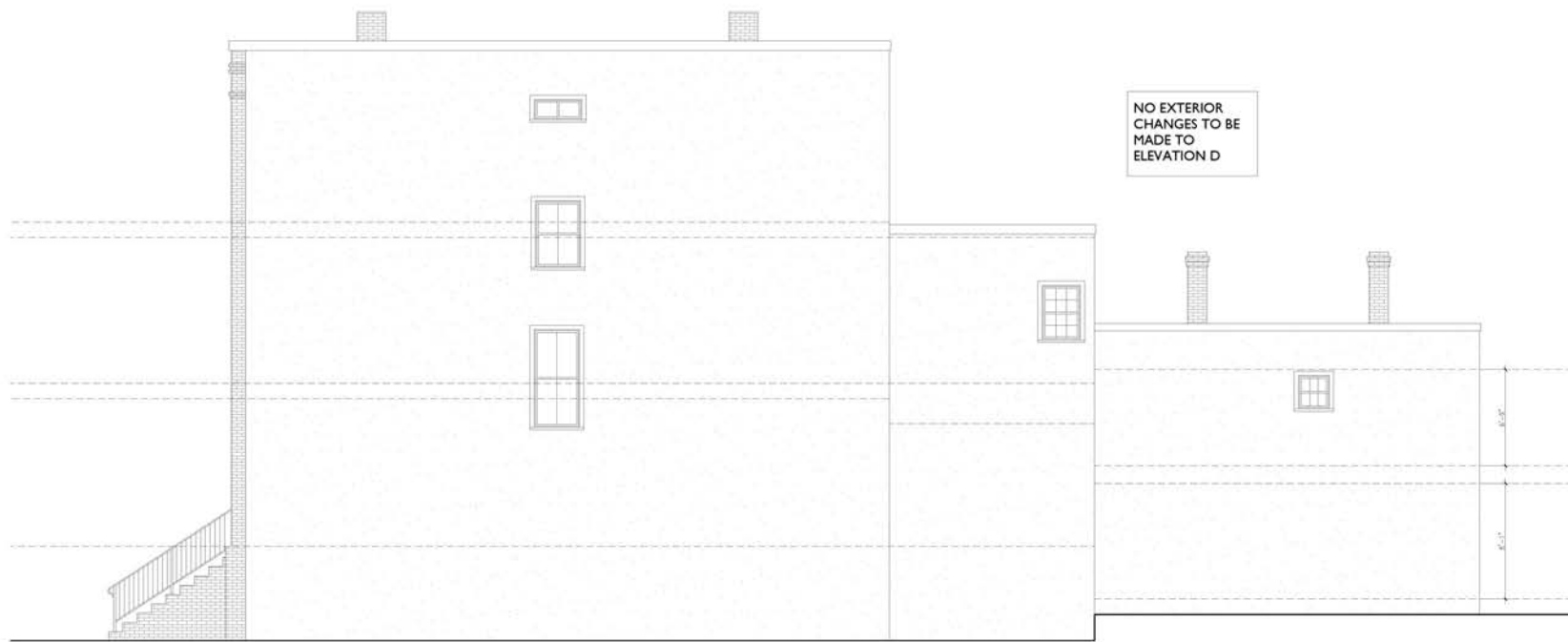
 TO BE REMOVED



EXTERIOR EVIDENCE OF ORIGINAL TRANSOM WINDOWS



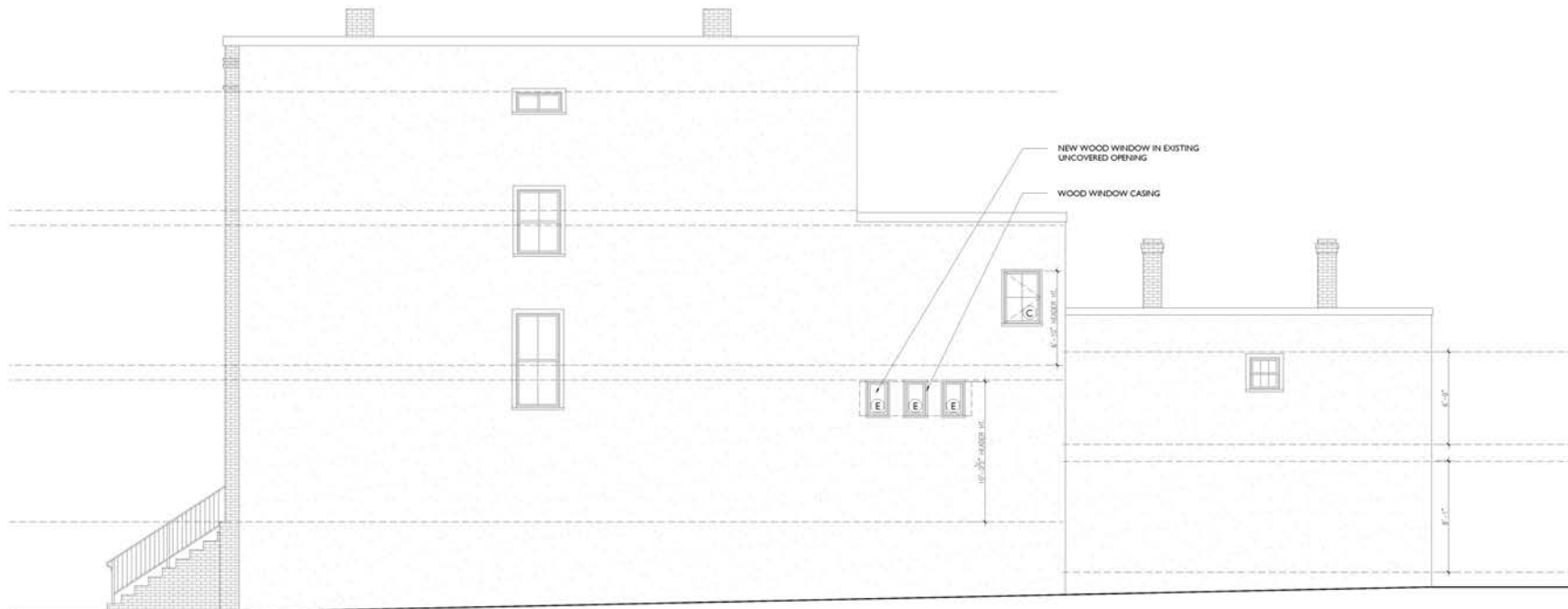
INTERIOR EVIDENCE OF ORIGINAL TRANSOM WINDOWS



PREVIOUS EAST ELEVATION

scale 1/4"=1'-0"

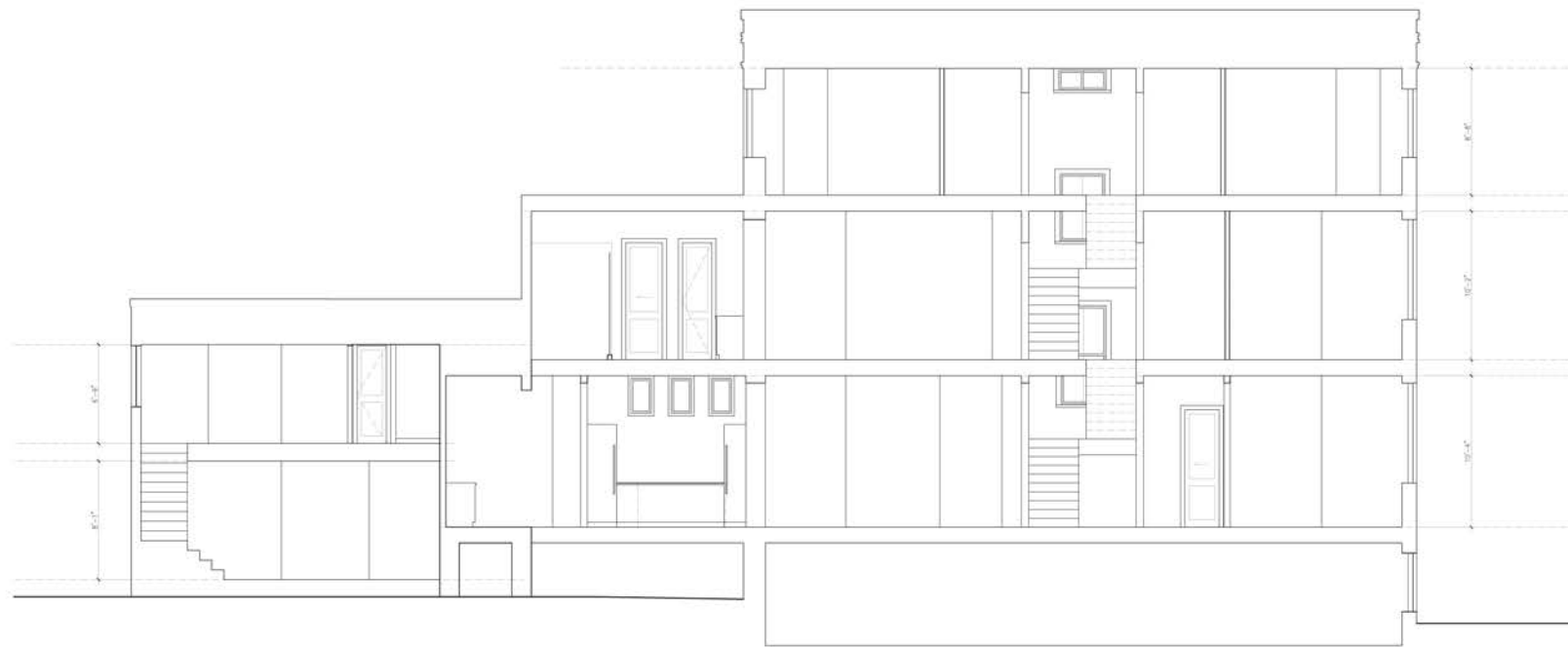




PROPOSED EAST ELEVATION

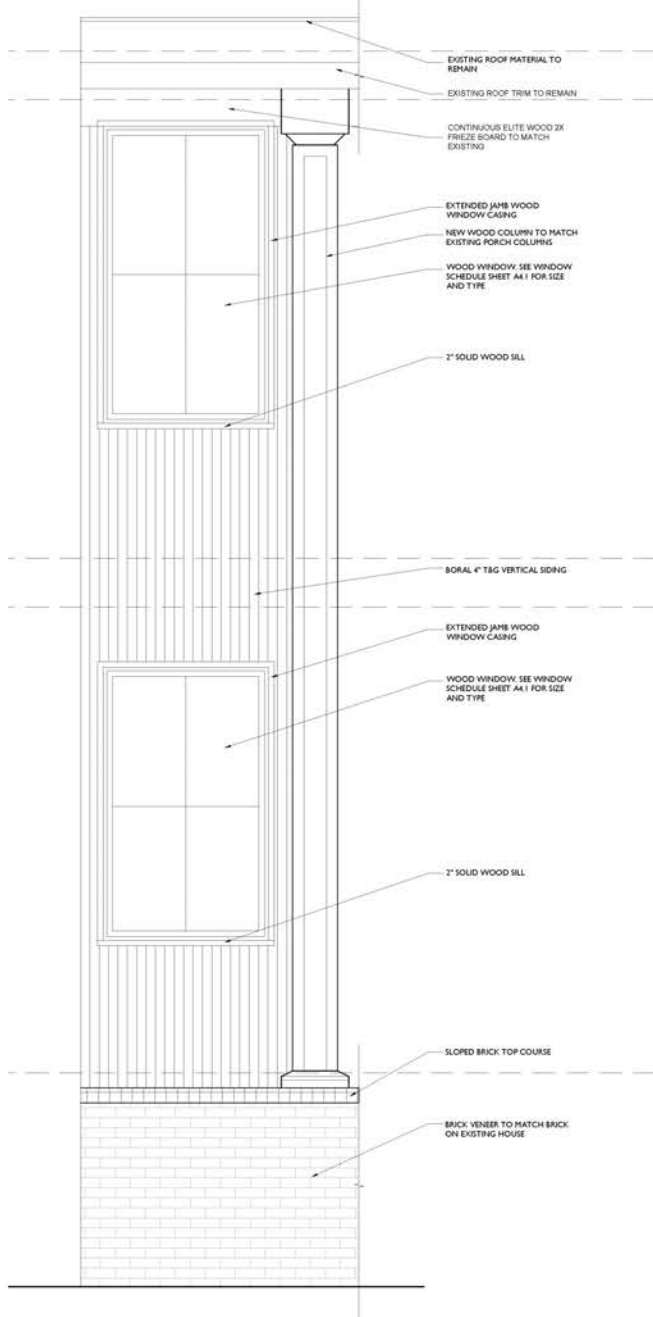
scale 1/4"=1'-0"



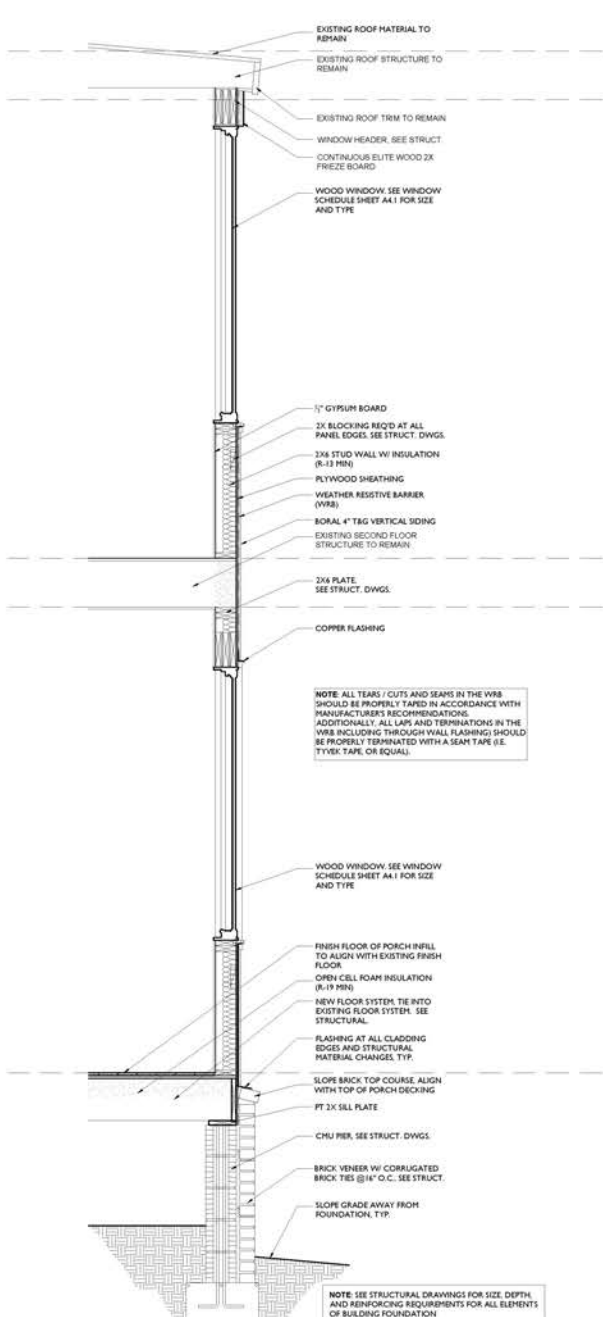


PROPOSED SECTION E
scale 1/4"=1'-0"

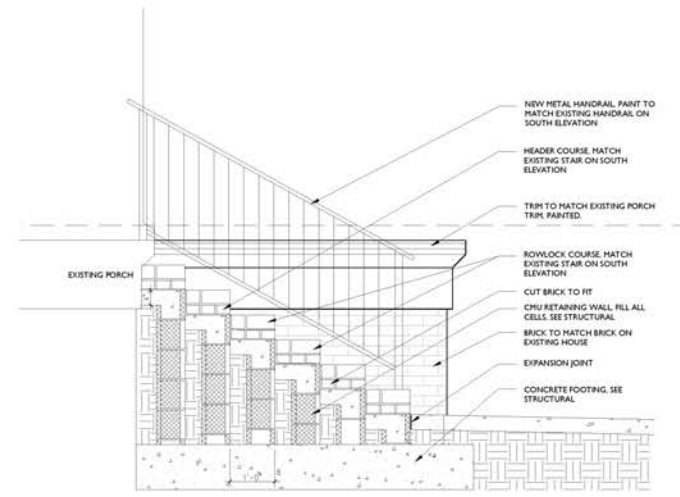




1 TYP. WALL ELEVATION
A3.1 SCALE: 3/4" = 1'-0"



2 TYP. WALL ELEVATION
A3.1 SCALE: 3/4" = 1'-0"

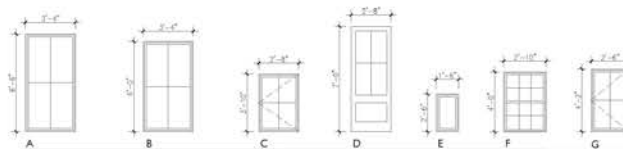


3 REAR STAIR SECTION
A3.1 SCALE: 3/4" = 1'-0"



MARVIN ULTIMATE WOOD WINDOWS AND DOORS WITH 5 / 8" MUNTINGS

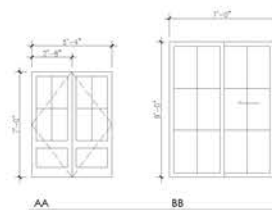
NOTE: ALL WINDOWS AND DOORS TO BE DP50 AND IMPACT RATED GLASS



WINDOWS

	WIDTH	HEIGHT	TYPE	LITES	ROUGH OPENING	NOTES
A	3/4	6/6	FIXED	4	-	-
B	3/4	6/0	FIXED	4	-	-
C	2/8	3/10	CASEMENT	4	-	NEW WINDOW TO FIT EXISTING OPENING. SEE ELEVATION FOR HANDING
D	2/8	3/10	FIXED	4	-	SIDELIGHT
E	1/6	2/6	FIXED	-	-	NEW WINDOW TO FIT EXISTING OPENING. TRANSOM
F	4/0	2/10	DH	-	-	NEW WINDOW TO FIT EXISTING OPENING
G	4/2	2/6	CASEMENT	4	-	NEW WINDOW TO FIT EXISTING OPENING. SEE ELEVATION FOR HANDING

NOTE: G.C. TO VERIFY ALL WINDOW WIDTH AND HEIGHTS PRIOR TO ORDERING

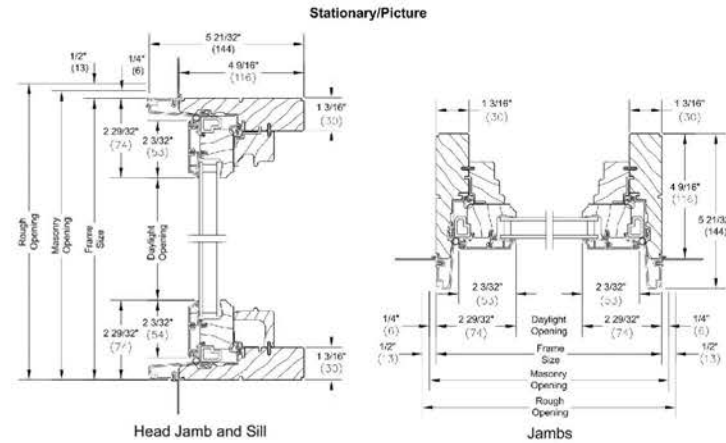
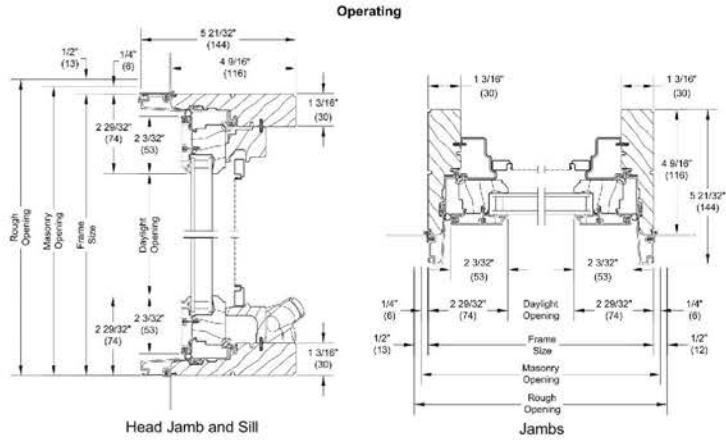


EXTERIOR DOORS

	WIDTH	HEIGHT	TYPE	LITES	ROUGH OPENING	NOTES
AA	(2) 2/8	7/0	FRENCH	4	-	
BB	(2) 3/8	9/0	SLIDER	6	-	

Section Details: Operating/Stationary/Picture - 3/4" (19) IG

Scale: 3" = 1' 0"



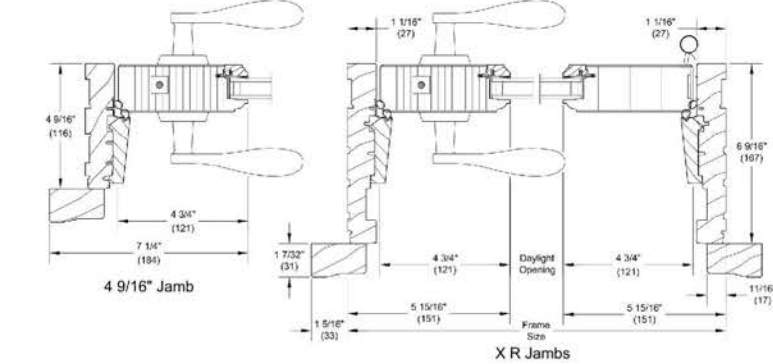
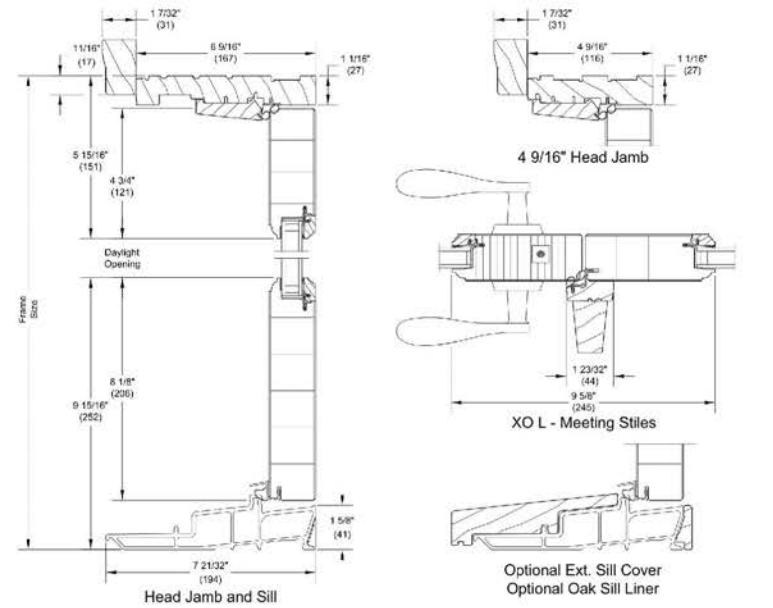
Ver 2019.3 2019-06-24

UCAUCANF-33

19972255
Marvin Architectural Detail Manual

Inswing Section Details: Operating

Scale: 3" = 1' 0"



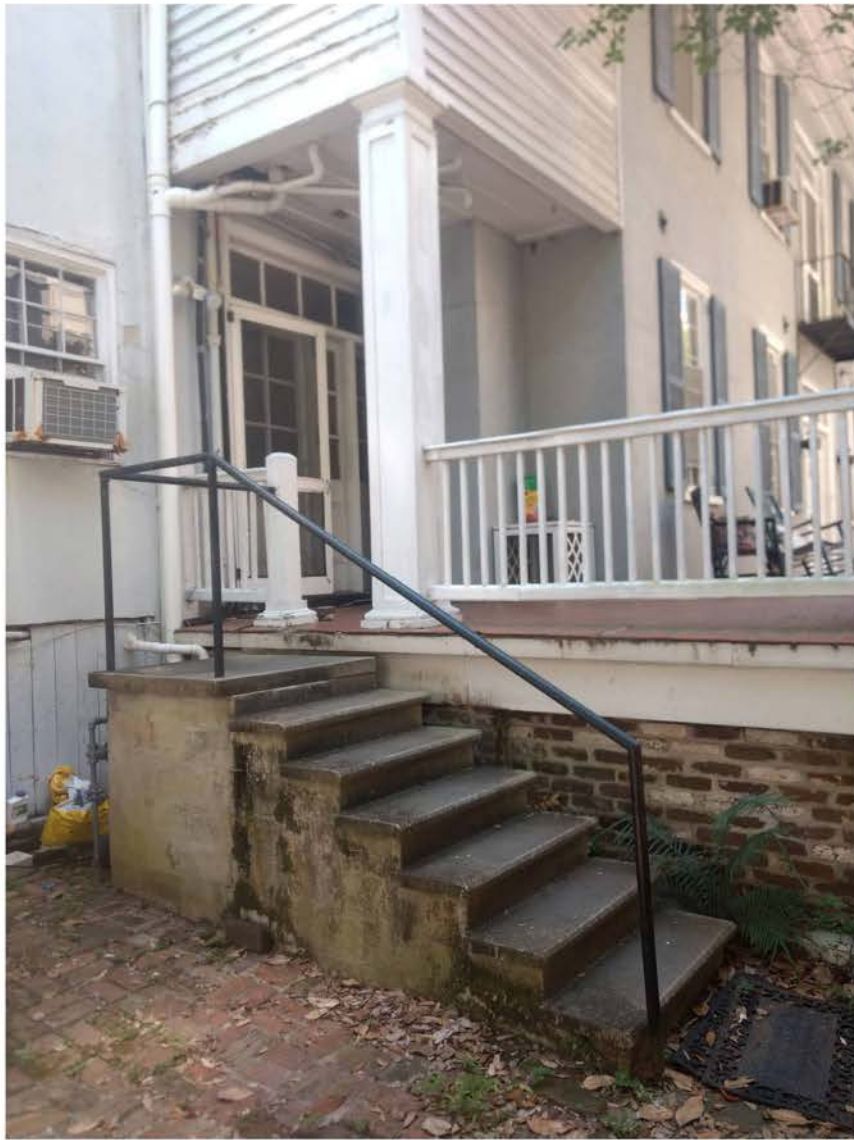
Ver 2019.3 2019-07-29

UWIFD UWOFD-12

19972255
Marvin Signature Collection
Architectural Detail Manual



BAR-S 09.12.19













Agenda Item 13:

283 East Bay / 27 Hasell Street

Requesting conceptual approval for the alteration of windows and doors in an existing piazza enclosure.

Category 2 / Ansonborough / circa 1840 / Old and Historic District

APPLICANT
PRESENTATION



The Sullivan Residence
 283 East Bay Street
 Charleston, SC



• ASSOCIATES

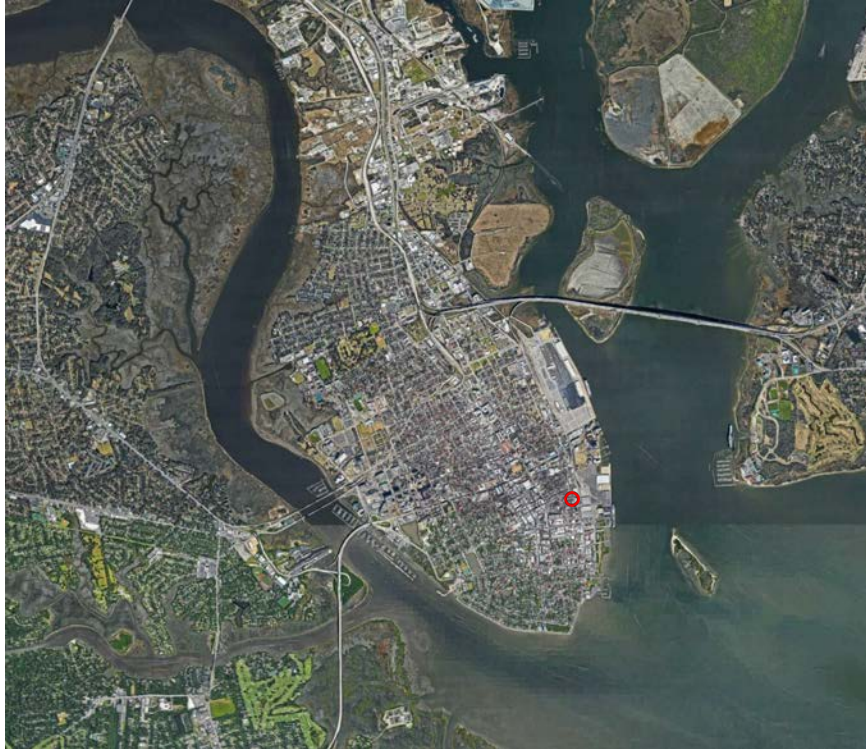
P.O. Box 21871 - Charleston, SC - 29413
 Phone: 843.805.6700 Fax: 843.805.6709

Zoning and Site Information		
Category	Answer	Initials
Municipality	Charleston	MP
Zoning Designation	LB Residential	MP
Flood Zone	AE	MP
Freeboard Amount	+1'	MP
B.F.E.	(EL 15')	MP
Average Adjacent Grade	9.18'	MP
Height Restriction from Grade		
Height Restriction from Freeboard		
First Floor Height Restriction		
Front Setback	None	MP
Side Setback #1	3'	MP
Side Setback #2	9'	MP
Rear Setback	3'	MP
Additional Setbacks	None	MP
OCRM Critical Line Setback	N/A	MP
Specialty Zoning Restrictions	N/A	MP
Stepping Back	N/A	MP
View Corridor	N/A	MP
Stair Setback Relief	N/A	MP
Any Easements		
Landscape Zoning Requirements	N/A	MP
Off Street Parking Spaces Required		
Guest Parking Required		
Lot Area	3,273 SF (.075 Acres)	
Lot Area High Ground	N/A	MP
Lot Area Marsh	N/A	MP
OCRM Sign off Required - Y/N	No	MP
Lot Coverage Allowed	50%	MP
Impervious Coverage	N/A	
What's included		
Pervious Coverage	N/A	
What's included		
Soils Test Performed	No	MP
Zoning Variance Required?	Yes	MP
Special Exception Required?	Yes	MP
BAR Approval Required?	Yes	MP
Building Code Information		
Category	Answer	Initials
Applicable Code	IRC 2015	MP
Project Designation	---	
Historic Status?	Yes	MP
ICM Form 700000 Required?	---	
Encroachment Easement	No	MP
Will the building be sprinkled?	---	
Wind Zone (Structural Engineer)	---	
Seismic Zone (Structural Engineer)	---	

Index of Drawings - BAR Documents											
She et #.	Drawing	Date	She et #.	Drawing	Date	She et #.	Drawing	Date	She et #.	Drawing	Date
	A001	Aerial Views			8/28/19	A100	Floor Plans - Existing and Proposed	8/28/19			
	A002	Sanborn Maps			8/28/19	A101	Roof Plan - Existing and Proposed	8/28/19			
	Survey	Survey / Zoning Info			7/23/19						
	A003	Site Plan - Existing Floor Plan			8/28/19	A200	Elevations - Existing and Proposed	8/28/19			
	A004	Site Plan - Proposed Floor Plan			8/28/19	A201	3D Views - Existing and Proposed	8/28/19			
	A005	Photos			8/28/19	A202	3D Views - Proposed Street Views	8/28/19			
	A006	Photos			8/28/19						
	A007	Photos			8/28/19						

General Notes:

- All work shall be conducted in accordance with national, state, and local codes. Contractors shall acquire and purchase all licenses, fees and required permits. Contractors shall supply all materials, tools, labor and transportation required to complete job.
- All materials, workmanship, and equipment installed shall be guaranteed by the General Contractor for a minimum of one year from the Architect's issue of the certificate of substantial completion. All sub-contractors shall provide warranties to the Owner (in addition to the general contractor's guarantee) to return to the site as required to correct problems related to their portion of work for a period of one year from the Architect's issue of the certificate of substantial completion.
- Contractor to verify all dimensions in the field prior to any construction, fabrication, or order of materials. Notify Architect of any discrepancies.
- Contractor shall be responsible for provision of any blocking, barricades, or any miscellaneous structures required to complete job.
- General Contractor shall be responsible for the coordination of the work schedule and all trades, sub-contractor, and material suppliers for the duration of the completed job. All sub-contractors shall review the drawing package and coordinate their work around other trades with the General Contractor. The drawings shall serve as the outline of the general scope of work. The intent of the drawing package is for a completed project in all respects.
- Any discrepancies between drawing package and the shop drawings, product literature or samples with the actual site conditions shall be reported to the Architect, material suppliers, and affected sub-contractors by the General Contractor. The General Contractor shall be responsible for the inspection and supervision of all work to complete job.
- Treat all areas involved in construction for termite. Provide bond which is renewable at Owners



REVISIONS

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DESIGNED BY: .
 CHECKED BY: .
 DRAWN BY: M.P.

- PRELIMINARY
- BID
- PERMIT
- CONSTRUCTION



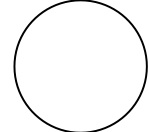
3582 Maybank Highway
 Johns Island, South Carolina 29454
 Phone: 843.805.6700

Sullivan Residence
 Charleston, SC

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SEAL:

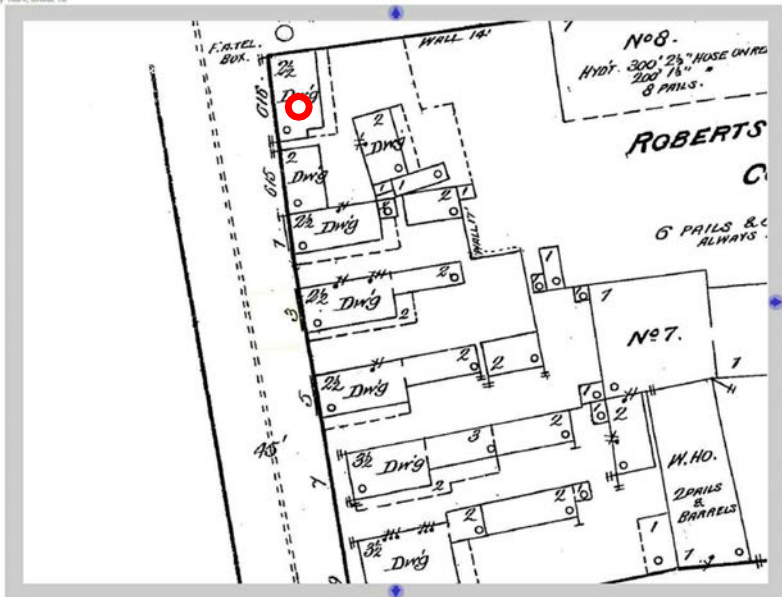


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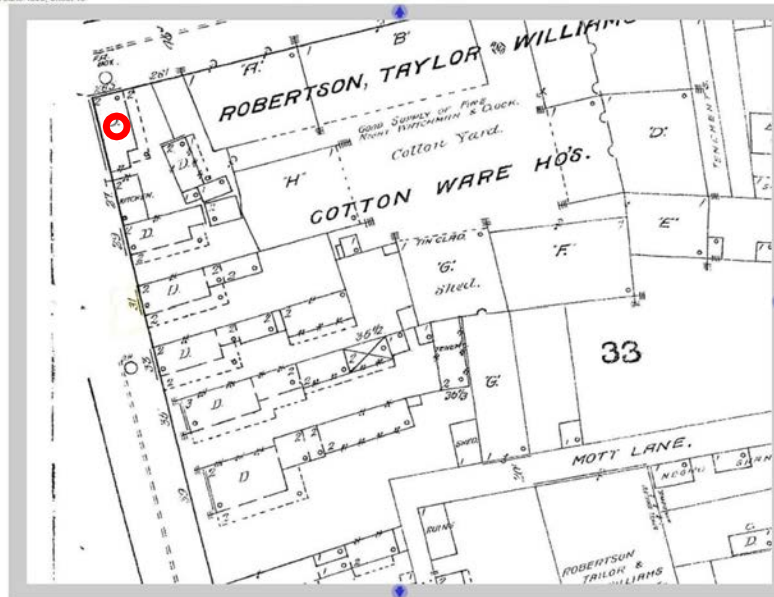
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 PROJECT NO.: _____
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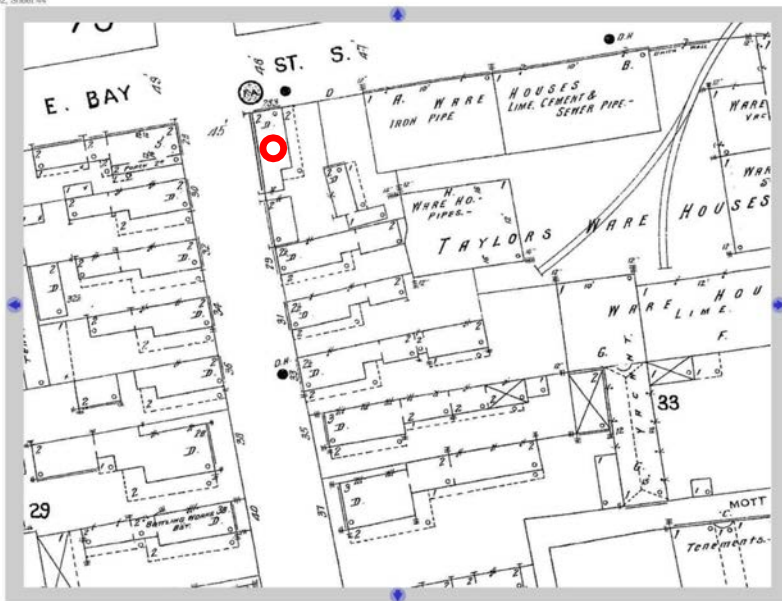
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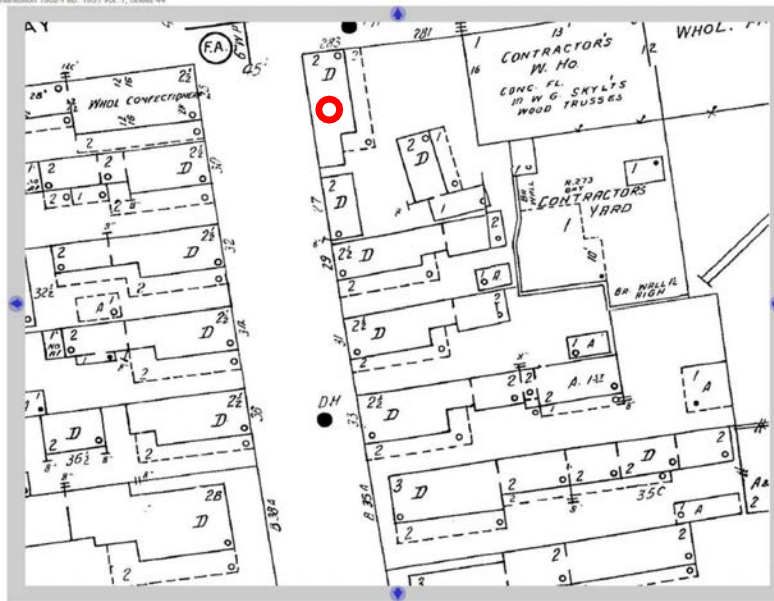
May 1884 - Sanborn Map



June 1888 - Sanborn Map



1902 - Sanborn Map



1902 - Sanborn Map

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CHECKED BY:
DRAWN BY: M.P.

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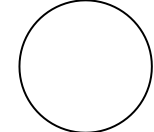
3582 Maybank Highway
Johns Island, South Carolina 29454
Phone: 843.805.6700

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Charleston, SC

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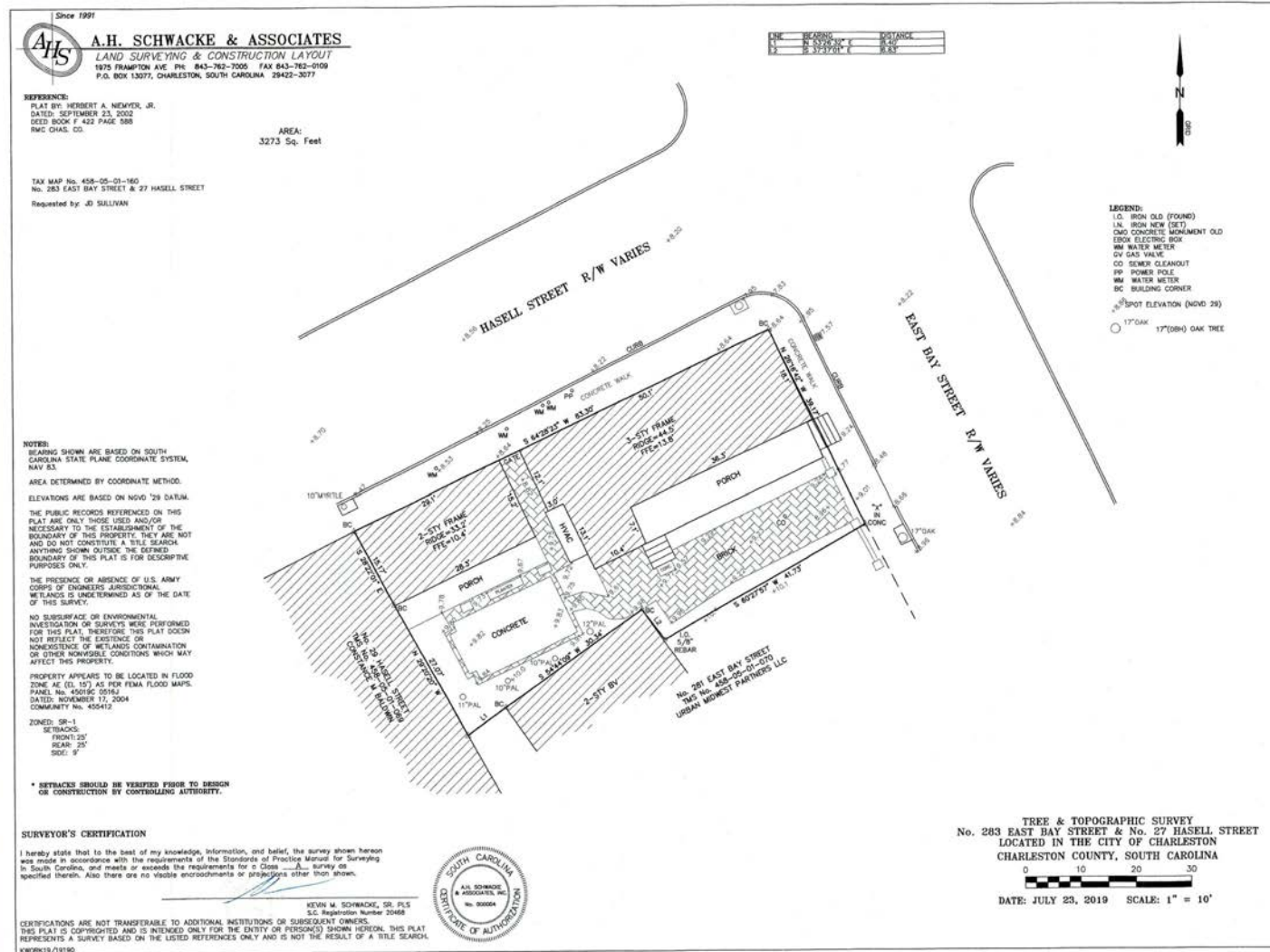
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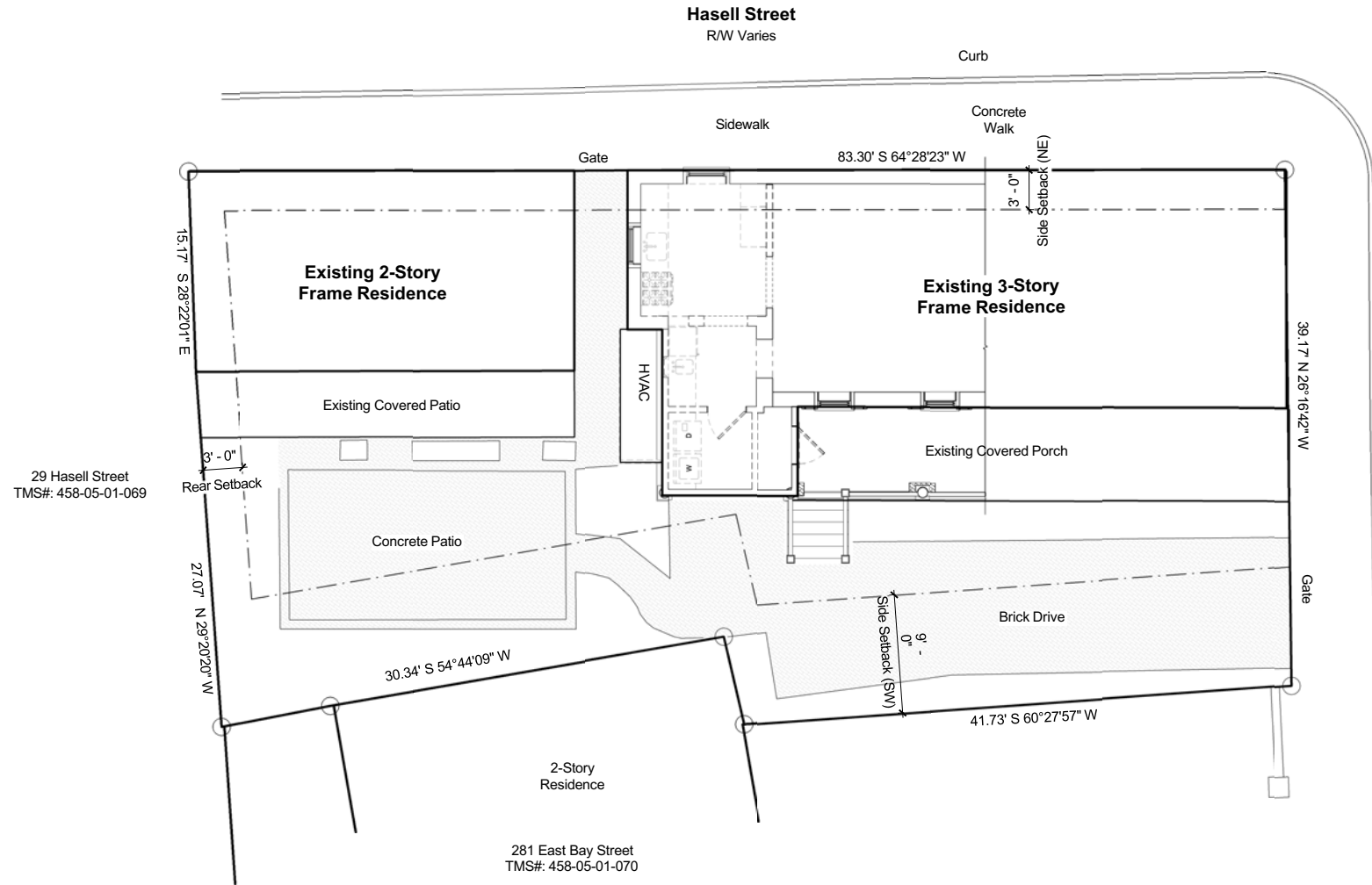
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SCALE:
PROJECT NO.:
DATE: 8/30/2019 12:16:31
PM

Zone District Designation	Front and Rear ^{10/17} Setback Minimum Depths			Side Setbacks- Minimum Widths			Minimum Lot ¹³ Area per Family in square Feet-Type Dwelling Unit			Maximum ⁷ Percent of Lot Occupied by Buildings	Max Height Limits ⁵ Structures	Max. Height Limits ¹⁴ Fences/ Walls
	Total	Front	Rear	Total	South/ West	North/ East	1-Fam.	2-Fam.	Multi-Fam.			
LB 171021 Residential	3'	NR	3'	15'	9'	3'	4,000	3,000	2,250	50%	55'	NA

Per Zoning Ordinance of Charleston, South Carolina Sec. 54-301. - Height, Area, and Setback Regulations





29 Hasell Street
TMS#: 458-05-01-069

281 East Bay Street
TMS#: 458-05-01-070

1
A003
Site Plan - Existing
1/4" = 1'-0"

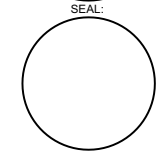
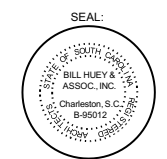
Heated Square Footage	
Existing Primary Building:	2,238 S.F.
Proposed Addition:	24 S.F.
Proposed Primary Building Heated SF:	2,262 S.F.
Proposed Primary Building:	2,262 S.F.
Existing Back Building:	852 S.F.
Total Proposed Heated SF:	3,114 S.F.

- REVISIONS
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- DESIGNED BY: B.H.
CHECKED BY:
DRAWN BY: M.P.
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+ ASSOCIATES

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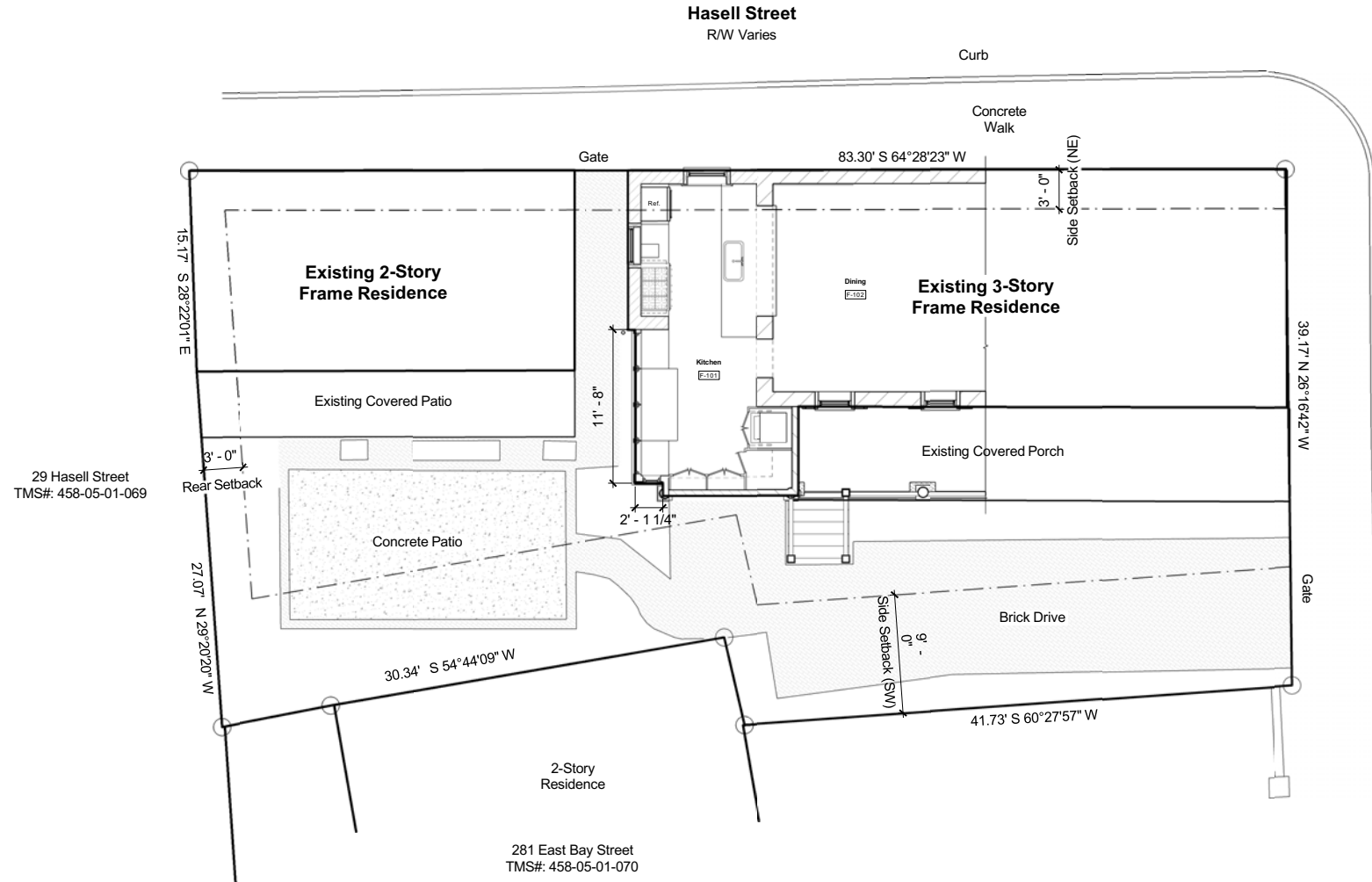
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SHEET:
A003

SCALE: 1/4" = 1'-0"
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1
A004
Site Plan - Proposed
1/4" = 1'-0"

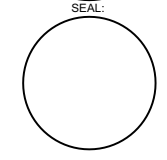
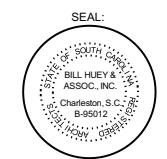
Heated Square Footage	
Existing Primary Building:	2,238 S.F.
Proposed Addition:	24 S.F.
Proposed Primary Building Heated SF:	2,262 S.F.
Existing Back Building:	892 S.F.
Total Proposed Heated SF:	3,114 S.F.

- REVISIONS
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- DESIGNED BY: B.H.
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SHEET:
A004

SCALE: 1/4" = 1'-0"
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View from East Bay Street looking north-east towards (south) side facade.



View from East Bay Street looking east towards (south) side facade.



View from Hasell Street looking south towards NE corner of primary building and area of kitchen addition.

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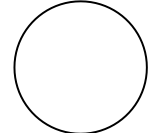
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A005

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View from courtyard looking east towards rear (west) facade.



View from courtyard looking east towards rear (west) facade.



View from courtyard looking north towards rear (west) facade and Hasell Street.

REVISIONS

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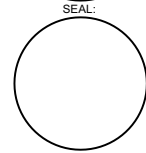
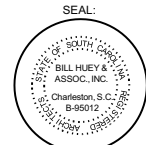
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A006

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 PROJECT NO.: _____
 DATE: 8/30/2019 12:16:25 PM



View from courtyard looking north towards Hasell Street.



View from courtyard looking north towards SW corner of primary building and area of proposed addition.



View from side yard looking north towards (south) side facade and area of proposed door and staircase.

REVISIONS



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 CHECKED BY: .
 DRAWN BY: M.P.

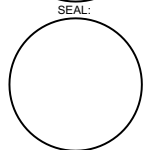
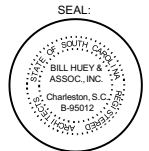
- PRELIMINARY
- BID
- PERMIT
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 Phone: 843.805.6700

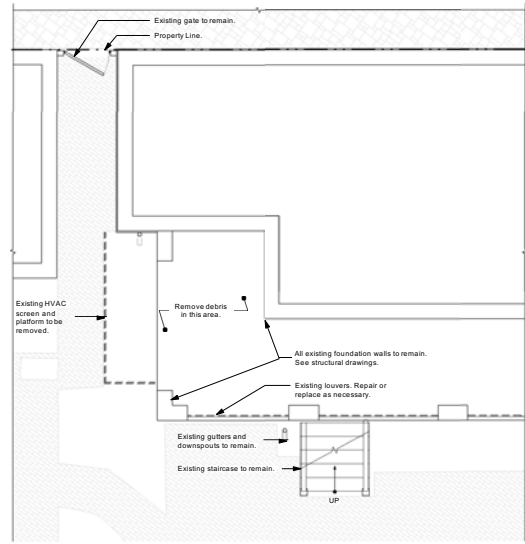
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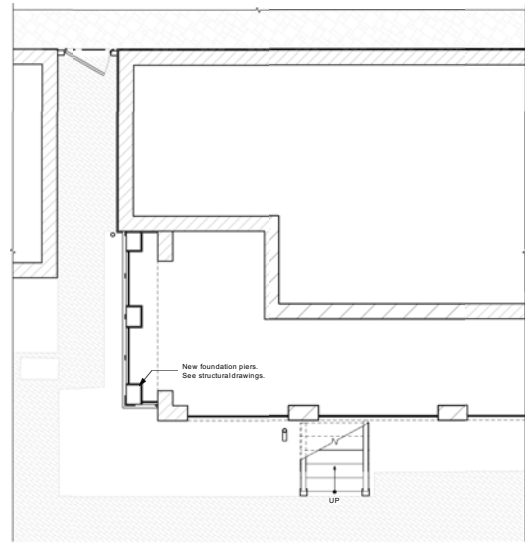
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 PROJECT NO.: _____
 DATE: 8/30/2019 12:16:24 PM



Demolition / Reuse Notes:

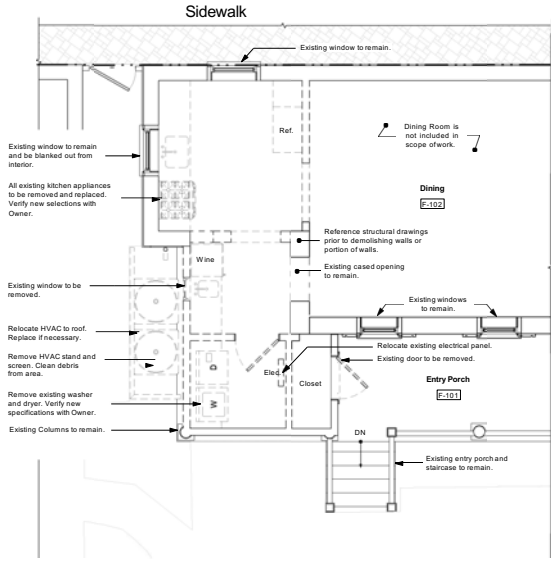
1. If there is a question about the extent of demolition, please verify with Owner or Architect.
2. All partition walls and finishes, doors, trim, etc. indicated with dashed lines are to be removed and properly disposed of (typical).
3. Remove all pipes, wire, conduit, etc. not to remain in service.
4. All hazardous materials are to be properly abated and removed in accordance with EPA and SCDHEC regulations which include the abatement by a licensed abatement contractor, no visible emissions, proper disposal and the use of wet methods.
5. General Contractor to provide temporary shoring as required.
6. General Contractor to provide protection for all floors, finishes, cabinets, columns, etc. that remain in use or services in new design.
7. Verify all conditions with the General Contractor before beginning any demolition.

1 Foundation - Existing/Demo
1/4" = 1'-0"



2 Foundation - Proposed
1/4" = 1'-0"

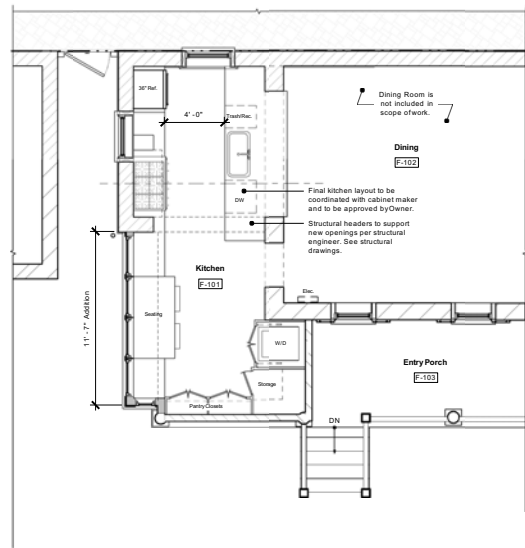
Field Verify dimensions prior to fabrication or ordering of specialty products, materials, cabinets, built-ins, etc.



Demolition / Reuse Notes:

1. If there is a question about the extent of demolition, please verify with Owner or Architect.
2. All partition walls and finishes, doors, trim, etc. indicated with dashed lines are to be removed and properly disposed of (typical).
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5. General Contractor to provide temporary shoring as required.
6. General Contractor to provide protection for all floors, finishes, cabinets, columns, etc. that remain in use or services in new design.
7. Verify all conditions with the General Contractor before beginning any demolition.

3 First Floor Plan - Existing/Demo
1/4" = 1'-0"



4 First Floor Plan - Proposed
1/4" = 1'-0"

Field Verify dimensions prior to fabrication or ordering of specialty products, materials, cabinets, built-ins, etc.

REVISIONS

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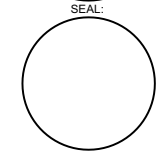
DESIGNED BY: B.H.
CHECKED BY: .
DRAWN BY: M.P.

- PRELIMINARY
- BID
- PERMIT
- CONSTRUCTION



3582 Maybank Highway
Johns Island, South Carolina 29454
Phone: 843.805.6700

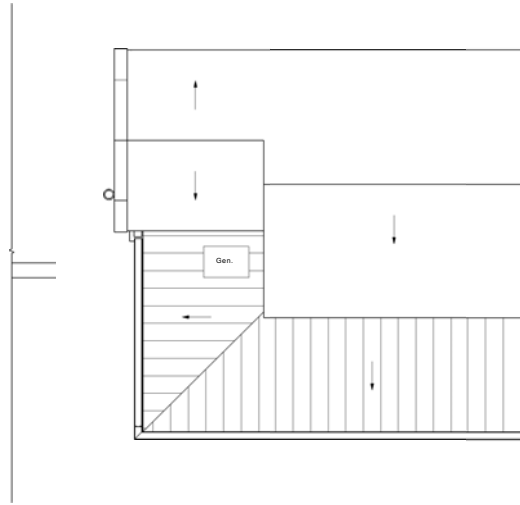
Sullivan Residence
Charleston, SC



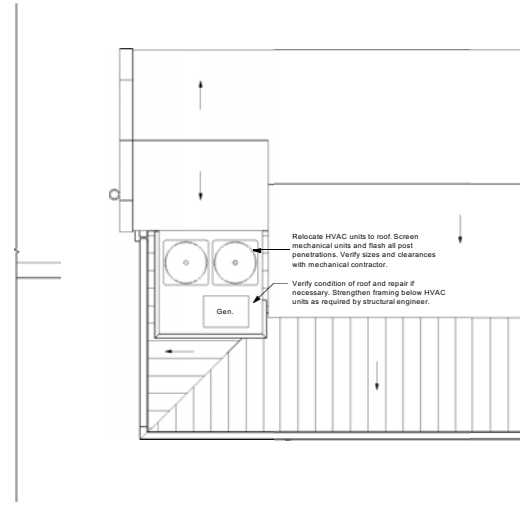
SHEET:
A100

SCALE: 1/4" = 1'-0"
PROJECT NO.:
DATE: 8/30/2019 12:16:23 PM

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1
A101
Roof Plan - Existing
1/4" = 1'-0"



2
A101
Roof Plan - Proposed
1/4" = 1'-0"

REVISIONS

- △
- △
- △
- △
- △

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CHECKED BY: .
DRAWN BY: M.P.

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- BID
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- CONSTRUCTION



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Johns Island, South Carolina 29454
Phone: 843.805.6700

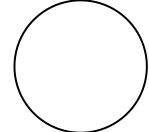
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SEAL:



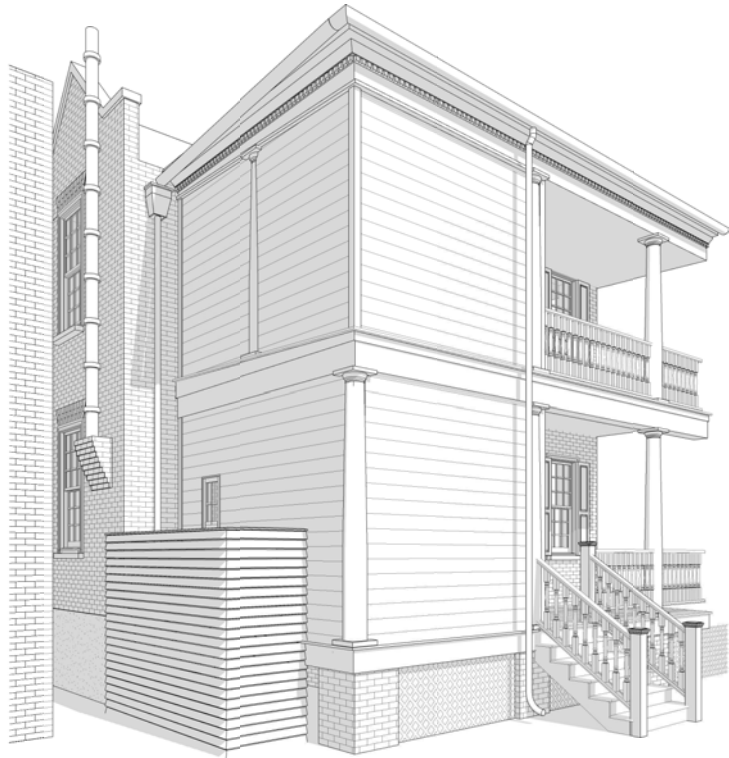
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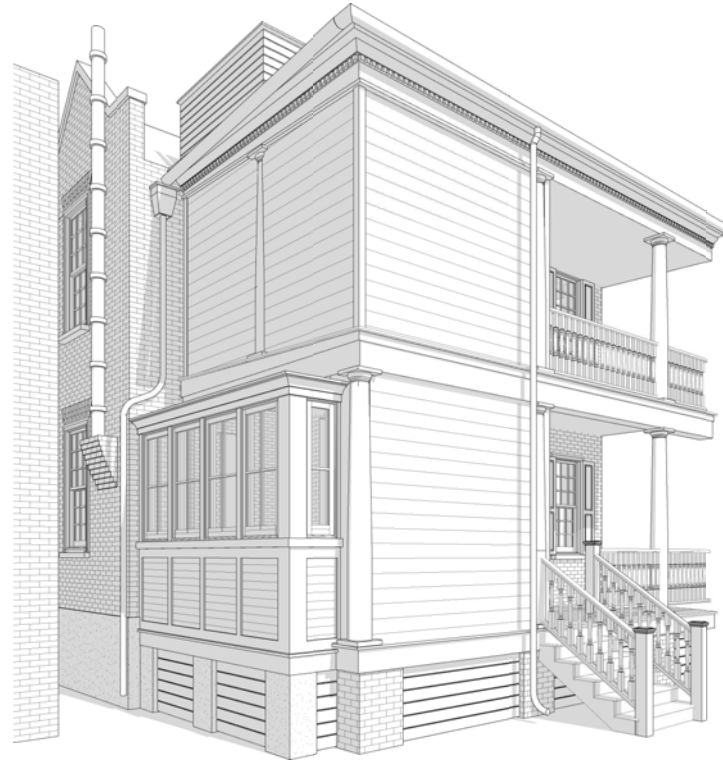
SHEET:

A101

SCALE: 1/4" = 1'-0"
PROJECT NO.:
DATE: 8/30/2019 12:16:20 PM



1 SW Perspective - Existing
A201



2 SW Perspective - Proposed
A201

REVISIONS



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- PRELIMINARY
- BID
- PERMIT
- CONSTRUCTION



3522 Maybank Highway
Johns Island, South Carolina 29454
Phone: 843.805.6700

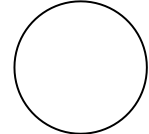
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SEAL:



SEAL:



SHEET:	A201
SCALE:	
PROJECT NO.:	
DATE:	8/30/2019 12:16:11 PM

Agenda Item 14:

22 Reid Street

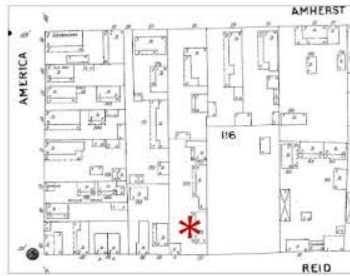
Requesting conceptual approval for the construction of a duplex
and rear dependency.

New Construction / East Side Neighborhood / Old City District

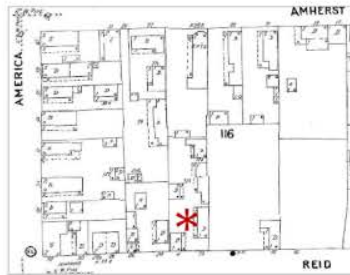
Previous motion:

Board comments:

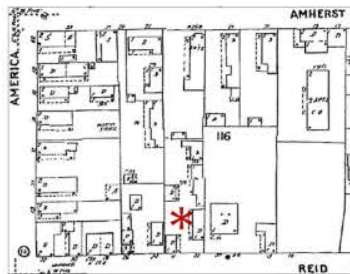
APPLICANT
PRESENTATION



SANBORN MAP EXCERPT (1902)



SANBORN MAP EXCERPT (1944)



SANBORN MAP EXCERPT (1955)



EXISTING SITE (AMHERST STREET 'SISTER HOUSES' UNDER CONSTRUCTION IN BACKGROUND)



OPPOSITE SIDE OF REID STREET (LOOKING EAST)



REID STREET (LOOKING WEST)



AERIAL VIEW

NEW CONSTRUCTION (RESIDENTIAL) AT:
22 REID STREET
 CHARLESTON, SOUTH CAROLINA

TMS #: 459-09-04-038
 ZONING DISTRICT: DR-2F / OLD CITY HT. DISTRICT (2.5-3.5 STORY)
 GOVERNING CODE: IRC 2015
 FLOOD ZONE: AE (1') (PER SURVEY)
 TARGET FFE: 14' AMSL

SCOPE OF WORK:

- NEW CONSTRUCTION OF 3-FAMILY DWELLING WITH REAR DEPENDENCY.

DRAWING SCHEDULE:

A-001	TITLE PHOTOS, + SANBORN MAPS
A-002	CURRENT SURVEY + SITE LAYOUT (EXISTING + PROPOSED)
A-003	CONTEXTUAL PRECEDENTS
A-004	DESIGN PRECEDENTS
A-101a-103a	FLOOR PLANS (PRIMARY STRUCTURE)
A-104a	ROOF PLAN (PRIMARY STRUCTURE)
A-201a-204a	EXTERIOR ELEVATIONS (PRIMARY STRUCTURE)
A-205a	SCULPTURES (PROPOSED)
A-101b	FLOOR PLANS (DEPENDENCY)
A-201b	EXTERIOR ELEVATIONS (DEPENDENCY)
A-202b	EXTERIOR ELEVATIONS (DEPENDENCY)
A-301	SITE SECTION + COMPARATIVE ELEVATIONS



ZONING MAP EXCERPT (DR-2F)

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NEW CONSTRUCTION OF DUPLEX + DEPENDENCY
22 REID STREET

PROJECT NO.: 2019-18
 DATE: 17 AUGUST, 2019
 DRAWN BY: R08B/J.F.M.
 CHECKED BY: J.F.M.

TITLE +
 SITE PLAN

A-001



EXISTING SITE LAYOUT
SCALE: 1/8" = 1'-0" (1/16" = HALF-SIZE)



PROPOSED SITE LAYOUT
SCALE: 1/8" = 1'-0" (1/16" = HALF-SIZE)

PREVIOUS

LOT COVERAGE INFORMATION: LOT AREA: 5,190 SF
PROPOSED FOOTPRINT: 2,201 SF (ENCL. PVAC; BALCONIES; DECK + PORCHES)
ALLOWABLE LOT COVERAGE: 50%
PROPOSED LOT COVERAGE: 42%



PROPOSED SITE LAYOUT
SCALE: 1/8" = 1'-0" (1/16" = HALF-SIZE)

CURRENT

LOT COVERAGE INFORMATION: LOT AREA: 5,190 SF
PROPOSED FOOTPRINT: 2,151 SF (ENCL. PVAC; BALCONIES; DECK + PORCHES)
ALLOWABLE LOT COVERAGE: 50%
PROPOSED LOT COVERAGE: 41%

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All dimensions shown on this plan are based on the survey data provided. The client is responsible for the accuracy of the survey data. The architect is not responsible for the accuracy of the survey data.

NEW CONSTRUCTION OF DUPLEX + DEPENDENCY
22 REID STREET

PROJECT NO.: 2019-03
DATE: 17 AUGUST 2019
DRAWN BY: KCB/JFM
CHECKED BY: JFM

SURVEY + SITE LAYOUTS

A-002



ADJACENT STRUCTURES @ AMHERST ST



VIEW DOWN DRIVEWAY



VIEW DOWN DRIVEWAY

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NEW CONSTRUCTION OF DUPLEX + DEPENDENCY
 22 REID STREET

PROJECT NO.: 2019-13
 DATE: 17 AUGUST 2019
 DRAWN BY: RIBBY J.F.A.
 CHECKED BY: J.F.M.

CONTEXTUAL
 PRECEDENTS

A-003



SIMPLIFIED FORM



LOUVERED SCREEN ELEMENT



LOUVERED SCREEN ELEMENT (but painted)



ADJACENT STRUCTURES @ AMHERST ST



MITERED CORNERS



DORMER NOTION



CONNECTION OF TWO VOLUMES

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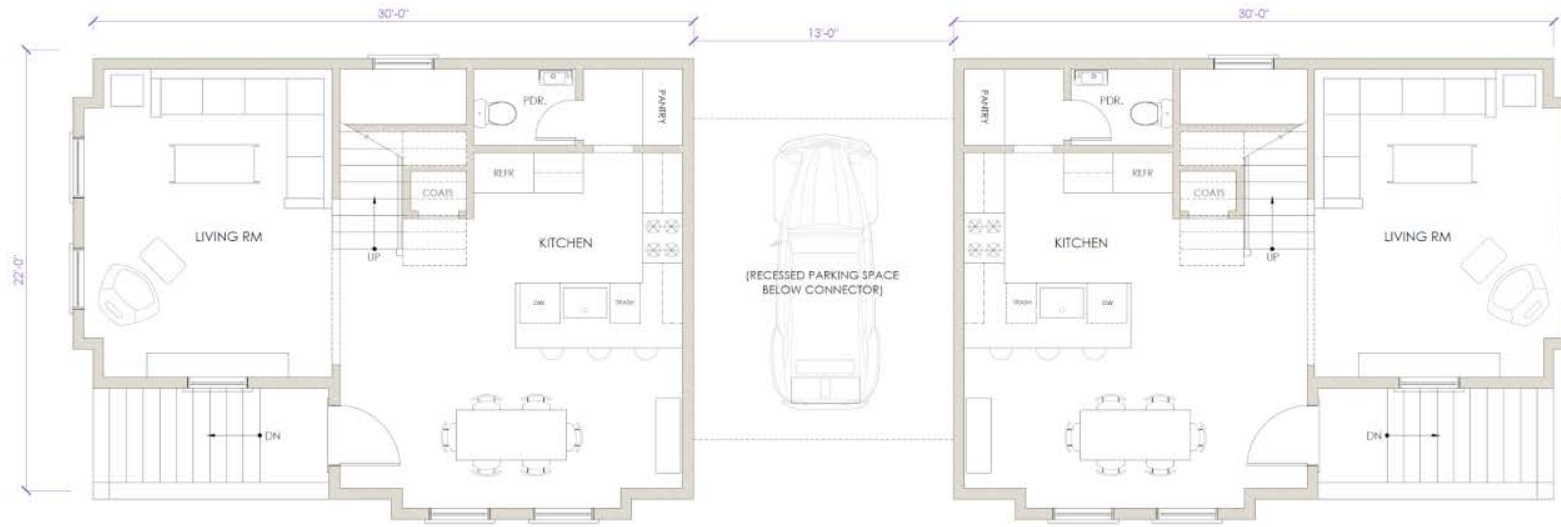
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NEW CONSTRUCTION OF DUPLEX + DEPENDENCY
22 REID STREET

PROJECT NO.: 2019-13
DATE: 17 AUGUST, 2019
DRAWN BY: KCB/J.F.M.
CHECKED BY: J.F.M.

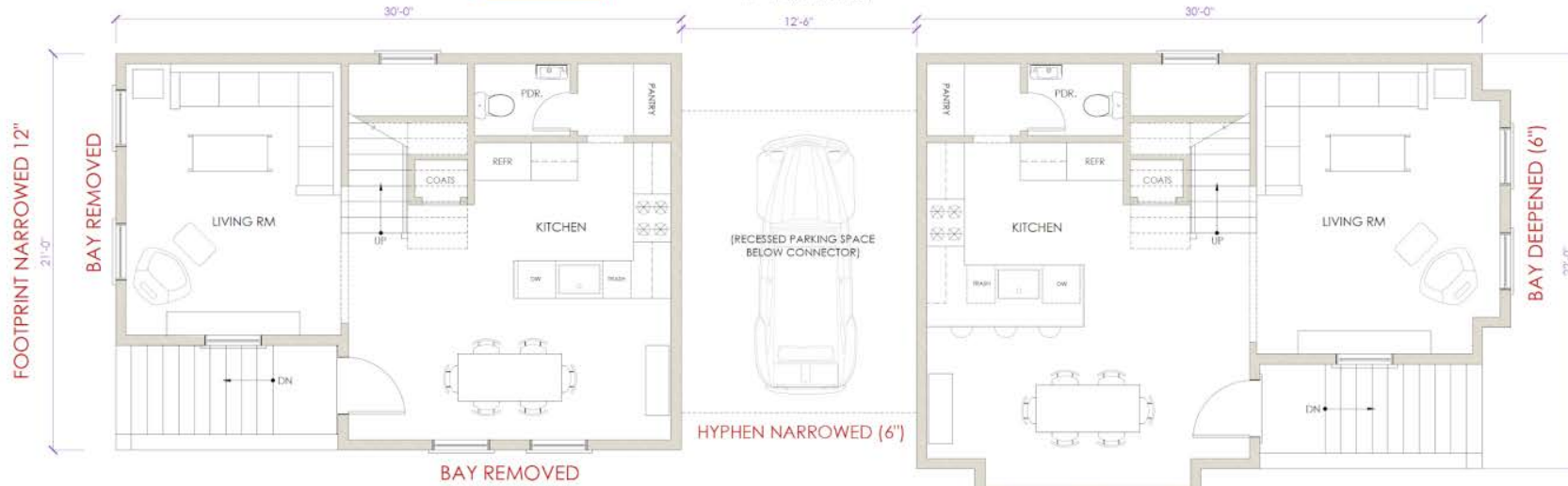
DESIGN
PRECEDENTS

A-004



PREVIOUS FIRST FLOOR PLAN (PRIMARY STRUCTURE)

3/8" = 1'-0" (3/16" = HALF-SIZES)



CURRENT FIRST FLOOR PLAN (PRIMARY STRUCTURE)

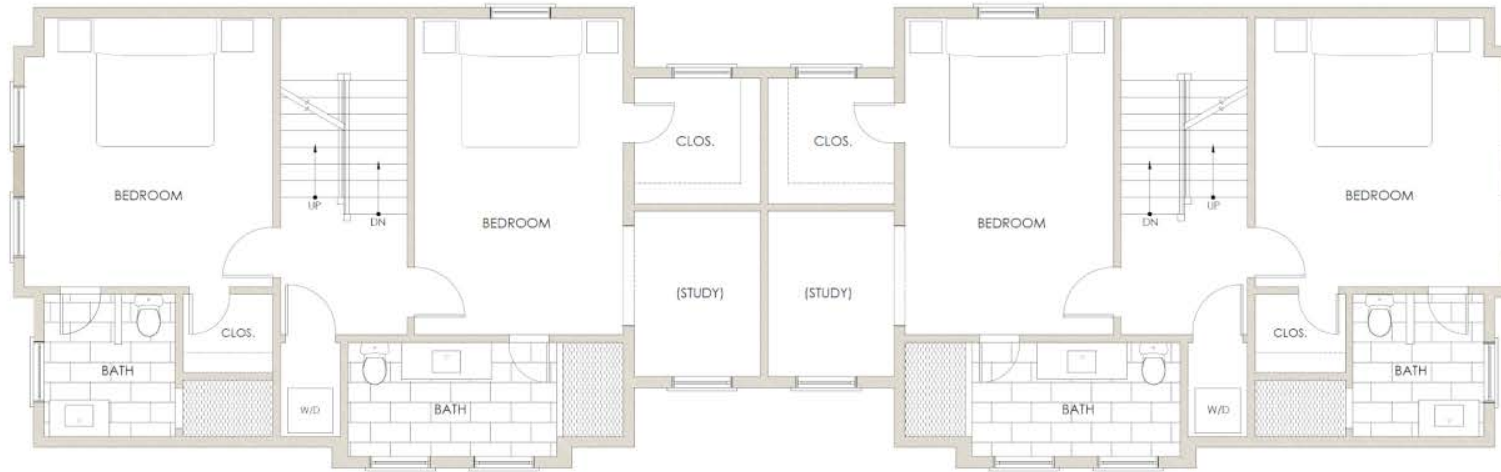
3/8" = 1'-0" (3/16" = HALF-SIZES)

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NEW CONSTRUCTION OF DUPLEX + DEPENDENCY
 22 REID STREET

PROJECT NO.: 2019-13
 DATE: 17 AUGUST, 2019
 DRAWN BY: RSB/JFM
 CHECKED BY: JFM

FIRST FLOOR PLAN (PRIMARY STRUCTURE)
 A-101a



PREVIOUS SECOND FLOOR PLAN (PRIMARY STRUCTURE)
3/8" = 1'-0" (3/16" IF HALF-SPEED)



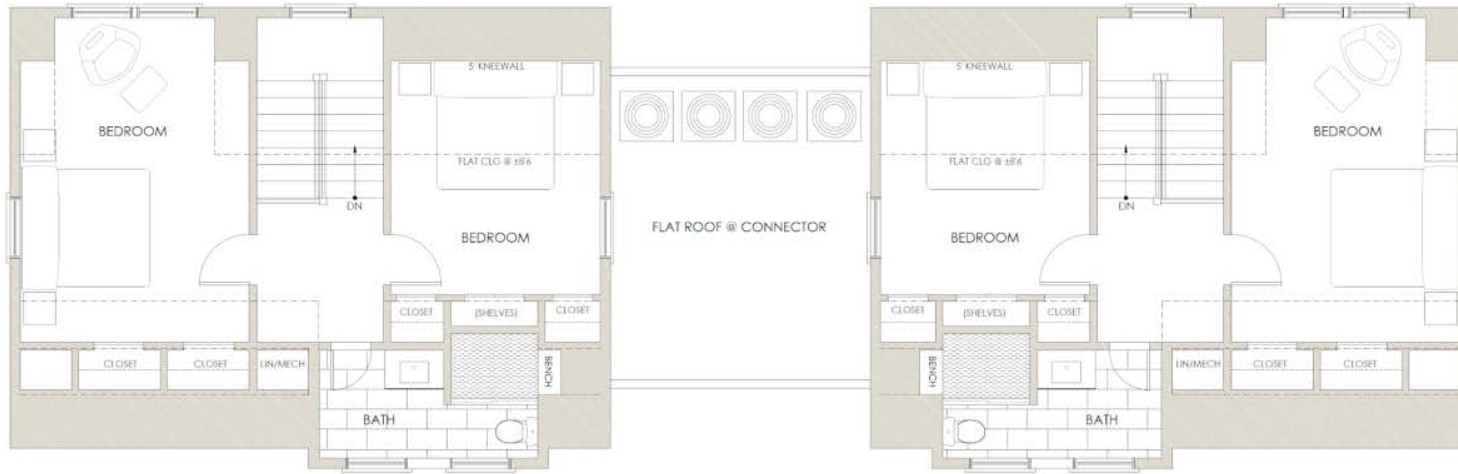
CURRENT SECOND FLOOR PLAN (PRIMARY STRUCTURE)
3/8" = 1'-0" (3/16" IF HALF-SPEED)

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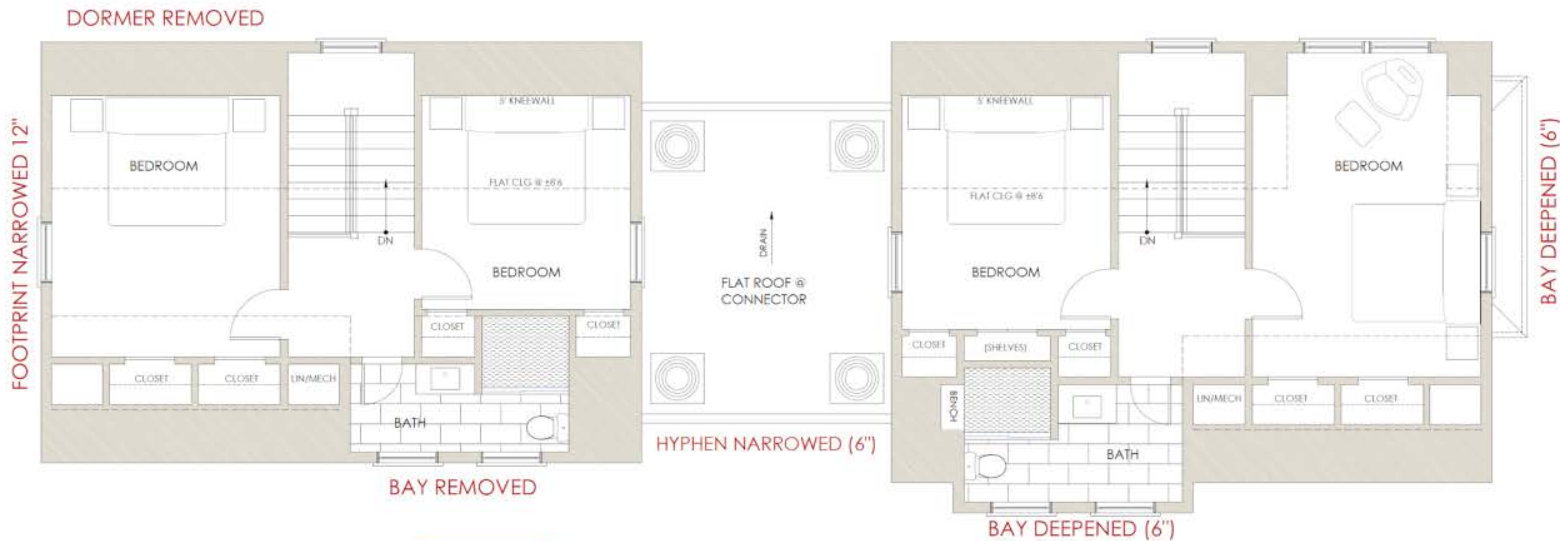
NEW CONSTRUCTION OF DUPLEX + DEPENDENCY
 22 REID STREET

PROJECT NO.: 2019-13
 DATE: 17 AUGUST, 2019
 DRAWN BY: KCB/J.F.M.
 CHECKED BY: J.F.M.

SECOND FLOOR PLAN (PRIMARY STRUCTURE)
 A-102a



PREVIOUS ATTIC FLOOR PLAN (PRIMARY STRUCTURE)
3/8" = 1'-0" (3/16" = HALF-SIZES)



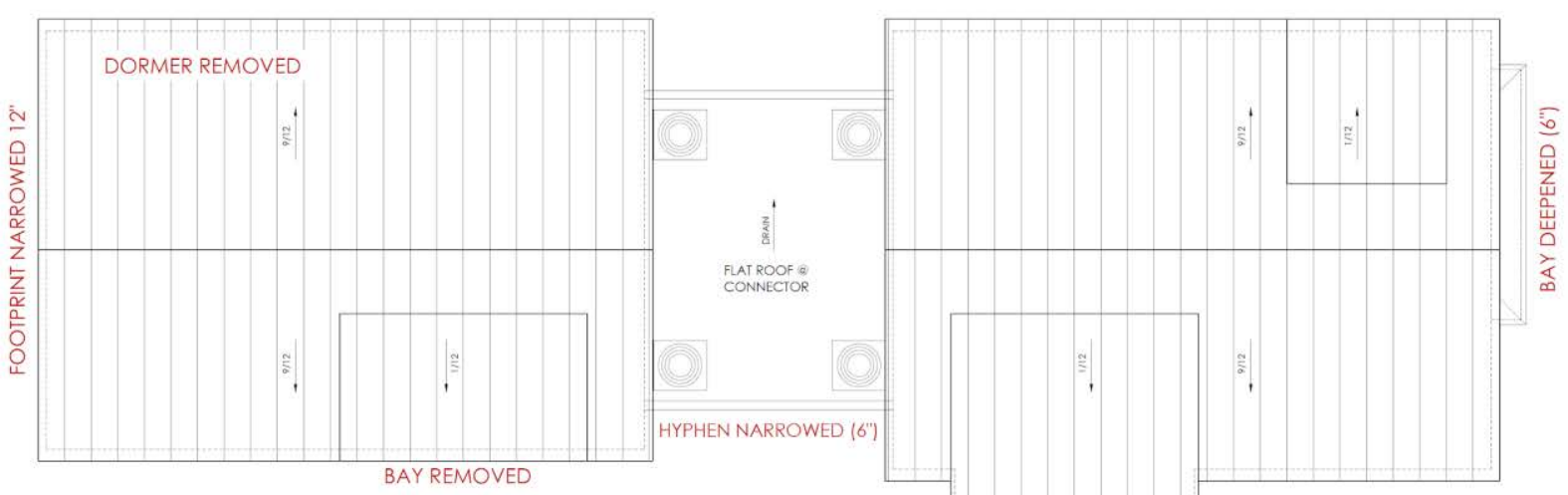
CURRENT ATTIC FLOOR PLAN (PRIMARY STRUCTURE)
3/8" = 1'-0" (3/16" = HALF-SIZES)

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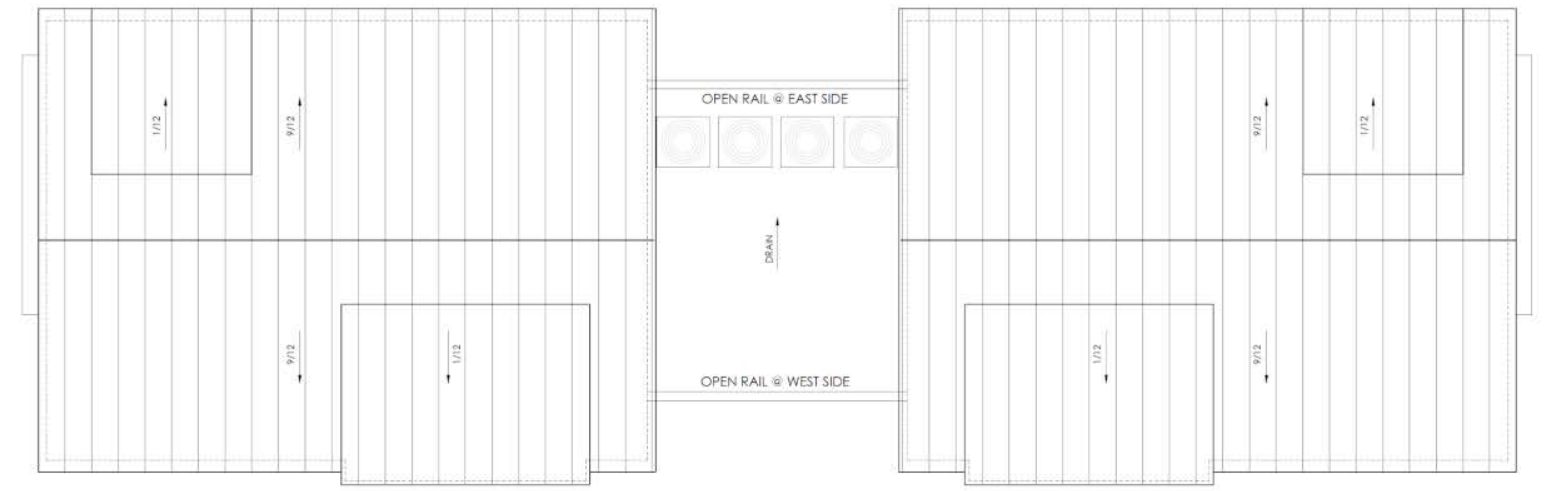
NEW CONSTRUCTION OF DUPLEX + DEPENDENCY
 22 REID STREET

PROJECT NO.: 2019-13
 DATE: 17 AUGUST 2019
 DRAWN BY: RSB/JFM
 CHECKED BY: JFM

ATTIC PLAN (PRIMARY STRUCTURE)
 A-103a



CURRENT ROOF PLAN (PRIMARY STRUCTURE)
3/8" = 1'-0" (3/16" IF HALF-SPEED)



PREVIOUS ROOF PLAN (PRIMARY STRUCTURE)
3/8" = 1'-0" (3/16" IF HALF-SPEED)

PROJECT NO.: 2019-13
 DATE: 17 AUGUST, 2019
 DRAWN BY: KCB/J.F.M.
 CHECKED BY: J.F.M.

ROOF PLAN
 (PRIMARY
 STRUCTURE)

A-104a

NEW CONSTRUCTION OF DUPLEX + DEPENDENCY
 22 REID STREET



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PREVIOUS

SOUTH (FRONT) ELEVATION (PRIMARY STRUCTURE)
3/8" = 1'-0" (3/16" IF HALF-SIZED)



CURRENT

SOUTH (FRONT) ELEVATION (PRIMARY STRUCTURE)
3/8" = 1'-0" (3/16" IF HALF-SIZED)

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NEW CONSTRUCTION OF DUPLEX + DEPENDENCY
22 REID STREET

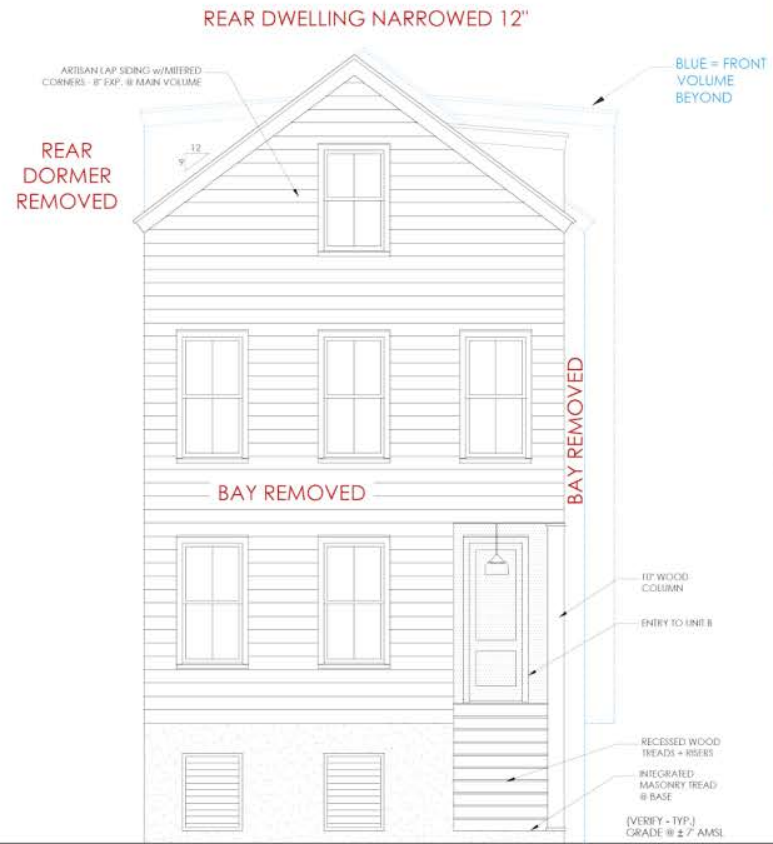
PROJECT NO.: 2019-13
DATE: 17 AUGUST 2019
DRAWN BY: RUSSELL J. AM
CHECKED BY: J.F.M.

SOUTH
ELEVATION
(PRIMARY
STRUCTURE)
A-201a



PREVIOUS

NORTH (REAR) ELEVATION (PRIMARY STRUCTURE)
3/8" = 1'-0" (3/16" IF HALF-SIZED)



CURRENT

NORTH (REAR) ELEVATION (PRIMARY STRUCTURE)
3/8" = 1'-0" (3/16" IF HALF-SIZED)

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NEW CONSTRUCTION OF DUPLEX + DEPENDENCY
22 REID STREET

PROJECT NO.: 2019-13
DATE: 17 AUGUST, 2019
DRAWN BY: KSD/J.F.M.
CHECKED BY: J.F.M.

NORTH ELEVATION (PRIMARY STRUCTURE)
A-202a



PREVIOUS

WEST (SIDE) ELEVATION (PRIMARY STRUCTURE)
1/4" = 1'-0" (1/8" IF HALF-SIZED)



CURRENT

WEST (SIDE) ELEVATION (PRIMARY STRUCTURE)
1/4" = 1'-0" (1/8" IF HALF-SIZED)

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NEW CONSTRUCTION OF DUPLEX + DEPENDENCY
22 REID STREET

PROJECT NO.: 2019-03
DATE: 17 AUGUST, 2019
DRAWN BY: RCB/JFM
CHECKED BY: JFM

WEST ELEVATION
(PRIMARY STRUCTURE)

A-203a



PREVIOUS

EAST (SIDE) ELEVATION (PRIMARY STRUCTURE)
1/4" = 1'-0" (1/8" IF HALF-SIZED)



CURRENT

EAST (SIDE) ELEVATION (PRIMARY STRUCTURE)
1/4" = 1'-0" (1/8" IF HALF-SIZED)

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NEW CONSTRUCTION OF DUPLEX + DEPENDENCY
22 REID STREET

PROJECT NO.: 2019-13
DATE: 17 AUGUST, 2019
DRAWN BY: RSB/JFM
CHECKED BY: JFM

EAST ELEVATION
(PRIMARY STRUCTURE)

A-204a



STREETSCAPE (NORTH SIDE OF REID STREET)
3/32" = 1'-0" (3/64" IF HALF-SIZED)



STREETSCAPE (SOUTH SIDE OF REID STREET)
3/32" = 1'-0" (3/64" IF HALF-SIZED)

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210 PUBLIC SQUARE, 2ND FLOOR - CHARLESTON, SC 29403
PH: 803/777-8775 WWW.JFMARTINARCHITECT.COM



NEW CONSTRUCTION OF DUPLEX + DEPENDENCY
22 REID STREET

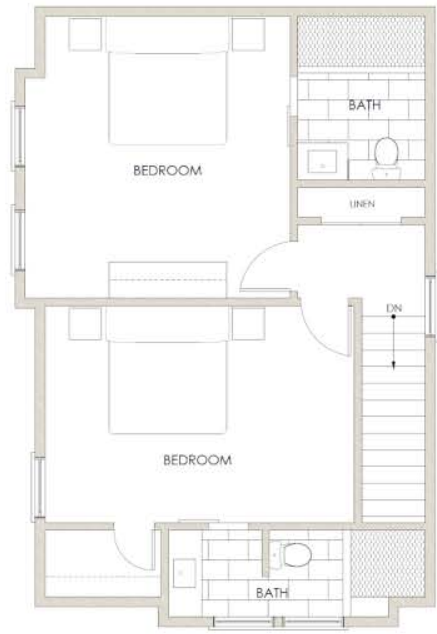
PROJECT NO.: 2019-13
DATE: 17 AUGUST, 2019
DRAWN BY: KCB/J.F.M.
CHECKED BY: J.F.M.

STREETSCAPES
(PROPOSED)

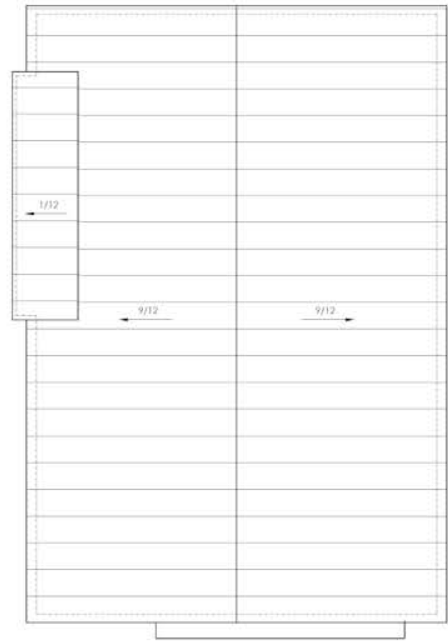
A-205a



FIRST FLOOR PLAN (DEPENDENCY)
3/8" = 1'-0" (3/16" IF HALF-SIZES)



SECOND FLOOR PLAN (DEPENDENCY)
3/8" = 1'-0" (3/16" IF HALF-SIZES)



ROOF PLAN (DEPENDENCY)
3/8" = 1'-0" (3/16" IF HALF-SIZES)

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NEW CONSTRUCTION OF DUPLEX + DEPENDENCY
22 REID STREET

PROJECT NO.: 2019-13
DATE: 17 AUGUST, 2019
DRAWN BY: KCB/J.F.M.
CHECKED BY: J.F.M.

FLOOR PLANS
(DEPENDENCY)

A-101b



SOUTH [FRONT] ELEVATION [DEPENDENCY]

3/8" = 1'-0" (3/16" IF HALF-SIZED)

WEST [SIDE] ELEVATION [DEPENDENCY]

3/8" = 1'-0" (3/16" IF HALF-SIZED)

JULIA F. MARTIN ARCHITECTS

210 PUBLIC HOUSE, 2ND FLOOR - CHARLESTON, SC 29403
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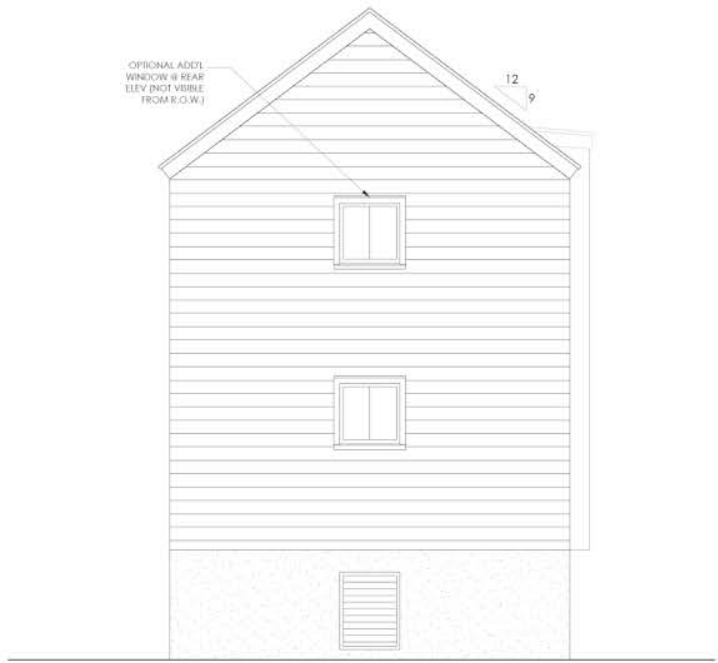
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NEW CONSTRUCTION OF DUPLEX + DEPENDENCY
 22 REID STREET

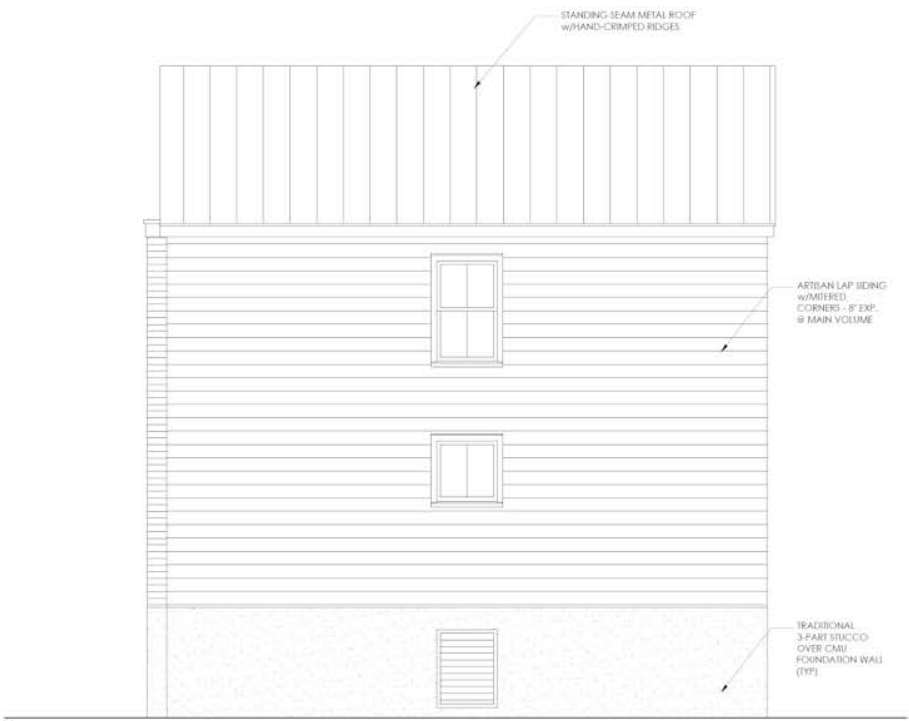
PROJECT NO.: 2019-13
 DATE: 17 AUGUST, 2019
 DRAWN BY: KCB/J.F.M.
 CHECKED BY: J.F.M.

EXTERIOR ELEVATIONS (DEPENDENCY)

A-201b



NORTH (REAR) ELEVATION (DEPENDENCY)
3/8" = 1'-0" (3/16" @ HALF-SIZED)



EAST (SIDE) ELEVATION (DEPENDENCY)
3/8" = 1'-0" (3/16" @ HALF-SIZED)

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NEW CONSTRUCTION OF DUPLEX + DEPENDENCY
22 REID STREET

PROJECT NO.: 2019-13
DATE: 17 AUGUST 2019
DRAWN BY: RSB/JFM
CHECKED BY: JFM

EXTERIOR ELEVATIONS (DEPENDENCY)

A-202b



SITE SECTION
3/16" = 1'-0" (3/32" IF HALF-SIZED)



COMPARATIVE OVERLAY
3/16" = 1'-0" (3/32" IF HALF-SIZED)

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NEW CONSTRUCTION OF DUPLEX + DEPENDENCY
22 REID STREET

PROJECT NO.: 2019-13
DATE: 17 AUGUST 2019
DRAWN BY: RJB/J.F.M.
CHECKED BY: J.F.M.

SITE SECTION +
ELEV.
COMPARISON

A-301

Agenda Item 15:

24 Reid Street

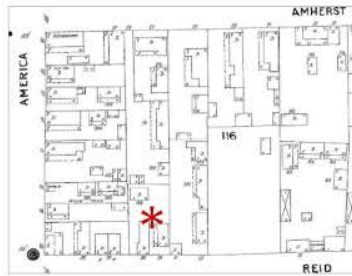
Requesting conceptual approval for the construction of a duplex
and rear dependency.

New Construction / East Side Neighborhood / Old City District

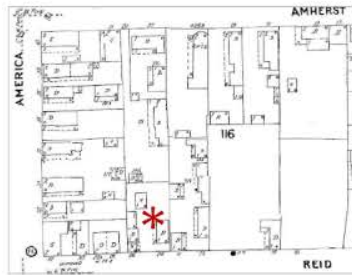
Previous motion:

Board comments:

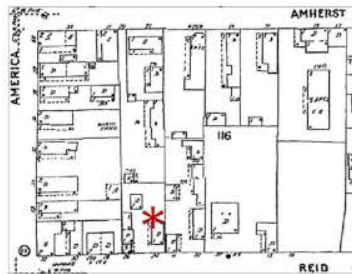
APPLICANT
PRESENTATION



SANBORN MAP EXCERPT (1902)



SANBORN MAP EXCERPT (1944)



SANBORN MAP EXCERPT (1955)



EXISTING SITE (AMHERST STREET 'SISTER HOUSES' UNDER CONSTRUCTION IN BACKGROUND)



OPPOSITE SIDE OF REID STREET (LOOKING EAST)



REID STREET (LOOKING WEST)



AERIAL VIEW

NEW CONSTRUCTION (RESIDENTIAL) AT:
24 REID STREET
 CHARLESTON, SOUTH CAROLINA

TMS #: 459-09-04-085
 ZONING DISTRICT: DR-2F / OLD CITY HT. DISTRICT (2.5-3.5 STORY)
 GOVERNING CODE: IRC 2015
 FLOOD ZONE: AE (13') (PER SURVEY)
 TARGET FFE: 14' AMSL

SCOPE OF WORK:

- NEW CONSTRUCTION OF 2-FAMILY DWELLING WITH REAR DEPENDENCY

DRAWING SCHEDULE:

A-001	TITLE PHOTOS, + SANBORN MAPS
A-002	SITE PLAN (EXISTING + PROPOSED)
A-003	CONTEXTUAL PRECEDENTS
A-004	DESIGN PRECEDENTS
A-101a-103a	FLOOR PLANS (PRIMARY STRUCTURE)
A-104a	ROOF PLAN (PRIMARY STRUCTURE)
A-201a-A204a	EXTERIOR ELEVATIONS (PRIMARY STRUCTURE)
A-205a	STREETSCAPES (PROPOSED)
A-101b	FLOOR PLANS (DEPENDENCY)
A-201b	EXTERIOR ELEVATIONS (DEPENDENCY)
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A-301	SITE SECTION + COMPARATIVE ELEVATIONS



ZONING MAP EXCERPT (DR-2F)

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NEW CONSTRUCTION OF DUPLEX + DEPENDENCY
24 REID STREET

PROJECT NO.: 2019-13
 DATE: 02.AUG.2019
 DRAWN BY: KOBAYASHI
 CHECKED BY: J.F.M.

TITLE +
 SITE PLAN
 A-001



EXISTING SITE LAYOUT
SCALE: 1/8" = 1'-0" (1/16" = HALF-SIZE)



PROPOSED SITE LAYOUT
SCALE: 1/8" = 1'-0" (1/16" = HALF-SIZE)

PREVIOUS

LOT COVERAGE INFORMATION: LOT AREA: 5,478 SF
PROPOSED FOOTPRINT: 2,187 SF (PDR, HVAC, BALCONIES, DECKS + PORCHES)
ALLOWABLE LOT COVERAGE: 50%
PROPOSED LOT COVERAGE: 40%



PROPOSED SITE LAYOUT
SCALE: 1/8" = 1'-0" (1/16" = HALF-SIZE)

CURRENT

LOT COVERAGE INFORMATION: LOT AREA: 5,478 SF
PROPOSED FOOTPRINT: 2,147 SF (PDR, HVAC, BALCONIES, DECKS + PORCHES)
ALLOWABLE LOT COVERAGE: 50%
PROPOSED LOT COVERAGE: 39%

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NEW CONSTRUCTION OF DUPLEX + DEPENDENCY
24 REID STREET

PROJECT NO.: 2019-03
DATE: 03.AUG.2019
DRAWN BY: KCB/J.L.M.
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EXISTING + PROPOSED SITE PLAN

A-002



ADJACENT STRUCTURES @ AMHERST ST



VIEW DOWN DRIVEWAY



VIEW DOWN DRIVEWAY

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 24 REID STREET

PROJECT NO.: 2019-13
 DATE: 02.AUG.2019
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CONTEXTUAL
 PRECEDENTS

A-003



SIMPLIFIED FORM



LOUVERED SCREEN ELEMENT



LOUVERED SCREEN ELEMENT



ADJACENT STRUCTURES @ AMHERST ST



MITERED CORNERS



DORMER NOTION



CONNECTION OF TWO VOLUMES

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NEW CONSTRUCTION OF DUPLEX + DEPENDENCY
24 REID STREET

PROJECT NO.: 2019-13
DATE: 12 AUG 2019
DRAWN BY: RIBBLY.F.A.
CHECKED BY: J.F.M.

DESIGN
PRECEDENTS

A-004



PREVIOUS

FIRST FLOOR PLAN (PRIMARY STRUCTURE)

3/8" = 1'-0" (3/16" IF HALF-SIZED)



CURRENT

FIRST FLOOR PLAN (PRIMARY STRUCTURE)

3/8" = 1'-0" (3/16" IF HALF-SIZED)

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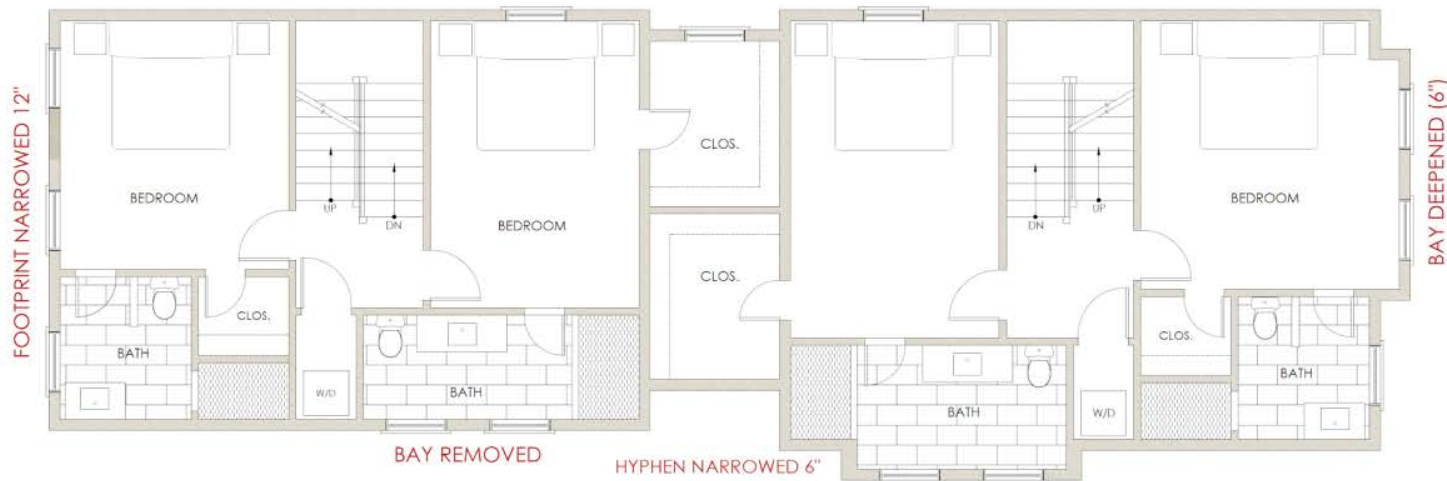
NEW CONSTRUCTION OF DUPLEX + DEPENDENCY
 24 REID STREET

PROJECT NO.: 2019-13
 DATE: 12 JULY 2019
 DRAWN BY: RCB/JFM
 CHECKED BY: JFM

FIRST FLOOR
 PLAN (PRIMARY
 STRUCTURE)
 A-101a



PREVIOUS SECOND FLOOR PLAN (PRIMARY STRUCTURE)
3/8" = 1'-0" (3/16" IF HALF-SIZED)



CURRENT SECOND FLOOR PLAN (PRIMARY STRUCTURE)
3/8" = 1'-0" (3/16" IF HALF-SIZED)

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 24 REID STREET

PROJECT NO.: 2019-13
 DATE: 03.AUG.2019
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SECOND FLOOR PLAN (PRIMARY STRUCTURE)

A-102a



PREVIOUS ATTIC FLOOR PLAN (PRIMARY STRUCTURE)
3/8" = 1'-0" (3/16" IF HALF-SIZED)



CURRENT ATTIC PLAN (PRIMARY STRUCTURE)
3/8" = 1'-0" (3/16" IF HALF-SIZED)

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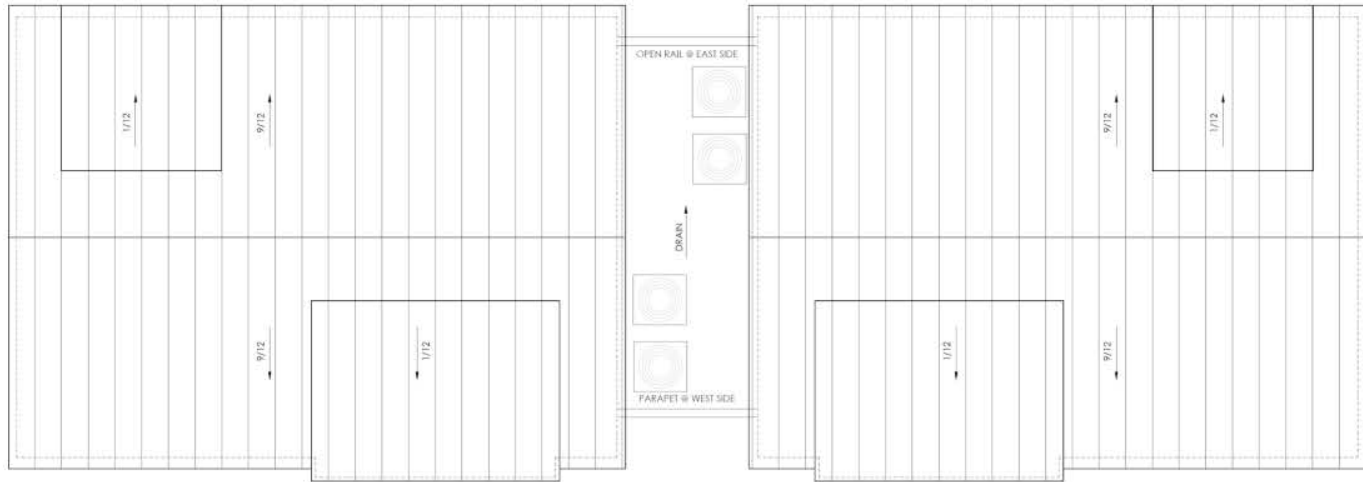
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 24 REID STREET

PROJECT NO: 2019-13
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ATTIC PLAN
 (PRIMARY STRUCTURE)

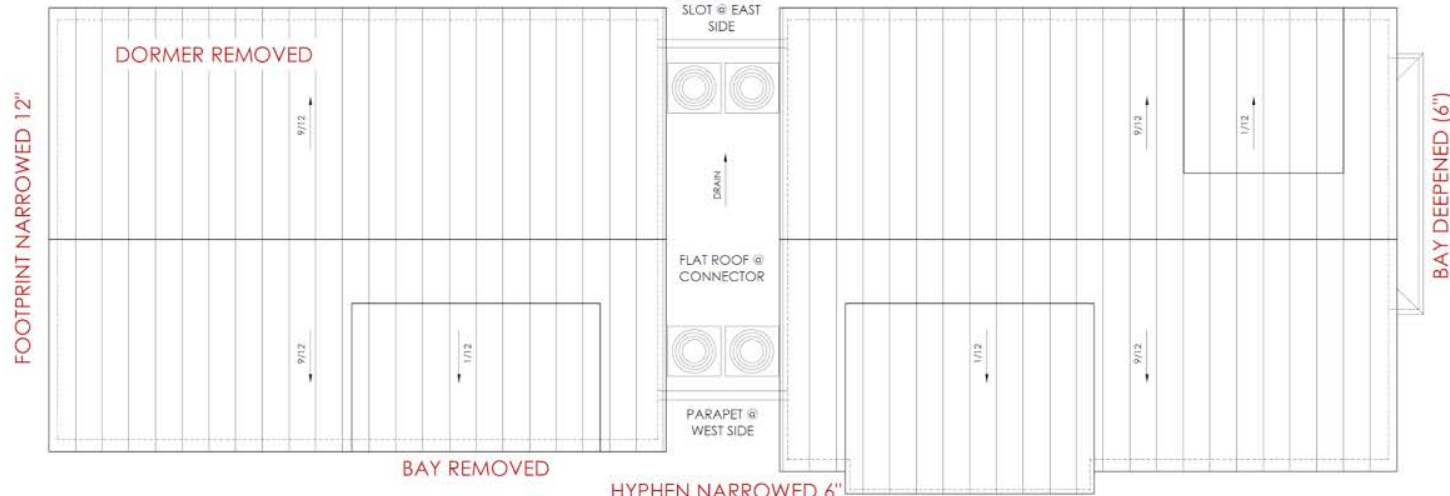
A-103a



PREVIOUS

ROOF PLAN (PRIMARY STRUCTURE)

3/8" = 1'-0" (3/16" IF HALF-SIZED)



CURRENT

ROOF PLAN (PRIMARY STRUCTURE)

3/8" = 1'-0" (3/16" IF HALF-SIZED)

FOOTPRINT NARROWED 12"

BAY DEEPENED (6")

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ROOF PLAN
 (PRIMARY STRUCTURE)

A-104a



PREVIOUS

SOUTH (FRONT) ELEVATION (PRIMARY STRUCTURE)

3/8" = 1'-0" (3/16" IF HALF-SIZED)



CURRENT

SOUTH (FRONT) ELEVATION (PRIMARY STRUCTURE)

3/8" = 1'-0" (3/16" IF HALF-SIZED)

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NEW CONSTRUCTION OF DUPLEX + DEPENDENCY
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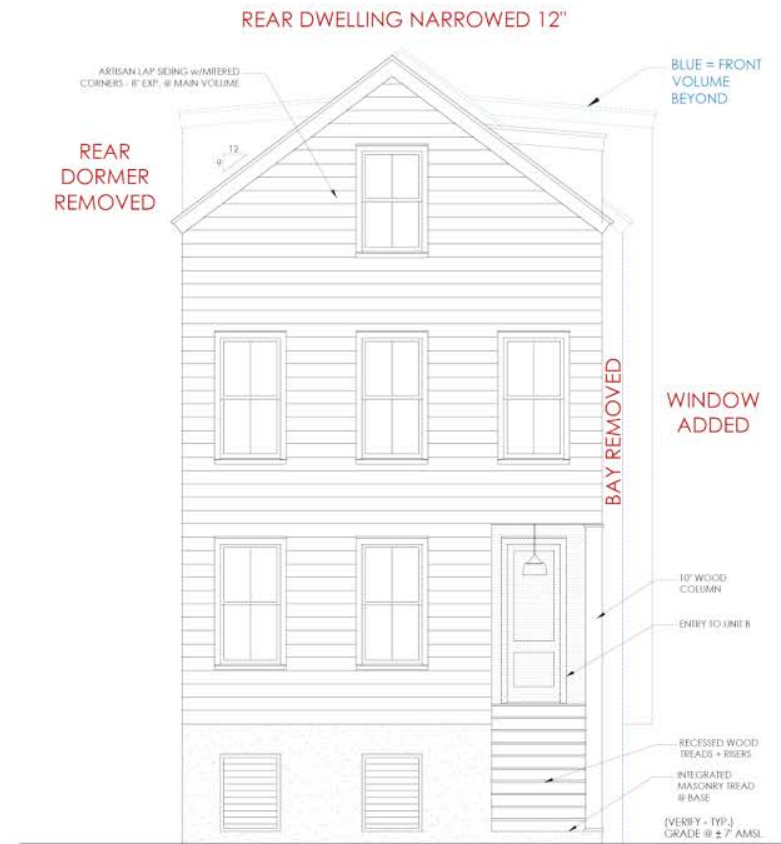
SOUTH
 ELEVATION
 (PRIMARY
 STRUCTURE)

A-201a



PREVIOUS

NORTH (REAR) ELEVATION (PRIMARY STRUCTURE)
3/8" = 1'-0" (3/16" IF HALF-SIZED)



CURRENT

NORTH (REAR) ELEVATION (PRIMARY STRUCTURE)
3/8" = 1'-0" (3/16" IF HALF-SIZED)

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CHECKED BY: J.F.M.

NORTH ELEVATION (PRIMARY STRUCTURE)
A-202a



PREVIOUS

WEST (SIDE) ELEVATION (PRIMARY STRUCTURE)
1/4" = 1'-0" (1/8" @ HALF-SHEET)



CURRENT

WEST (SIDE) ELEVATION (PRIMARY STRUCTURE)
1/4" = 1'-0" (1/8" @ HALF-SHEET)

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NEW CONSTRUCTION OF DUPLEX + DEPENDENCY
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PROJECT NO.: 2019-18
DATE: 12 JULY 2019
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CHECKED BY: J.F.M.

WEST ELEVATION
(PRIMARY STRUCTURE)

A-203a



PREVIOUS

EAST (SIDE) ELEVATION (PRIMARY STRUCTURE)

1/4" = 1'-0" (1/8" @ HALF-SIZE)



CURRENT

EAST (SIDE) ELEVATION (PRIMARY STRUCTURE)

1/4" = 1'-0" (1/8" @ HALF-SIZE)

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 24 REID STREET

PROJECT NO.: 2019-13
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 CHECKED BY: J.F.M.

EAST ELEVATION
 (PRIMARY STRUCTURE)

A-204a



STREETSCAPE (NORTH SIDE OF REID STREET)
 3/32" = 1'-0" (3/64" IF HALF-SIZED)



STREETSCAPE (SOUTH SIDE OF REID STREET)
 3/32" = 1'-0" (3/64" IF HALF-SIZED)

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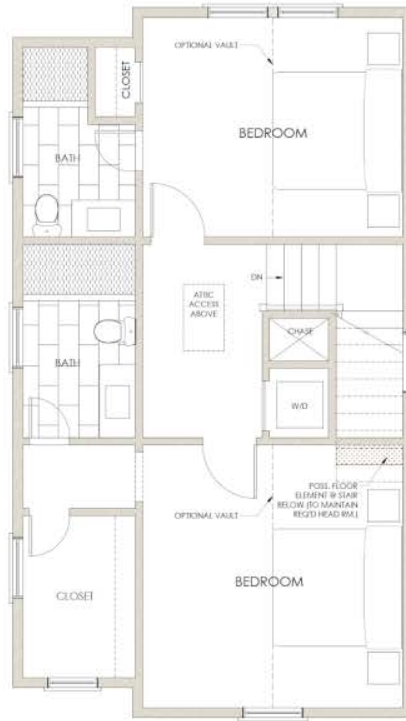
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 CHECKED BY: J.F.M.

STREETSCAPES
 (PROPOSED)

A-205a



FIRST FLOOR PLAN (DEPENDENCY)
3/8" = 1'-0" (3/16" @ HALF-SIZE)



SECOND FLOOR PLAN (DEPENDENCY)
3/8" = 1'-0" (3/16" @ HALF-SIZE)



ROOF PLAN (DEPENDENCY)
3/8" = 1'-0" (3/16" @ HALF-SIZE)

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24 REID STREET

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FLOOR PLANS
(DEPENDENCY)

A-101b



SOUTH (FRONT) ELEVATION (DEPENDENCY)
3/8" = 1'-0" (3/16" IF HALF-SIZED)

WEST (SIDE) ELEVATION (DEPENDENCY)
3/8" = 1'-0" (1/16" IF HALF-SIZED)

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NEW CONSTRUCTION OF DUPLEX + DEPENDENCY
24 REID STREET

PROJECT NO.: 2019-13
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**EXTERIOR
ELEVATIONS
(DEPENDENCY)**

A-201b



NORTH (REAR) ELEVATION (DEPENDENCY)
 3/8" = 1'-0" (3/16" @ HALF-SIZE)

EAST (SIDE) ELEVATION (DEPENDENCY)
 3/8" = 1'-0" (3/16" @ HALF-SIZE)

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NEW CONSTRUCTION OF DUPLEX + DEPENDENCY
 24 REID STREET

PROJECT NO.: 2019-13
 DATE: 02.AUG.2019
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EXTERIOR ELEVATIONS (DEPENDENCY)

A-202b



SITE SECTION
3/16" = 1'-0" (1/32" IF HALF-SIZED)



COMPARATIVE OVERLAY
3/16" = 1'-0" (1/32" IF HALF-SIZED)

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NEW CONSTRUCTION OF DUPLEX + DEPENDENCY
24 REID STREET

PROJECT NO.: 2019-13
DATE: 12 JULY 2019
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SITE SECTION +
COMPARATIVE
ELEVATION

A-301

