

## CASKIE ENGINEERING, LLC

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[www.caskieengineering.com](http://www.caskieengineering.com)

November 12, 2019

Ms. Becky Fenno  
Fenno Architecture, LLC  
1459 Stuart Engals Blvd., Suite 202  
Mt. Pleasant, SC 29464

RE: 66 Cannon Street Auxiliary Dwelling Unit (ADU), Charleston, SC; Report of  
Structural Assessment and Stability

Dear Becky:

The purpose of this letter is to forward to you a report of the structural inspection of the Auxiliary Dwelling Unit (ADU) located at 66 Cannon Street, Charleston, SC (the "structure"). The inspection was conducted by myself on November 11, 2019. I inspected the exterior and interior of the structure. We did not access the top of the roof.

This inspection was a structural inspection, and does not cover other aspects of the structure, including mechanical, electrical, architectural, or hazardous material elements. This inspection was based on what could be visually seen during the inspection, without removal of any finishes, selective demolition, or other destructive testing methods. Concealed defects cannot be observed, and therefore are not part of this inspection scope.

Should any information become available subsequent to the date of this inspection report, we reserve the right to re-inspect the condition of the structure, and to revise our original findings. We are not liable or responsible for the repair, modification, or stabilization of any concealed defects.

We did not perform any calculations in doing this inspection, and do not warrant the structural integrity of the building.

The inspection and assessment were developed based on accepted structural engineering practices.

Ms. Becky Fenno

### **SCOPE:**

The structure is a residential 2 story concrete masonry unit (CMU) structure, on a foundation assumed to be a spread footing. The second floor is accessed with metal stairs external to the footprint of the structure.

Our scope is to evaluate the overall structural integrity, and to recommend whether it should be demolished. We will provide a stability rating per the City of Charleston Stability Rating System as shown in Attachment A.

### **INSPECTION:**

The below observations are provided relating to the structural inspection (Note: for orientation purposes for this report, the façade that fronts Cannon Street is considered South). See Attachment B for photographs of the inspected condition.

- Exterior
  - Diagonal cracks about 1/16” wide exist on the south facade between the garage door and second floor windows.
  - Window surrounds deteriorated and rotten in places on all facades
  - The following should be noted:
    - All walls appeared to be visibly plumb and vertical.
    - Floors and roof, which are wood framed, have deflection.
    - Ladder reinforcement was noted where the CMU had been cut, at the garage door openings. No vertical reinforcement, or filled cells, could be visually substantiated.
  
- Interior:
  - The ceilings of rooms on the west side have evidence of water damage. The ceiling plaster has failed, exposing the lath in two places.
  - There is evidence of second floor joist rot at the beam pockets. Note that there is brick infill between the joists.
  - There is joist rot/deterioration at the plumbing under the second floor bathroom. In that same area, there are joist sisters that are not installed adequately.
  - A significant through wall crack is evident on the interior of the CMU wall above the steel lintel, approximately 1/2” wide.
  - Floors are not level.
  - No access to the attic was possible.
  
- Roof:
  - The roof was visually inspected from ground level. The following was noted:
    - There is a visible bow in the roof on the west side, which correlates to the second floor ceiling damage. The metal roof is rusted and deteriorated.

Ms. Becky Fenno

- Rafter tails and edge of roof sheathing was visibly deteriorated.

### **CONCLUSIONS/RECOMMENDATIONS**

1. Conclusions: The structural integrity of the CMU walled ADU structure has no evidence of structural failure or significant inherent structural instability.
  - a. There are some signs of distress, which are all repairable, which include:
    - i. Cracks in the CMU wall on the south side of the structure
    - ii. Deterioration in the second floor wood joists at the beam pockets
    - iii. Water damage on the second floor ceilings, indicative of roof watertight integrity issues, and potential deteriorated roof structure.
    - iv. Deteriorated building envelope elements, such as window surrounds.
  - b. Walls appear plumb, and CMU wall cracks do not have lateral displacement and are not significant.
  
2. Recommendations:
  - a. All evidence of structural distress, as outlined above, can be remedied by repairing, replacing, or supplementing the structural elements.
  - b. The structure is stable based on our assessment and visual inspection, and can be renovated and/or repaired as necessary to restore the original integrity.
  - c. Based on the attached stability rating assessment, we rate the structure as an 9, meaning that is unstable, but can be restored to the original integrity economically by repairing the above noted issues. Demolition is not recommended.
  - d. It should be noted that the CMU walls do not meet current IRC 2015 for reinforcement against wind/seismic or other lateral loads.

If you need any further information, please do not hesitate to call me at the above number.

Sincerely,  
**CASKIE ENGINEERING, LLC**

Stephen S. Caskie, PE, M.ASCE

Attachment A: City of Charleston Structural Stability Rating System

Attachment B: Photographs of 66 Cannon Street ADU taken November 11, 2019.

## Attachment A:

### **STRUCTURAL STABILITY RATING SYSTEM**

The relative stability of a structure will be assigned a rating based on a scale of zero to ten.

---

0	5	10
Unstable		Stable

A stability rating of 10 indicates that the structure is considered structurally stable, and no additional stabilization is required.

A stability rating of 5 through 9 indicates that the structure is considered unstable, but the deterioration and damage that causes the instability can be mitigated through either external or internal stabilization and/or repairs/replacement of damaged major structural members. The structure can usually be salvaged and restored, if desired.

A stability rating of 1 through 5 indicates that the structure is considered unstable, and the damage and deterioration most probably cannot be compensated for using any means of stabilization. Demolition is usually the only feasible and cost effective method to place the structure in a stable condition.

A stability rating of 0 indicates that the structure is extremely unstable, and will very soon, under normal loading conditions, fail. Demolition should be accomplished as soon as possible.

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Attachment B  
Photographs taken of the ADU Located at 66 Cannon  
Street, Charleston, SC on 11.11.19

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Figure 1: South Façade of the 66 Cannon Street ADU. Note the damage to the CMU at the opening

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Figure 2: East façade.

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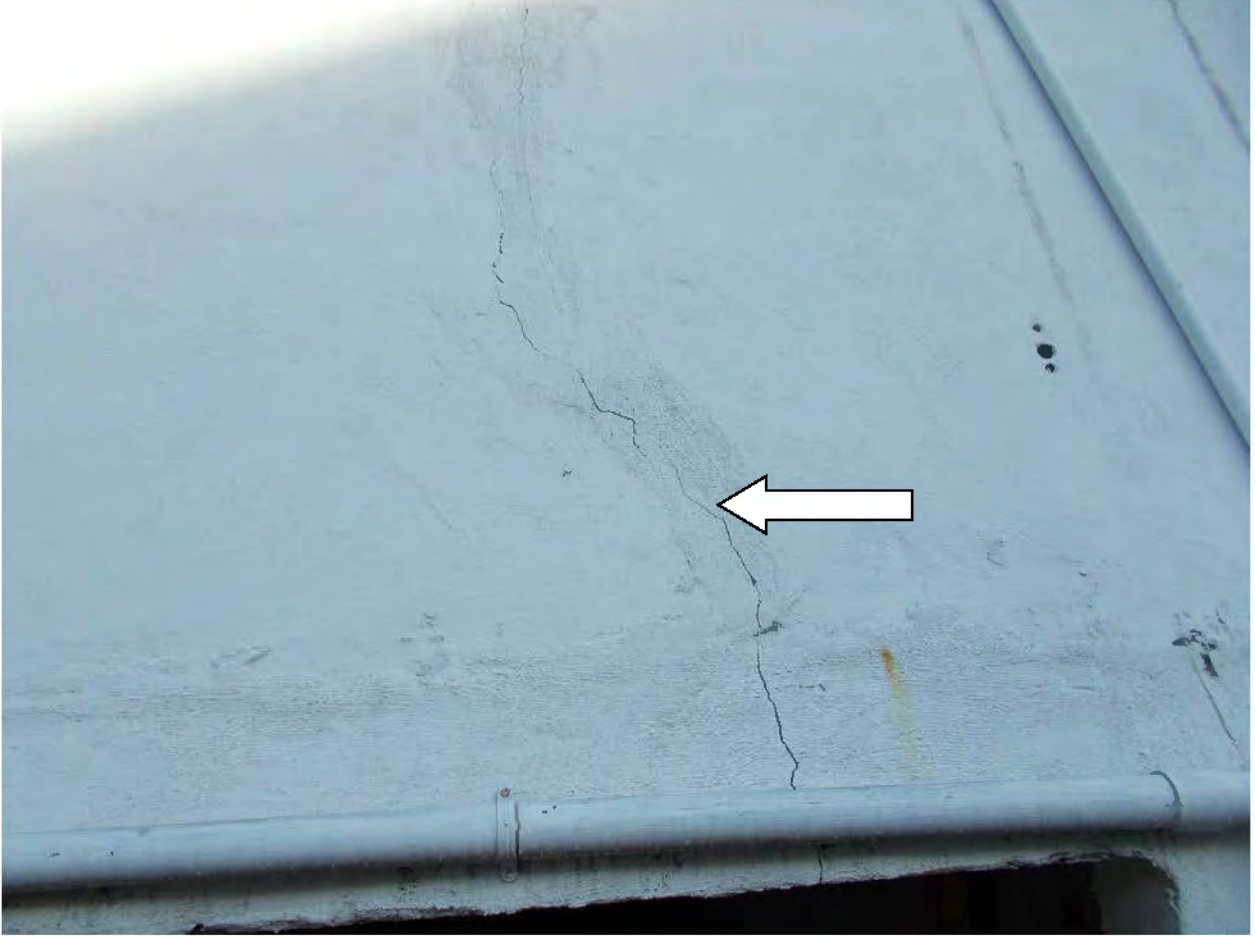


Figure 3: Cracking on the south exterior façade above the lintel/garage door opening



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Figure 4: South side exterior cracks on the facade

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Figure 5. East side second floor exterior. Note the deteriorated rafter tails and roof sheathing.

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Figure 6: south side interior at the steel lintel. Note the 1/2" wide crack.

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Figure 7: Second floor framing under the bathroom, showing deteriorated framing and inadequate framing supplementation.

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Figure 8: west side second floor ceiling water damage

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Figure 9: typical window surround deterioration

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Figure 10: another example of a window surround

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Figure 11: another example of west side second floor ceiling framing damage due to water intrusion



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Figure 12: West facade

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Figure 13: west façade, second floor. Note deterioration of the rafter tails and window surround.

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Figure 14: west façade, view of the roof. Note the metal covering rust, and the bow of the roof

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# Garage Demolition

66 Cannon Street  
Charleston, South Carolina

January 3, 2020

*BAR Demolition Submittal*

## Sheet Index

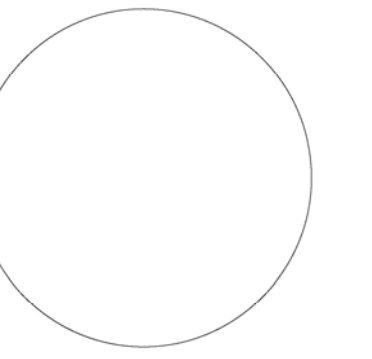
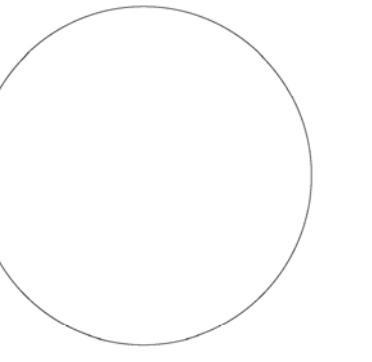
- G1.0 Cover Sheet
- C1.1 Existing Site Plan
- A1.1 Existing Garage Plans
- A2.1 Existing Exterior Garage Elevations



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Project:  
**Garage Demolition**

66 Cannon Street  
Charleston, SC 29403

Sheet Title:

**Cover Sheet**

Project #:19-017

Date: 1.3.2020

Rev. Date:

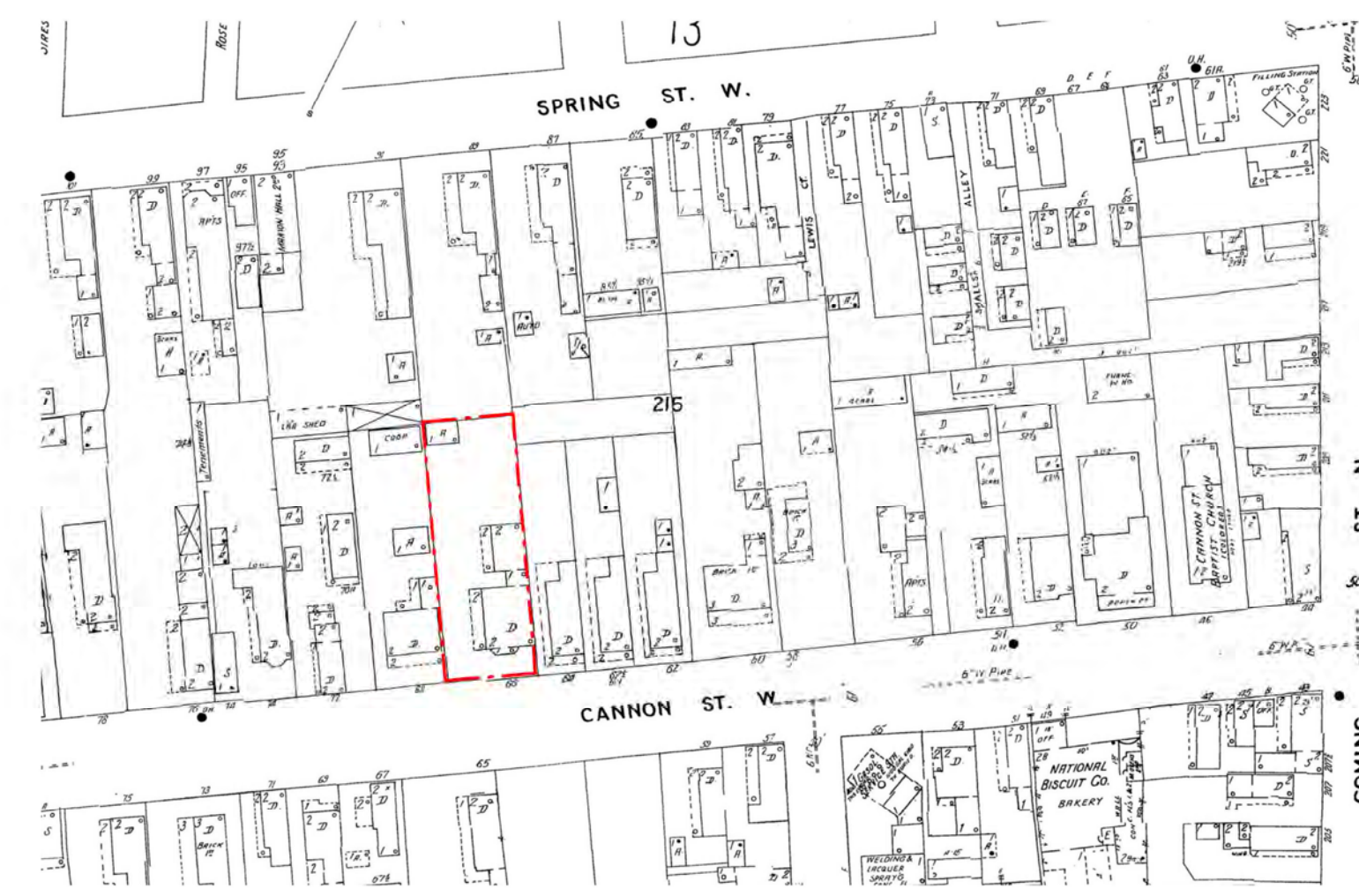
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**G1.0**

## SANBORN MAPS



1902 SANBORN MAP

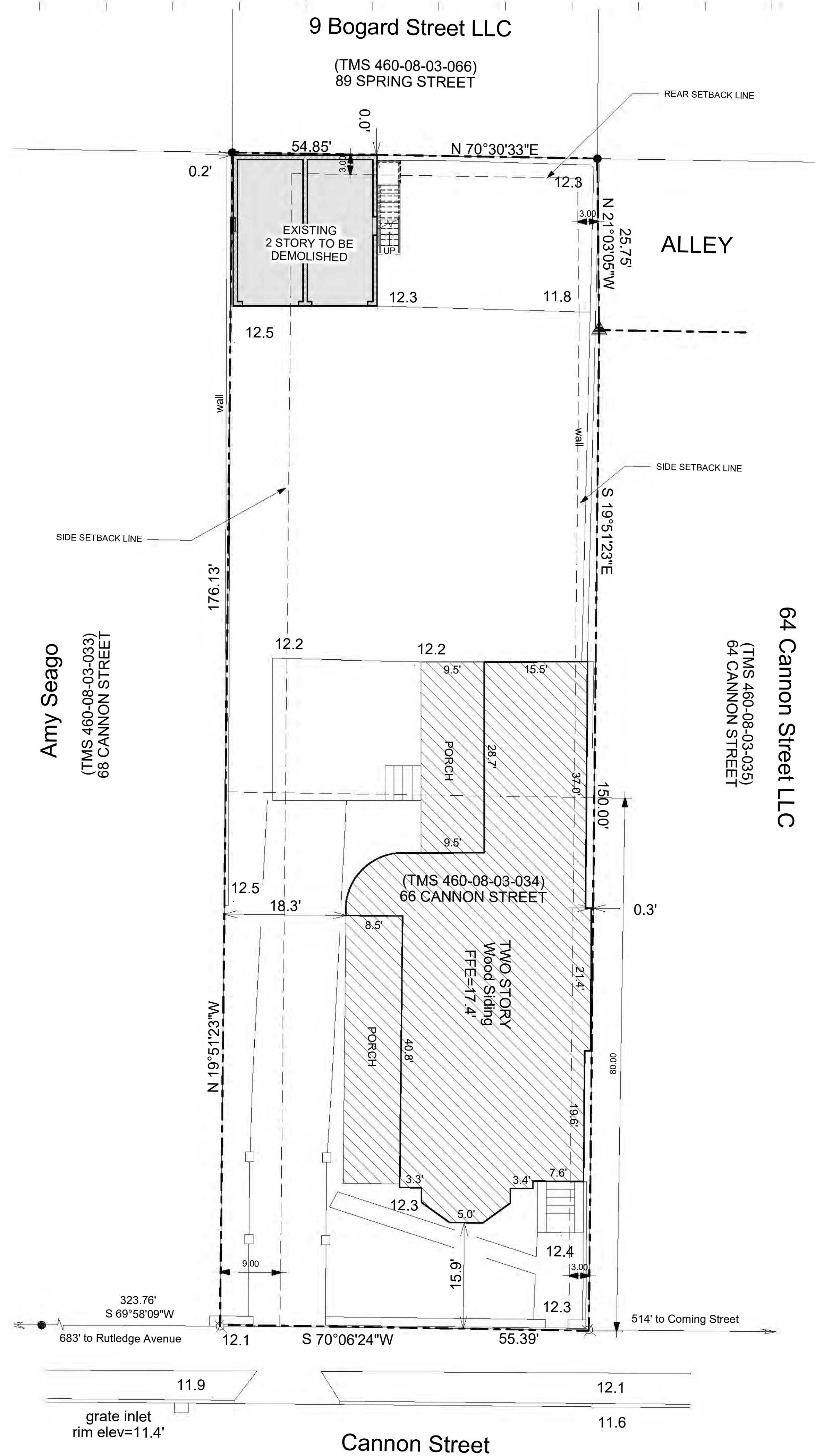


1944 SANBORN MAP



1951 SANBORN MAP

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**1 Existing Site Plan**  
 1" = 10'-0"

**CODE & ZONING INFORMATION**

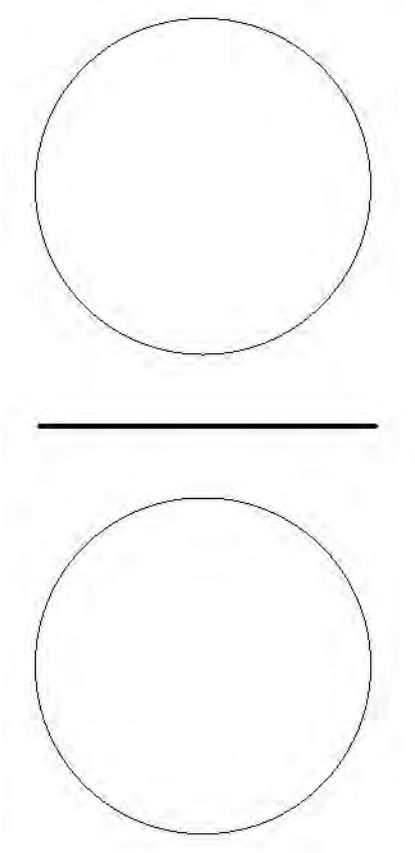
Project Address: 66 Cannon St.  
 TMS Number: 460-08-03-034  
 Flood Zone: X  
 Zoning: LB

**PRIMARY CODES AND ORDINANCES USED**

1. 2018 International Residential Code w/ SC Modifications
2. 2009 International Energy Conservation Code
3. SC Energy Efficiency Standards Act
4. ASHRAE 90.1-2004



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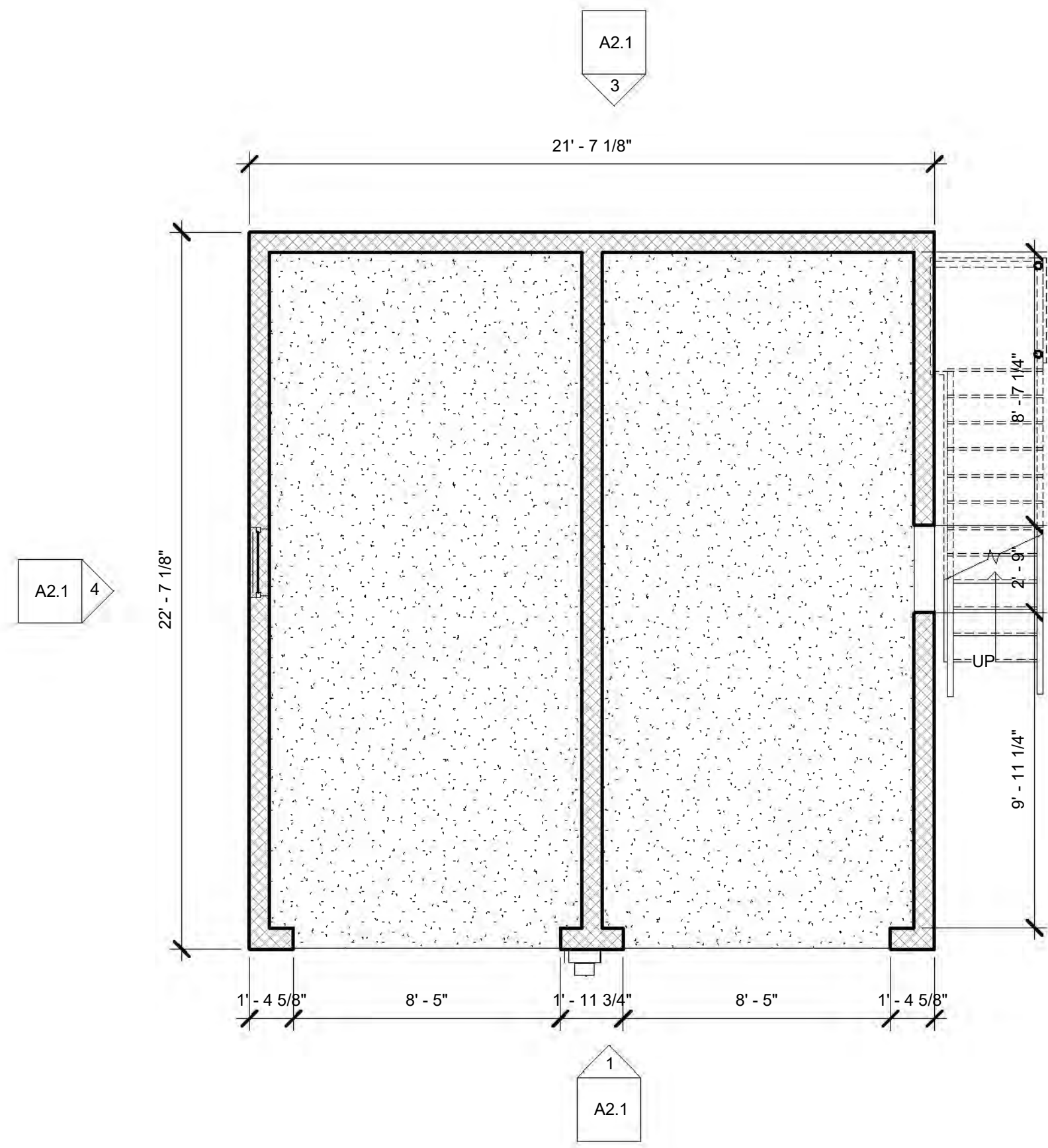


Project:  
**Garage Demolition**  
 66 Cannon Street  
 Charleston, SC 29403

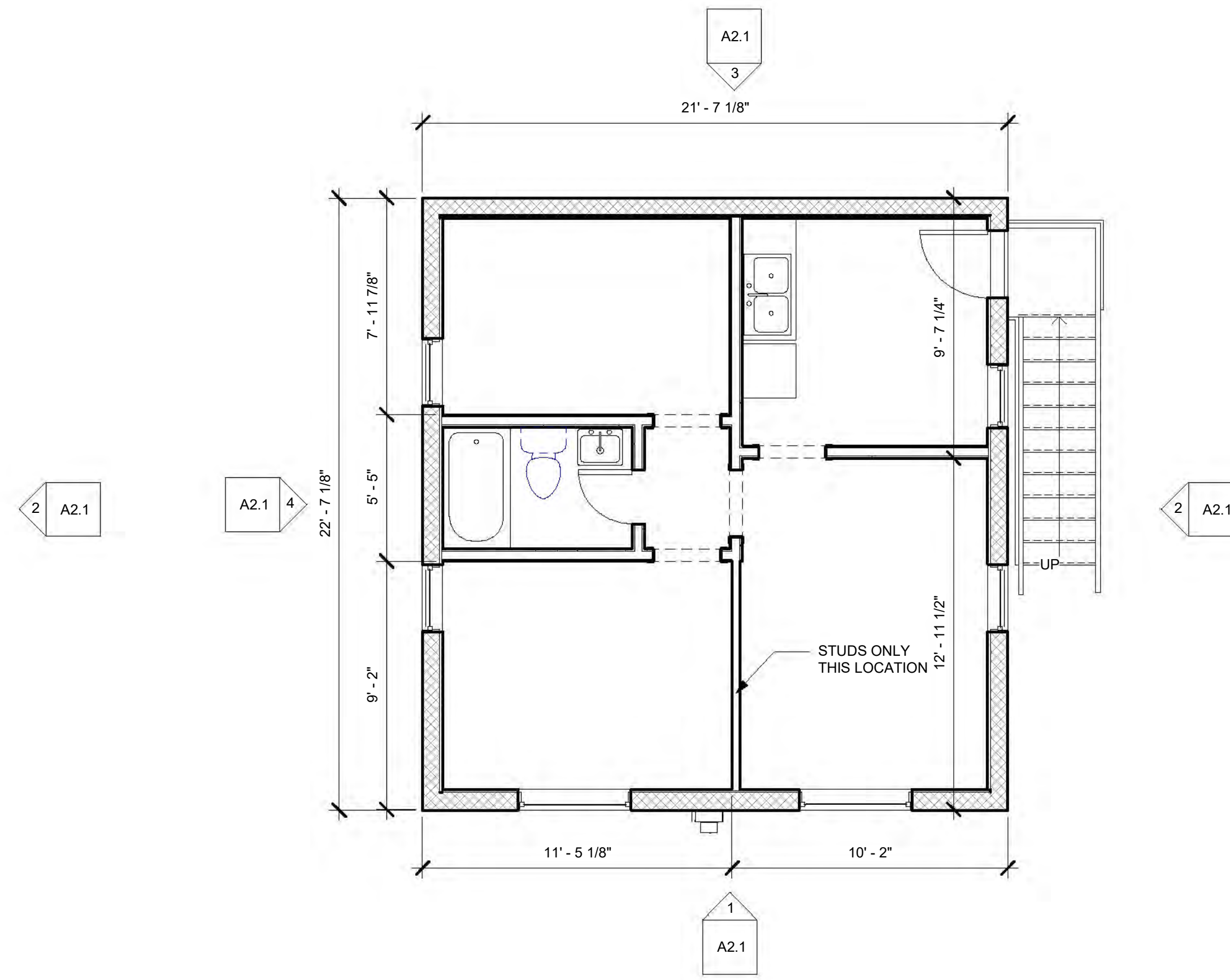
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Project #: 19-017  
 Date: 1.3.2020  
 Rev: Date:

Sheet #:  
**C1.1**



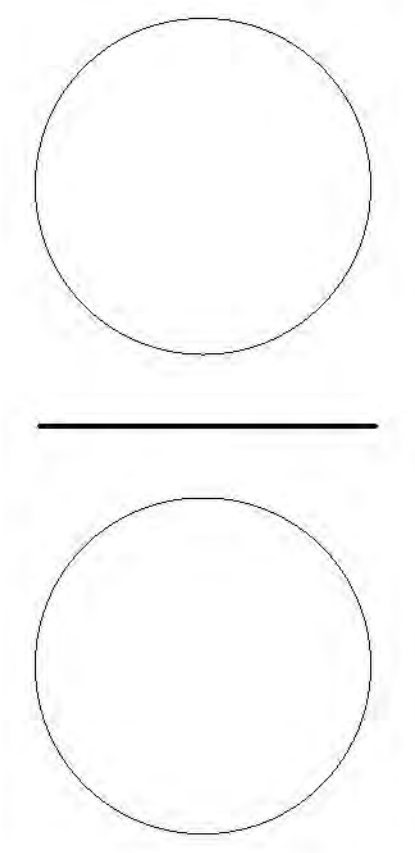
**1** Ground Floor Plan  
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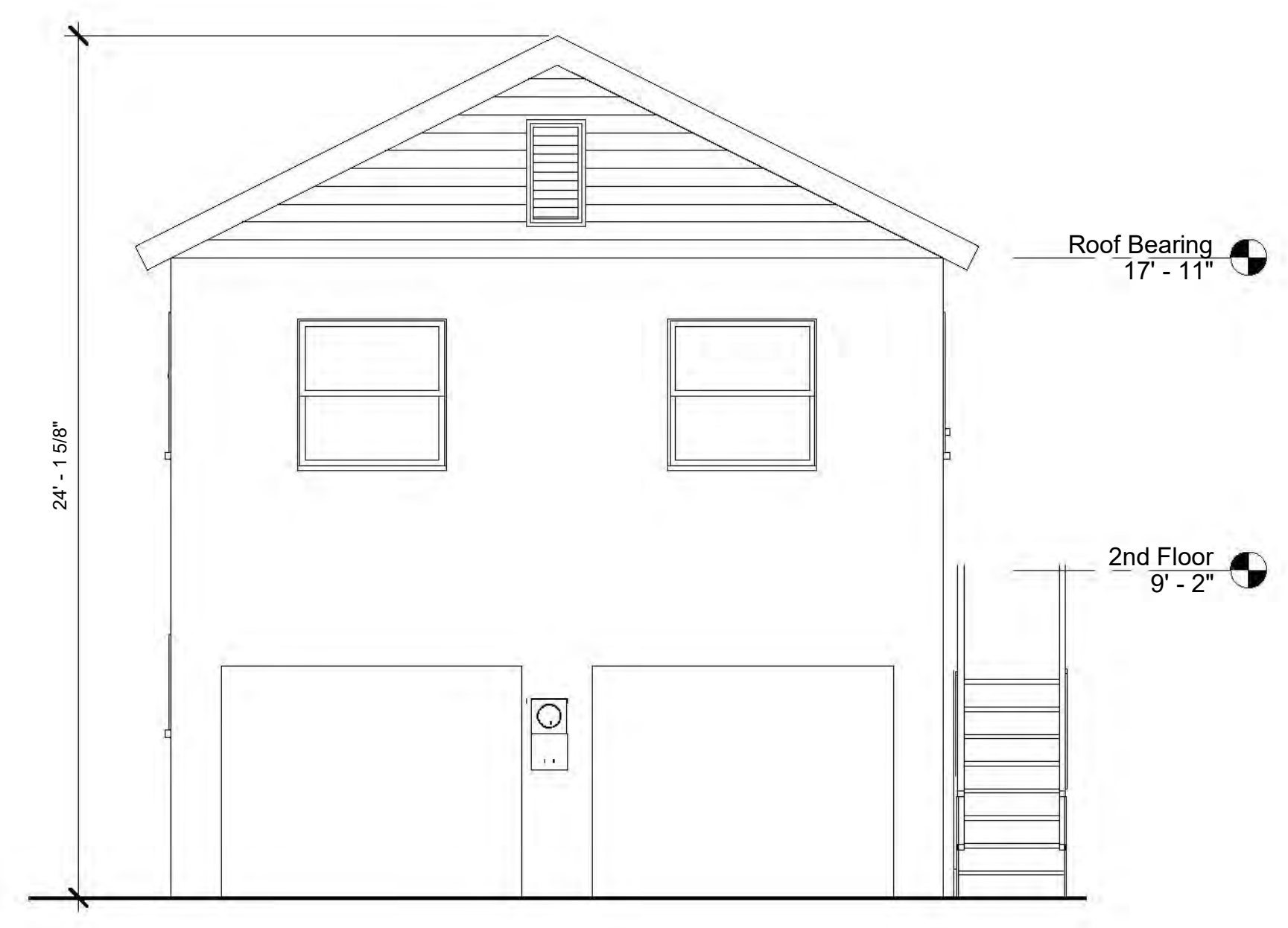


**2** Existing 2nd Floor Plan  
1/4" = 1'-0"

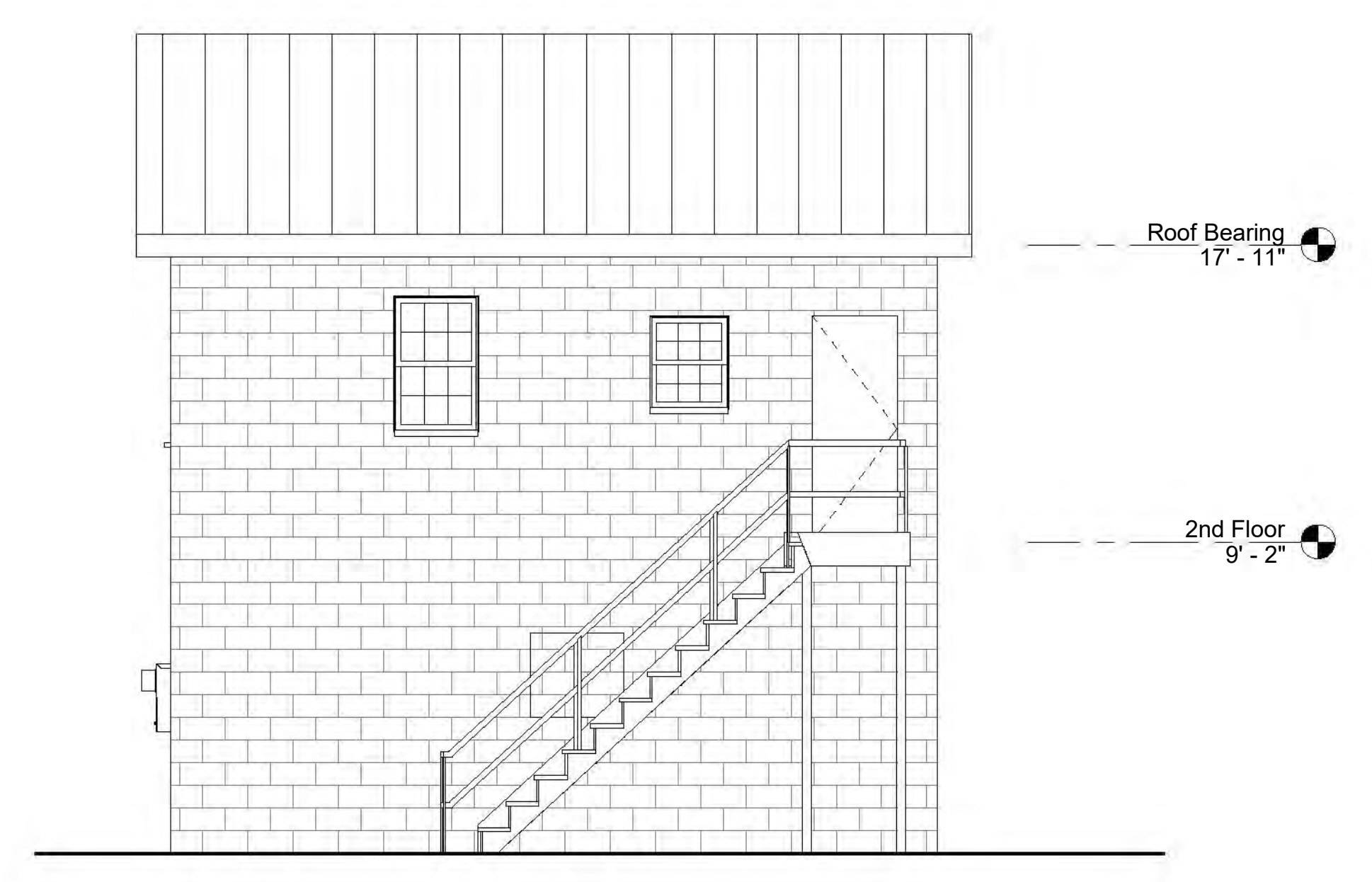


**3** Existing Roof Plan  
1/4" = 1'-0"

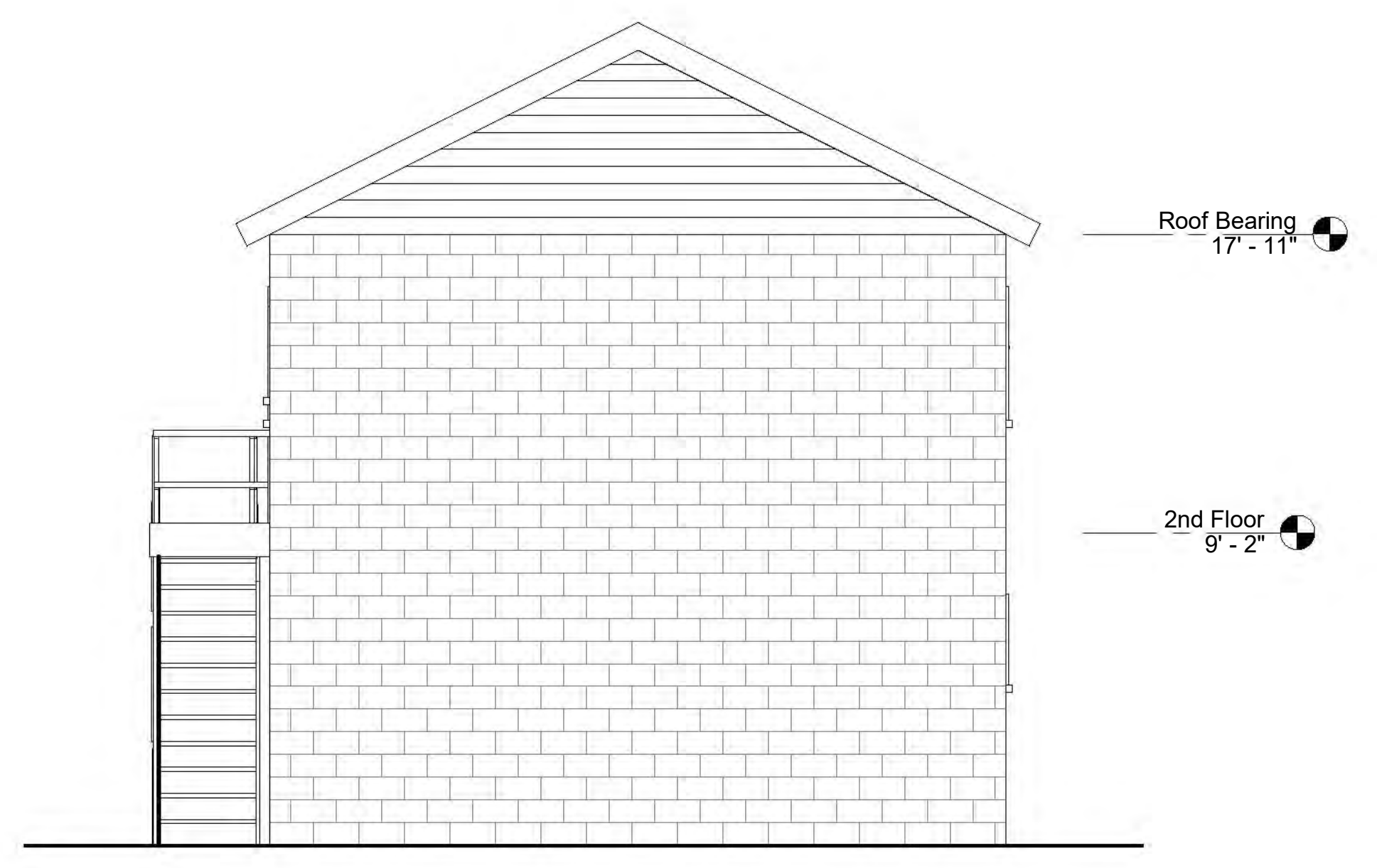




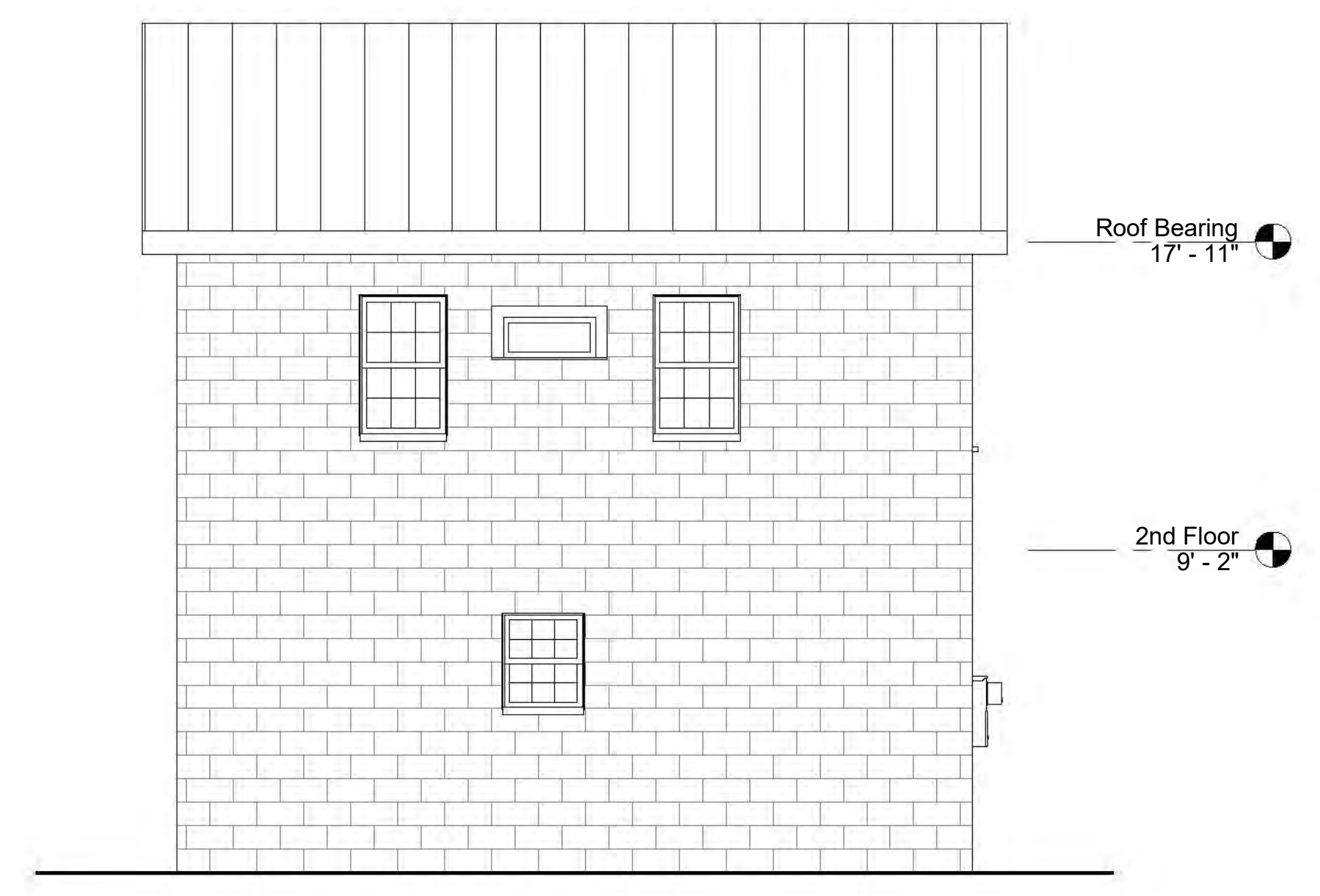
1 Existing Front (South) Elevation  
1/4" = 1'-0"



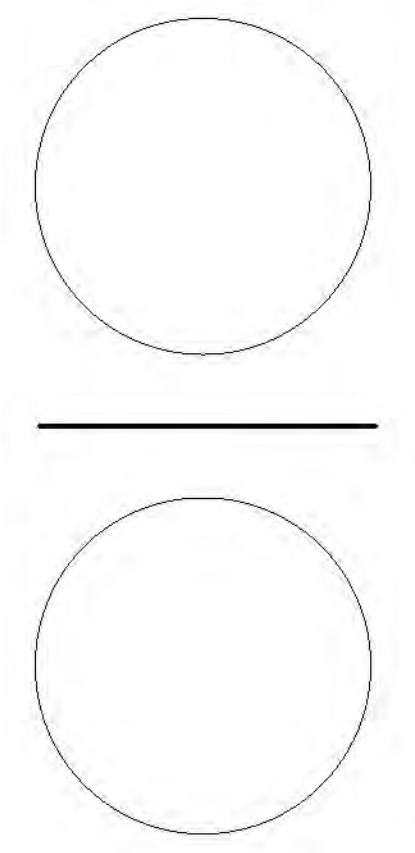
2 Existing East Elevation  
1/4" = 1'-0"



3 Existing Rear (North) Elevation  
1/4" = 1'-0"



4 Existing West Elevation  
1/4" = 1'-0"



Project:  
**Garage Demolition**  
66 Cannon Street  
Charleston, SC 29403

Sheet Title:  
**Existing  
Exterior  
Garage  
Elevations**

Project #: 19-017  
Date: 1.3.2020  
Rev: Date:

Sheet #:



# New Carriage Houses

## 66 Cannon Street - Charleston, South Carolina



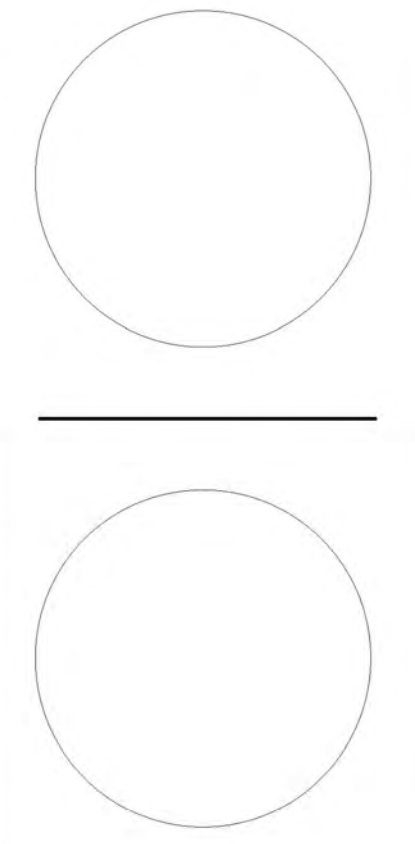
February 3, 2019  
*BAR Concept Submittal*

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- G1.0 Cover Sheet
- C1.1 Existing & Proposed Site Plans
- C1.2 Parking Manueverability Analsi
- A1.1 New Floor & Roof Plans
- A2.1 New Exterior Elevations
- A2.2 Overall Site Elevations
- A2.3 Perspectives
- A3.1 Building Section
- A4.1 Site Photographs



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Project:  
**New Carriage Houses @ 66 Cannon**

66 Cannon Street  
 Charleston, SC 29403

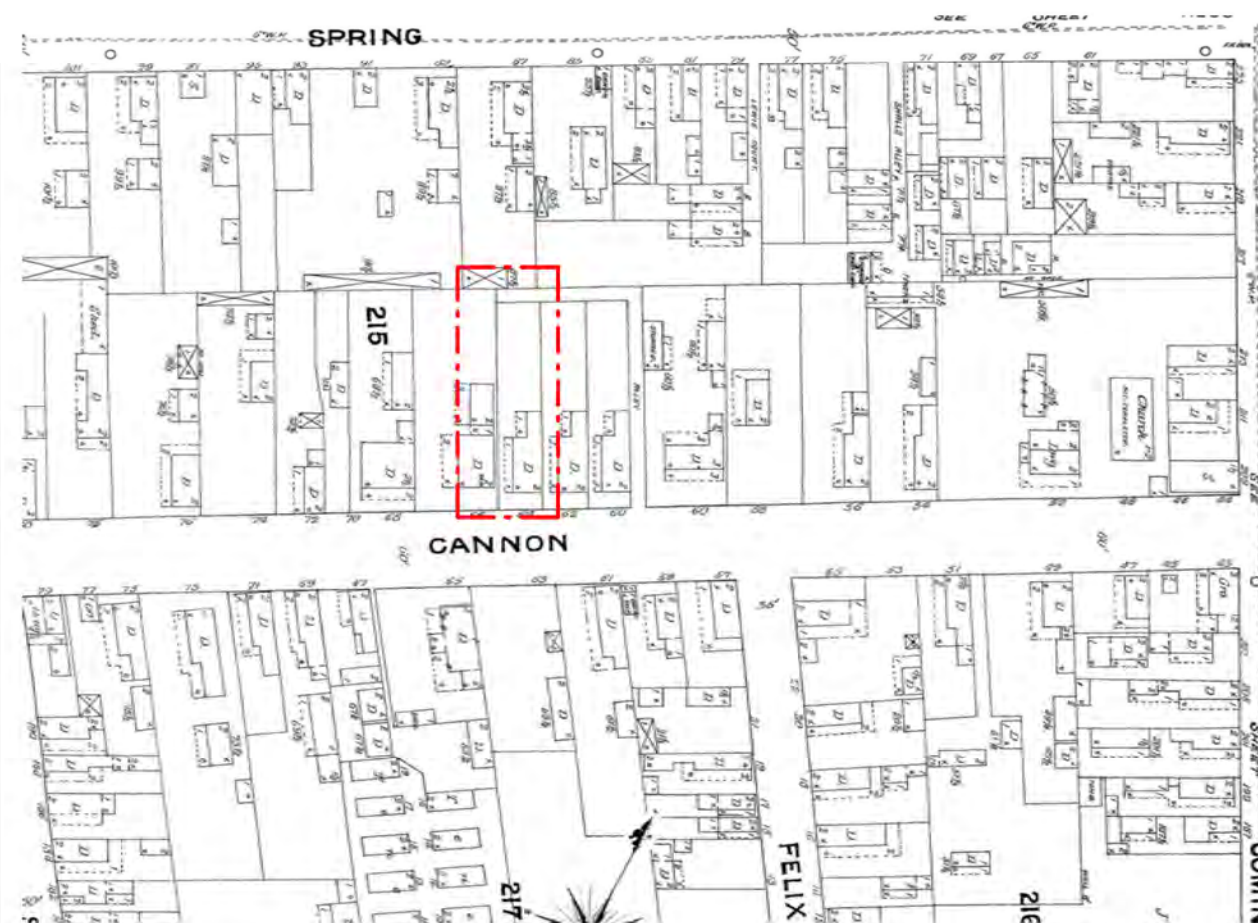
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Project #:19-015  
 Date: 2.3.2020  
 Rev: Date:

Sheet #:

**G1.0**

### SANBORN MAPS



1888 SANBORN MAP



1902 SANBORN MAP



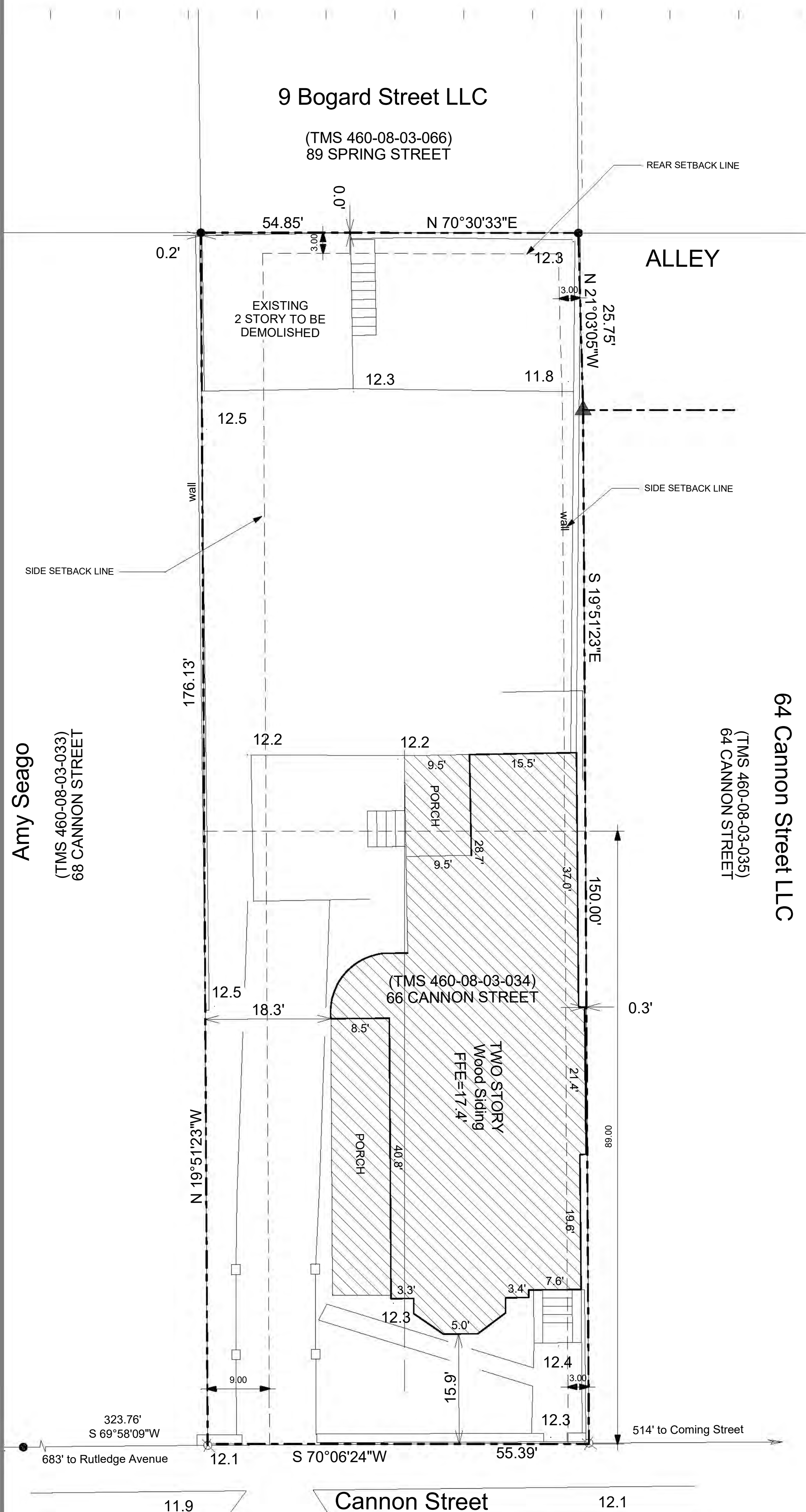
1944 SANBORN MAP



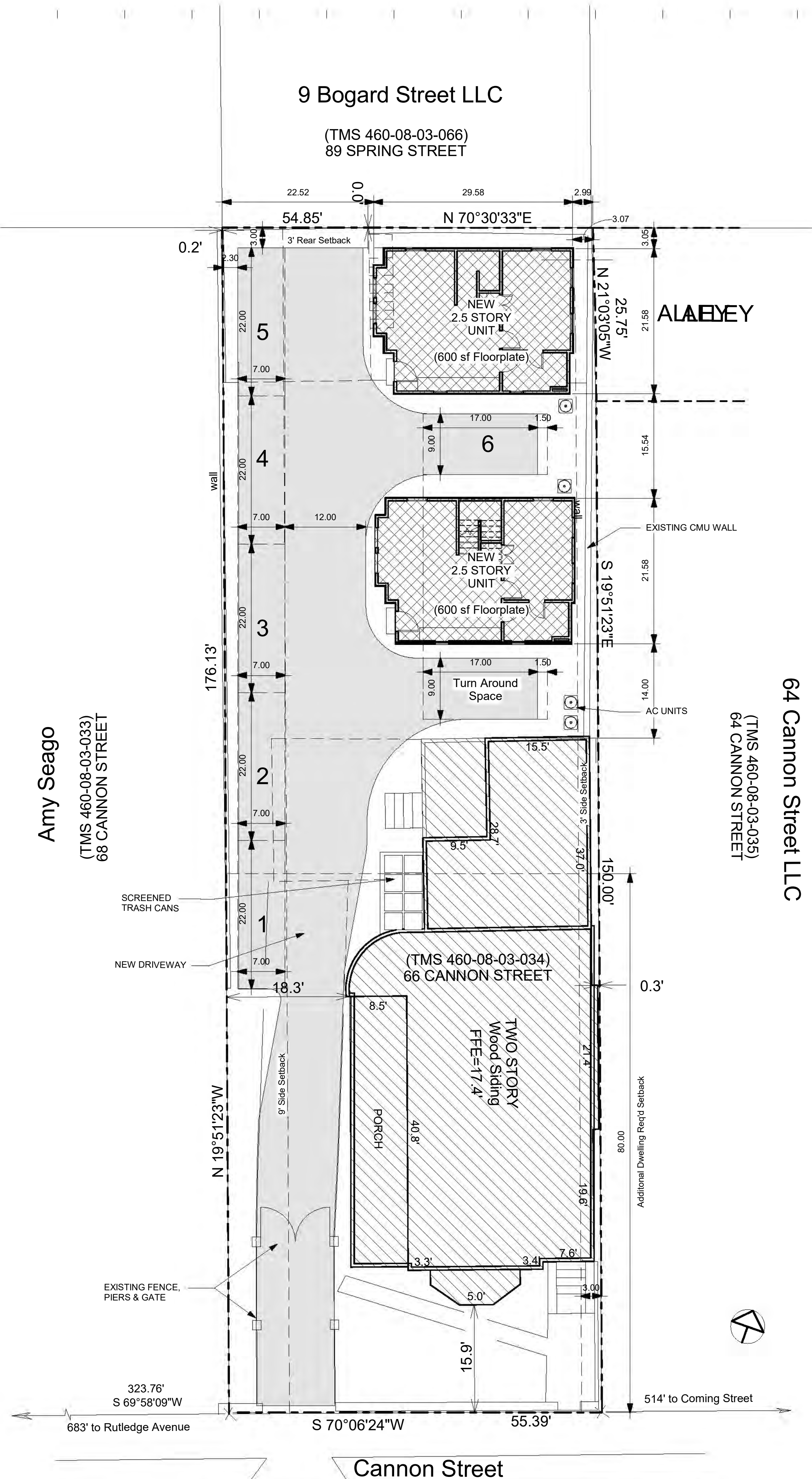
1951 SANBORN MAP

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1 Existing Site Plan  
1" = 10'-0"



2 New Site Plan  
1" = 10'-0"

CANNON STREET (60' R/W)

CODE & ZONING INFORMATION

Project Address: 66 Cannon St.  
TMS Number: 460-08-03-034  
Flood Zone: X  
Zoning: LB

PRIMARY CODES AND ORDINANCES USED

- 2018 International Residential Code w/ SC Modifications
- 2009 International Energy Conservation Code
- SC Energy Efficiency Standards Act
- ASHRAE 90.1-2004

LOT COVERAGE

Total Lot Area:	9,738 sf
Allowable Lot Coverage:	4,869 sf (50%)
Existing Building:	2,575.8 sf
New Buildings:	1,200 sf
Total Lot Coverage:	3,775.8 sf (38.8%)

SETBACKS

	Front & Rear		Side		Total
Required:	0'	3'	9'	3'	15'
Existing:	15.9'	0'	0'	0.3'	0.3'
Proposed:	15.9'	22.5'	18.3'	0.3'	18.6'

Add'l Dwelling Distance from Front Lot Line:

Required:	80'
Proposed:	105.12'

PARKING

Required:	6 Spaces
Provided:	6 Spaces

MINIMUM LOT AREA PER FAMILY

Required:	9,000 sf (2,250sf per 6 Families)
Provided:	9,738 sf (2,434.5 per Family)

LOT USE

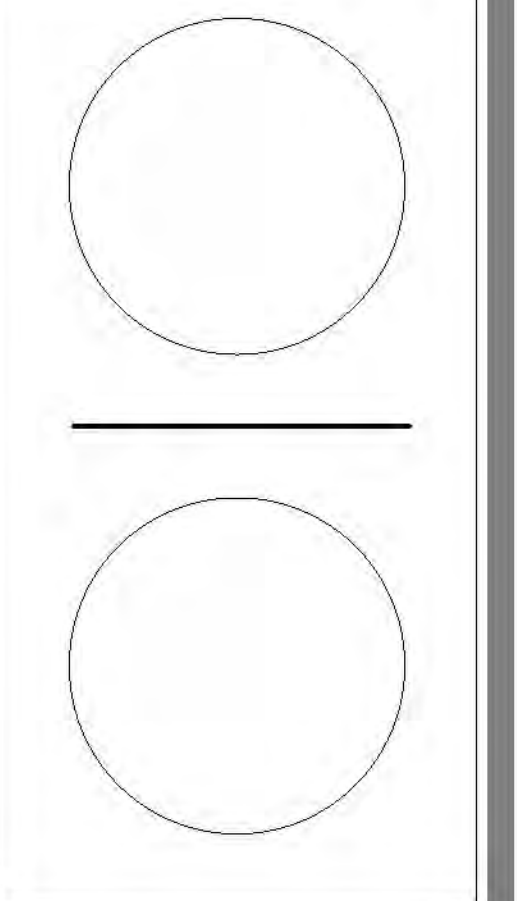
Existing Use:	2 Family
Proposed Use:	4 Family

ENERGY CODE COMPLIANCE

2009 IECC ZONE 3 COMPLIANCE  
 Windows U Factor (<=0.50): 0.28 U  
 Window SHGC (<=0.30): 0.28  
 Door U Factor (<=0.50): 0.34  
 Ceiling Insulation (R-30 Min): R-30  
 Wall Insulation (R-13 Min): R-13  
 Floor Insulation (R-19 Min): R-19  
 Crawl Insulation (R-5 cont. Min): N/A  
 Building Envelope Air Sealing: Visual Inspection per IECC Section 402.4.2.2  
 Pipes carrying fluids above 105 F shall be insulated to a min of R-3  
 Minimum of 50% of lamps to be high-efficient  
 No recessed lighting shall penetrate air barrier into conditioned space



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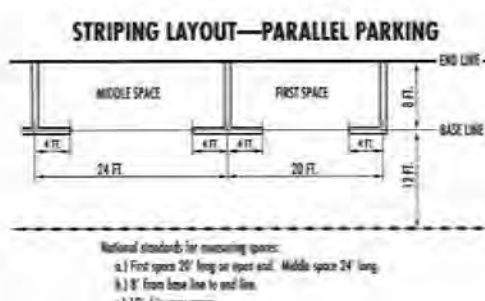
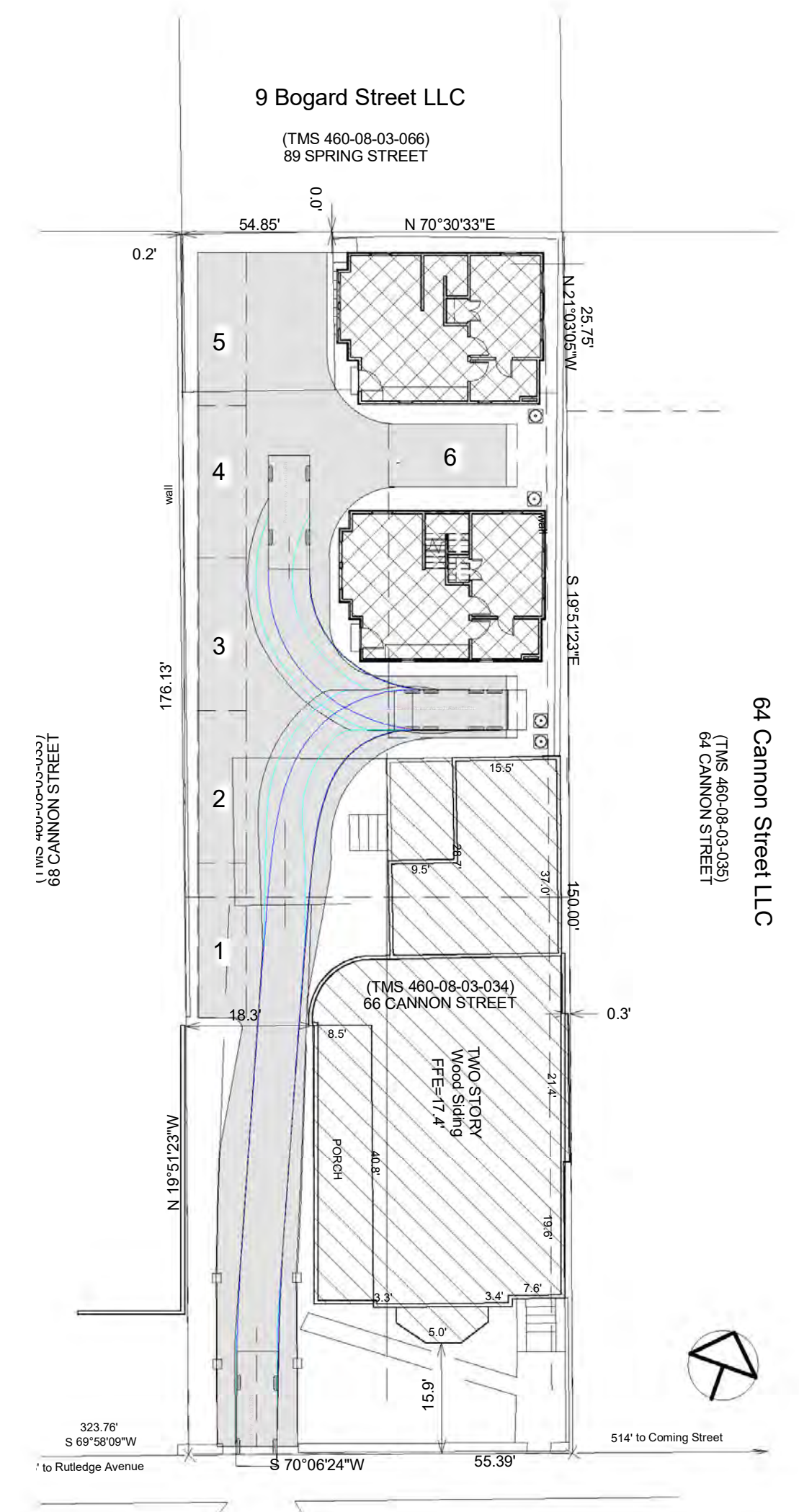
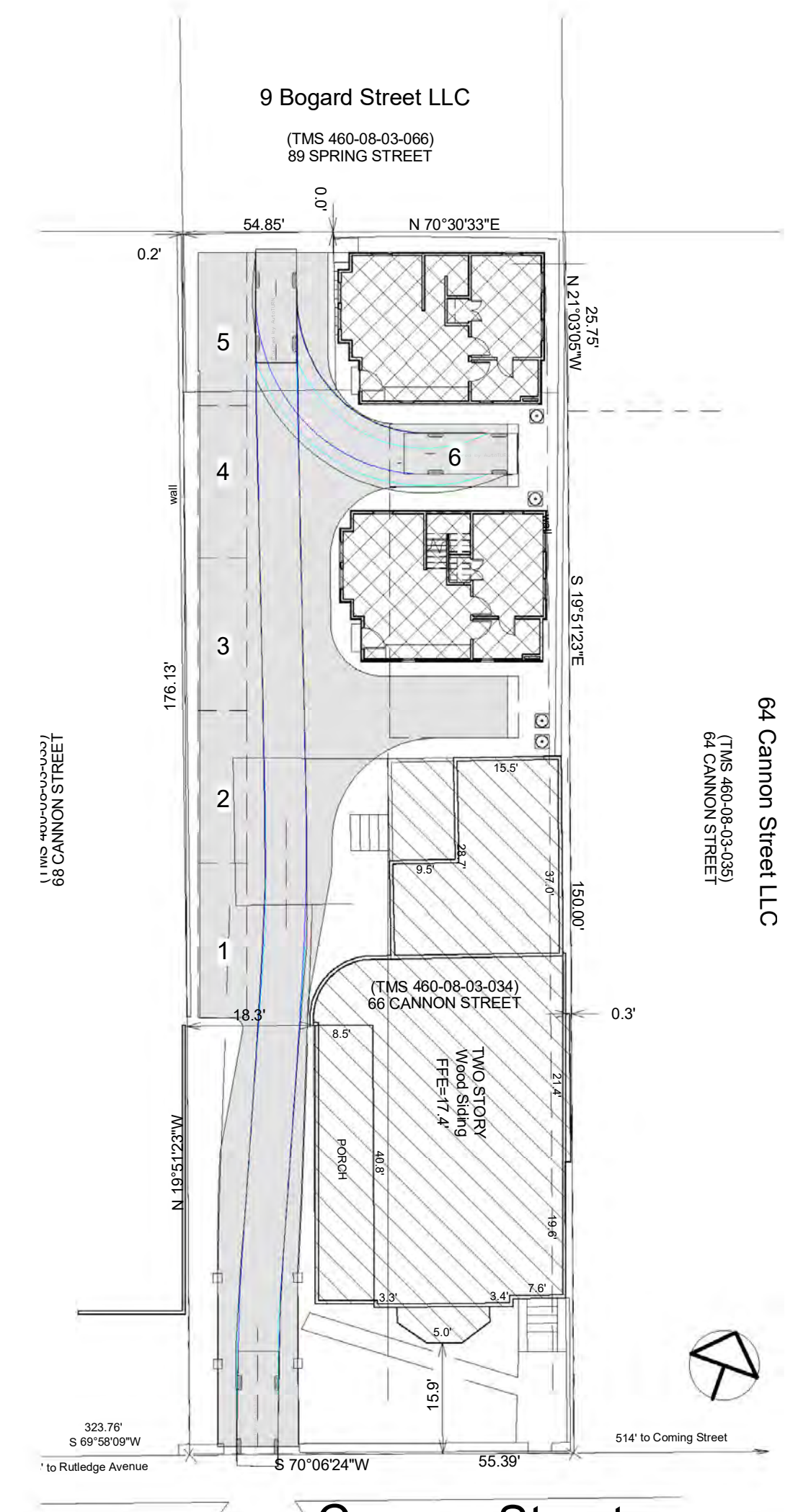
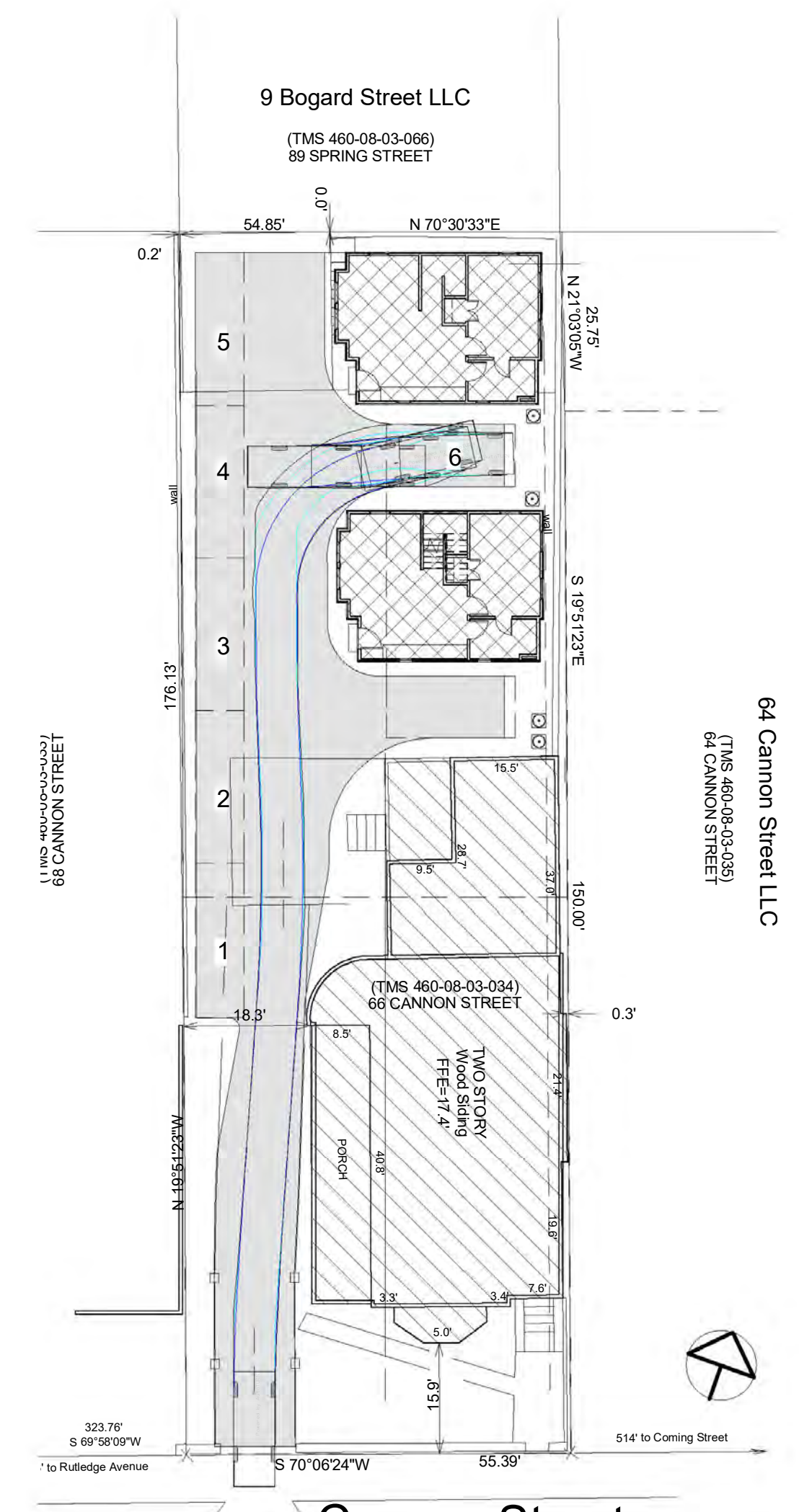
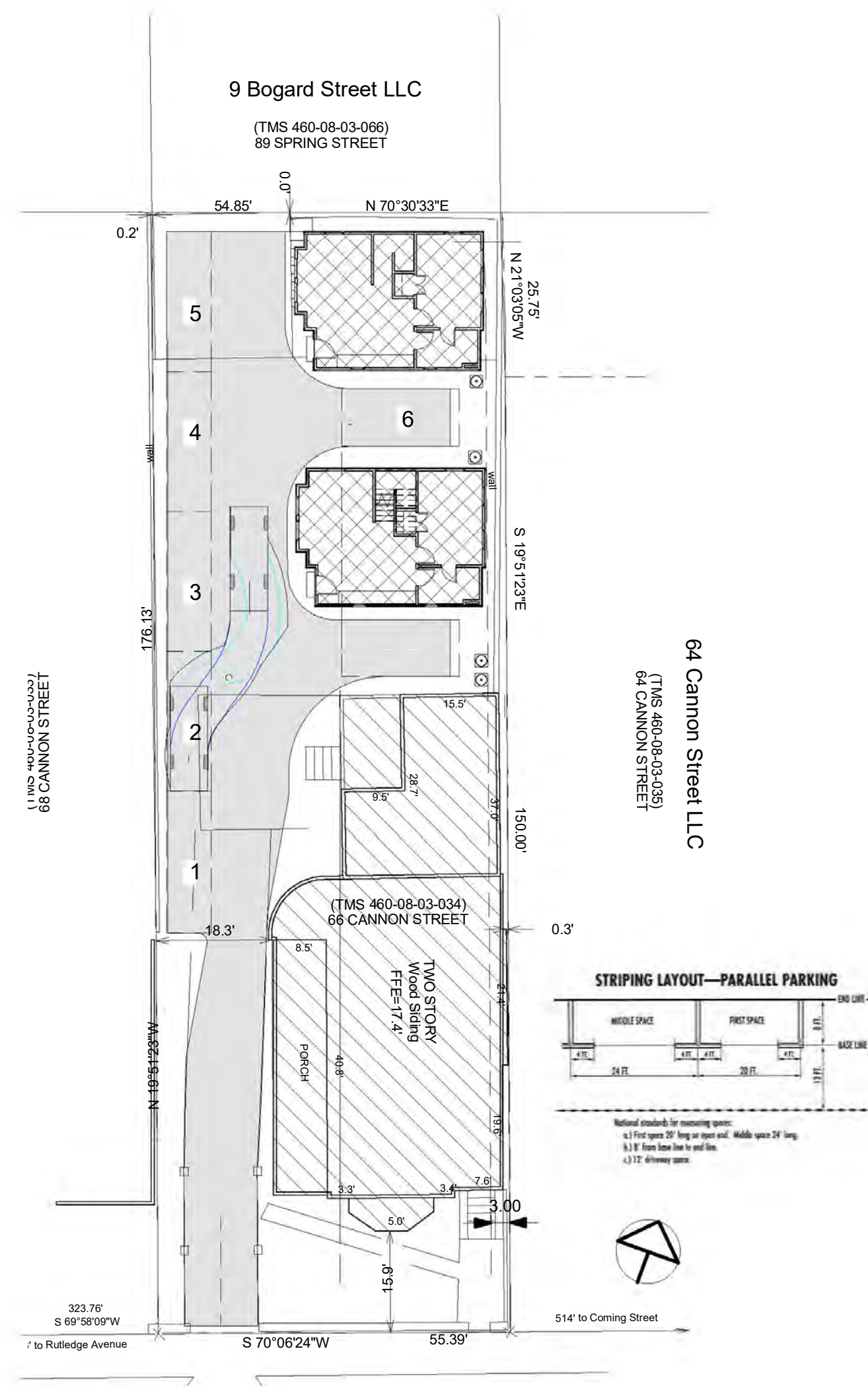


Project:  
**New Carriage Houses @ 66 Cannon**  
 66 Cannon Street  
 Charleston, SC 29403

Sheet Title:  
**Existing & Proposed Site Plans**

Project #: 19-015  
 Date: 2.3.2020  
 Rev: Date:

Sheet #:  
**C1.1**

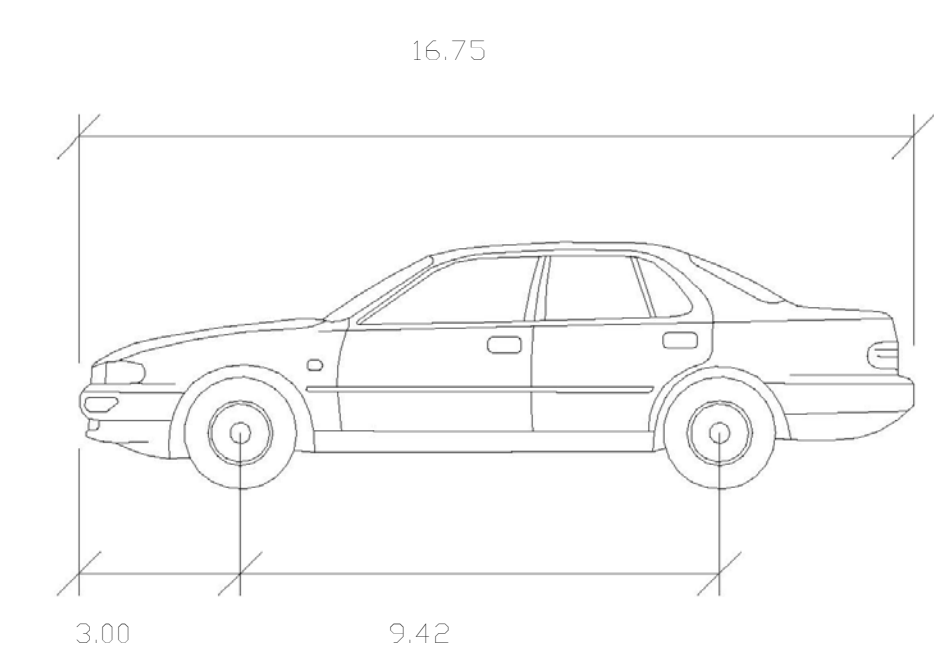


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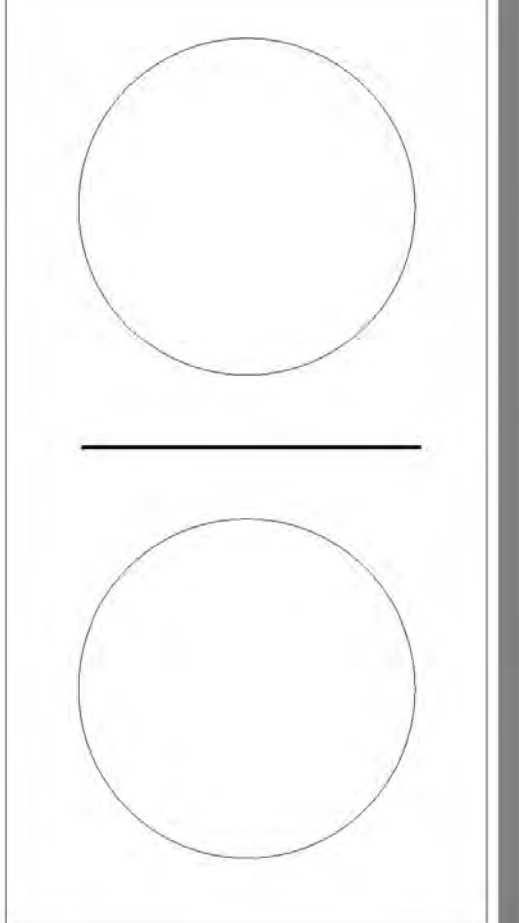
2 AutoTurn- Space 6 In  
1" = 20'-0"

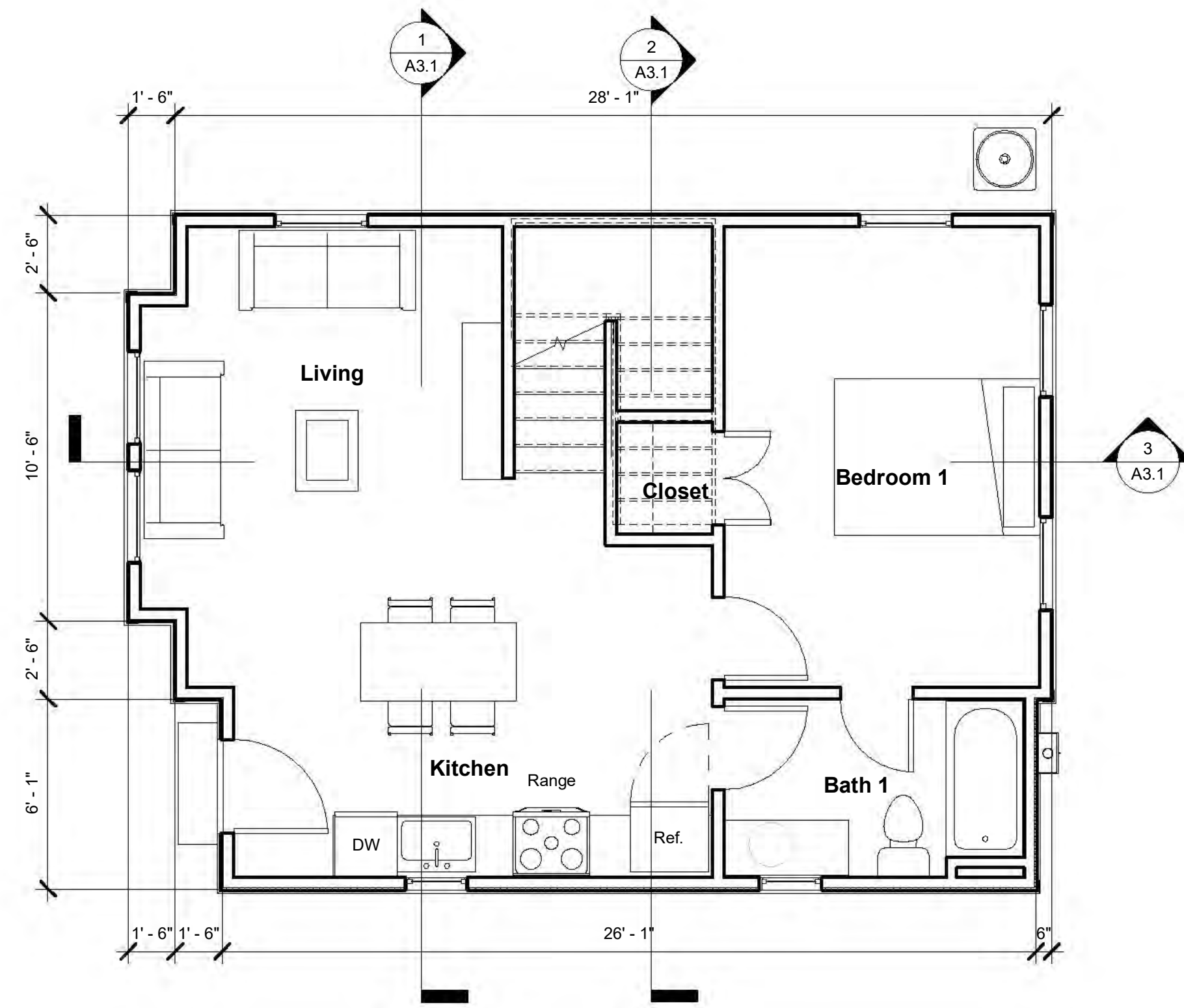
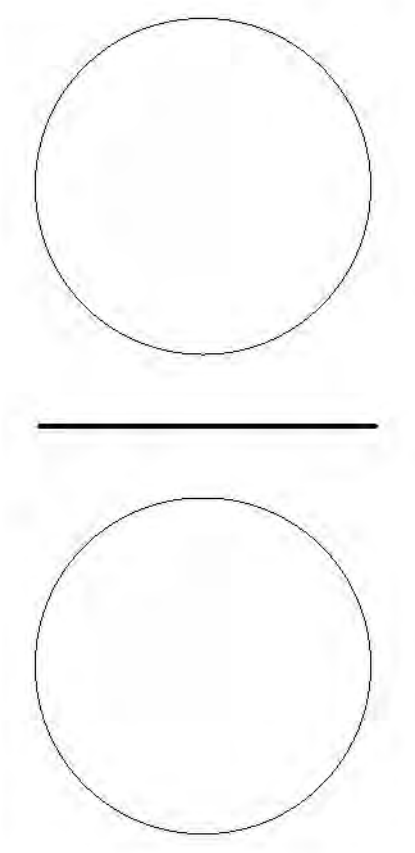
3 AutoTurn- Space 6 Out  
1" = 20'-0"

4 AutoTurn-Turn Around  
1" = 20'-0"

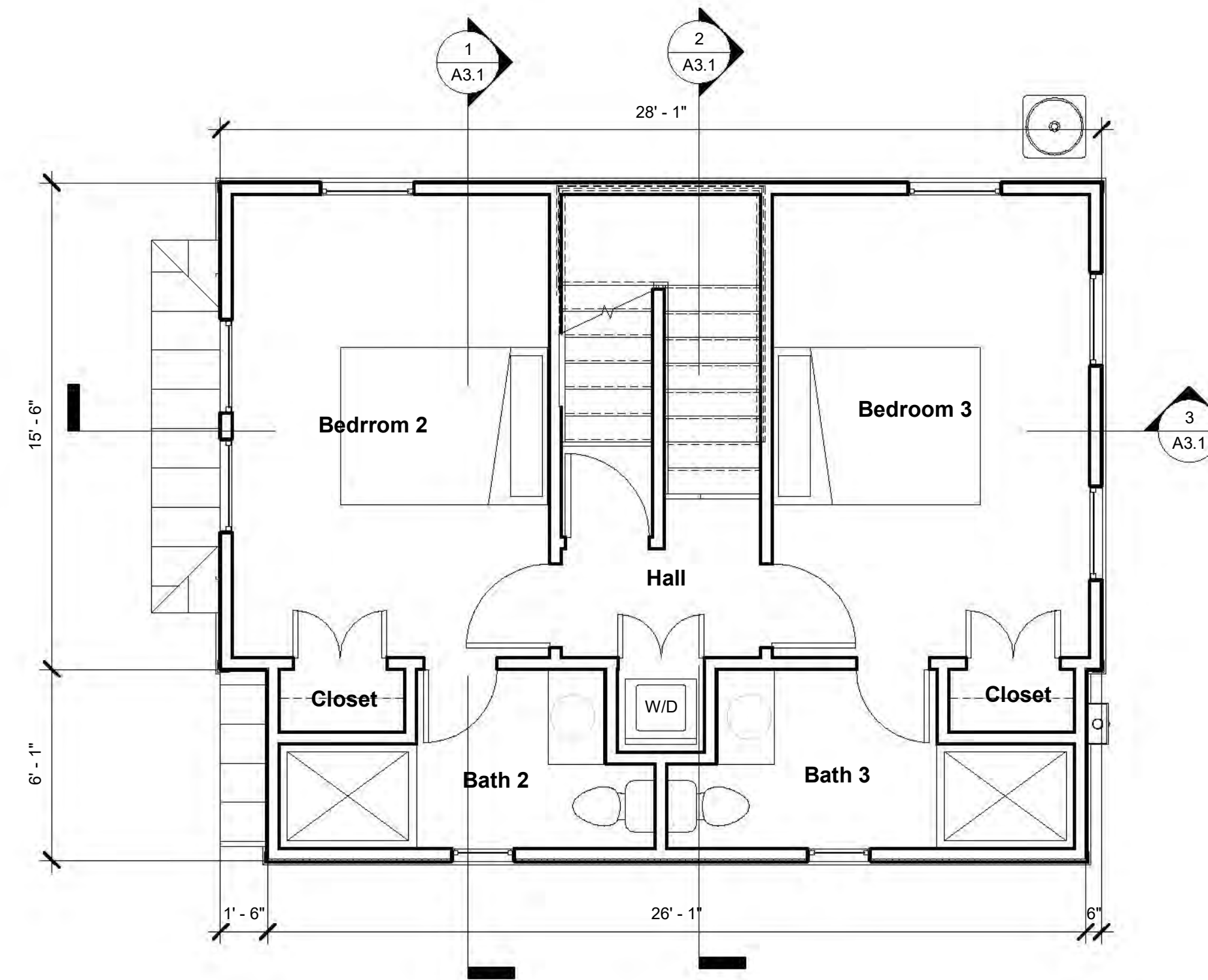


Composite Passenger Vehicle	Feet
Width	6.33
Track	6.33
Lock to Lock Time	6.00
Steering Angle	26.40

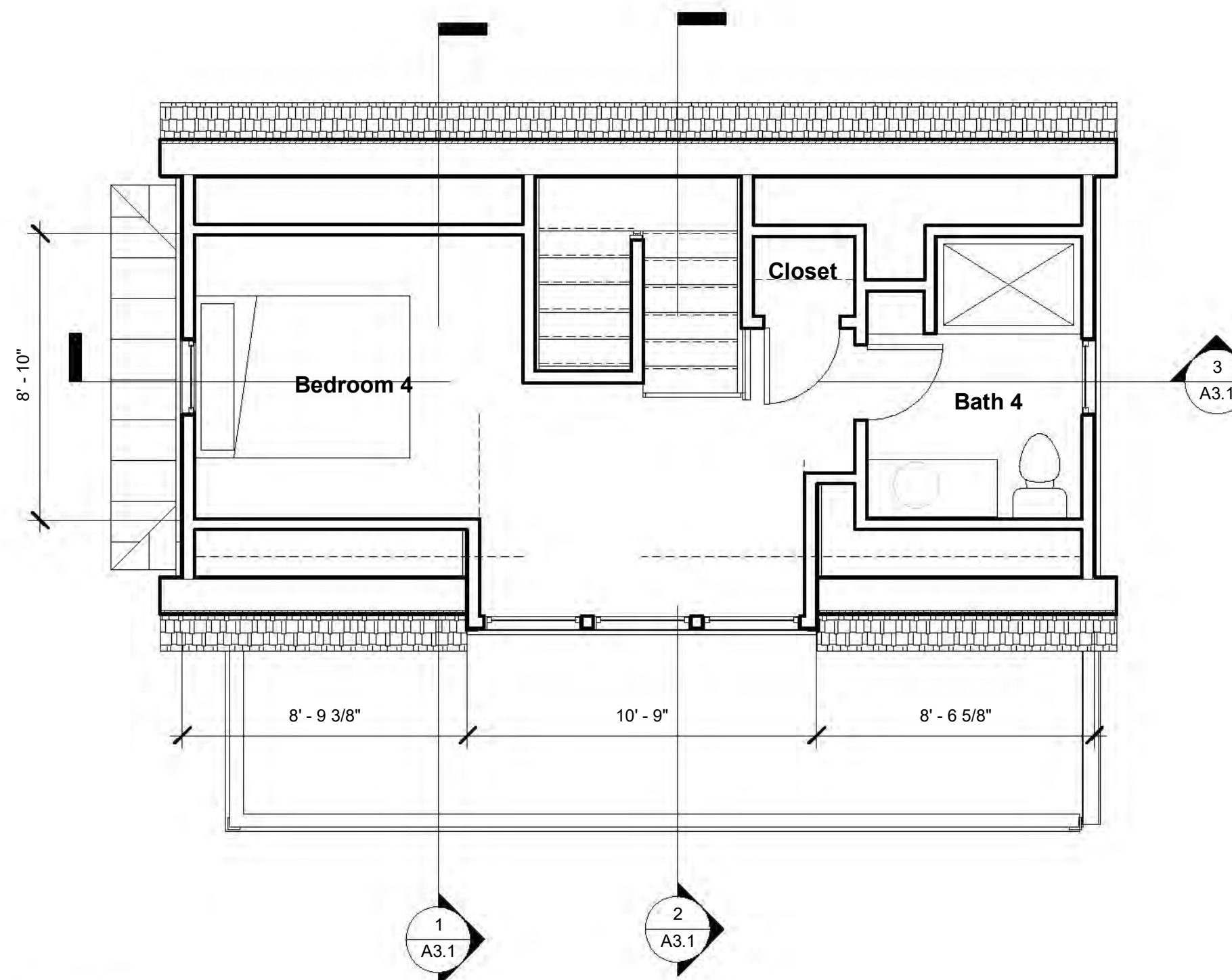




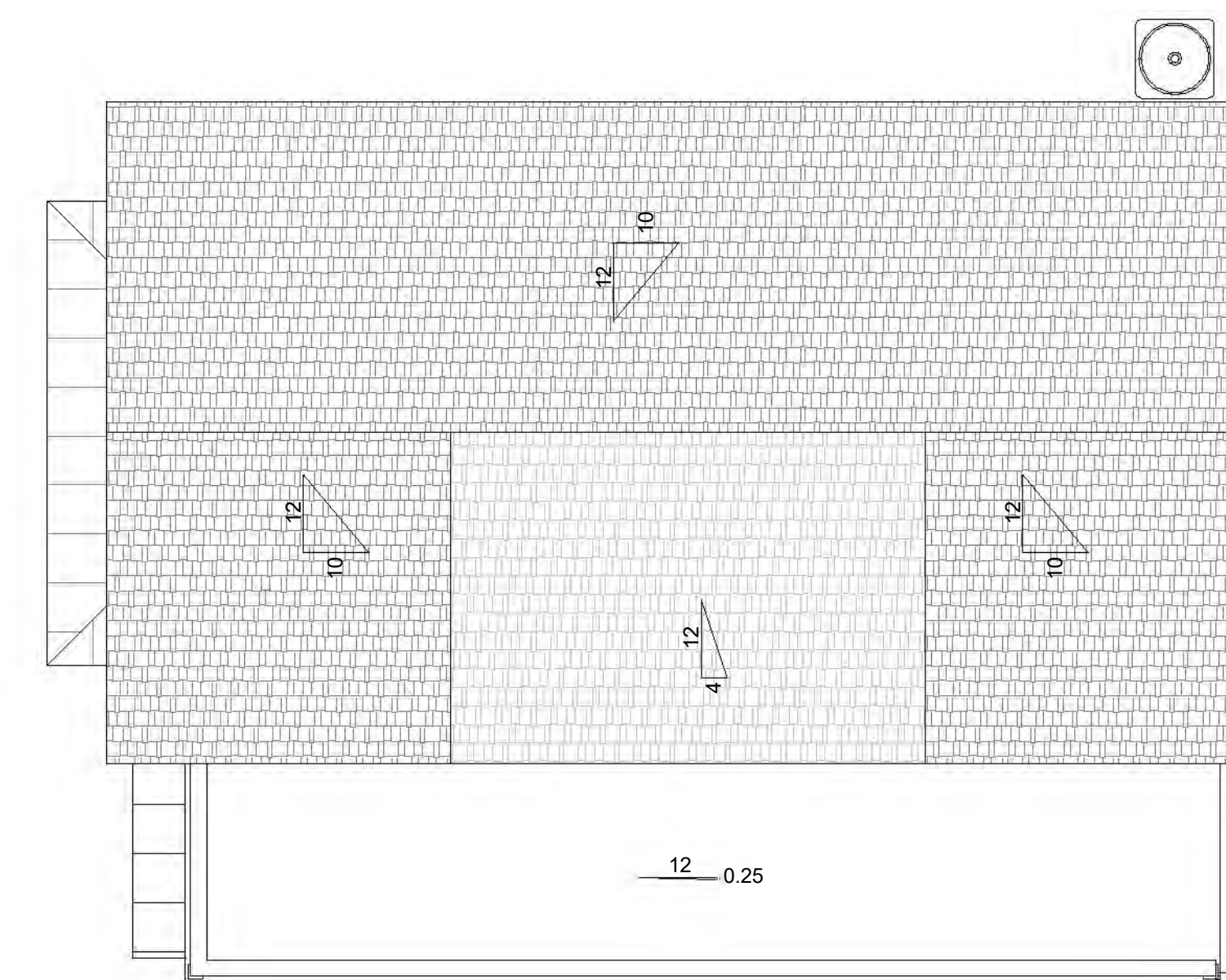
**1** New 1st Floor Plan  
1/4" = 1'-0"



**2** New 2nd Floor Plan  
1/4" = 1'-0"



**3** New Attic Plan  
1/4" = 1'-0"



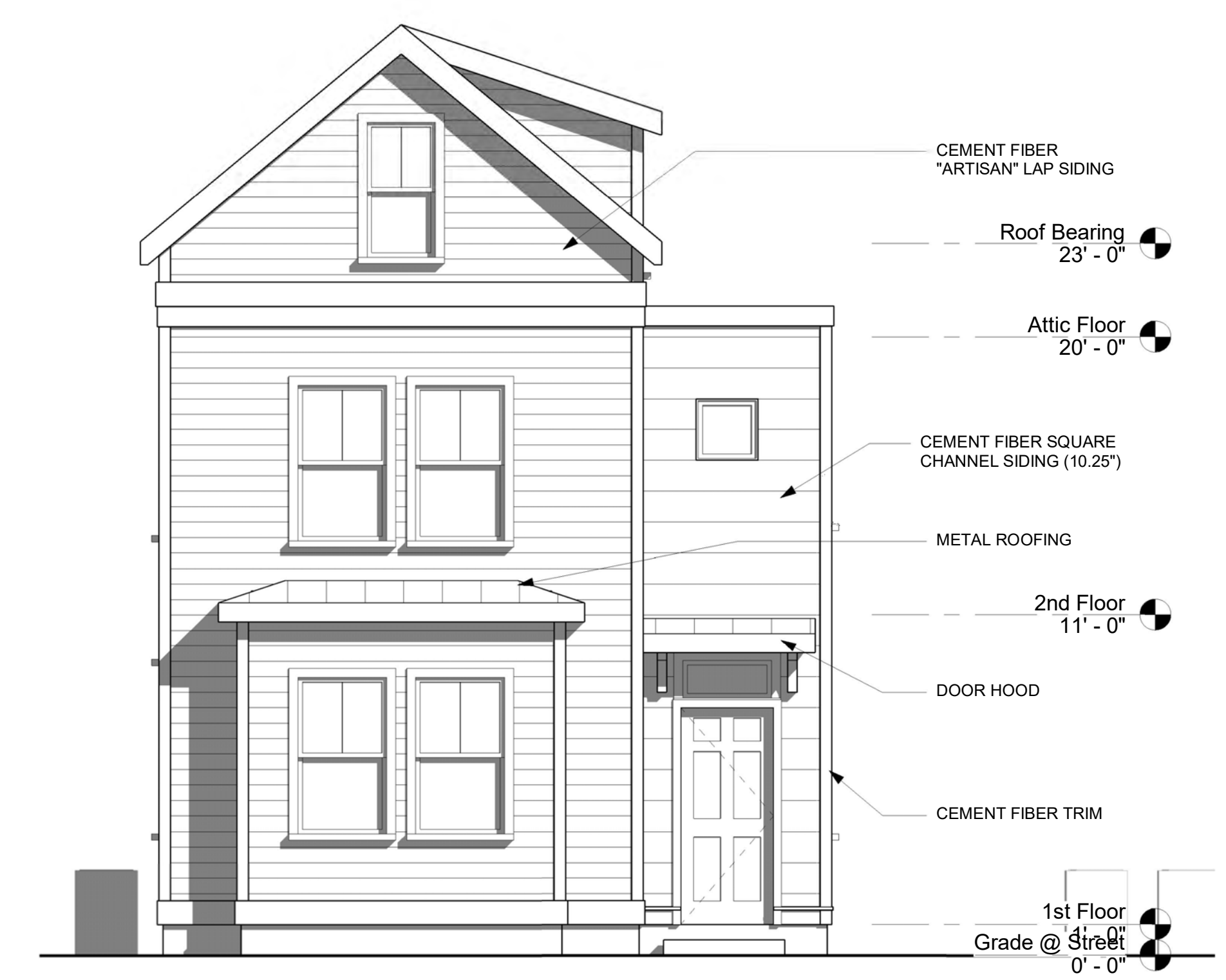
**4** New Roof Plan  
1/4" = 1'-0"

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1 New North Elevation  
1/4" = 1'-0"



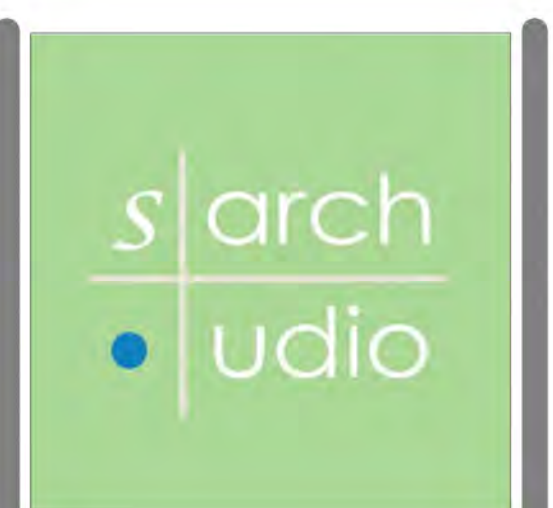
2 New West Elevation  
1/4" = 1'-0"



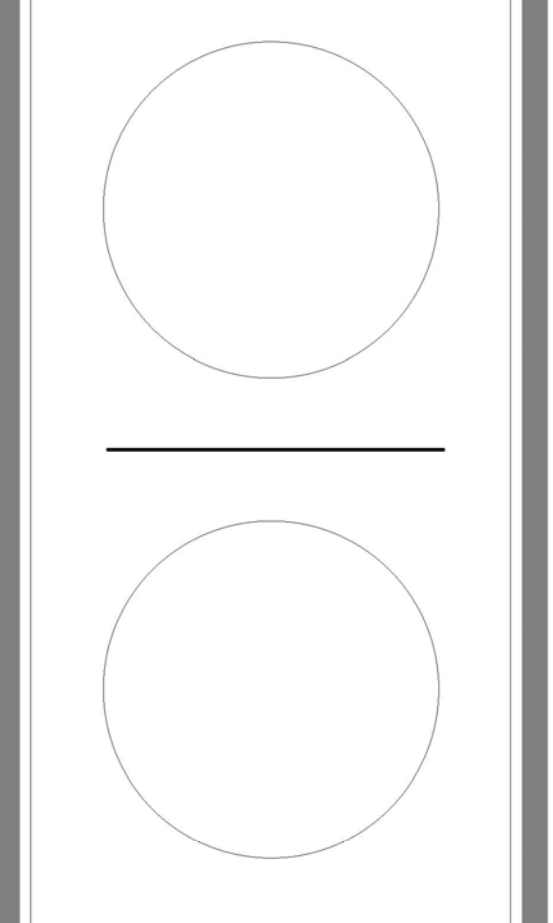
3 New South Elevation  
1/4" = 1'-0"



4 New East Elevation  
1/4" = 1'-0"



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Project:  
**New Carriage Houses @ 66 Cannon**  
66 Cannon Street  
Charleston, SC 29403

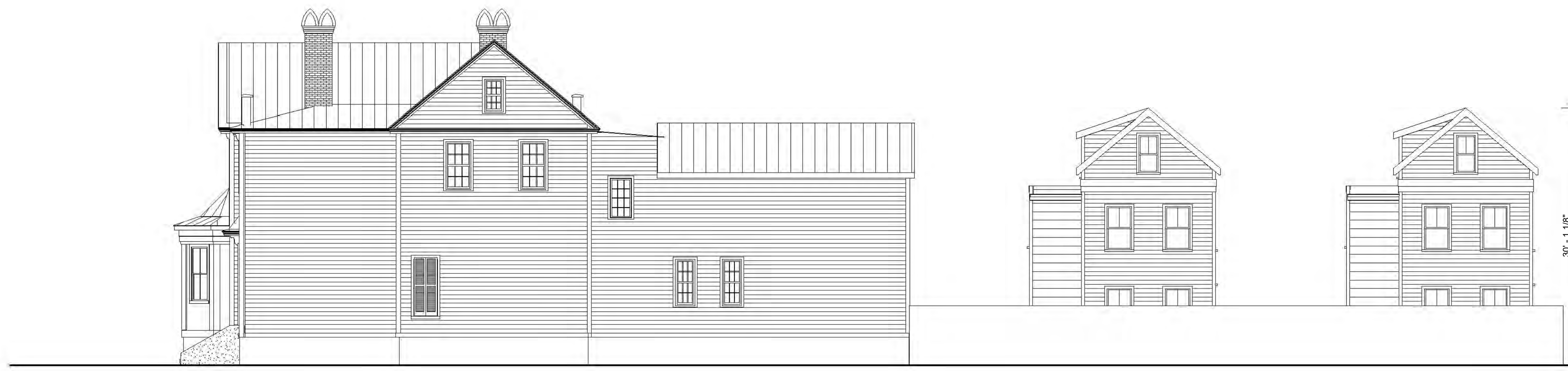
Sheet Title:  
**New Exterior Elevations**

Project #: 19-015  
Date: 2.3.2020  
Rev: Date:

Sheet #:  
**A2.1**



**1 Overall West Elevation**  
1/8" = 1'-0"



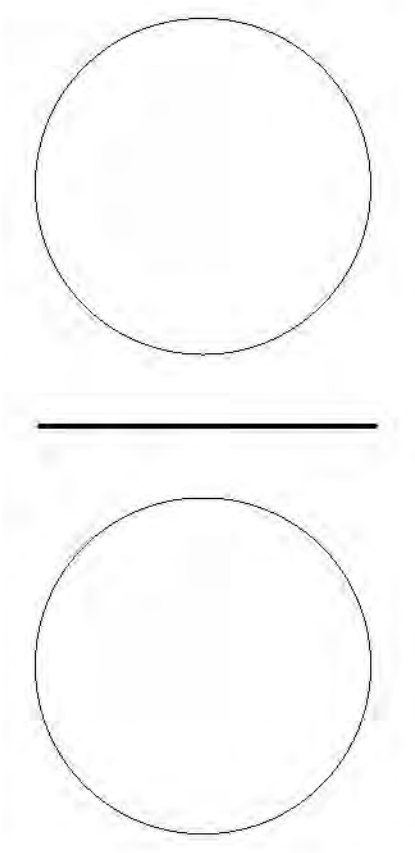
**2 Overall East Elevation**  
1/8" = 1'-0"



**3 Elevation from Cannon St**  
1/8" = 1'-0"



**4 North Elevation w/ Existing Bldg**  
1/8" = 1'-0"





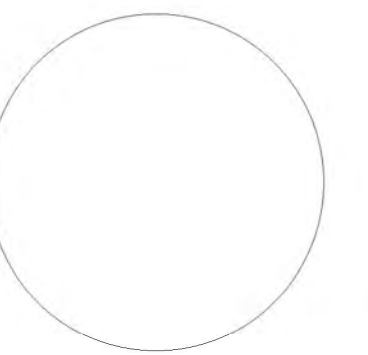
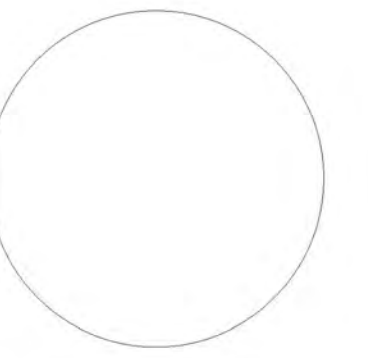
1 Carriage House View



2 Perspective From Street



3 Perspective From Across Street



Project:  
**New Carriage Houses @ 66 Cannon**

66 Cannon Street  
Charleston, SC 29403

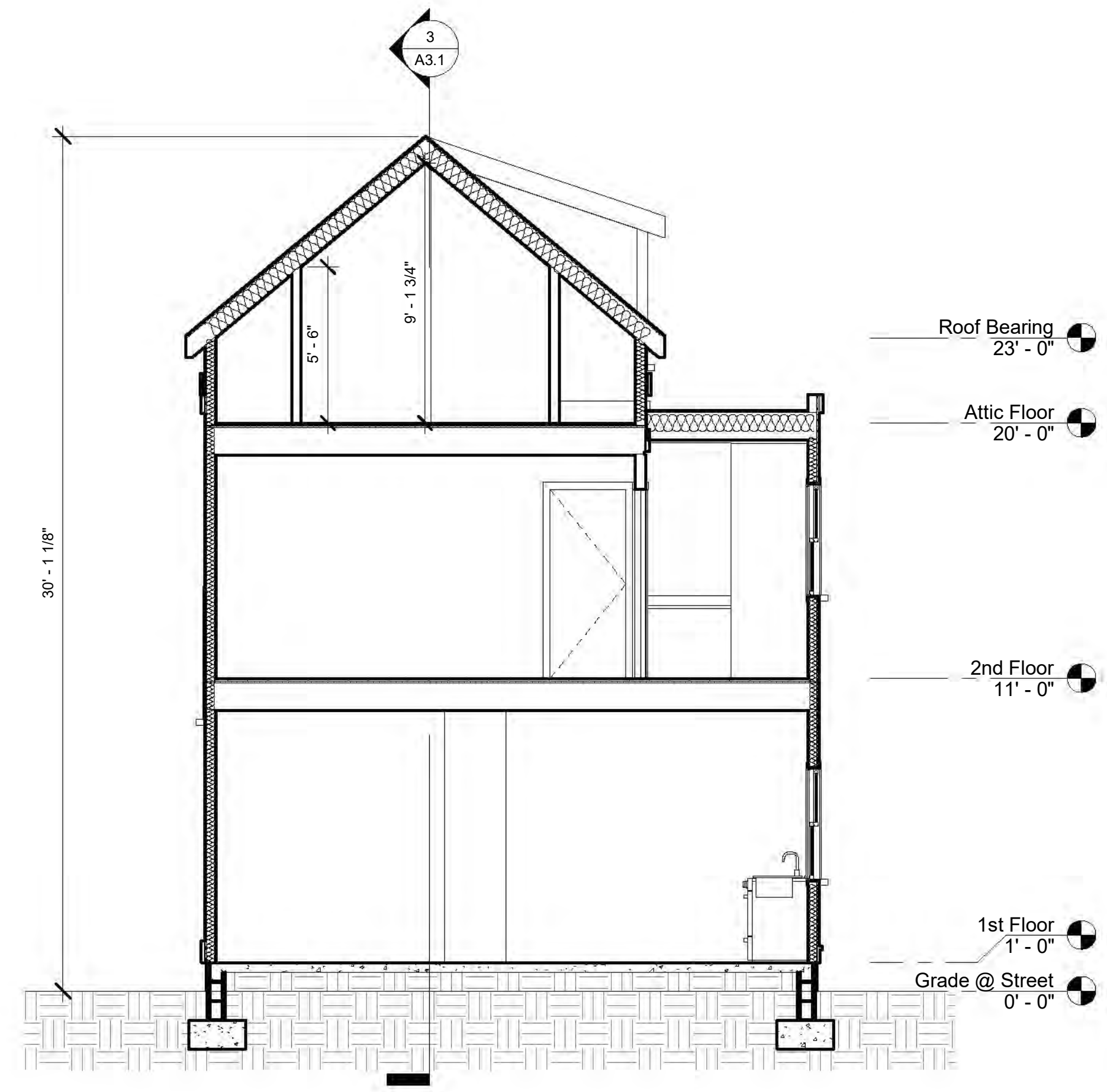
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**Perspectives**

Project #: 19-015

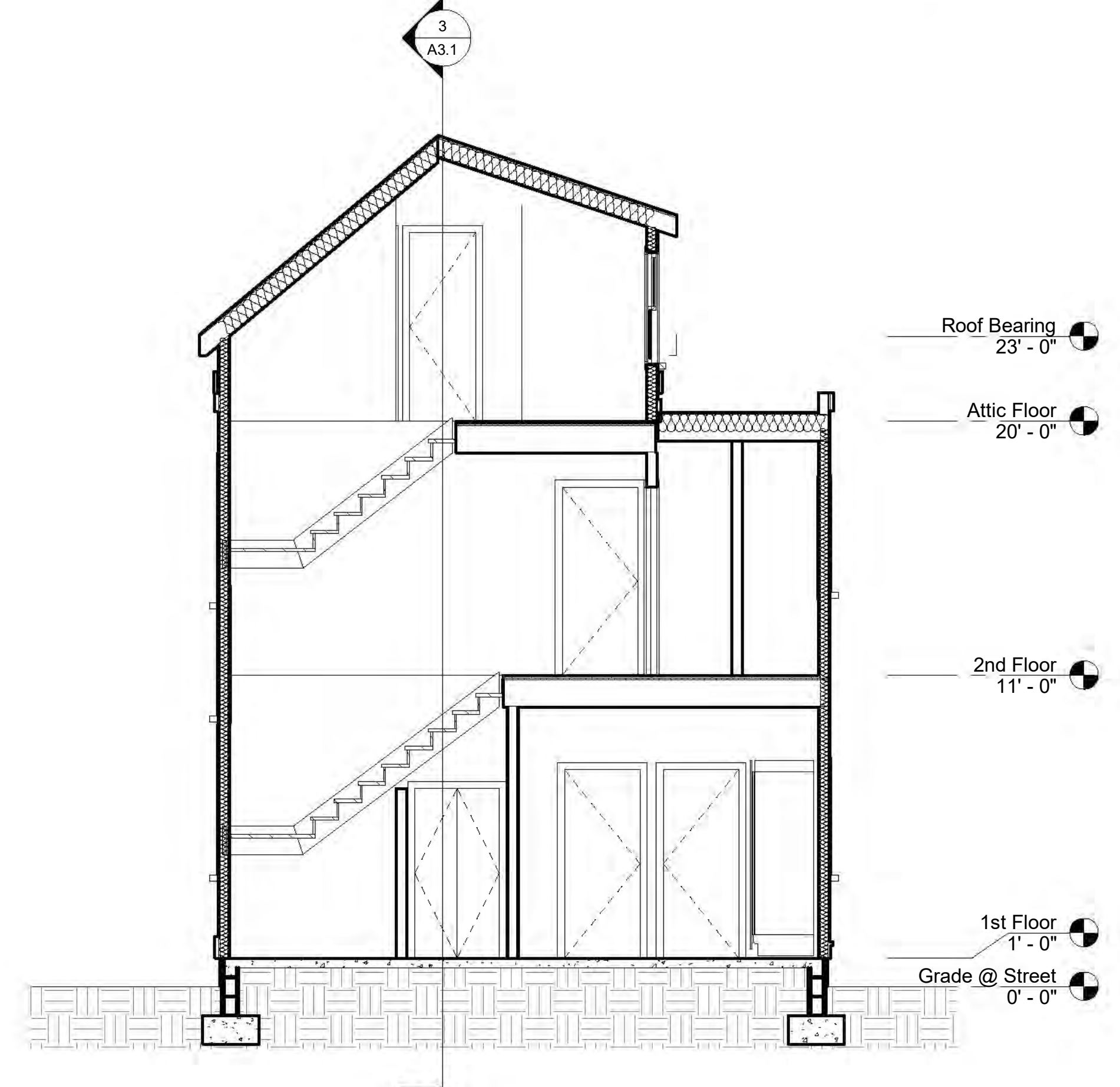
Date: 2.3.2020

Rev: Date:

Sheet #:



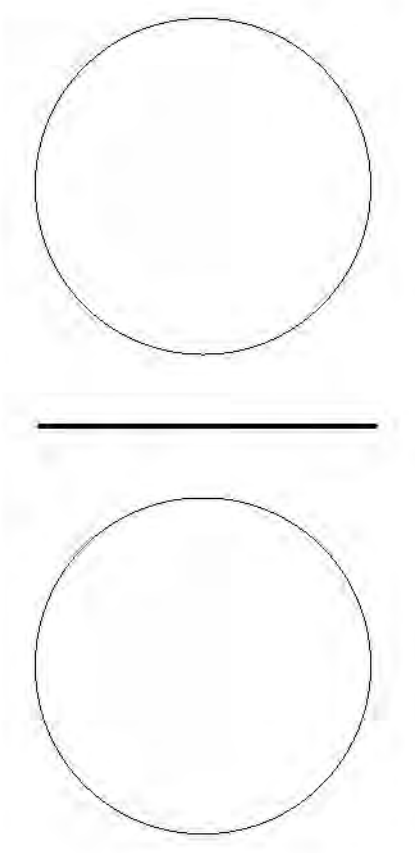
**1 Building Section thru Bedroom**  
1/4" = 1'-0"



**2 Building Section thru Stairs**  
1/4" = 1'-0"



**3 Building Section thru Ridge**  
1/4" = 1'-0"







66 Cannon

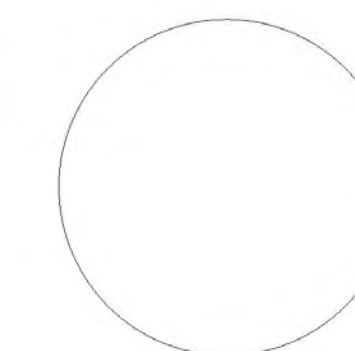
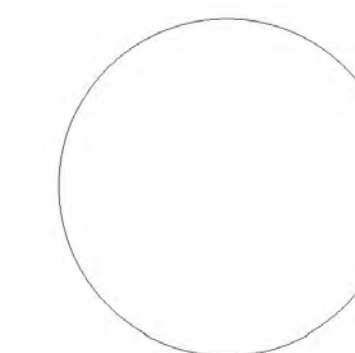
CANNON STREET LOOKING NORTH



CANNON STREET LOOKING SOUTH



EXISTING 66 CANNON STREET BUILDING (CURRENTLY UNDER RENOVATION - NO CHANGES AS PART OF THIS SCOPE)



Project:  
New Carriage Houses @ 66 Cannon

66 Cannon Street  
Charleston, SC 29403

Sheet Title:  
Site  
Photographs

Project #: 19-015  
Date: 2.3.2020  
Rev: Date:

Sheet #:

# 243 Rutledge Avenue

Roof replacement

Before photo



South view



North View





MNM

23 Ann Street  
CHARLESTON, SC

**PERMIT SET**

REVISIONS:

NOTES:



**TEAM INFORMATION**

PROJECT ADDRESS: 23 ANN STREET  
CHARLESTON, SC

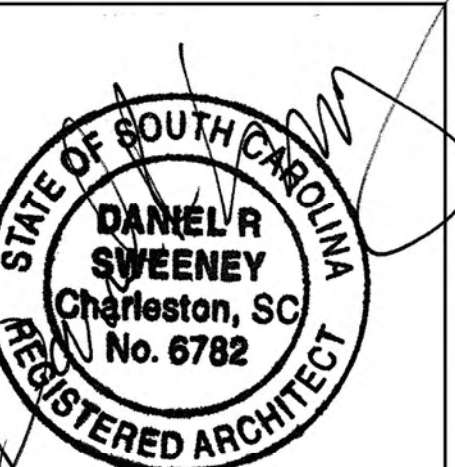
ARCHITECT: STUMPHOUSE, LLC  
P.O. BOX 20486  
CHARLESTON, SC 29413  
CONTACTS: DAN SWEENEY  
DAN@STUMPHOUSE.COM  
PH: 843.708.2537

MEP ENGINEER: CHRIS CONSTANTINE  
CONSTANTINE ENGINEERING ASSOC.  
843-628-7878  
CCONSTANTINE@CONSTANTINEENGINEERING.COM

STRUCTURAL ENGINEER: RUSSELL ROSEN  
ROSEN ENGINEERING  
843.882.7623  
RROSEN@ROSENONLINE.COM

COVER SHEET

stumphouse  
P. O. Box 20486  
Charleston, SC 29413



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Scale: AS NOTED

Date: 27 DEC 2019

Job No. Drawing No.

T1.1

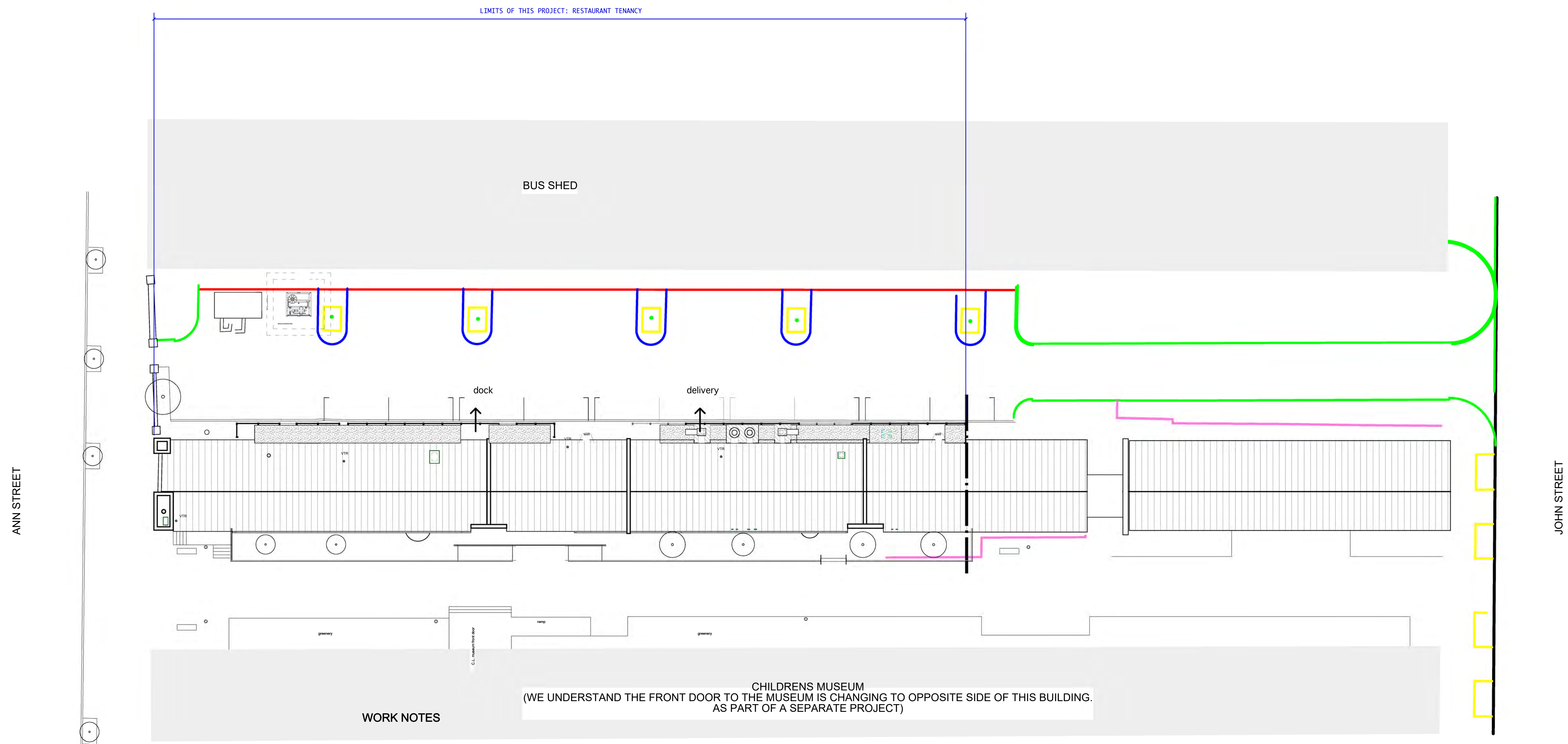
MNM

23 Ann Street  
CHARLESTON, SC

PERMIT SET

REVISIONS:

NOTES:



ANN STREET

JOHN STREET

LIMITS OF THIS PROJECT: RESTAURANT TENANCY

BUS SHED

dock

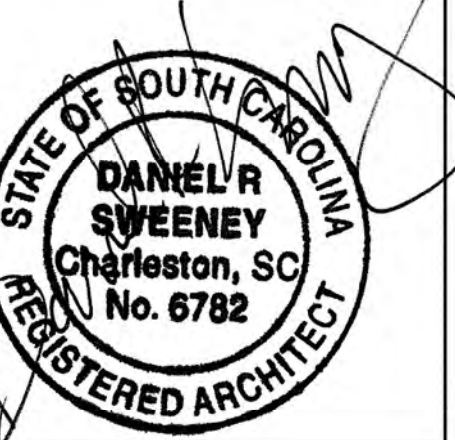
delivery

WORK NOTES

CHILDRENS MUSEUM  
(WE UNDERSTAND THE FRONT DOOR TO THE MUSEUM IS CHANGING TO OPPOSITE SIDE OF THIS BUILDING.  
AS PART OF A SEPARATE PROJECT)

SITE PLAN

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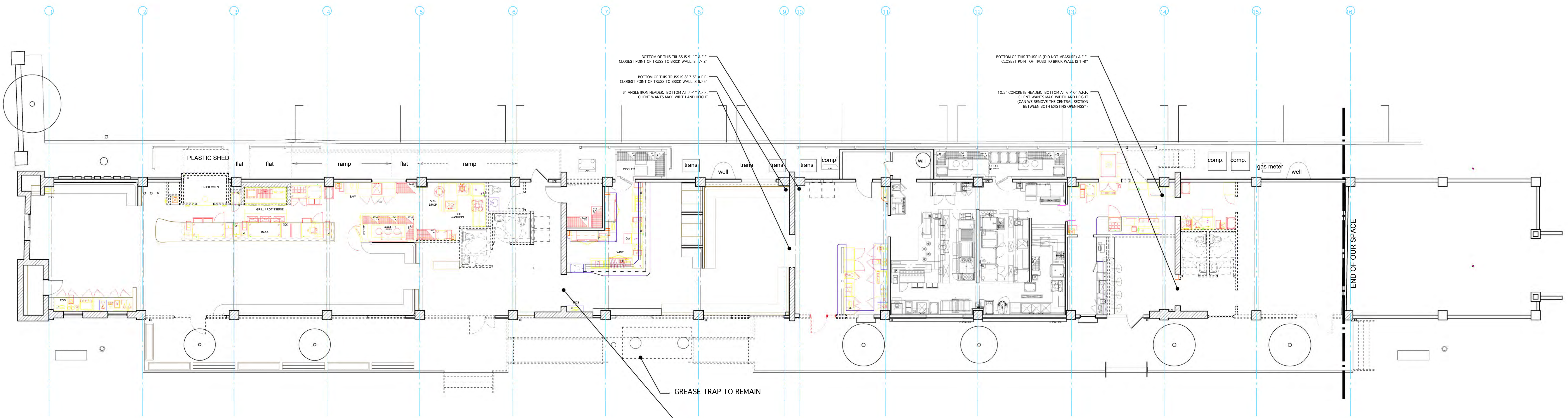
Scale: 1/16" = 1'

Date: 27 DEC 2019

Job No. Drawing No.

L1.1

1 SITE PLAN  
1/16" = 1'-0"



BOTTOM OF THIS TRUSS IS 9'-11" A.F.F.  
CLOSEST POINT OF TRUSS TO BRICK WALL IS 4'-2"

BOTTOM OF THIS TRUSS IS 8'-7.5" A.F.F.  
CLOSEST POINT OF TRUSS TO BRICK WALL IS 6'-7"

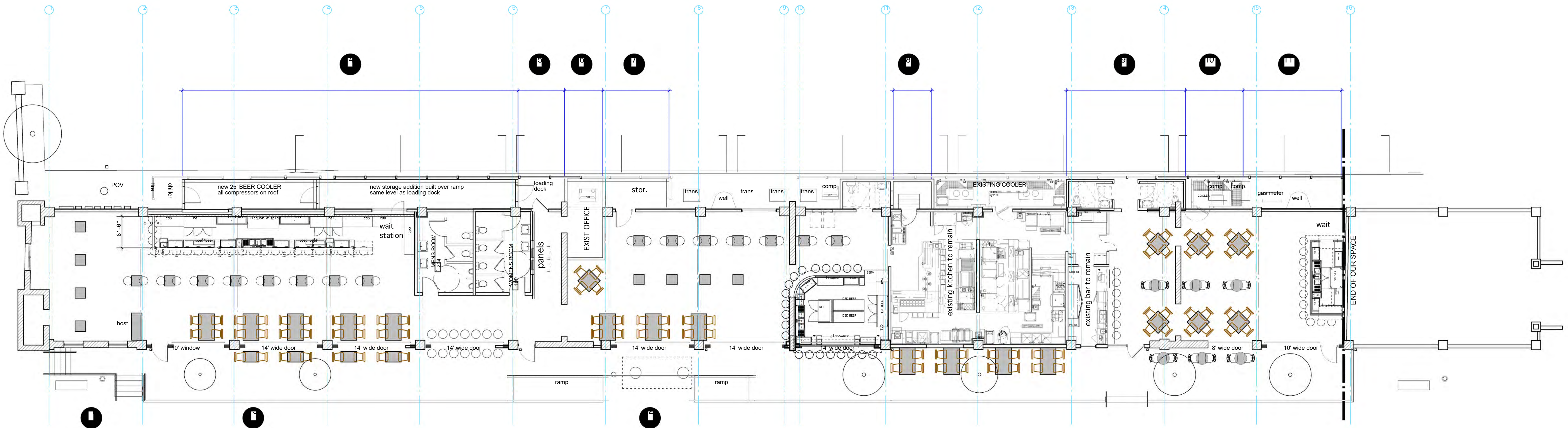
6" ANGLE IRON HEADER, BOTTOM AT 7'-5" A.F.F.  
CLIENT WANTS MAX. WIDTH AND HEIGHT

BOTTOM OF THIS TRUSS IS (DO NOT MEASURE) A.F.F.  
CLOSEST POINT OF TRUSS TO BRICK WALL IS 1'-0"

10.5" CONCRETE HEADER, BOTTOM AT 6'-10" A.F.F.  
CLIENT WANTS MAX. WIDTH AND HEIGHT  
(CAN WE REMOVE THE CENTRAL SECTION  
BETWEEN BOTH EXISTING OPENINGS?)

GREASE TRAP TO REMAIN

11.5" CONCRETE HEADER, BOTTOM IS 6'-10.5" A.F.F.  
NO TRUSSES NEARBY.  
CLIENT WANTS TO ENLARGE THE HEIGHT AS MUCH AS POSSIBLE  
AND THE ABOUT 12" WIDER TO THE NORTH (THIS OPENING ONLY)

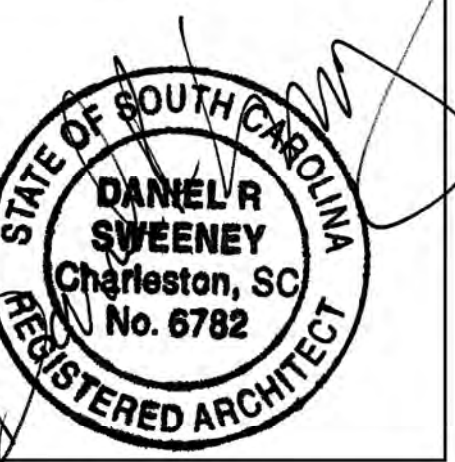


WORK NOTES

1. NEW STAIR WORKING AROUND EXISTING LAMPOST AND BENCH
  2. RAMP CONFIGURATION CHANGE (DECK HAS NOT EXTENDED BEYOND EXISTING PERIMETER)
  3. 9 NEW OPENINGS AND TRANSOM WINDOWS WITHIN EXISTING STRUCTURAL BAYS. SEE ELEVATIONS
- NEXT SECTIONS ARE ALL FULLY SCREENED VIA EXISTING SCREEN OR EXTENSION OF EXISTING SCREEN.
4. NEW COOLER AND STORAGE AREA ATOP EXISTING RAMP.
  5. EXISTING TOP OF RAMP TO BE USED AS LOADING DOCK FOR DELIVERIES. ROLLING DOOR WITHIN SCREEN WALL. SEE ELEVATION.
  6. EXTENSION OF OFFICE
  7. STORAGE AREA WITHIN AREA VACATED BY EXISTING COOLER
  8. NEW DELIVERY DOOR WITH EXTERIOR STAIR.
  9. 2 NEW BATHROOMS
  10. COOLER RELOCATED FROM AREA #7
  11. STORAGE AREA ABOVE ACCESS WELL

EXISTING AND PROPOSED FLOOR PLAN

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Scale: 1/8" = 1'-0"

Date: 27 DEC 2019

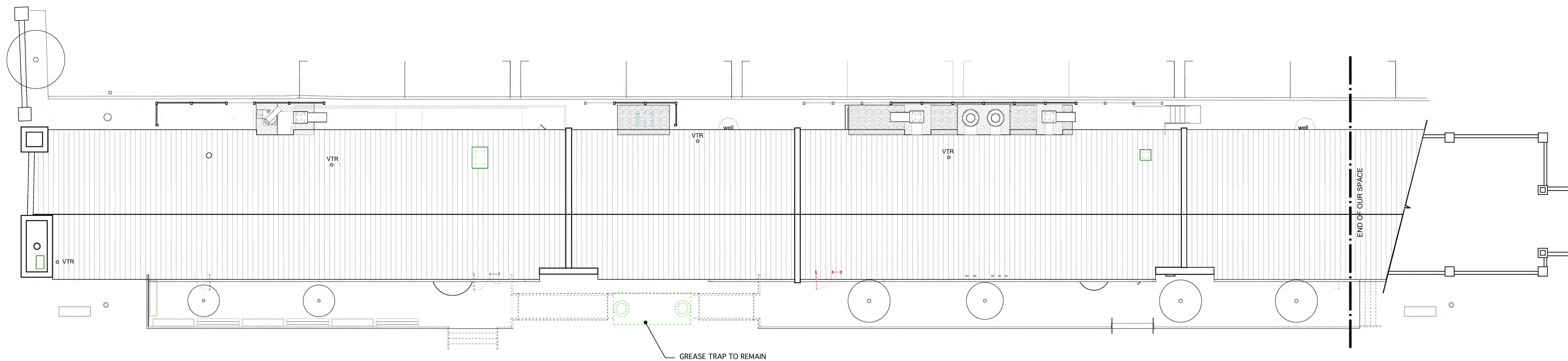
Job No. Drawing No.

D1.1

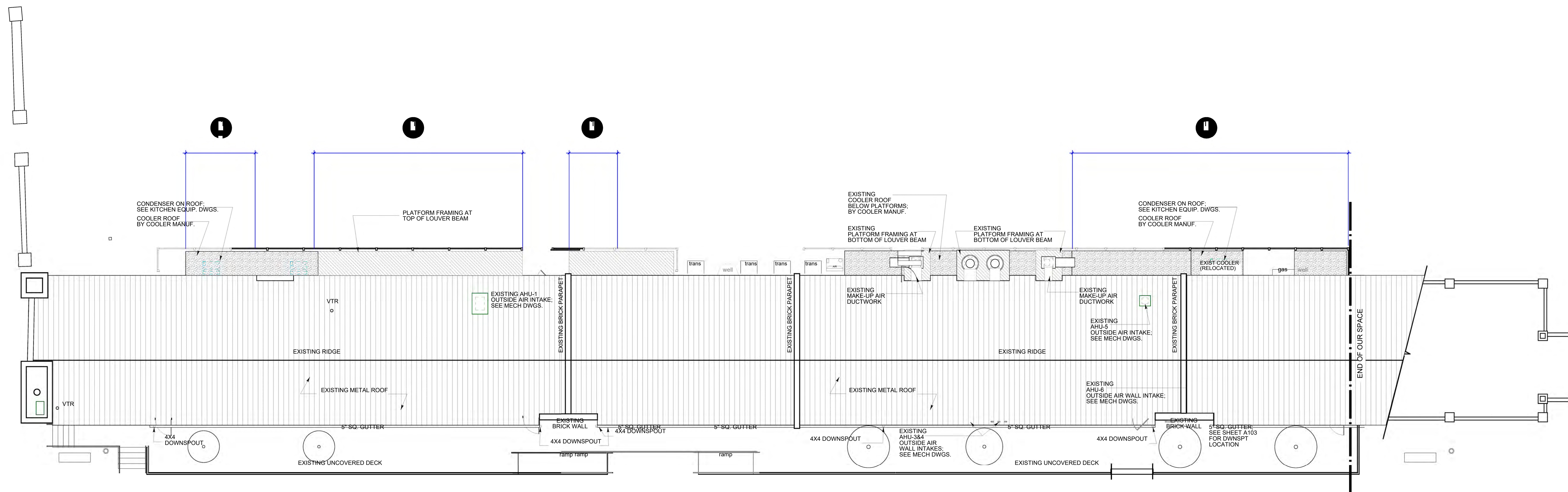


REVISIONS:

NOTES:



2 EXISTING FLOOR PLAN  
DT.2 1/8" = 1'-0"



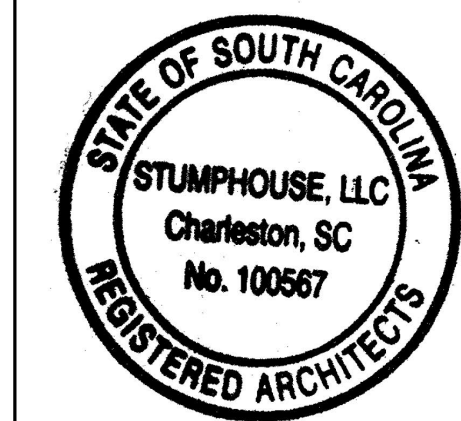
WORK NOTES

- 1. EXTENSION OF EXISTING FLAT ROOF. FULLY SCREENED FROM VIEW

1 PROPOSED FLOOR PLAN  
DT.2 1/8" = 1'-0"

EXISTING AND PROPOSED ROOF PLAN

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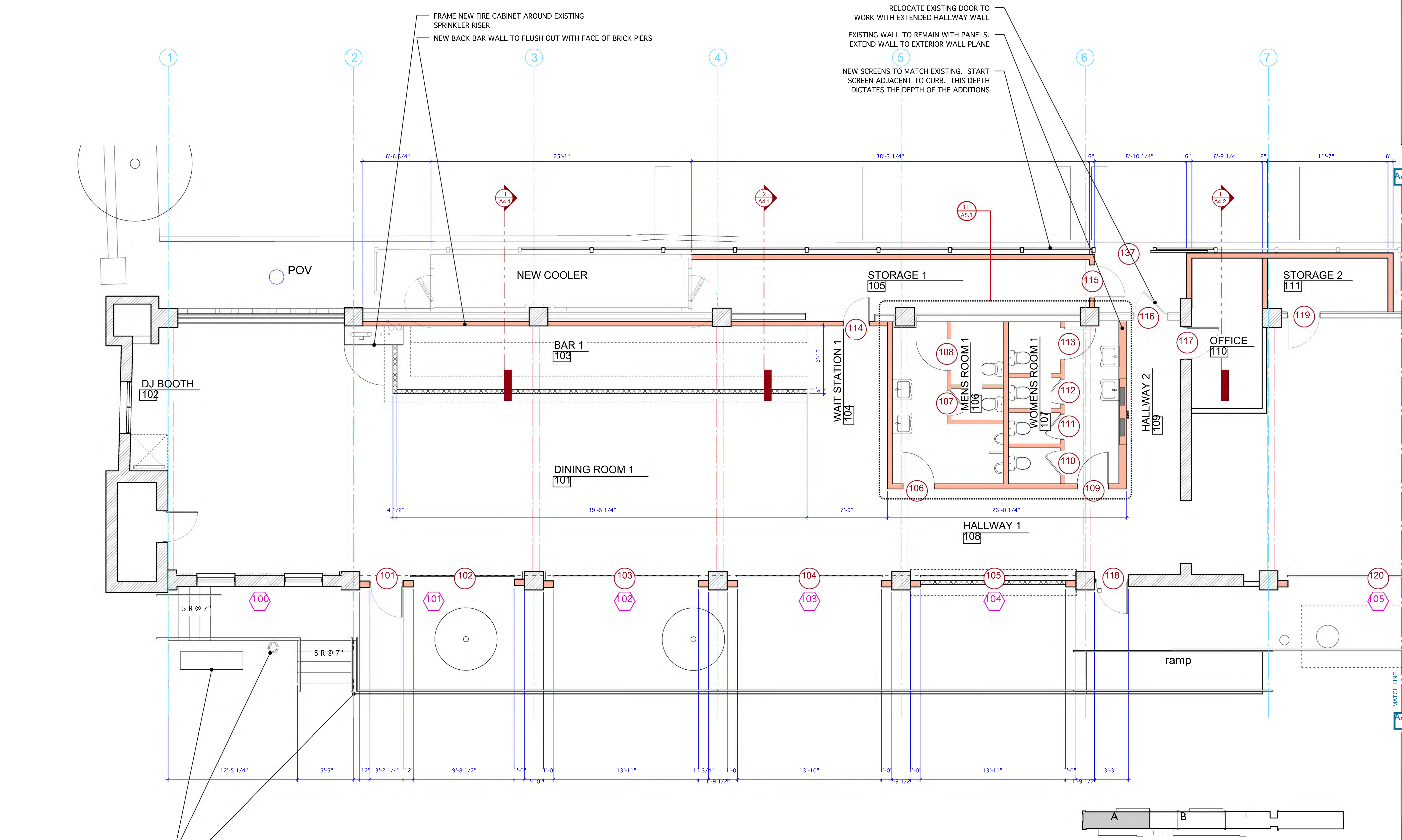
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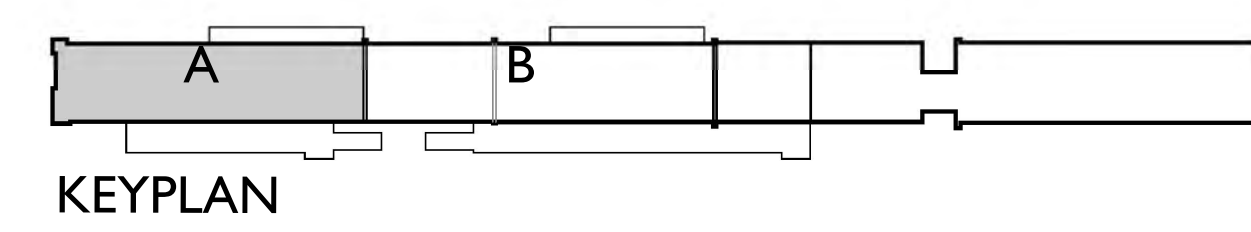
Date: 27 DEC 2019

Job No. Drawing No.

D1.2

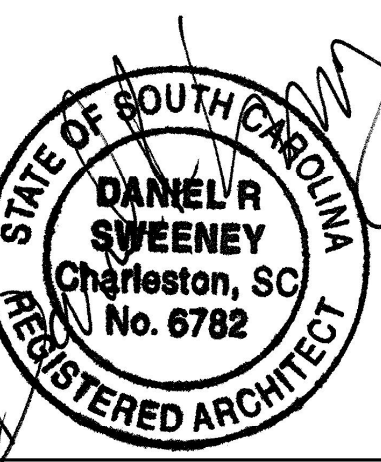


EXISTING LAMPOST AND BENCH TO REMAIN  
EXISTING EDGE OF DECK



PARTIAL FLOOR PLAN (FRONT)

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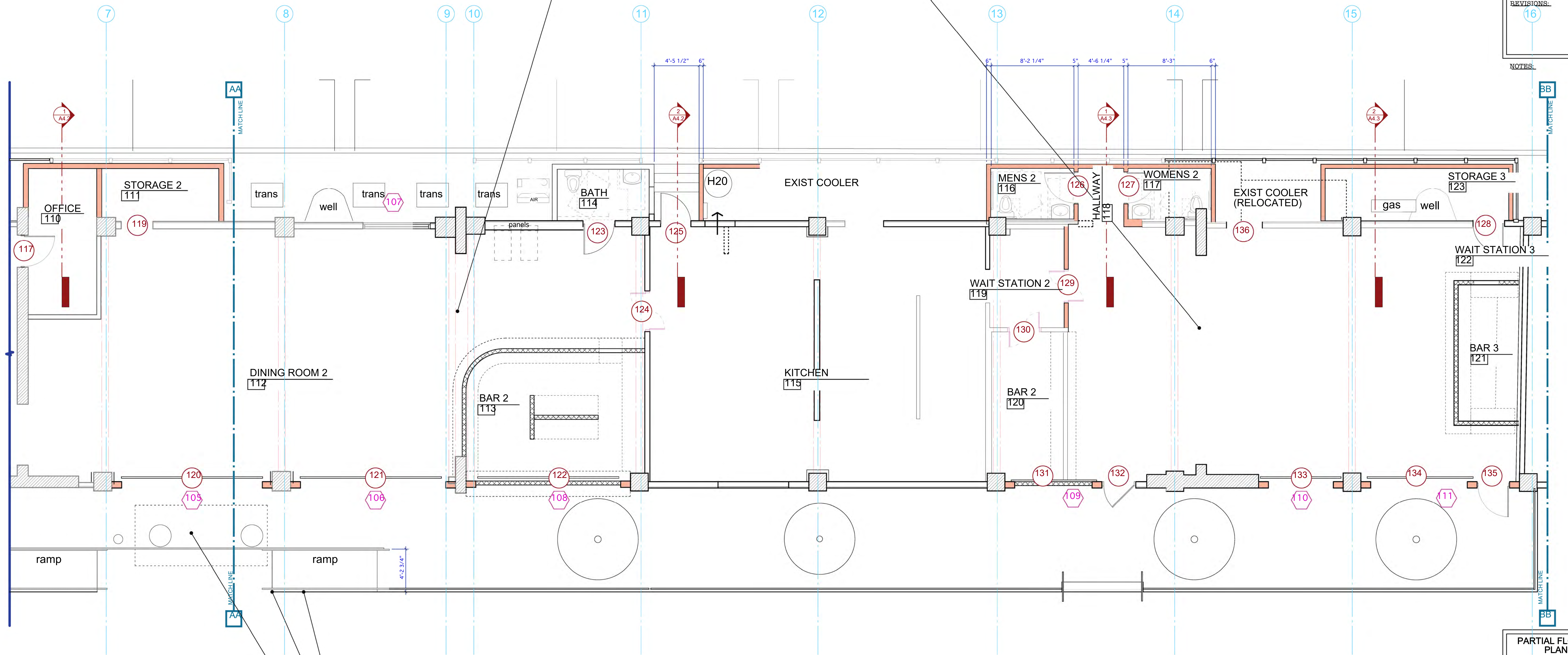
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Date: 27 DEC 2019

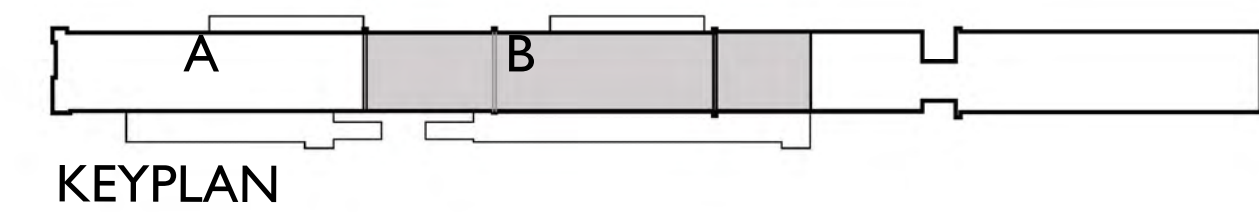
Job No. Drawing No.

A1.1

ENLARGE MASONRY OPENINGS. SEE STRUCTURAL DRAWINGS

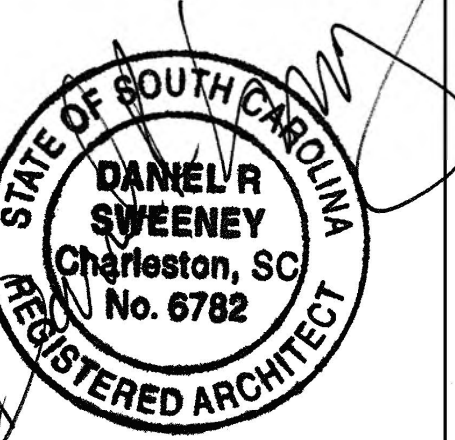


- EXISTING DECK HANDRAIL TO BE REPLACED. SEE DETAILS SHEET A5.3
- REUSE EXISTING RAMPS STARTING IN SAME LOCATION BUT THINNER WIDTH AND ALIGNED WITH OUTSIDE EDGE OF DECK
- NEW CONNECTION OF DECKS AT SAME LEVEL WITH SAME MATERIAL. FRAME OUT OPENINGS FOR GREASE TRAP ACCESS. SEE STRUCTURAL DRAWINGS



PARTIAL FLOOR PLAN (REAR)

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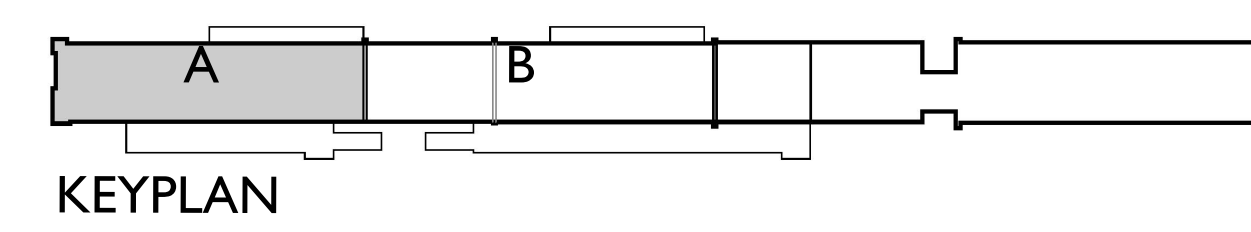
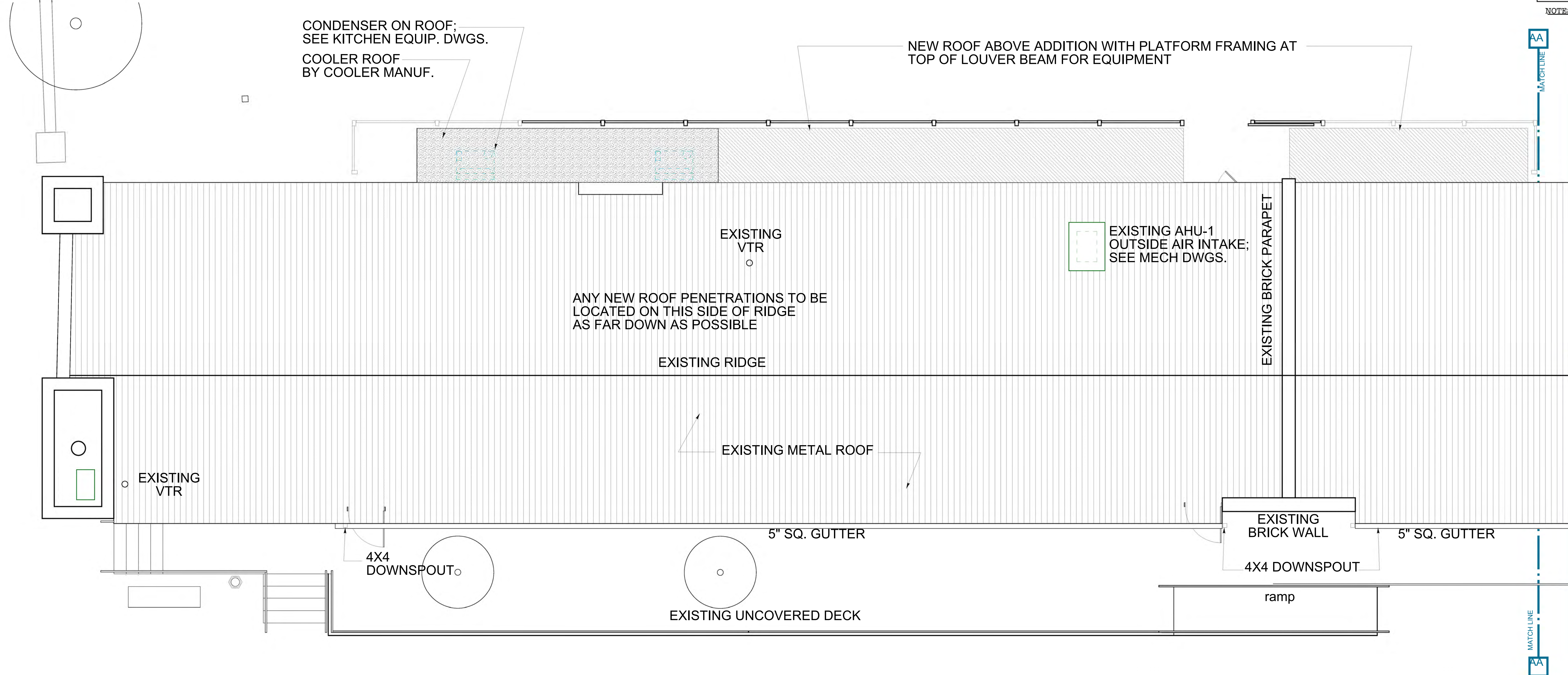
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Scale: 1/4" = 1'-0"

Date: 27 DEC 2019

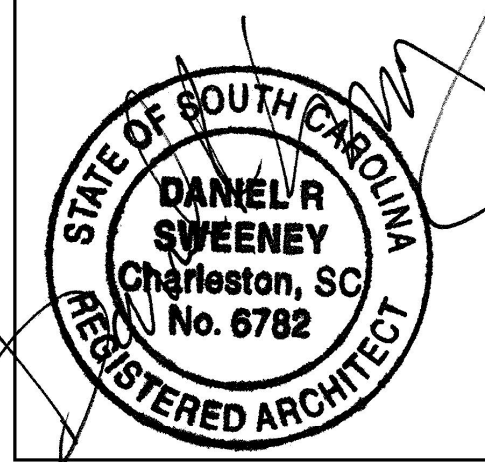
Job No. Drawing No.

A1.2



PARTIAL ROOF  
PLAN  
(FRONT)

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Charleston, SC 29413



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Date: 27 DEC 2019

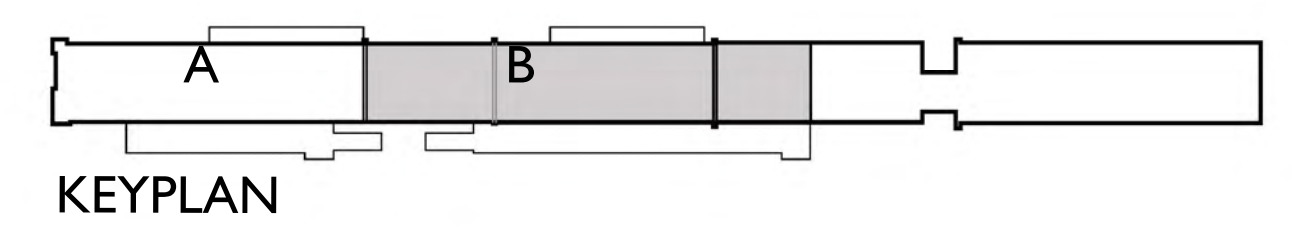
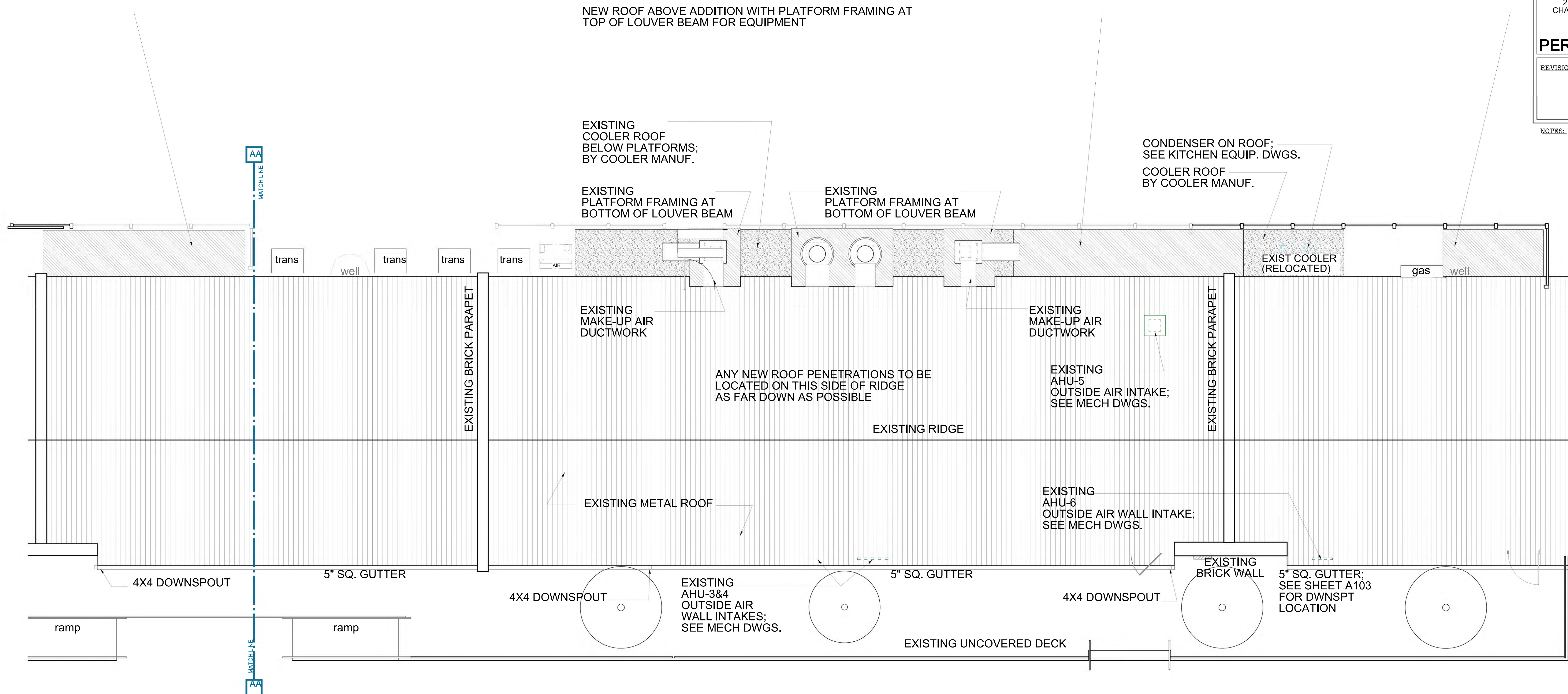
Job No. Drawing No.

A1.3

REVISIONS:

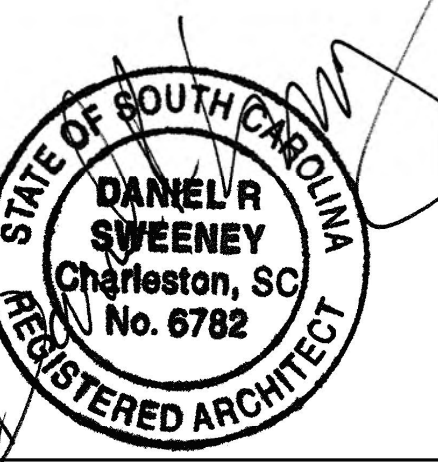
NOTES:

NEW ROOF ABOVE ADDITION WITH PLATFORM FRAMING AT  
TOP OF LOUVER BEAM FOR EQUIPMENT



PARTIAL ROOF PLAN (REAR)

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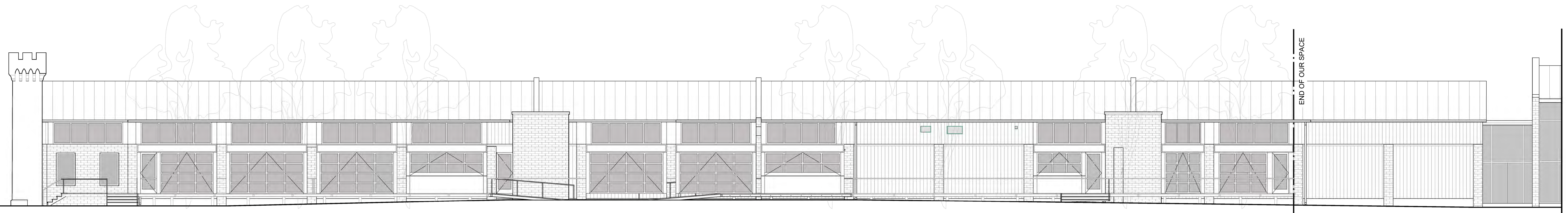
Date: 27 DEC 2019

Job No. Drawing No.

A1.4



3 EXISTING WEST ELEVATION - FACING CHILDREN'S MUSEUM  
A2.2 1/8" = 1'-0"



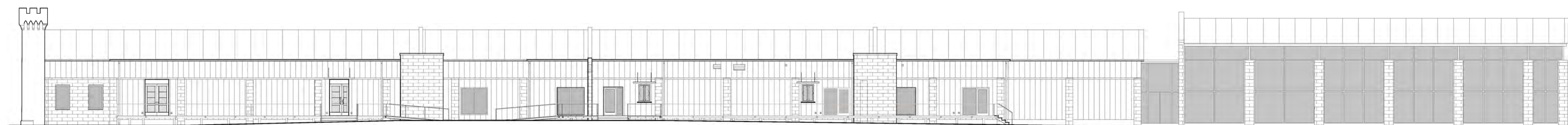
2 PROPOSED WEST ELEVATION - FACING CHILDREN'S MUSEUM  
A2.2 1/8" = 1'-0"



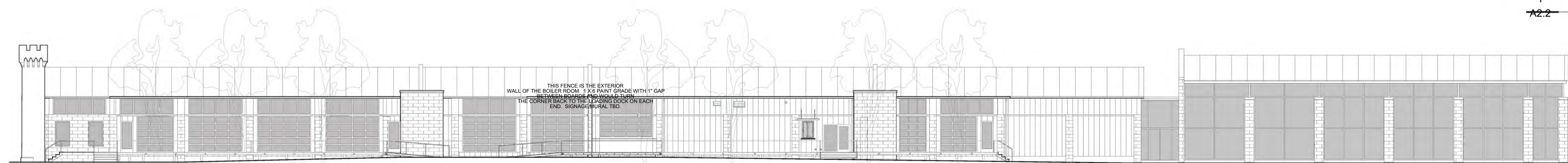
HANDRAILS / FENCING ARE SHOWN CONCEPTUALLY AT THIS TIME TO ALLOW FOCUS ON THE MAIN ELEVATION

WORK NOTES

1. FIXED TRANSOM WINDOW IN THIS BAY
2. FIXED TRANSOM OVER ROLL UP STEEL/GLASS DOOR WITH HINGED ENTRY DOOR
3. FIXED TRANSOM OVER ROLL UP STEEL/GLASS DOOR
4. FIXED TRANSOM OVER HALF HEIGHT ROLL UP STEEL/GLASS DOOR



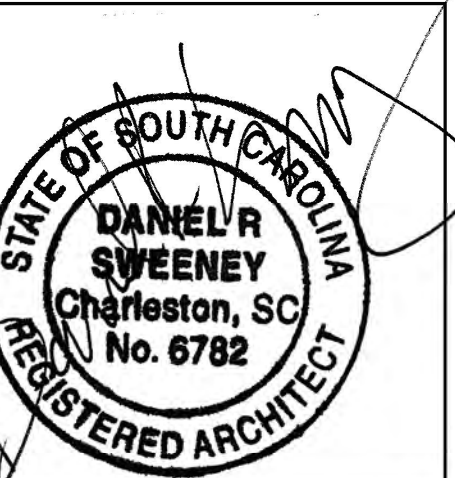
1 EXISTING AND PROPOSED WEST ELEVATION - FACING CHILDREN'S MUSEUM  
A2.2 1/16" = 1'-0"



THIS FENCE IS THE EXTERIOR WALL OF THE ROLL UP ROOM. A 6" GAP BETWEEN THE ROLL UP ROOM AND THE GROUND BEHIND THE ROLL UP ROOM. THE GROUND BEHIND THE ROLL UP ROOM IS TO BE GRADED TO MATCH THE EXISTING GRADE.

EXTERIOR ELEVATIONS B.A.R.

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Scale: 1/8" = 1'-0"

Date: 27 DEC 2019

Job No. Drawing No.

A2.2

MNM

23 Ann Street  
CHARLESTON, SC

PERMIT SET

REVISIONS:

NOTES:



2 EXISTING NORTH (ANN STREET) ELEVATION  
A2.1 1/8" = 1'-0"

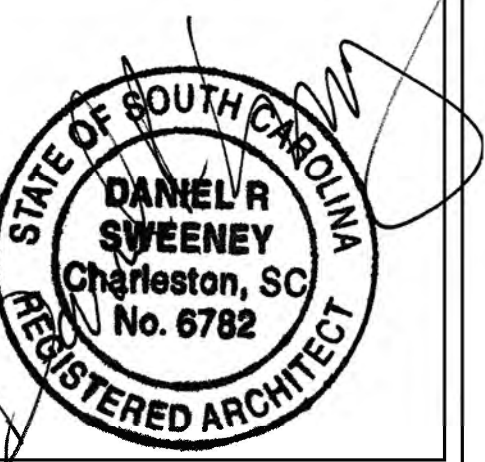


NEW STAIR UP FRONT IS THE ONLY CHANGE SEEN ON THIS ELEVATION

1 PROPOSED NORTH (ANN STREET) ELEVATION  
A2.1 1/8" = 1'-0"

EXTERIOR  
ELEVATIONS  
B.A.R.

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ARCHITECTURE & DESIGN  
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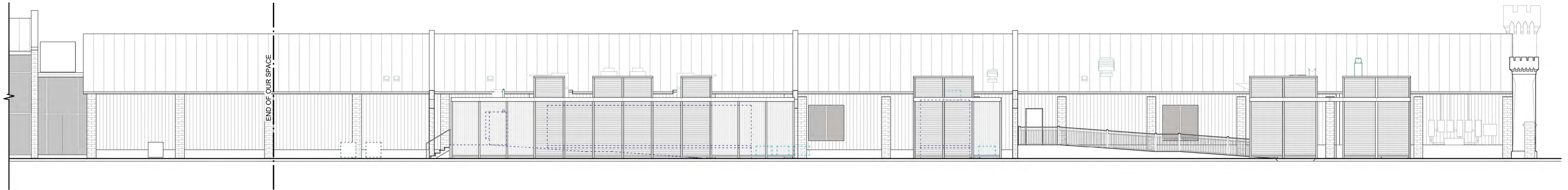
Date: 27 DEC 2019

Job No. Drawing No.

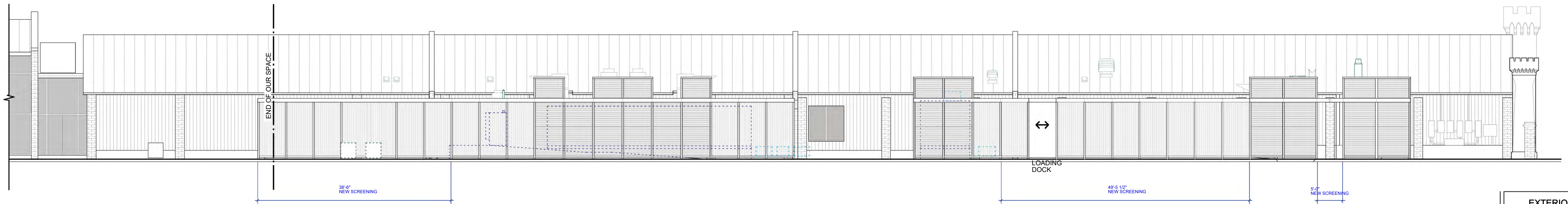
A2.1

REVISIONS:

NOTES:



2 EXISTING EAST ELEVATION - FACING BUS SHED  
A2.3 1/8" = 1'-0"

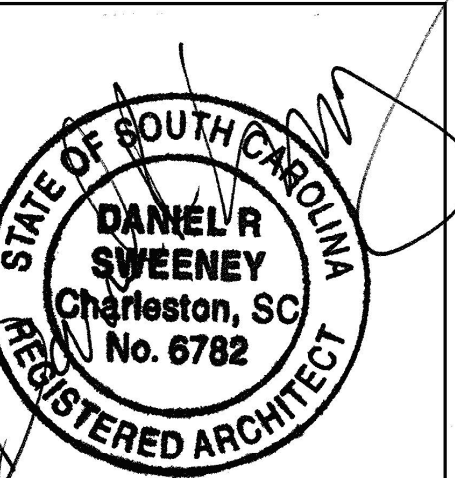


UPPER SCREENS WILL BE INSTALLED ANYWHERE NECESSARY TO SCREEN EQUIPMENT

1 PROPOSED EAST ELEVATION - FACING BUS SHED  
A2.3 1/8" = 1'-0"

EXTERIOR  
ELEVATIONS  
B.A.R.

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Scale: 1/8" = 1'-0"

Date: 27 DEC 2019

Job No. Drawing No.

A2.3



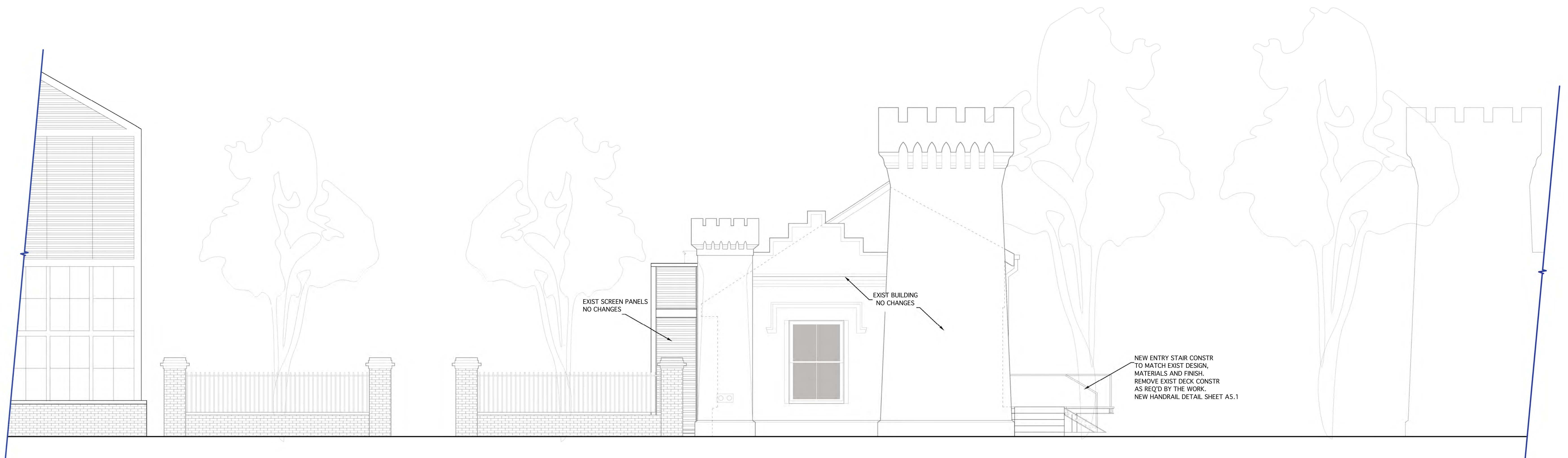
MNM

23 Ann Street  
CHARLESTON, SC

**PERMIT SET**

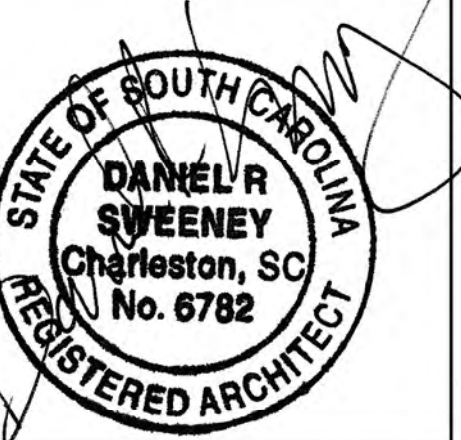
REVISIONS:

NOTES:



**EXTERIOR ELEVATIONS**

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Scale: 1/4" = 1'-0"

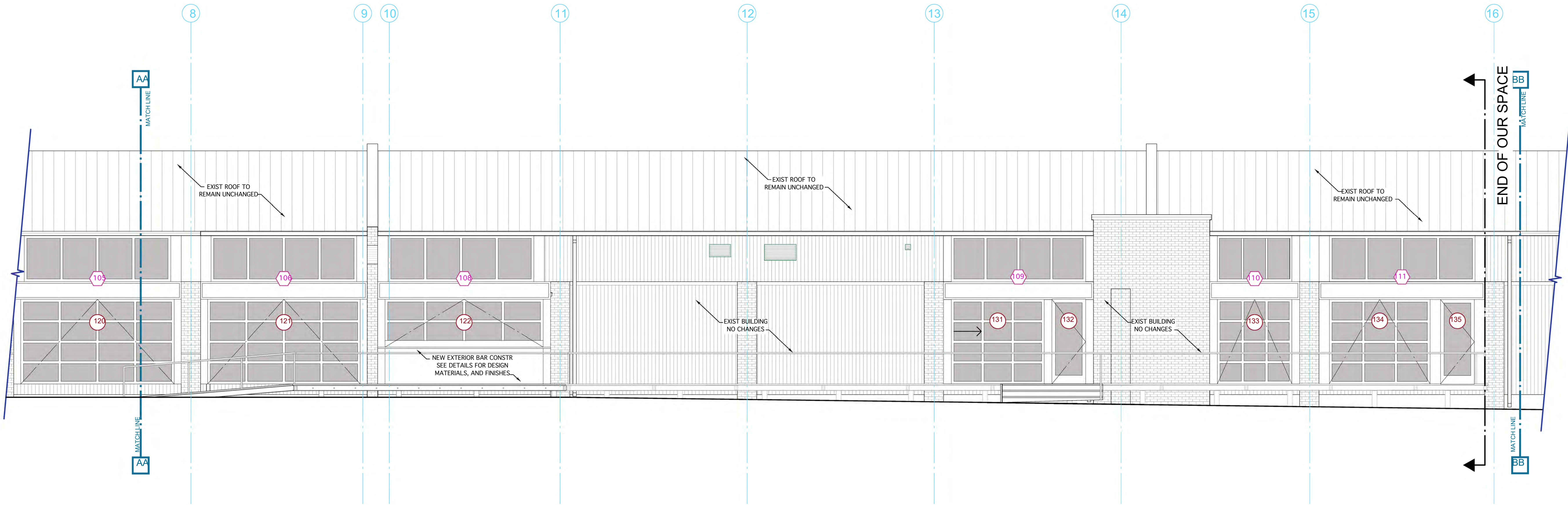
Date: 27 DEC 2019

Job No. Drawing No.

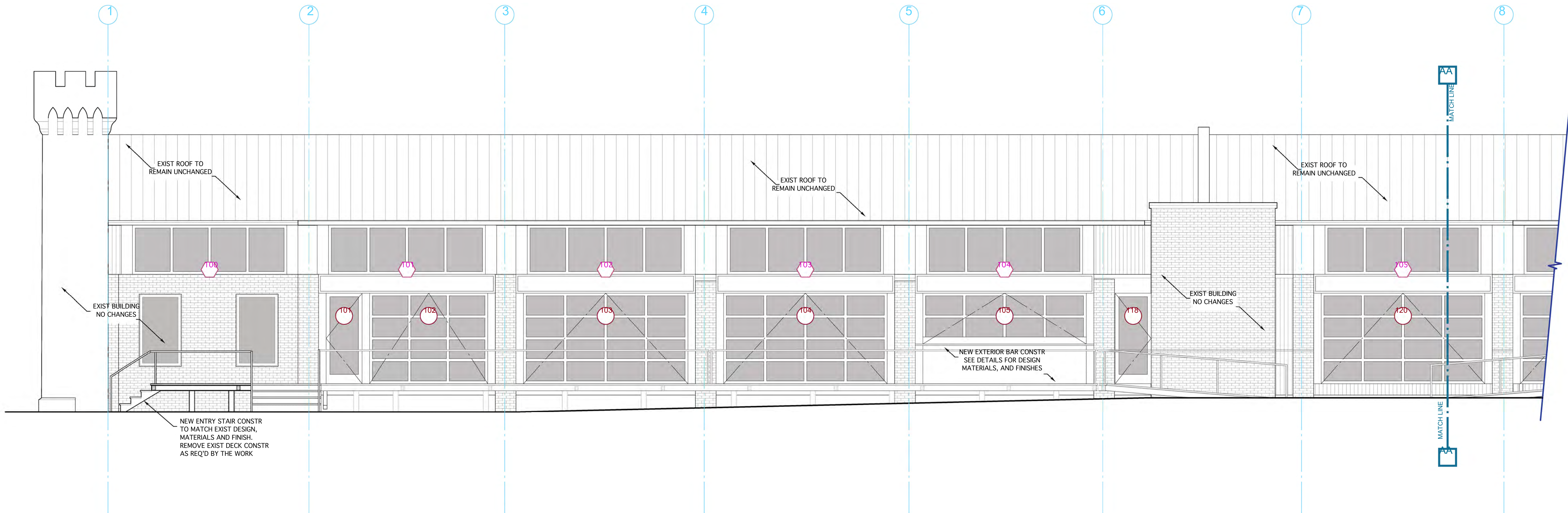
**A2.4**

REVISIONS:

NOTES:



2 PARTIAL RIGHT SIDE ELEVATION  
A2.5 1/4" = 1'-0"



1 PARTIAL RIGHT SIDE ELEVATION  
A2.5 1/4" = 1'-0"

EXTERIOR ELEVATIONS

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Scale: 1/4" = 1'-0"

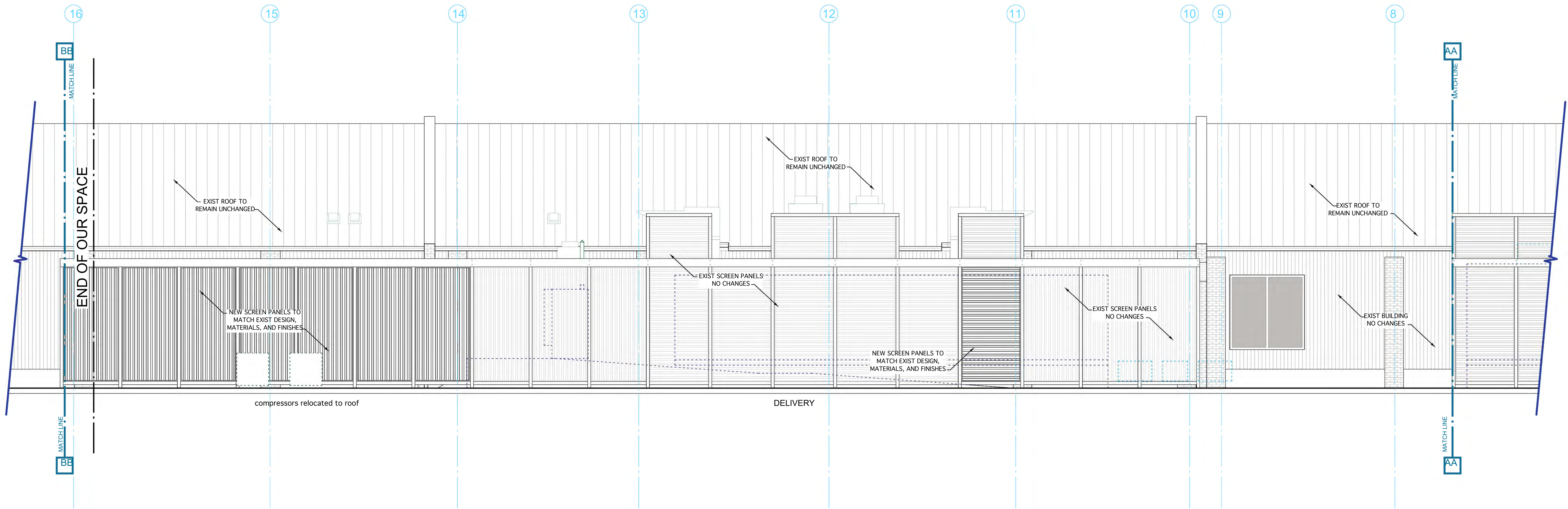
Date: 27 DEC 2019

Job No. Drawing No.

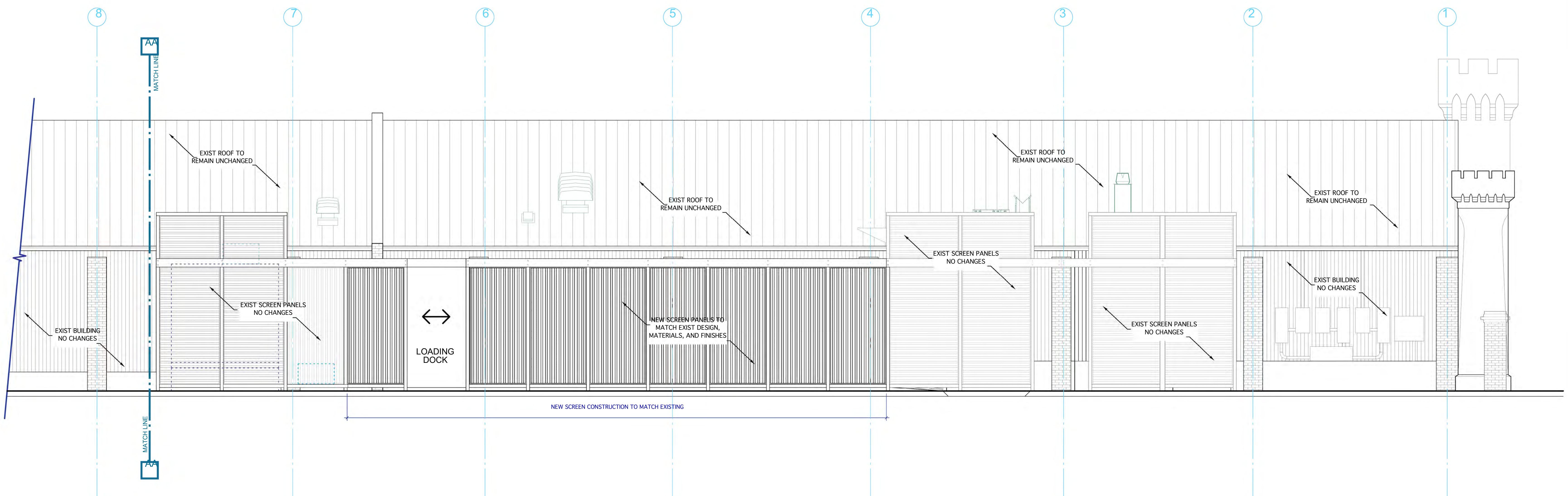
A2.5

REVISIONS:

NOTES:



2 PARTIAL LEFT SIDE ELEVATION  
A2.6 1/4" = 1'-0"



1 PARTIAL LEFT SIDE ELEVATION  
A2.6 1/4" = 1'-0"

EXTERIOR ELEVATIONS

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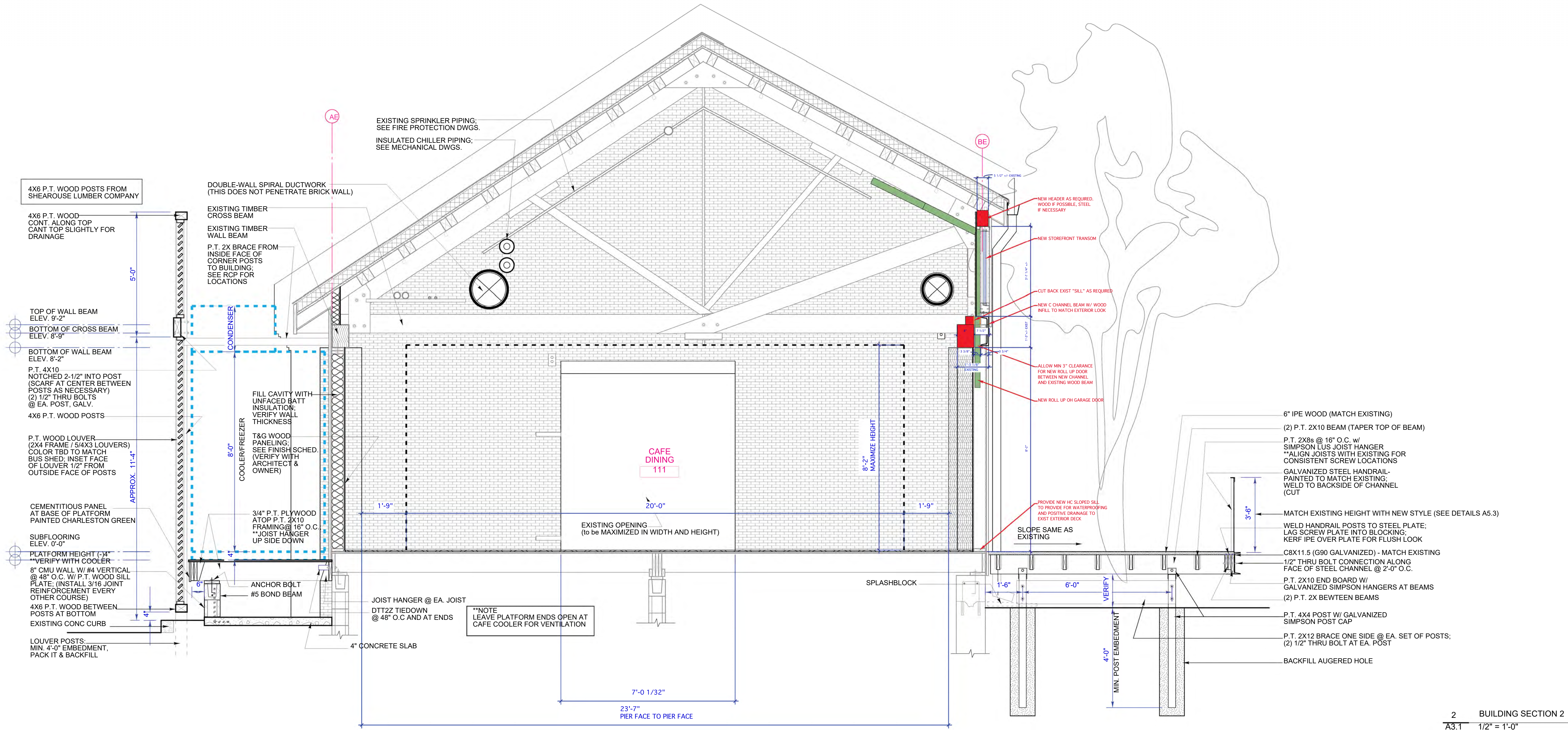
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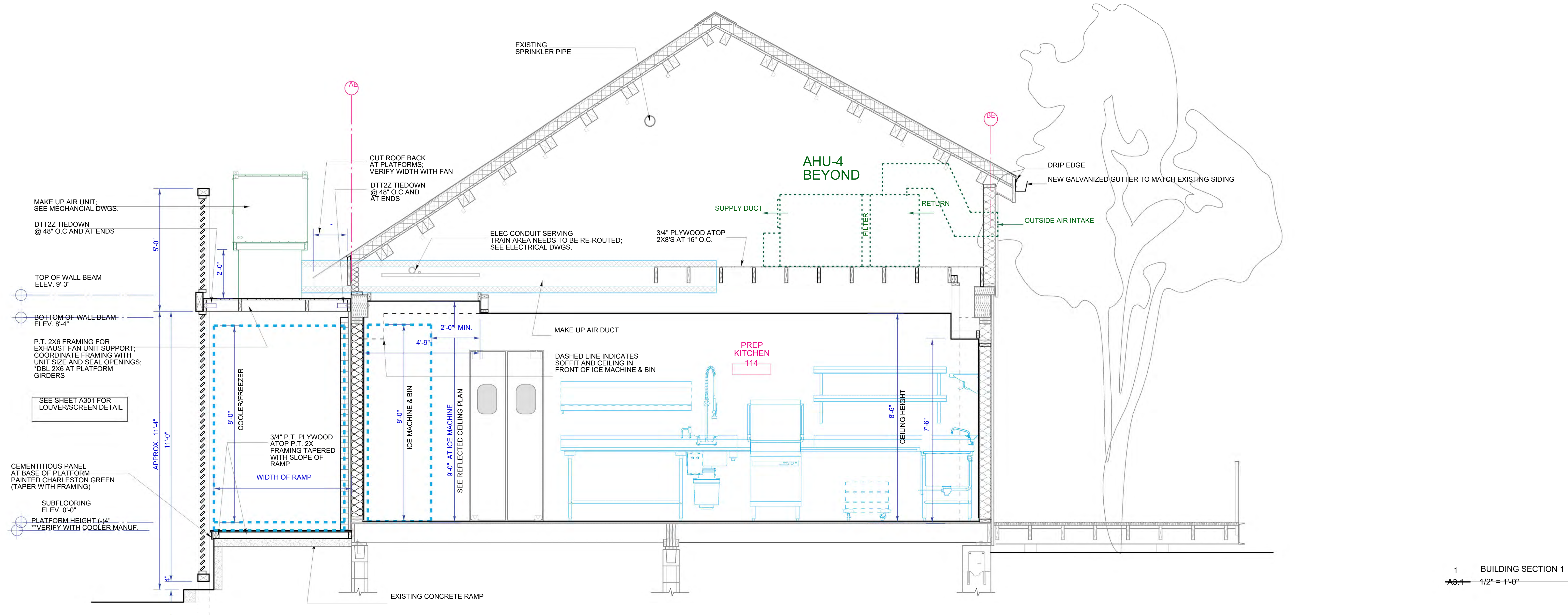
Date: 27 DEC 2019

Job No. Drawing No.

A2.6

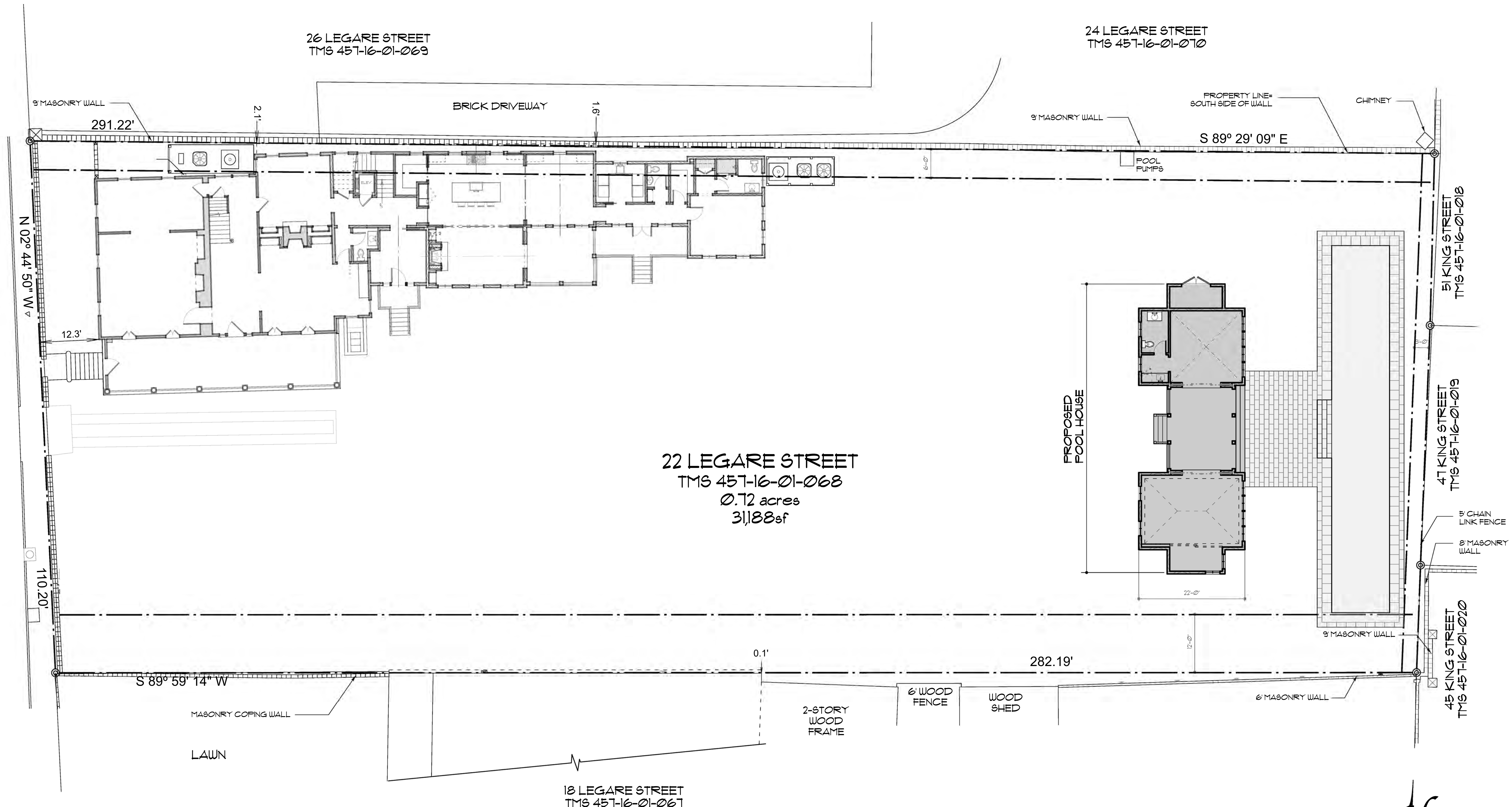


2 BUILDING SECTION 2  
A3.1 1/2" = 1'-0"

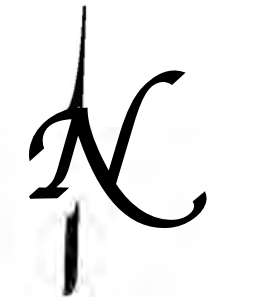


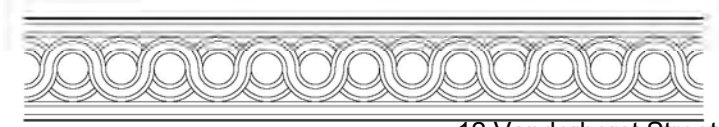
1 BUILDING SECTION 1  
A3.1 1/2" = 1'-0"





1 PROPOSED SITE PLAN  
A001 SCALE: 1/10" = 1'-0"



**Glenn Keyes Architects**  
  
 12 Vanderhorst Street  
 Charleston, SC 29403  
 (843) 722-4100  
 www.GlennKeyesarchitects.com

**22 Legare Street**  
*The Charles Elliott House*  
 Circa 1764  
 Charleston, South Carolina

SITE PLAN

REV.	DATE

PROJECT NUMBER	1805
DRAWING DATE	1/2/20
SHEET NUMBER	A001



1 STREET CONTEXT  
P-1 NO SCALE.



2 LEGARE STREET ELEVATION  
P-1 NO SCALE.



3 VIEW FROM INSIDE DRIVE GATE  
P-1 NO SCALE.

22 Legare Street  
The Charles Elliott House  
Circa 1764  
Charleston, South Carolina

EXISTING CONDITIONS  
PHOTOS

REV. DATE


PROJECT NUMBER 1805

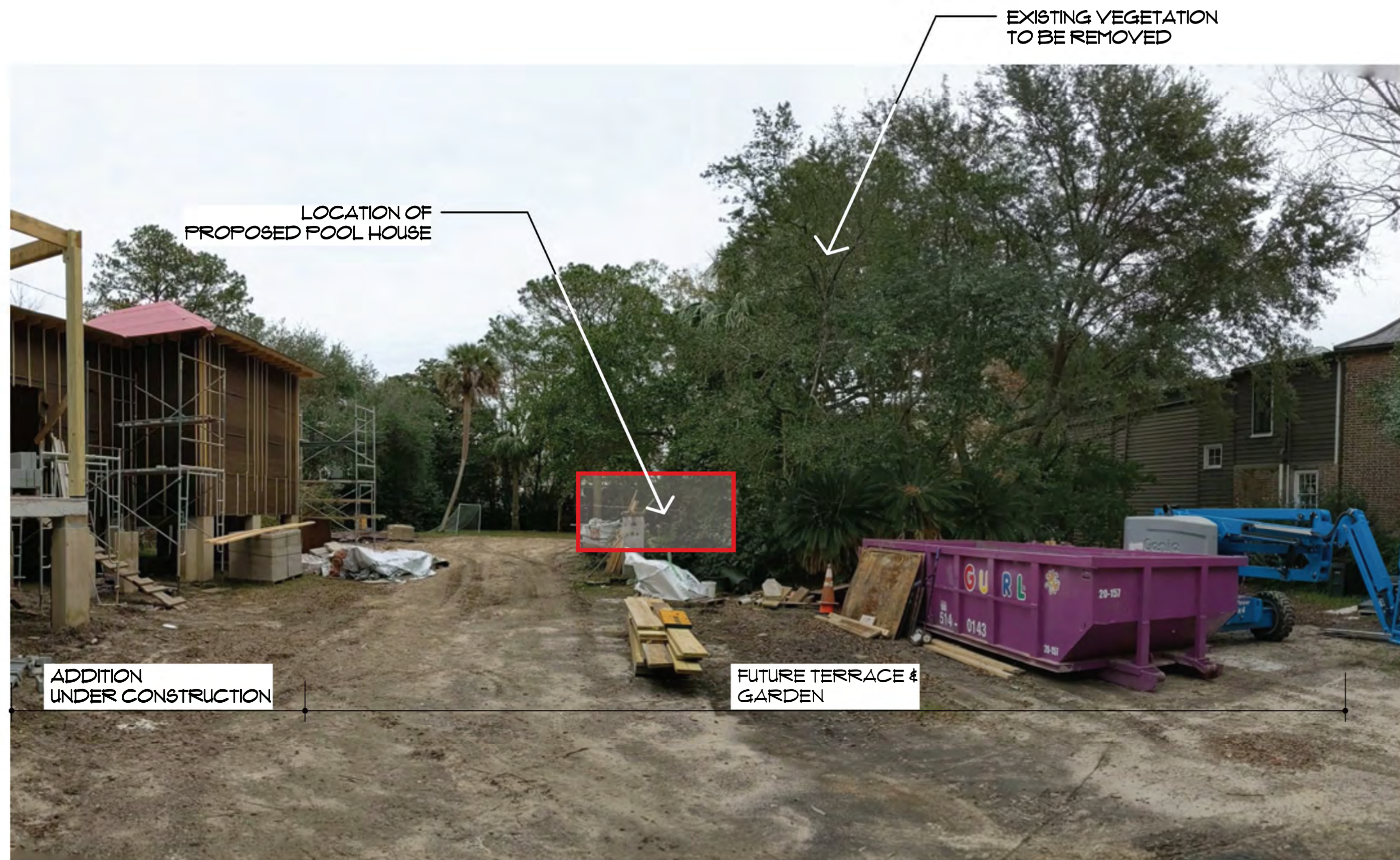
DRAWING DATE 1/2/20

SHEET NUMBER

P-1

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Architects

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1 EXISTING CONTEXT  
P-1 NO SCALE



2 EXISTING LANDSCAPE CONTEXT  
P-1 NO SCALE



3 VIEW FROM FUTURE TERRACE  
P-1 NO SCALE

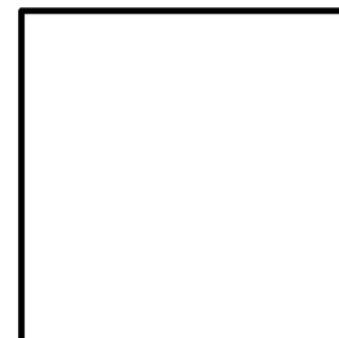
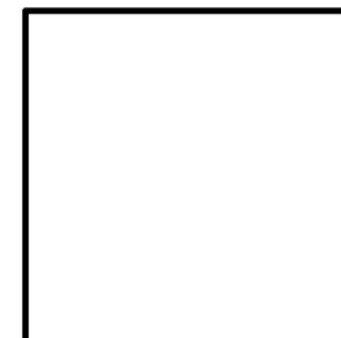
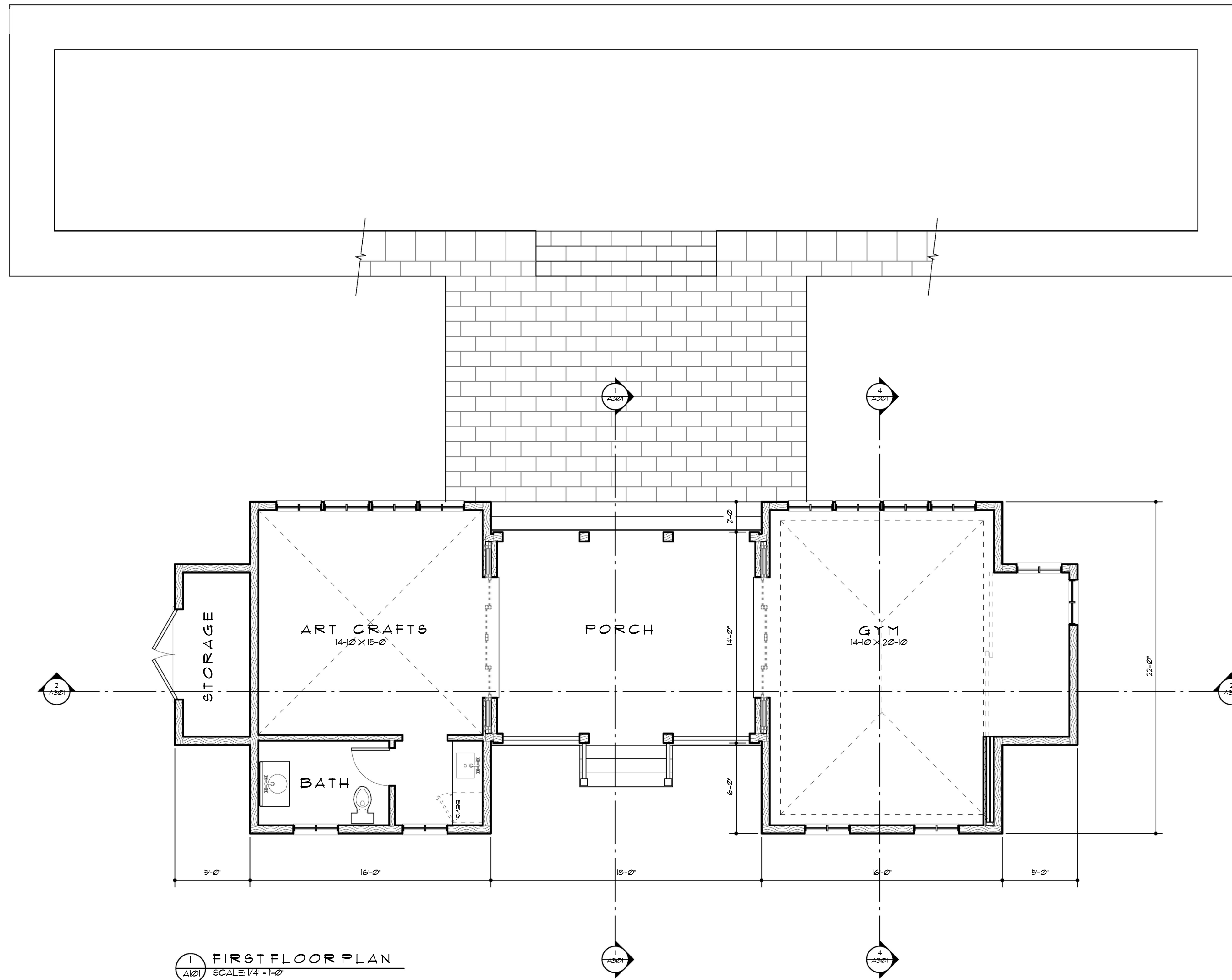
**Glenn Keyes Architects**  
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**22 Legare Street**  
*The Charles Elliott House*  
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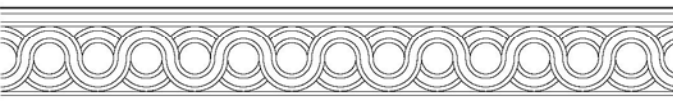
**EXISTING CONDITIONS PHOTOS**

REV.	DATE
PROJECT NUMBER	1805
DRAWING DATE	1/2/20
SHEET NUMBER	P-2





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Circa 1764  
Charleston, South Carolina

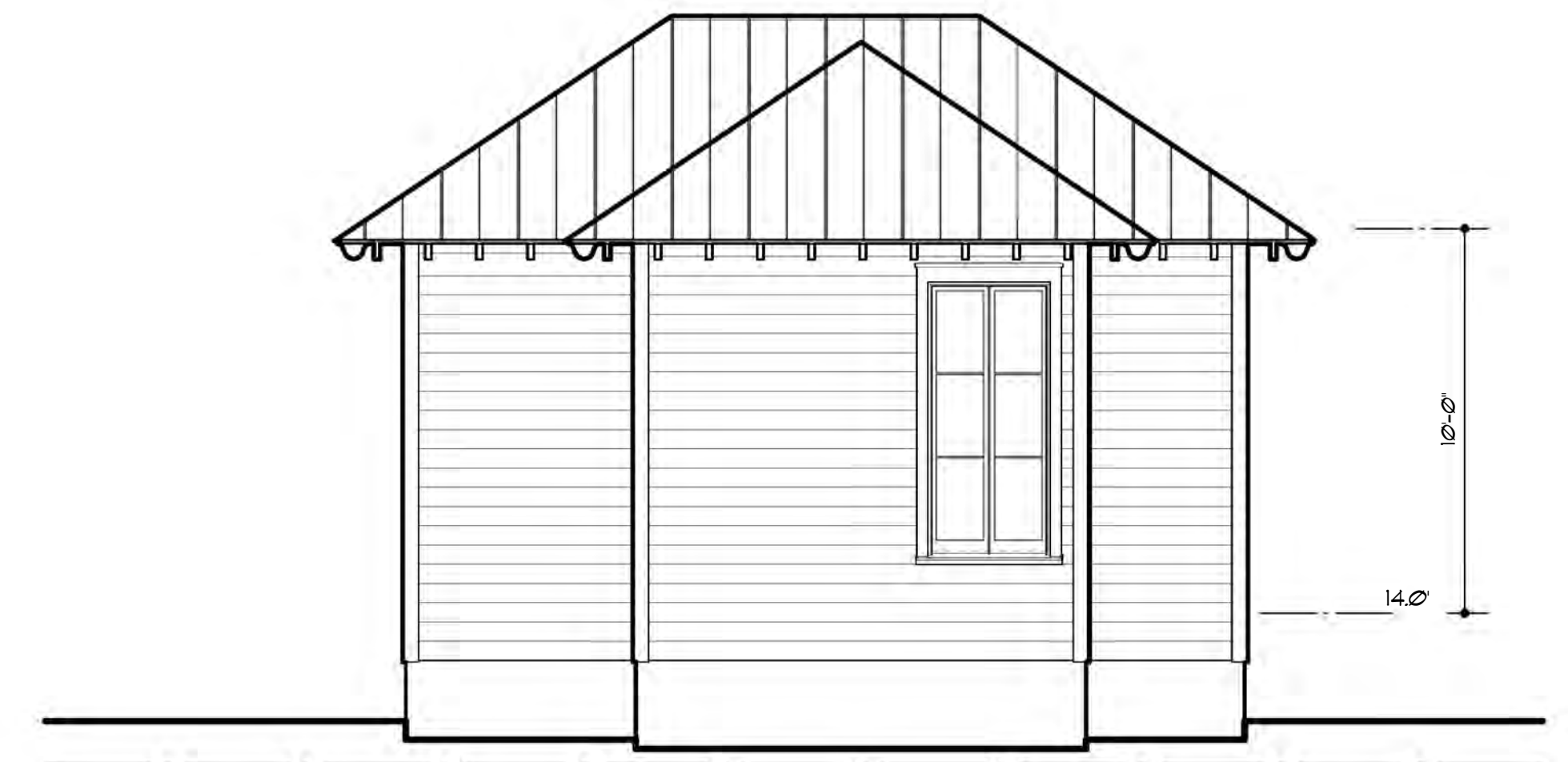
*The Pool House*  
FIRST FLOOR PLAN

REV.	DATE

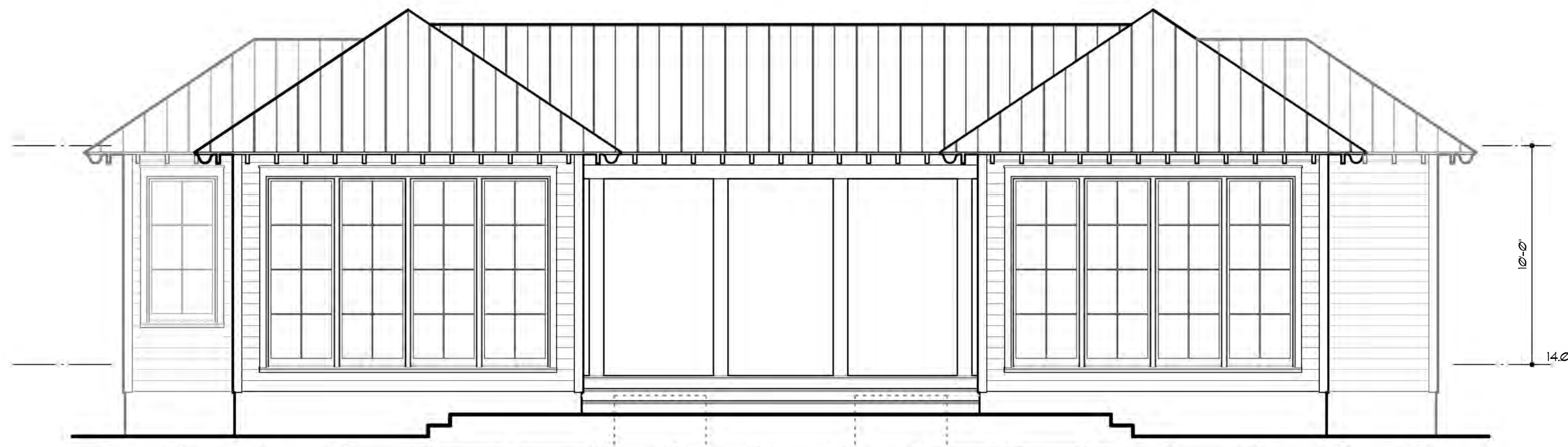
PROJECT NUMBER	1805
DRAWING DATE	12/10/19
SHEET NUMBER	A101



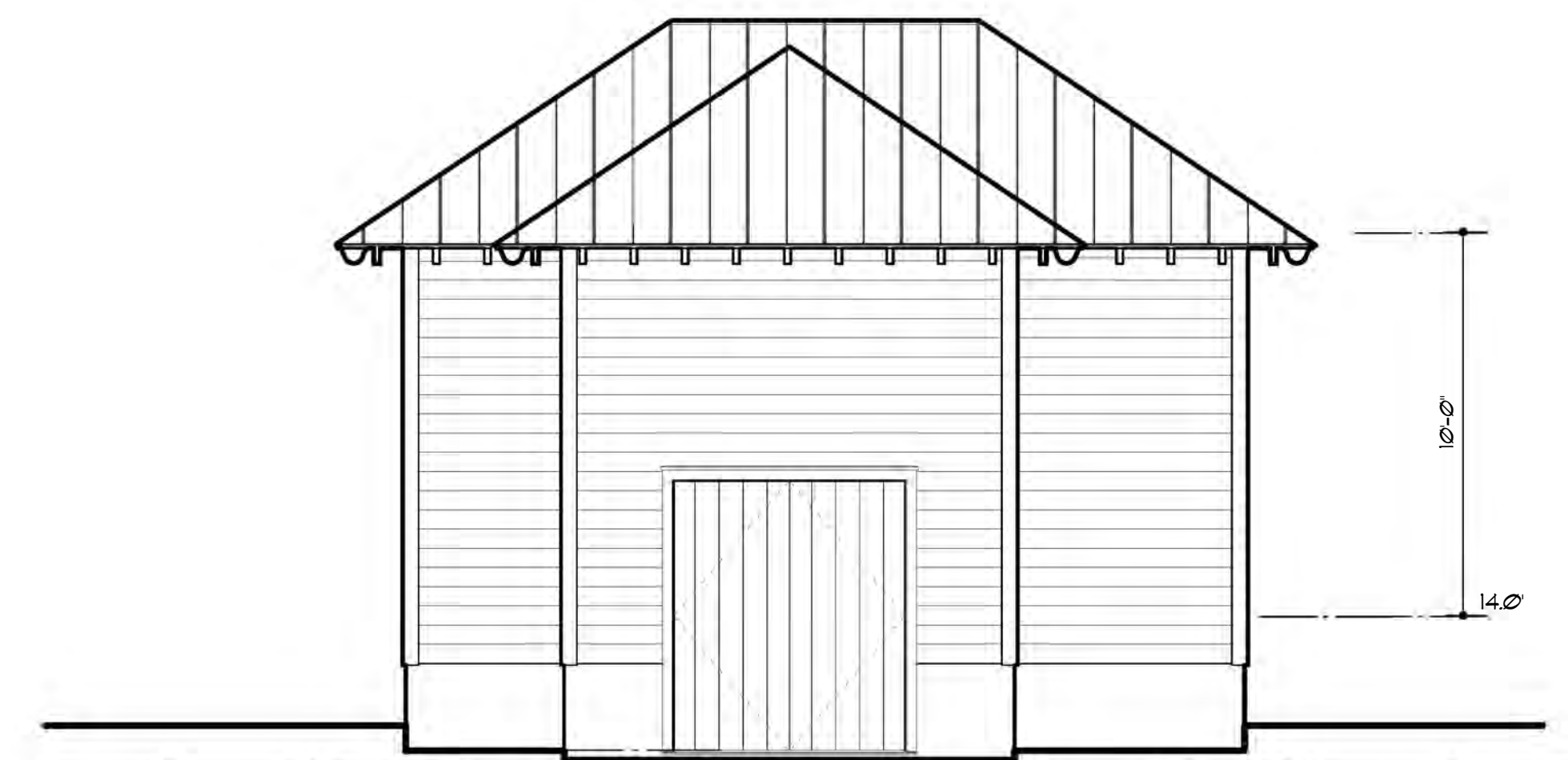
1 WEST ELEVATION  
SCALE: 1/4" = 1'-0"



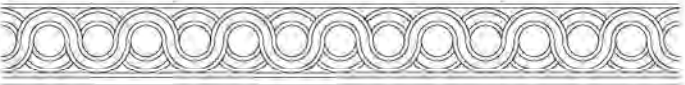
3 SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



2 EAST ELEVATION - POOL SIDE  
SCALE: 1/4" = 1'-0"



4 NORTH ELEVATION  
SCALE: 1/4" = 1'-0"

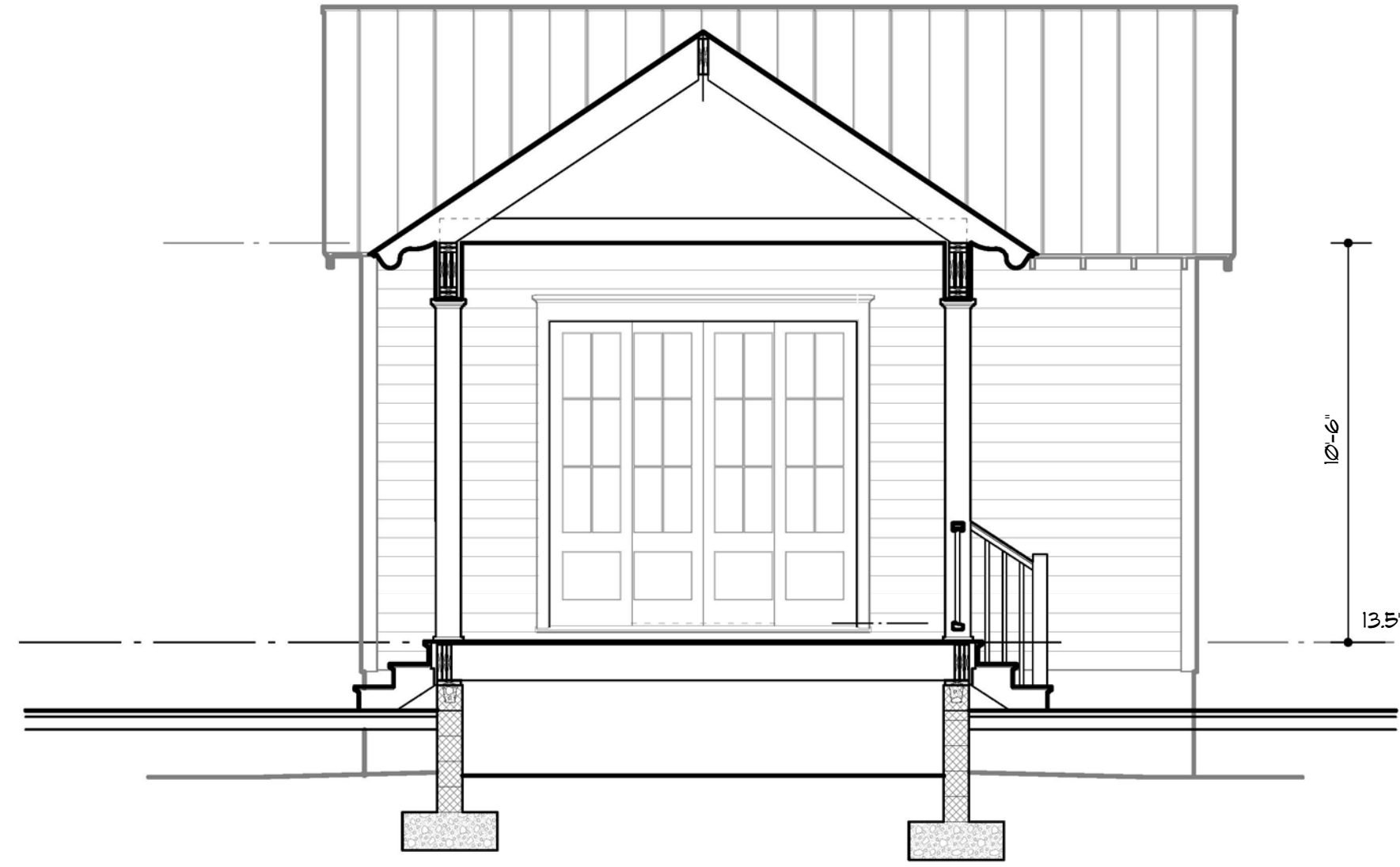
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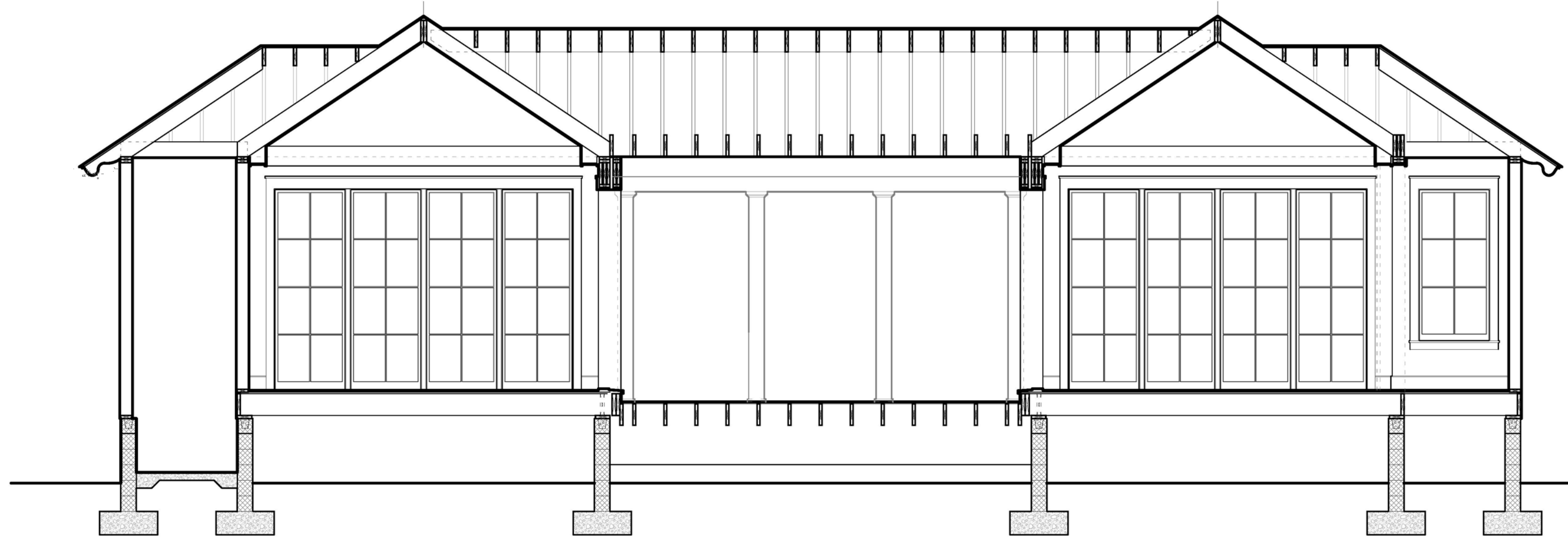
The Pool House  
ELEVATIONS

REV.	DATE

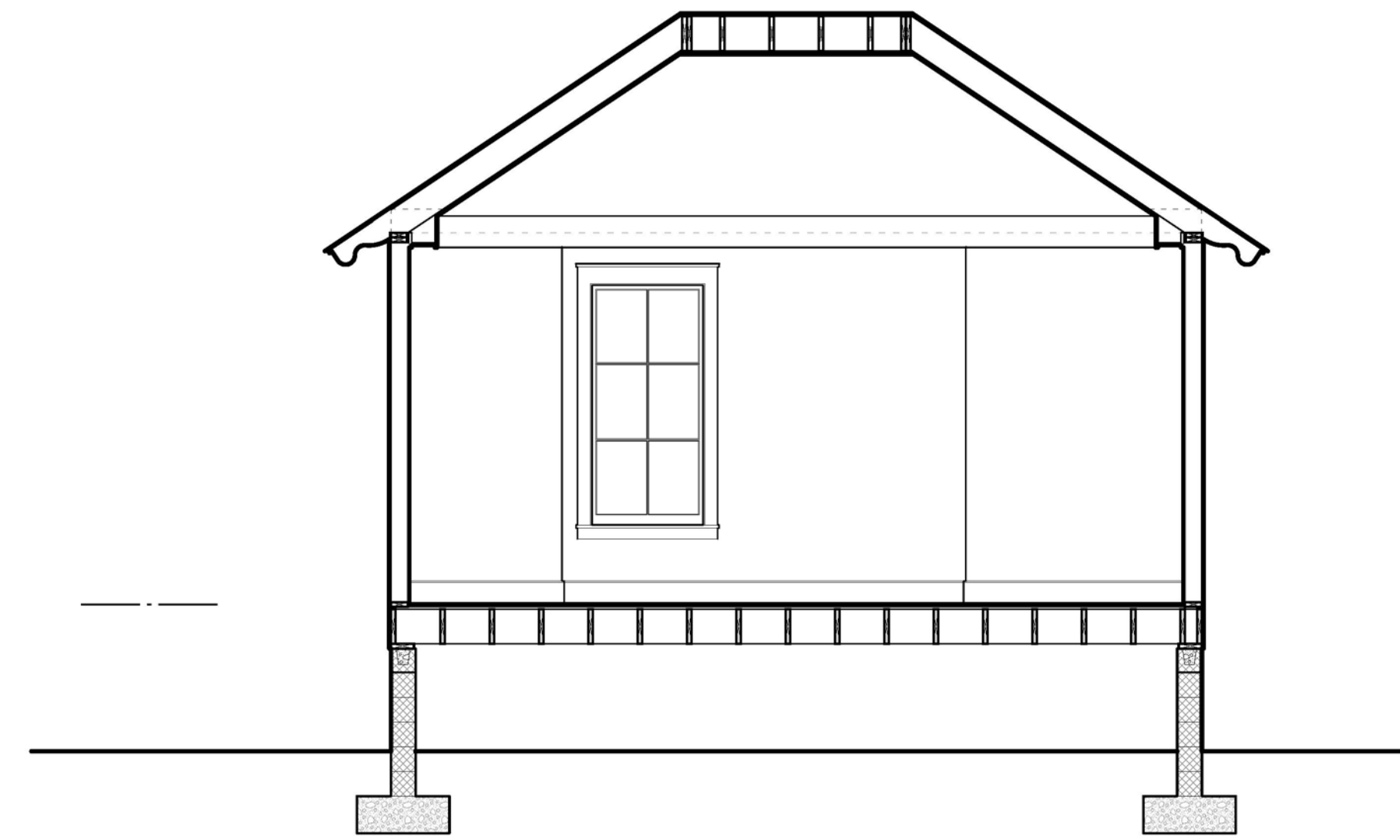
PROJECT NUMBER	1805
DRAWING DATE	12/10/13
SHEET NUMBER	A201



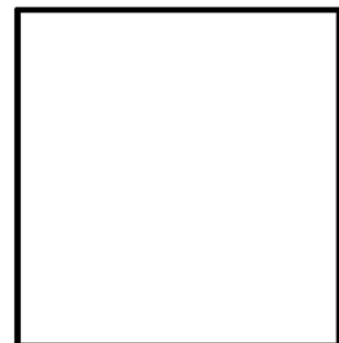
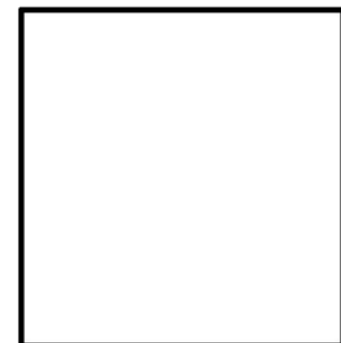
1 BUILDING SECTION  
SCALE: 1/4" = 1'-0"



2 BUILDING SECTION  
SCALE: 1/4" = 1'-0"



4 BUILDING SECTION  
SCALE: 1/4" = 1'-0"



Glenn Keyes  
Architects

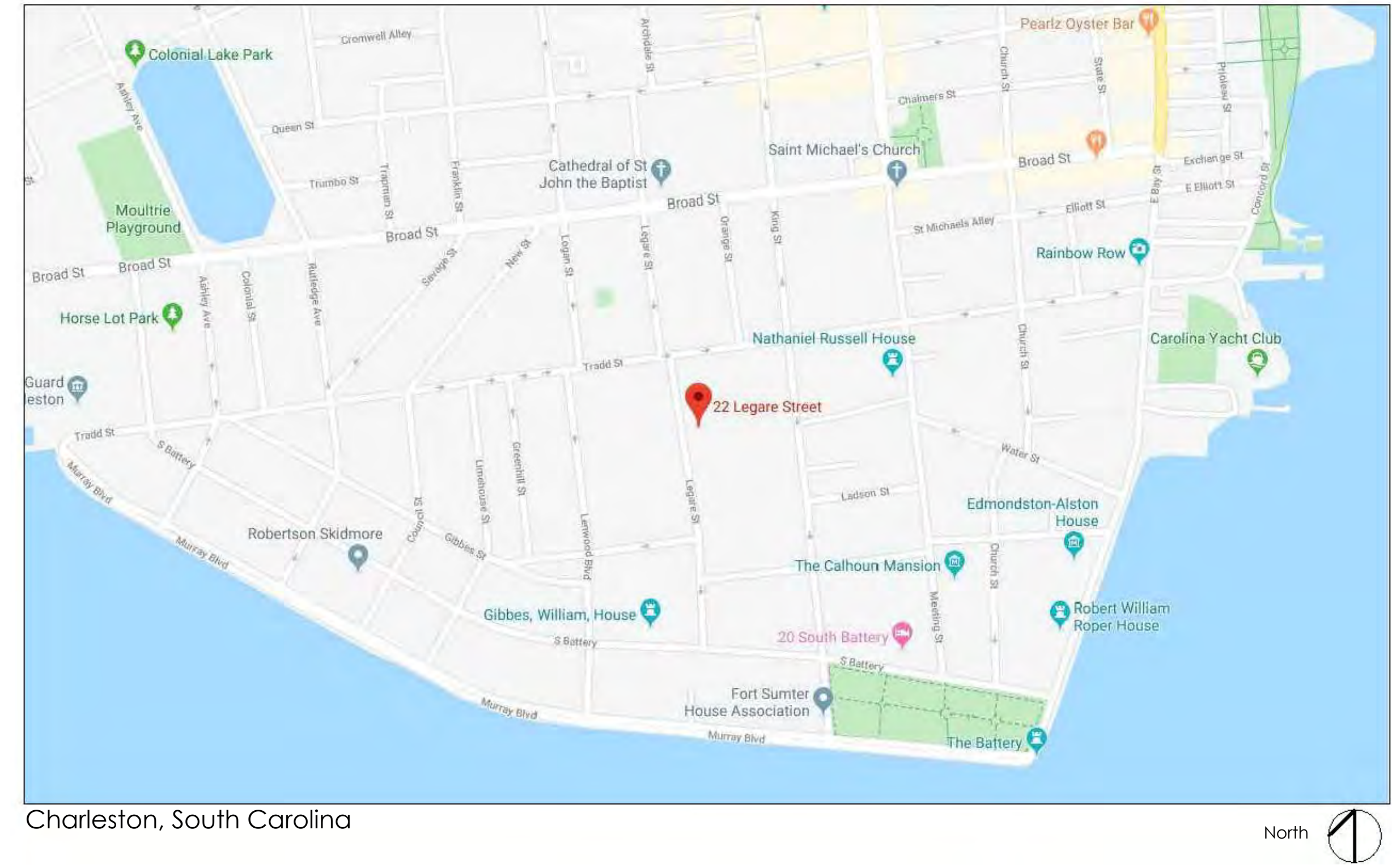
12 Vanderhorst Street  
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*The Charles Elliott House*  
Circa 1764  
Charleston, South Carolina

*The Pool House*  
BUILDING SECTIONS

REV.	DATE

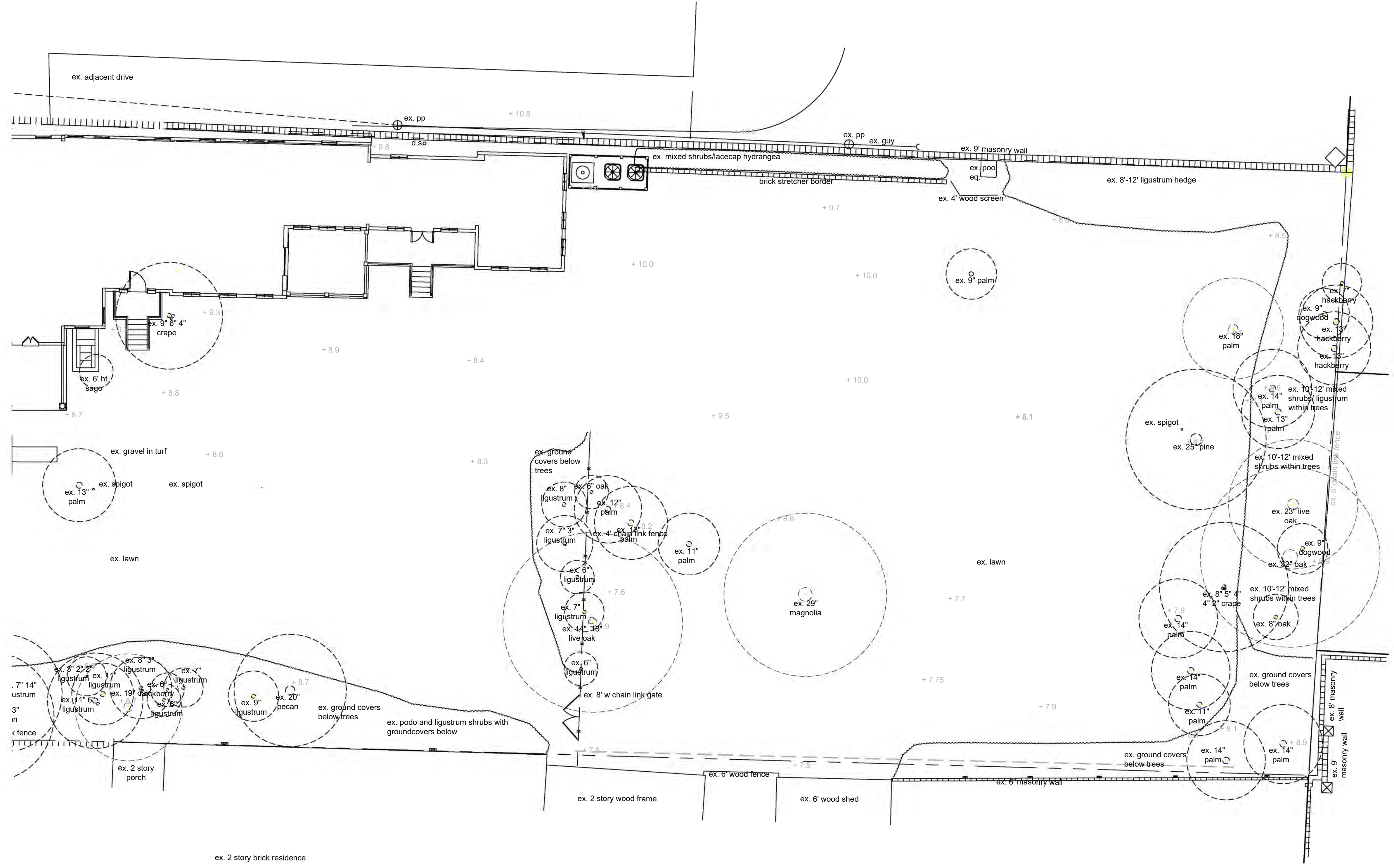
PROJECT NUMBER	1805
DRAWING DATE	12/10/19
SHEET NUMBER	<b>A301</b>



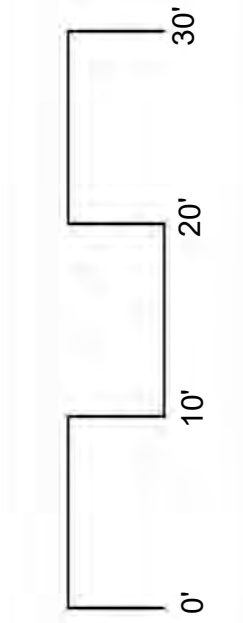
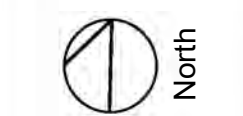
# The Anderson Residence Garden Construction

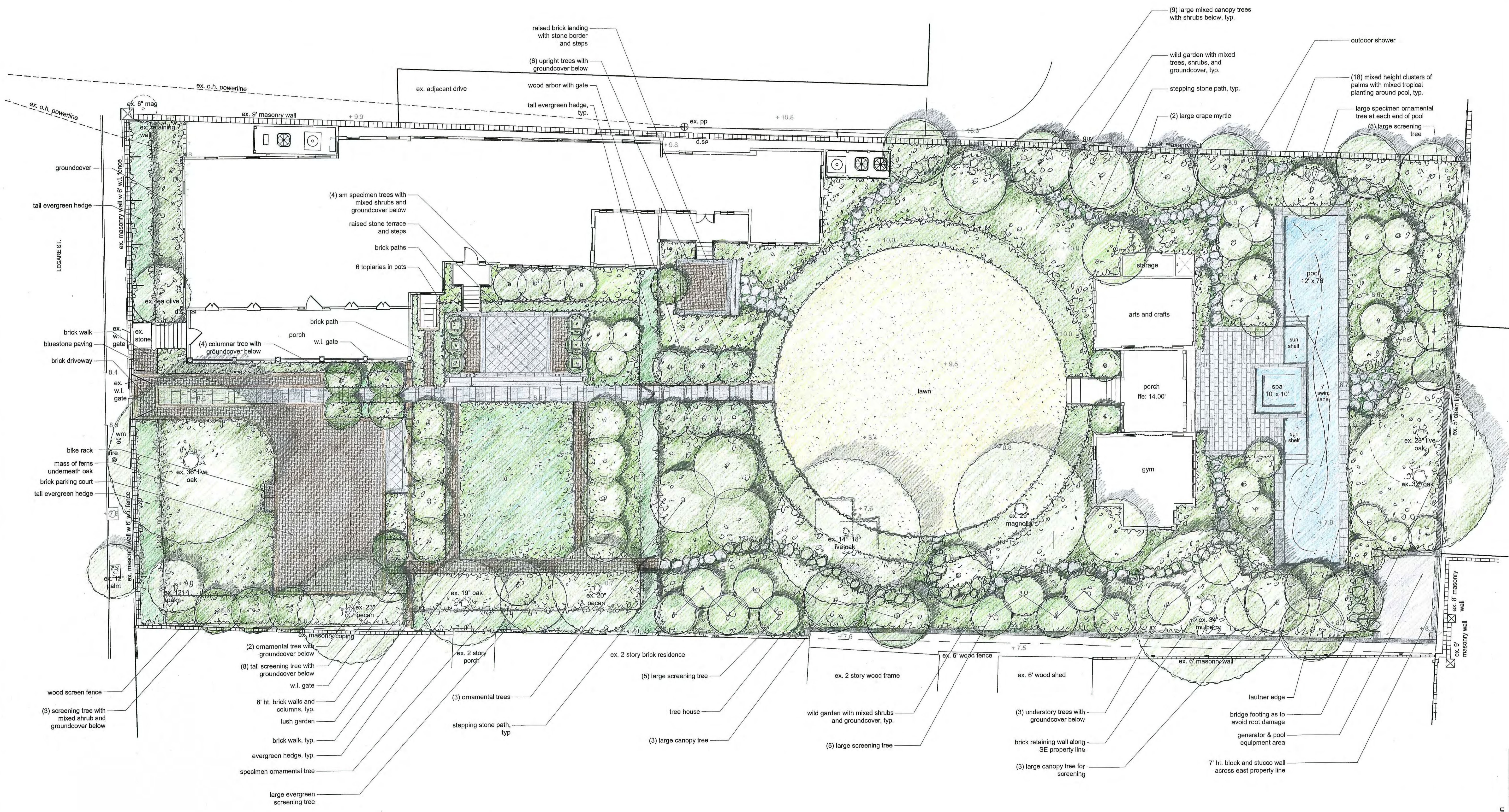
## Sheet Index

0	of 15	Cover
1	of 15	Existing Conditions
2	of 15	Removals Plan
3	of 15	Layout Plan
4	of 15	Pool Layout Plan
5	of 15	Grading Plan
6	of 15	Masonry Details
7	of 15	Masonry Details
8	of 15	Masonry Details
9	of 15	Masonry Details
10	of 15	Carpentry Details
11	of 15	Carpentry and Wrought Iron Details
12	of 15	Site Furnishings

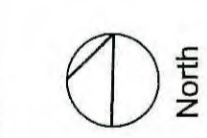
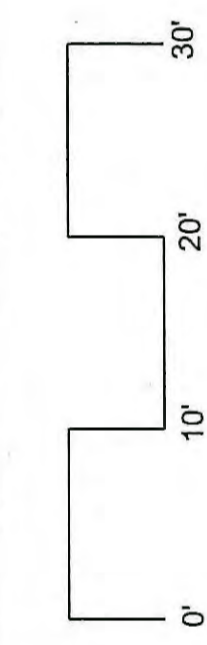


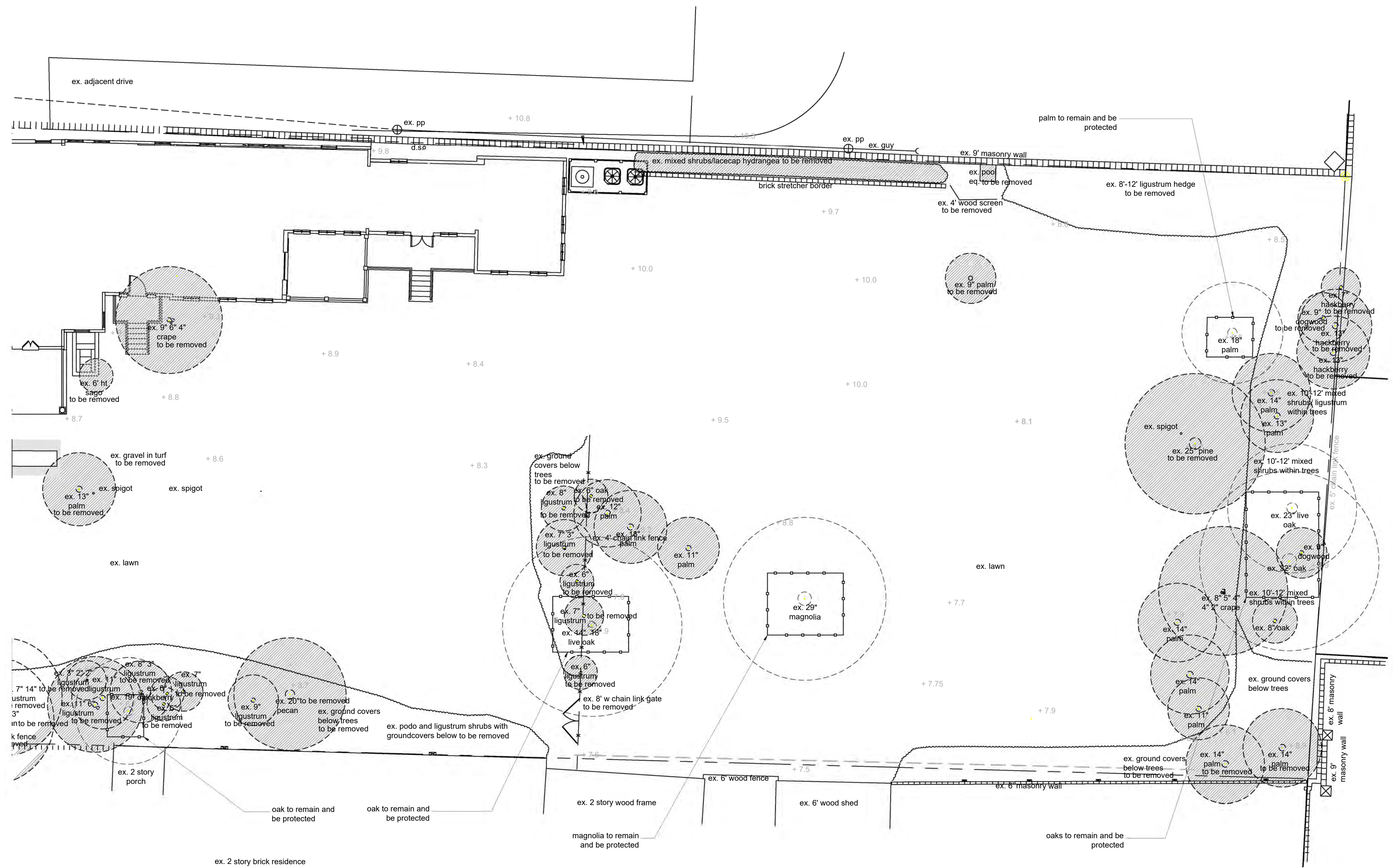
Existing Conditions





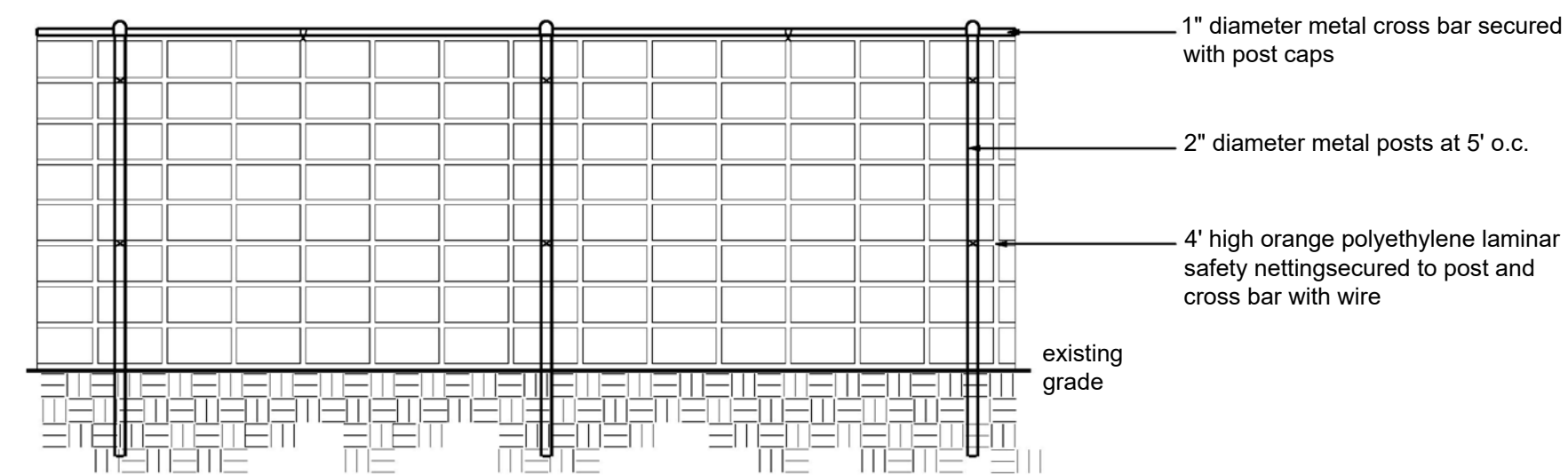
08/19/2018 11:58 AM: 11-30-18 nk  
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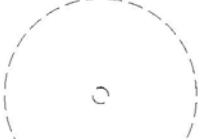

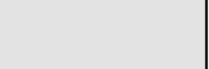
Note:  
Barricades shall be erected at a minimum distance from the base of protected trees and grand trees according to the following standards:

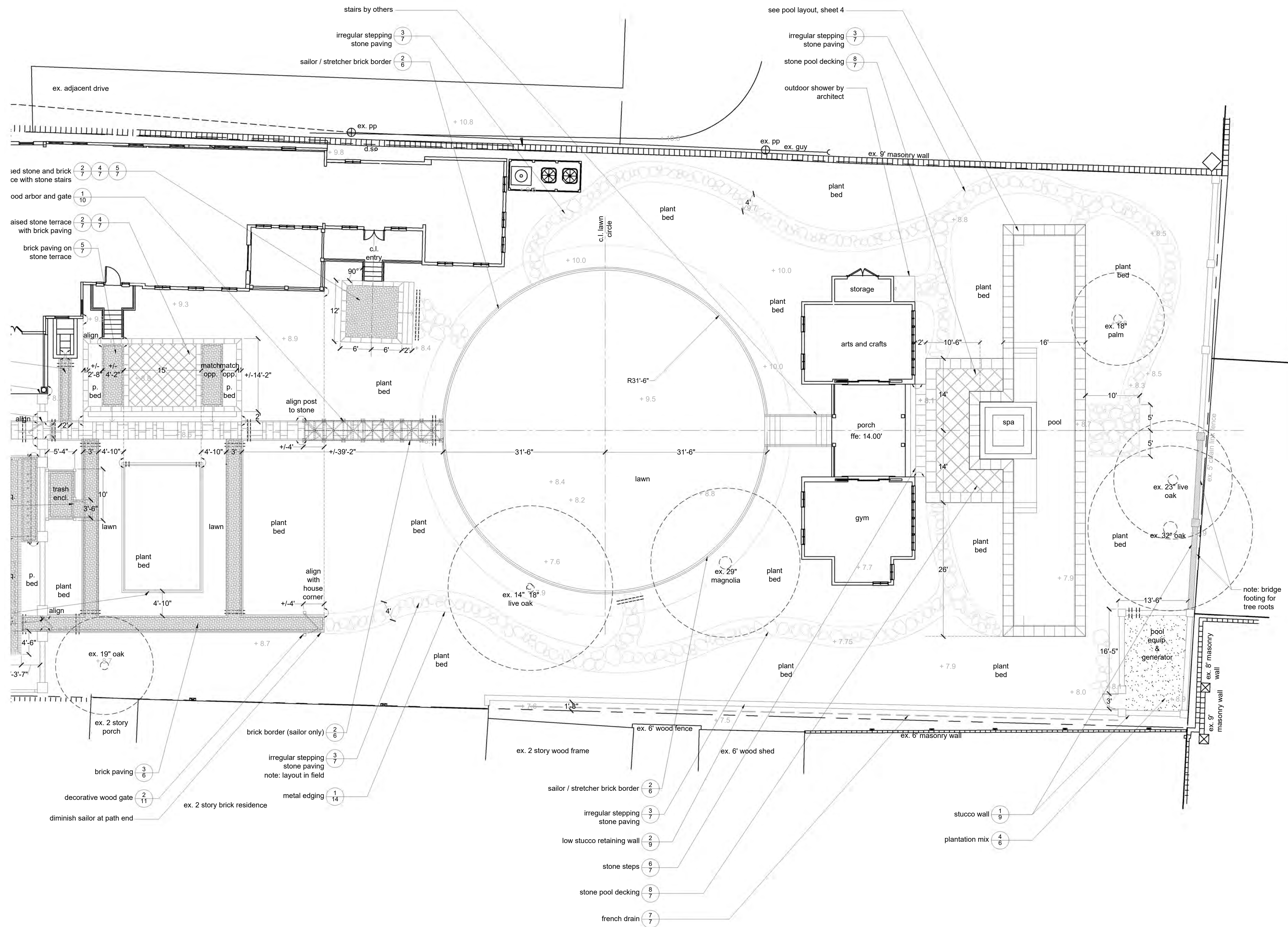
1. For protected trees ten inches (10") or less D.B.H., protective barricades shall be placed a minimum of ten feet (10') from the base of each protected tree; and
2. For protected trees greater than ten inches (10") D.B.H. and grand trees, protective barricades shall provide a diameter of protection around the tree equal in feet to the diameter breast height of the tree (i.e. a 24" diameter tree would require a 24 foot diameter protective barricade).



Tree Protection Fence  
Scale: 1/2" = 1'

Legend

-  plant material to remain and be protected
-  plant material to be removed
-  hardscape to be removed

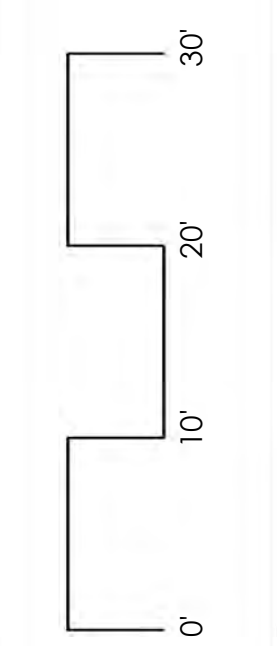


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**Legend**

-  stone paving
-  stone paving
-  gravel paving
-  brick paving
-  (2) 4" schedule 40 PVC conduit installed side by side at a max. of 12" below grade or below wall footers
-  underground drainage line, french drain, or footing drain
-  catch basin

Layout Plan

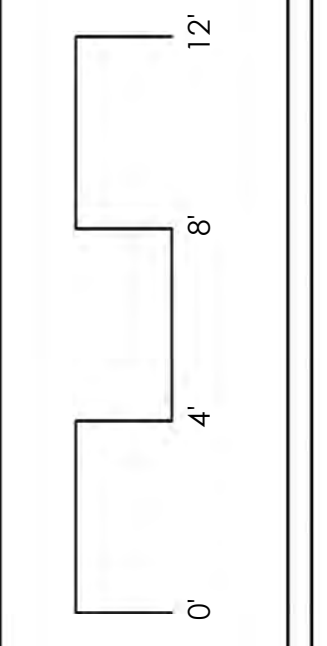
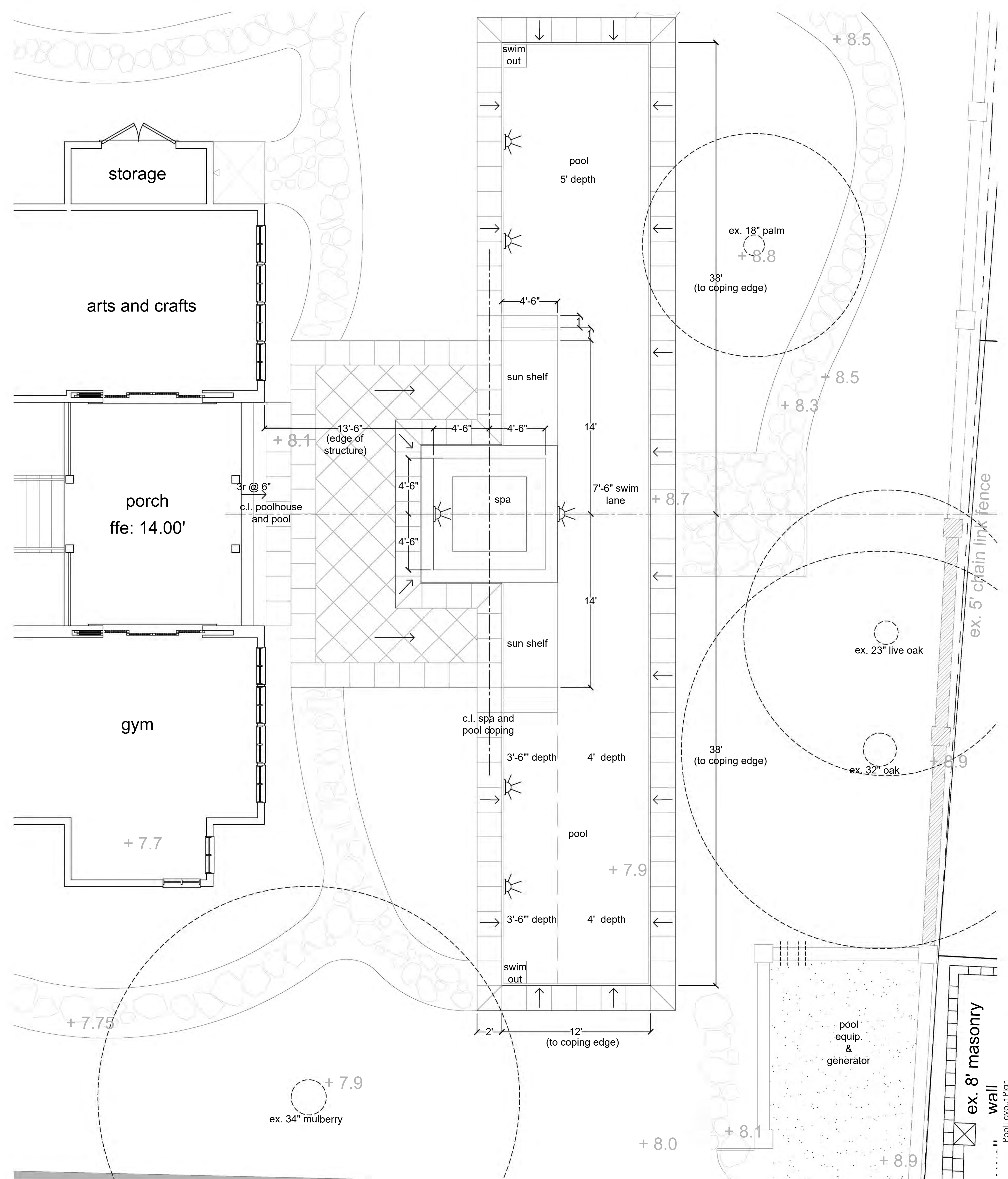


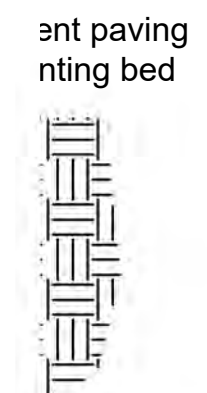


r feet.

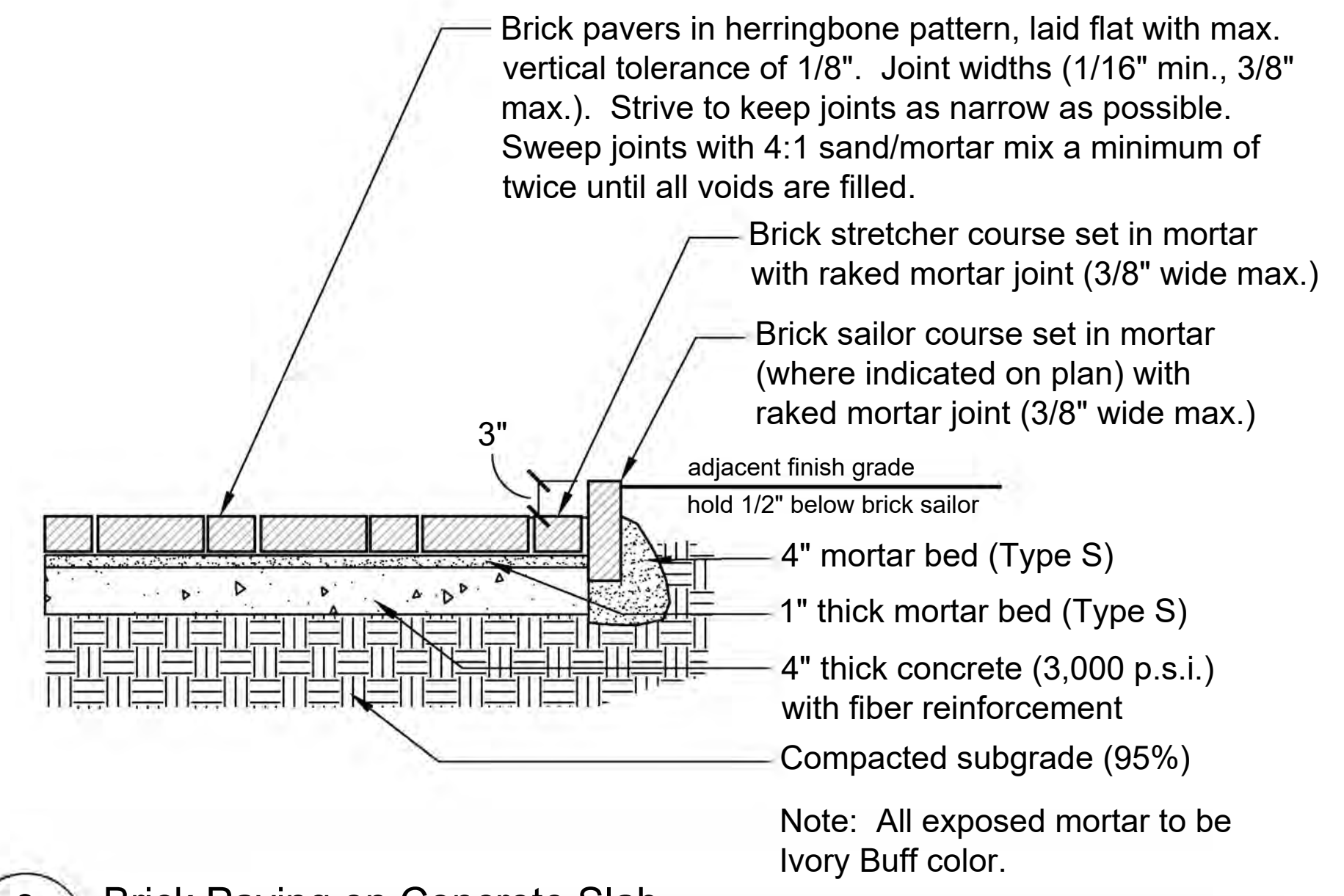
3'-6", going down to 5'-0".  
floor finish in Desert Sage.  
tile, 24" x 24", eased edge.  
high Aqua Blue pools and project  
Landscape Architect and Owner.  
locate per plan.  
in-floor cleaning system  
provide sample to be approved

sun shelf as indicated on plans.  
soil for reuse on site - all other  
contractor.  
planting, prior to layout and  
utilities.





Section



**3** Brick Paving on Concrete Slab  
Scale 1" = 1'-0" Section

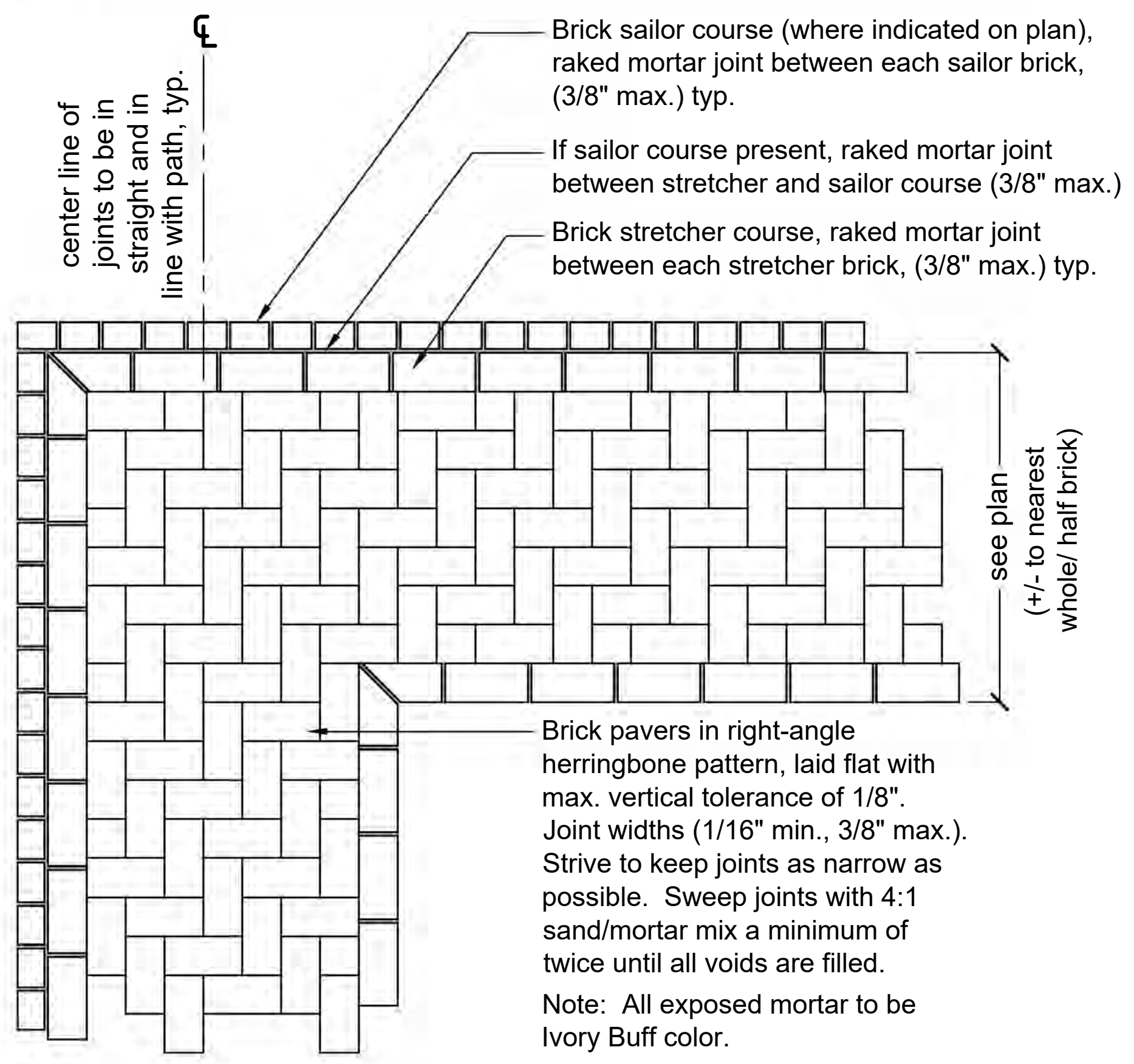
Double header with 3/8" mortar joint. color to be buff.

Pavers in right-angle herringbone pattern, laid flat with vertical tolerance of 1/8". Joint widths (1/16" min., 3/8" max.). Strive to keep joints as narrow as possible. Sweep joints with 4:1 mortar mix a minimum of twice until all voids are filled.

Width indicated on layout plan shall be considered +/- to work to the nearest whole/ half bricks

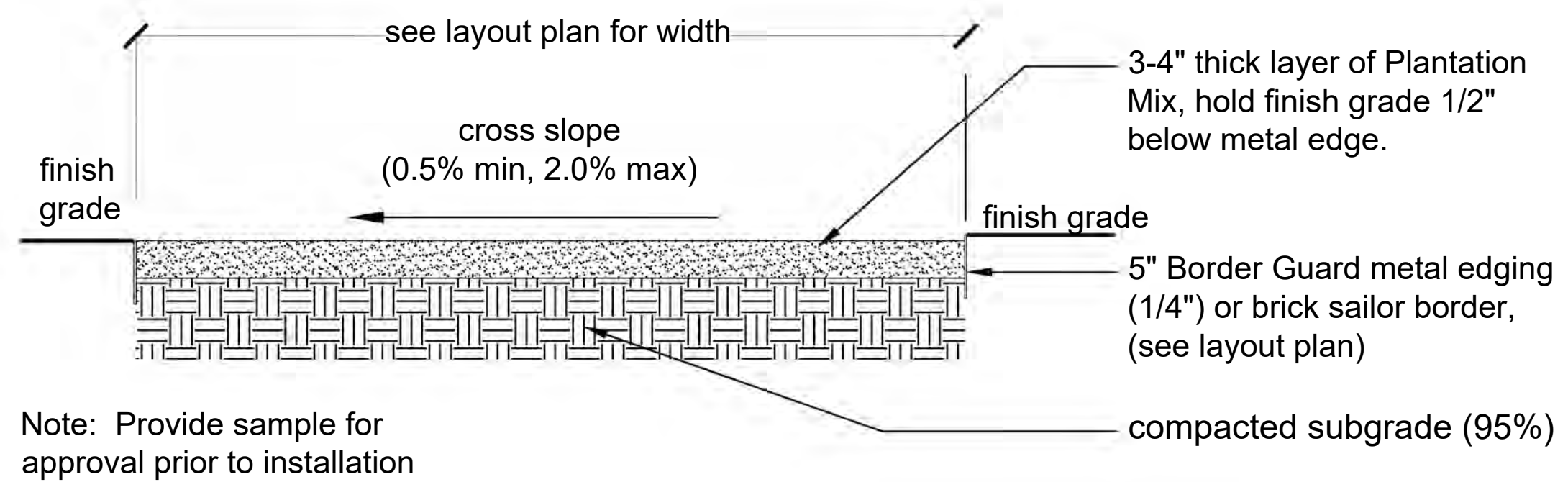
All exposed mortar to be buff color.

Plan



**3** Brick Herringbone Pattern  
Scale 1" = 1'-0" Plan

Joints. d joints, without



**4** Plantation Mix Gravel Paving - Pedestrian  
Scale 1" = 1'-0" Section

Plantation Mix:  
70% 789 granite gravel and 30% granite fines

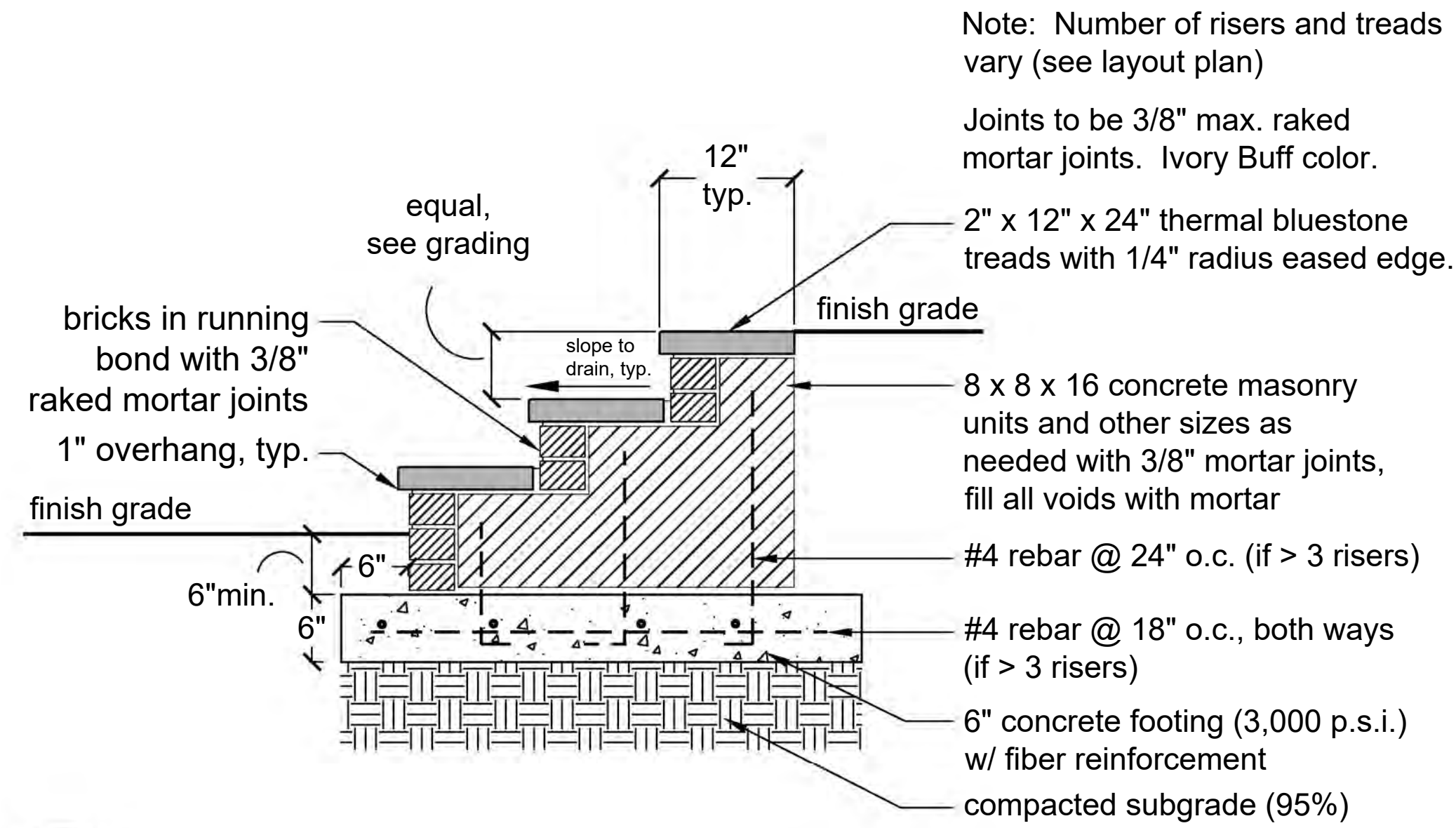
**Brick Notes:**

1. All bricks to be Old Carolina Brick Co. Color to be 50% Savannah Gray and 50% Georgetowne. Different color bricks to be mixed in a random fashion when installed.
2. Sides of brick with sand or lime coating to be considered finished side - only finished sides to be exposed.
3. Brick pavers in right angle herringbone pattern, laid flat with max. vertical tolerance of 1/8".
4. Brick sizes vary. Joints widths: min. 1/16", max. 3/8". Strive to keep joints as tight as possible. Center line of joints to be straight and in line with path.
5. Swept joints to be filled with 4:1 sand/mortar mix. Mortar to be type 200N, Ivory Buff color. Mix into slurry, sweep into joints and hose down right away to avoid mortar setting on top of brick. Repeat a minimum of twice until all voids are filled.
6. All exposed mortar joints to be raked. Max. width 3/8". Ivory Buff color
7. Widths indicated on layout plan shall be considered +/- to work to the nearest whole or half brick. Verify adjusting layout dimensions to whole/half brick will not conflict with other areas of layout. If conflict arises, contact Landscape Architect before proceeding.
8. Dimensions given are from edge-to-edge of stretchers (or face-to-face of brick sailors where present).
9. Do not pressure wash bricks or allow acid to come in contact.

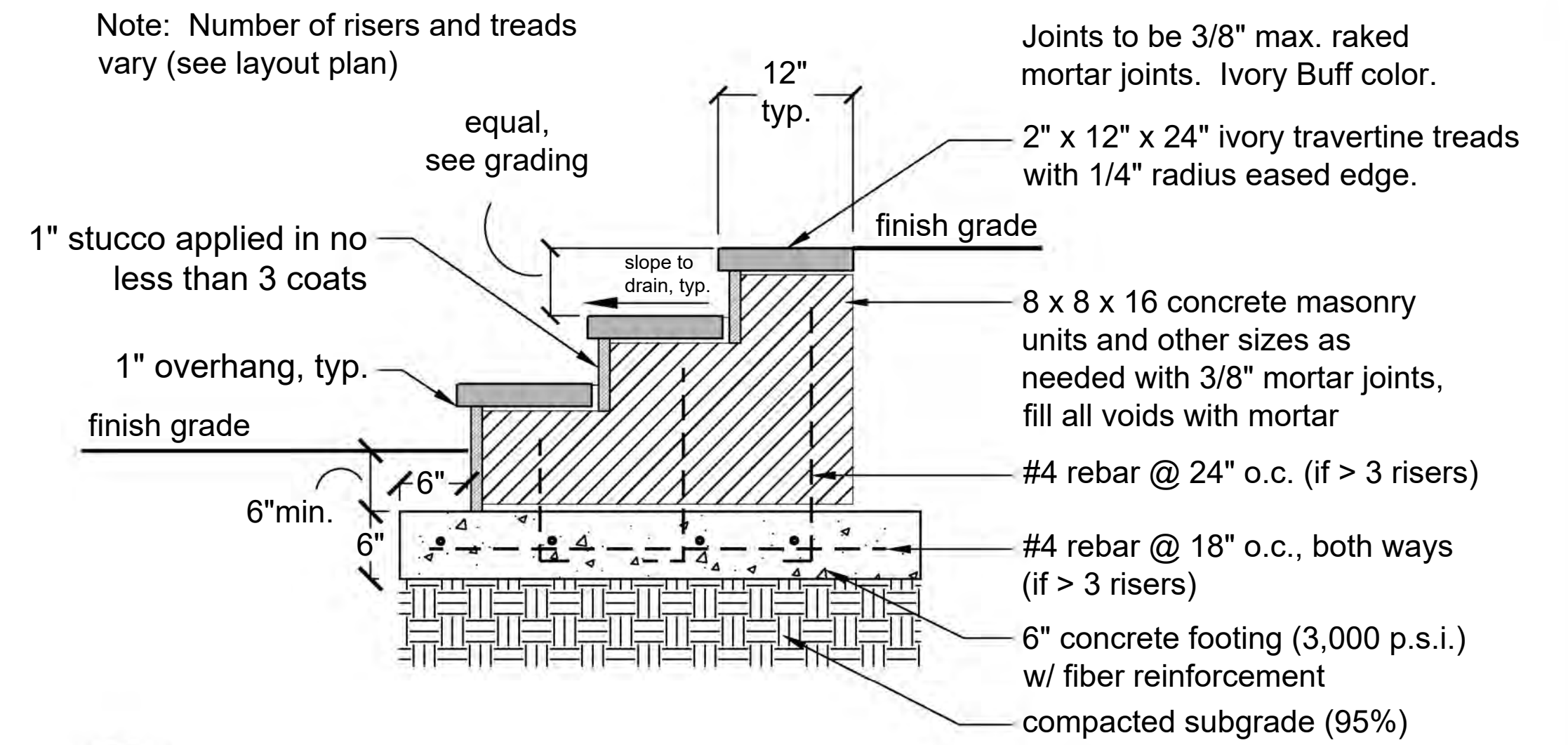
**Bluestone Notes:**

1. Bluestone to be limited full range. Colors to be a mix of 70% blue/green and 30% full range with no rust.
2. Any hammer marks from the supplier to be flamed. Flame edges with a welder's torch.
3. Finish to be natural cleft. Stair treads to have thermal finish.
4. Nominal thickness: 1" (3/4" to 1-1/4")
5. Butt joints with min. 1/16", max. 1/4" gap. Strive to keep joints as tight as possible. Center line of joints to be straight and in line with path.
5. Joints to be filled with 4:1 sand/mortar mix. Mortar to be type 200N, Ivory Buff color. Mix into slurry, sweep into joints and hose down right away to avoid mortar setting on top of brick. Repeat a minimum of twice until all voids are filled.

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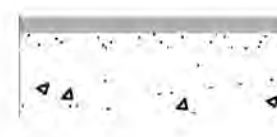
**4 Bluestone Steps**  
Scale 1" = 1'-0"



**6 Stone Steps**  
Scale 1" = 1'-0"

bluestone paving. Pattern to be 18" x 18" on diagonal with 12" x 24" border (see layout plan).

1" thick stiff mortar bed (type M)  
4" concrete slab



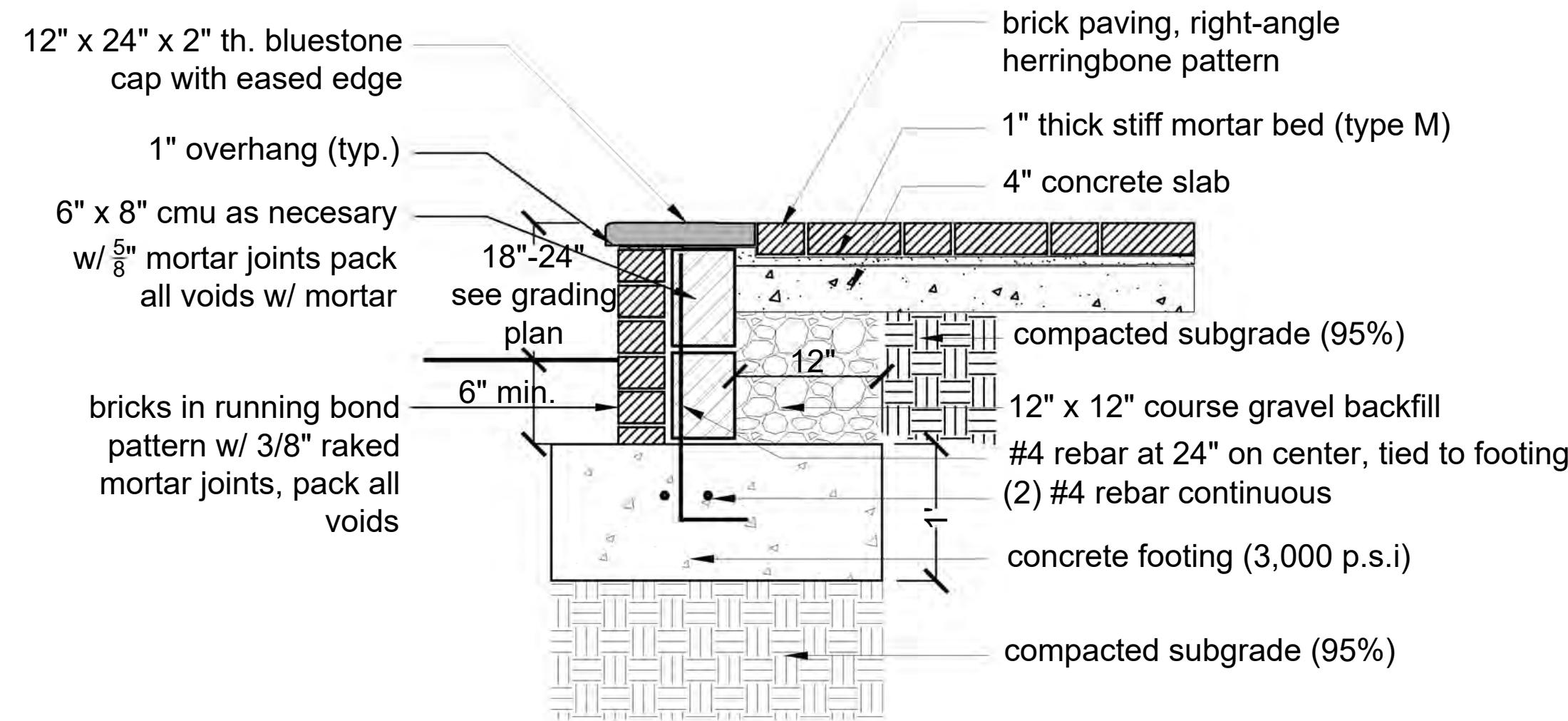
compacted subgrade (95%)

12" x 12" coarse gravel backfill

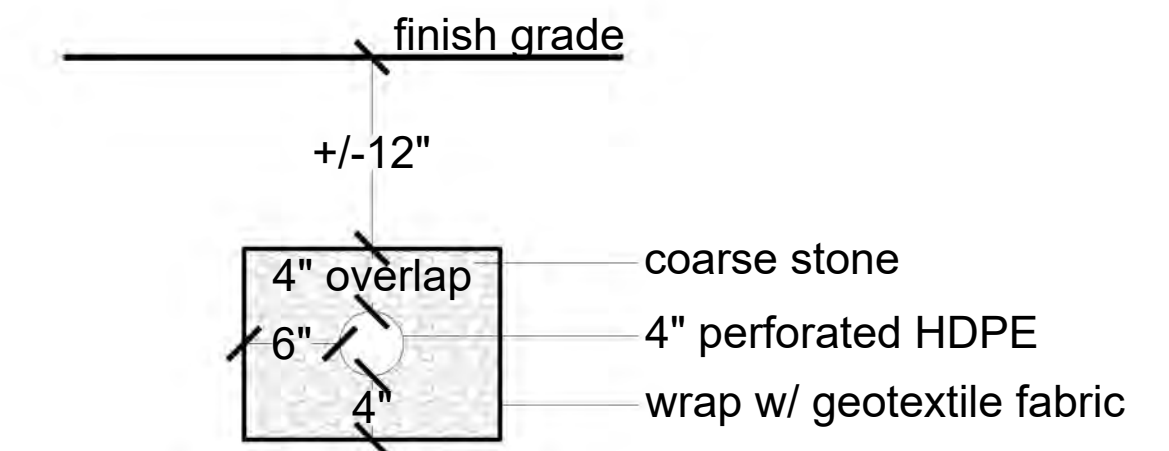
#4 rebar at 24" on center, tied to footing  
(2) #4 rebar continuous

concrete footing (3,000 p.s.i.)

compacted subgrade (95%)



**5 Raised Brick and Bluestone Terrace**  
Scale 1" = 1'-0"



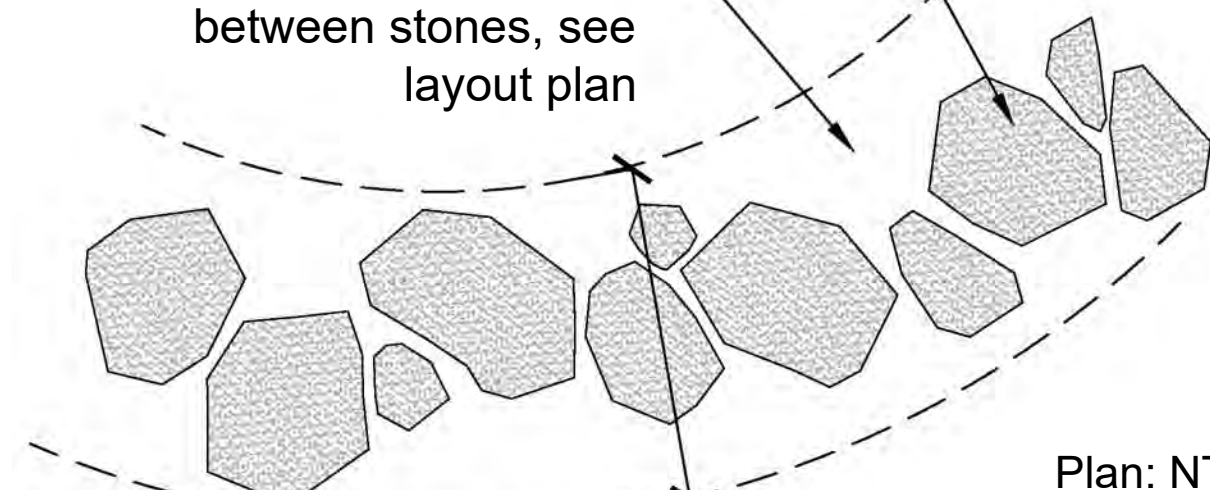
**7 French Drain Detail**  
Scale 1" = 1'-0"

ving

of stone sizes, gap spacing to vary from 1"-8", roughly parallel joints when possible, stone to der slightly within smoothly laid out path. avoid pieces with excessively sharp, acute angles

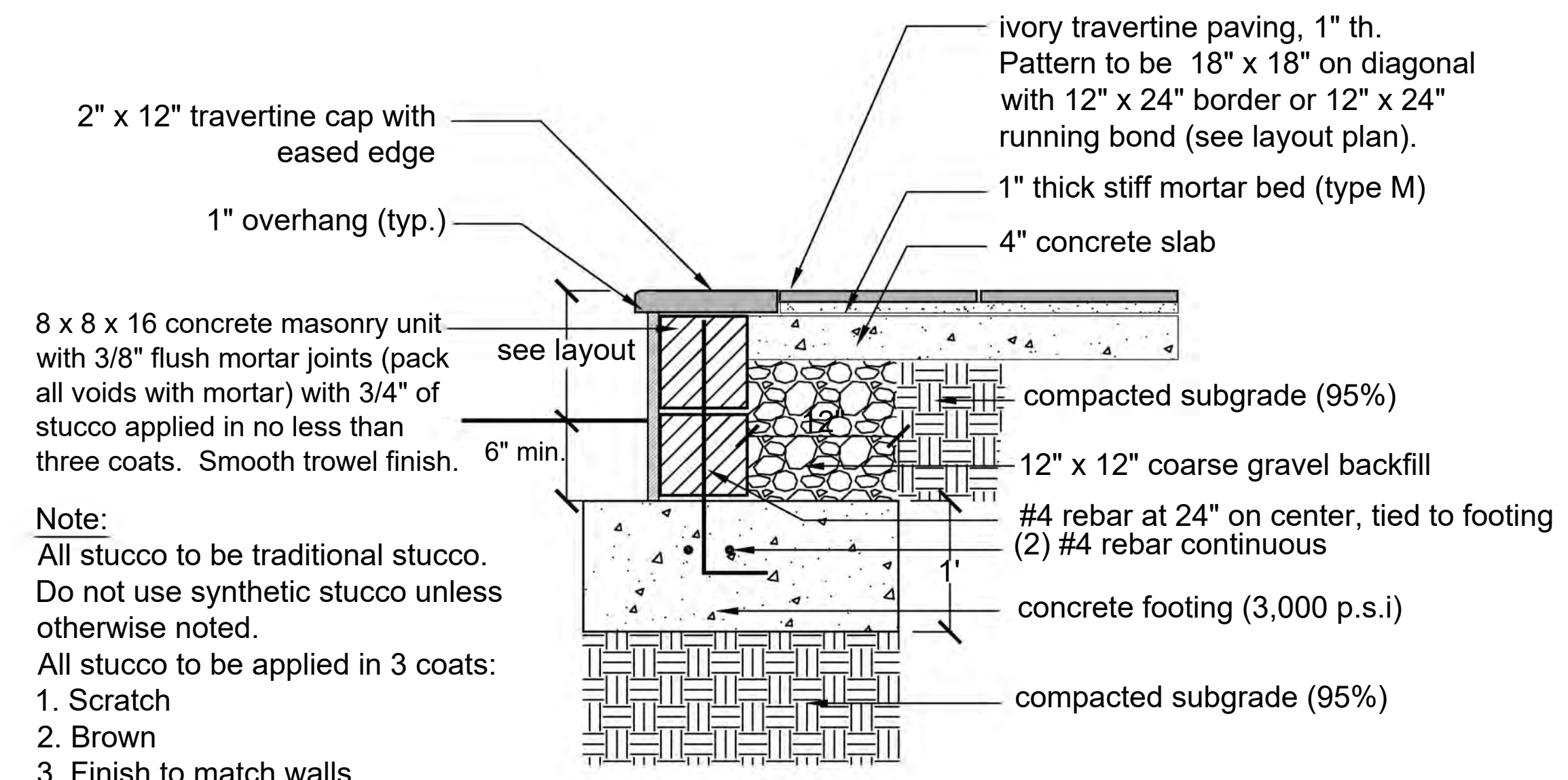
Mock up 10' long stretch for approval.

lawn or groundcover between stones, see layout plan

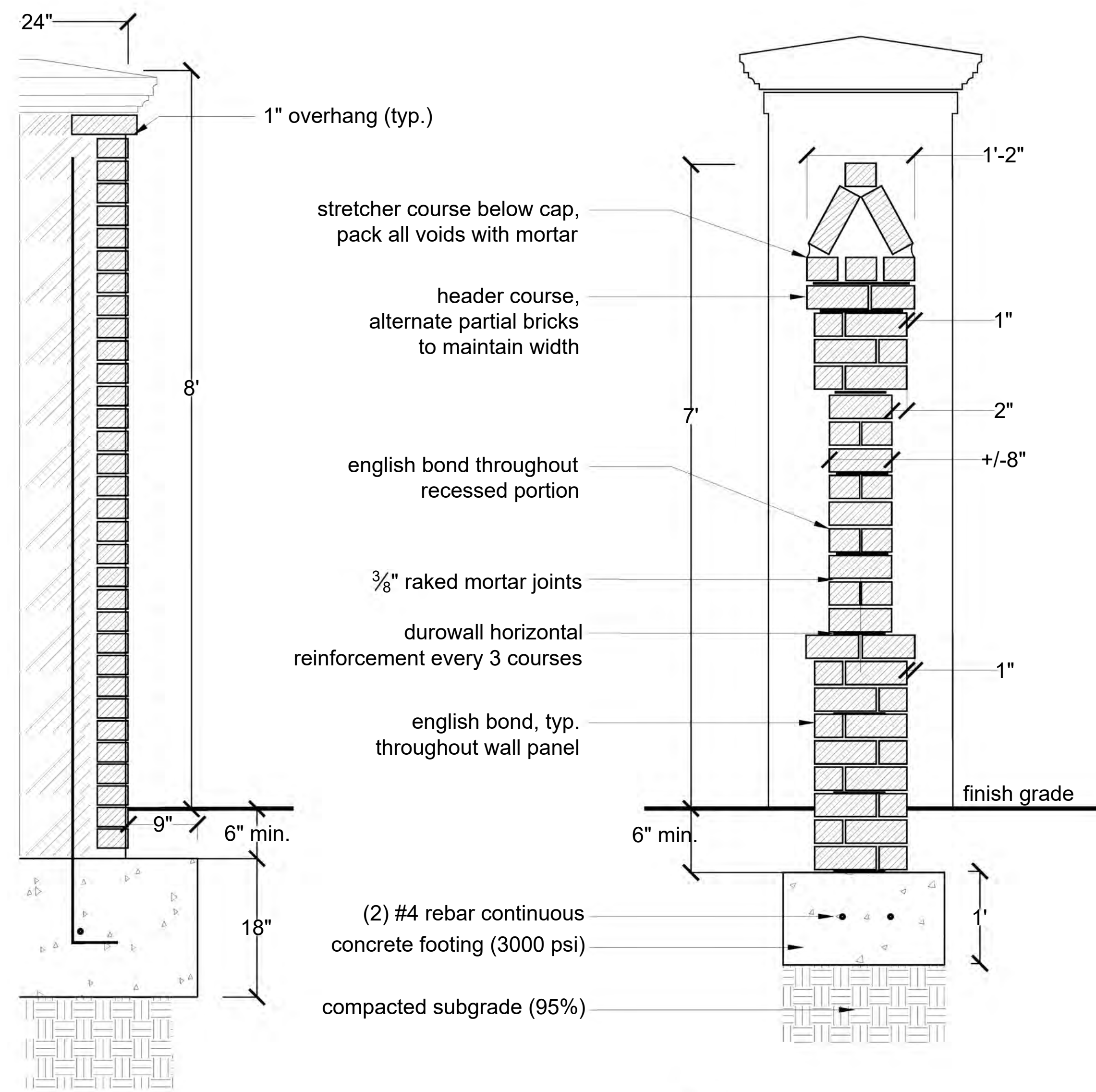


(general layout of path-see layout plan)

Section/Plan



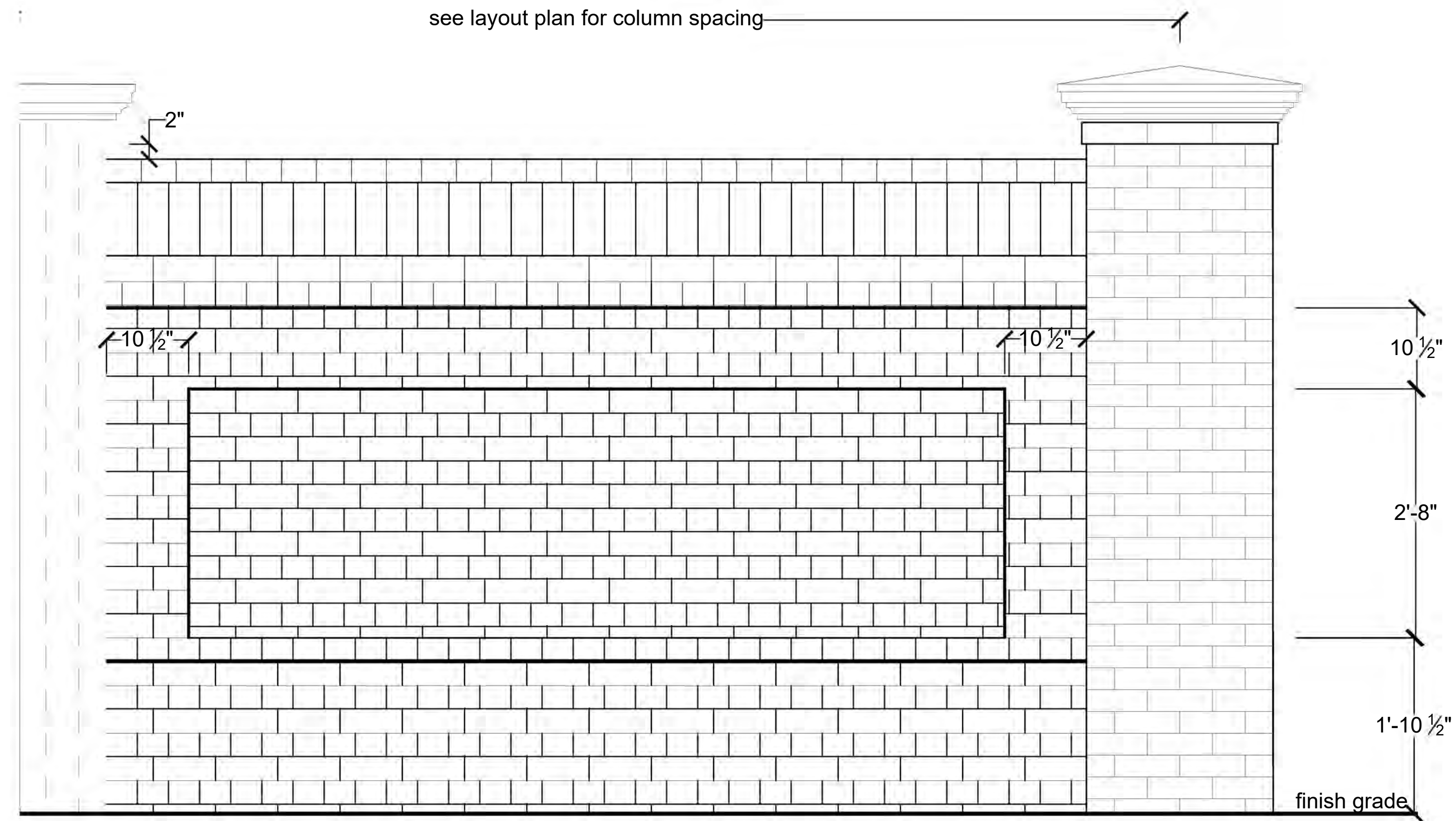
**8 Raised Terrace with Travertine Paving**  
Scale 1" = 1'-0"



Detail

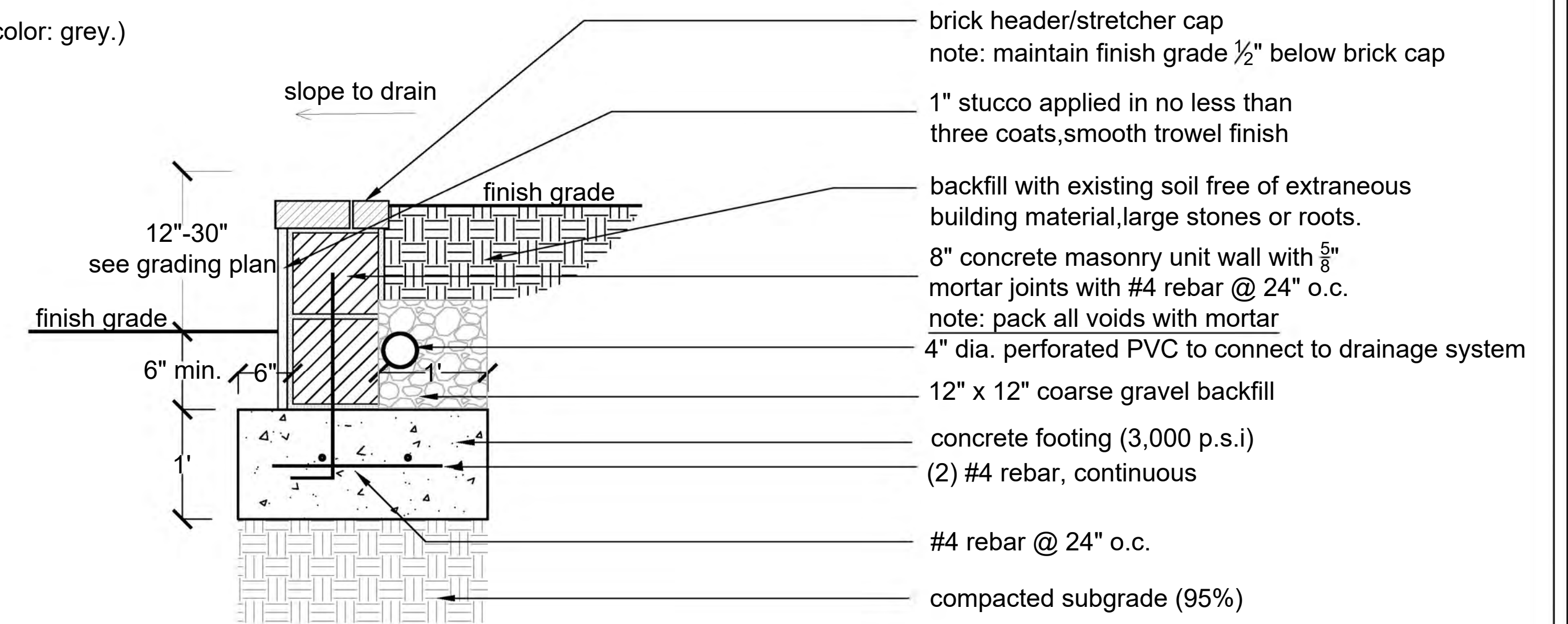
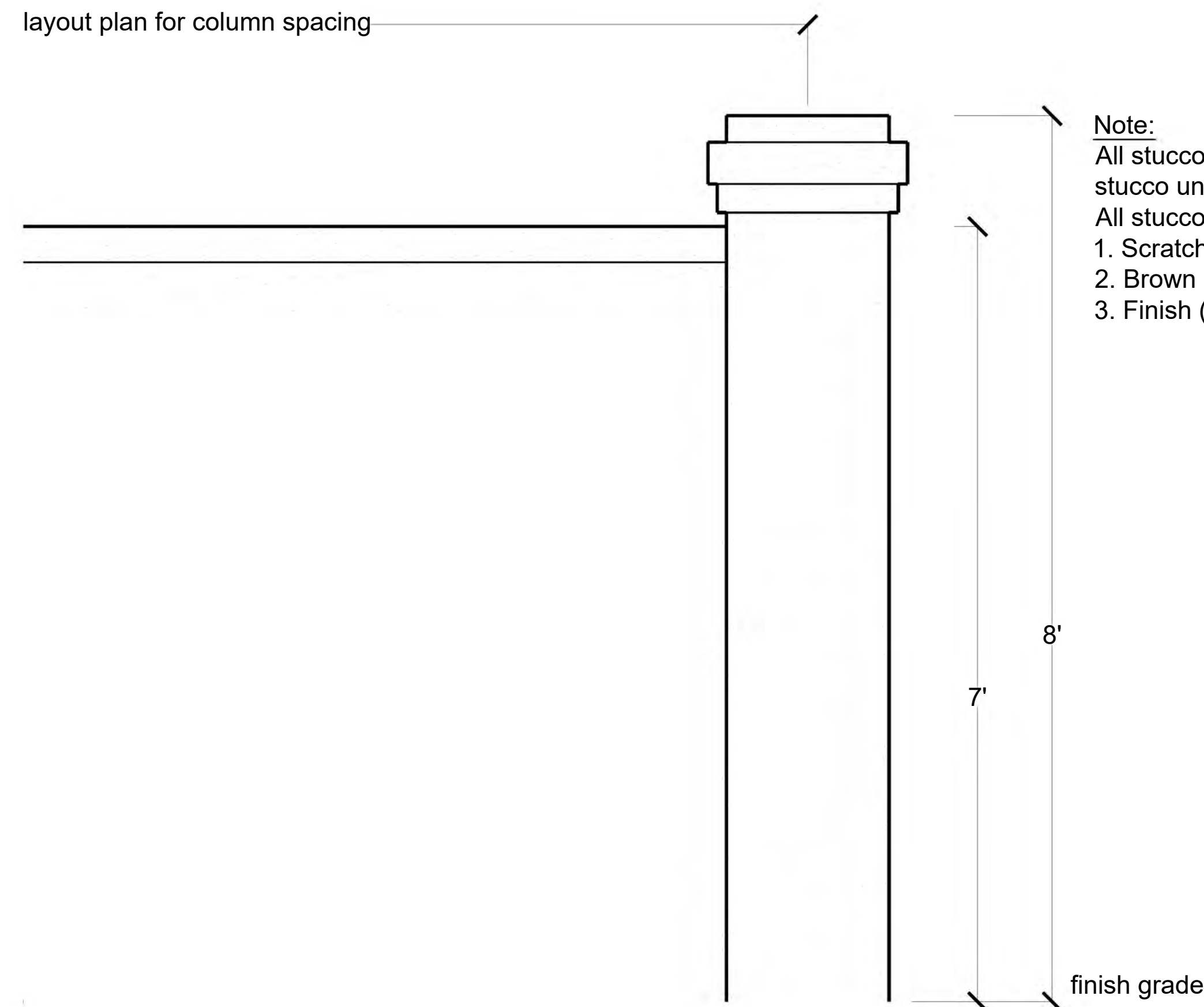
1  
8 Brick Wall Section  
Scale 1" = 1'-0"

see layout plan for column spacing



levation

layout plan for column spacing



2 Concrete and Stucco Retaining Wall Detail  
Scale 1" = 1'-0"

Use masonry units, as necessary

Wall reinforcing as

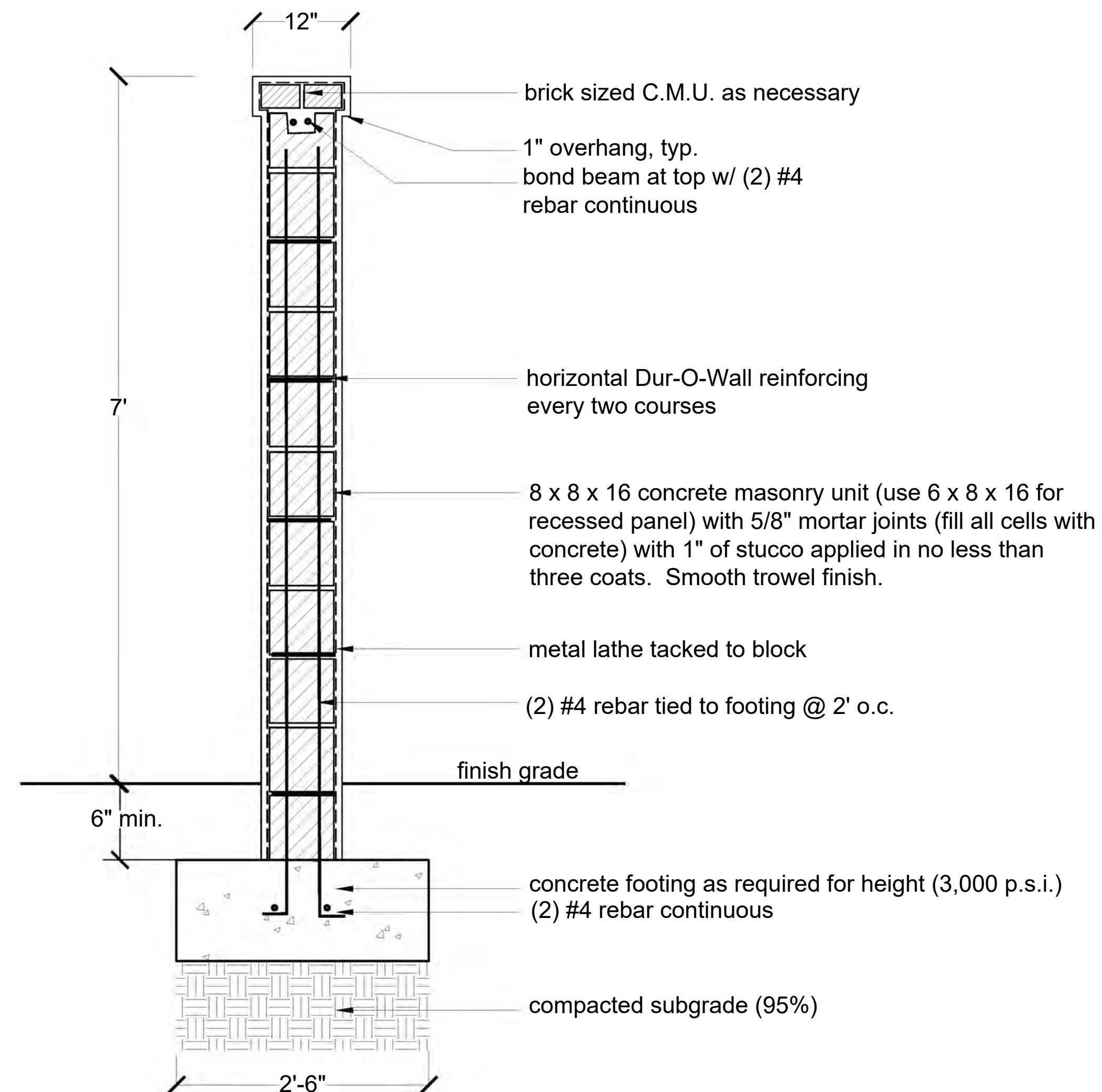
Use masonry unit with (pack all voids with mortar) applied in no less than smooth trowel finish.

Use solid block

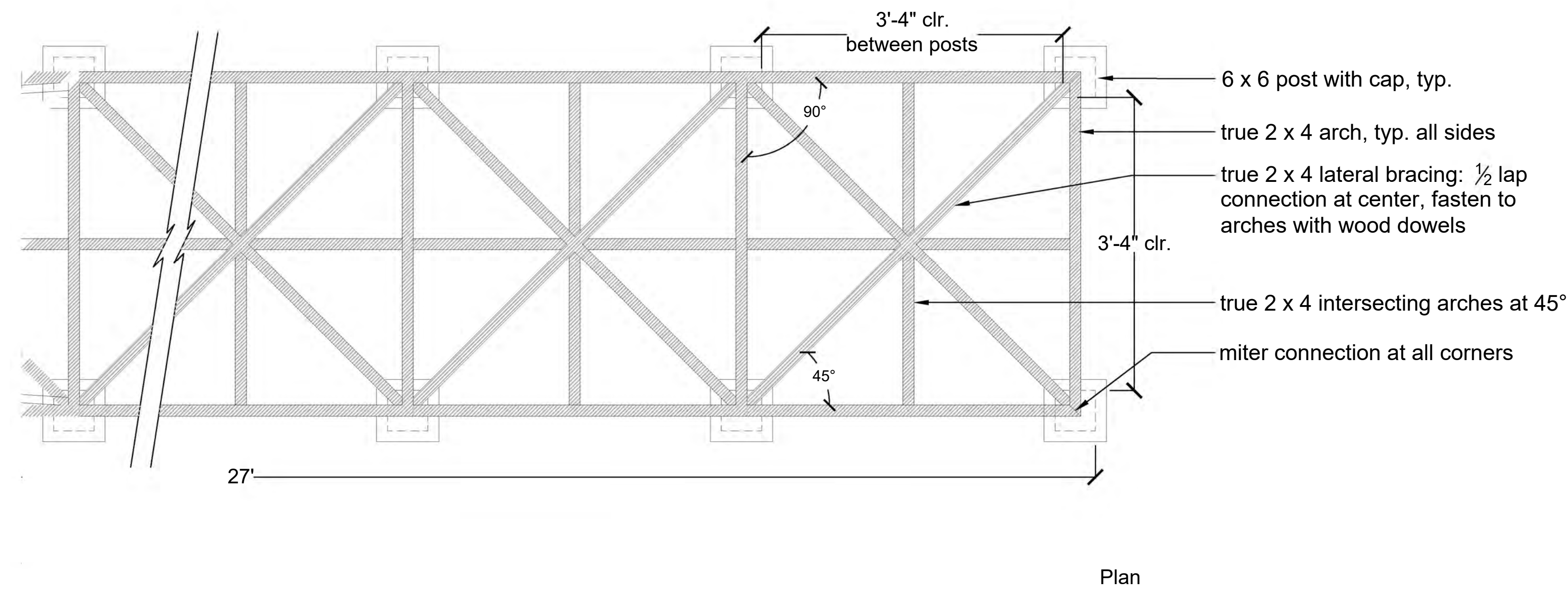
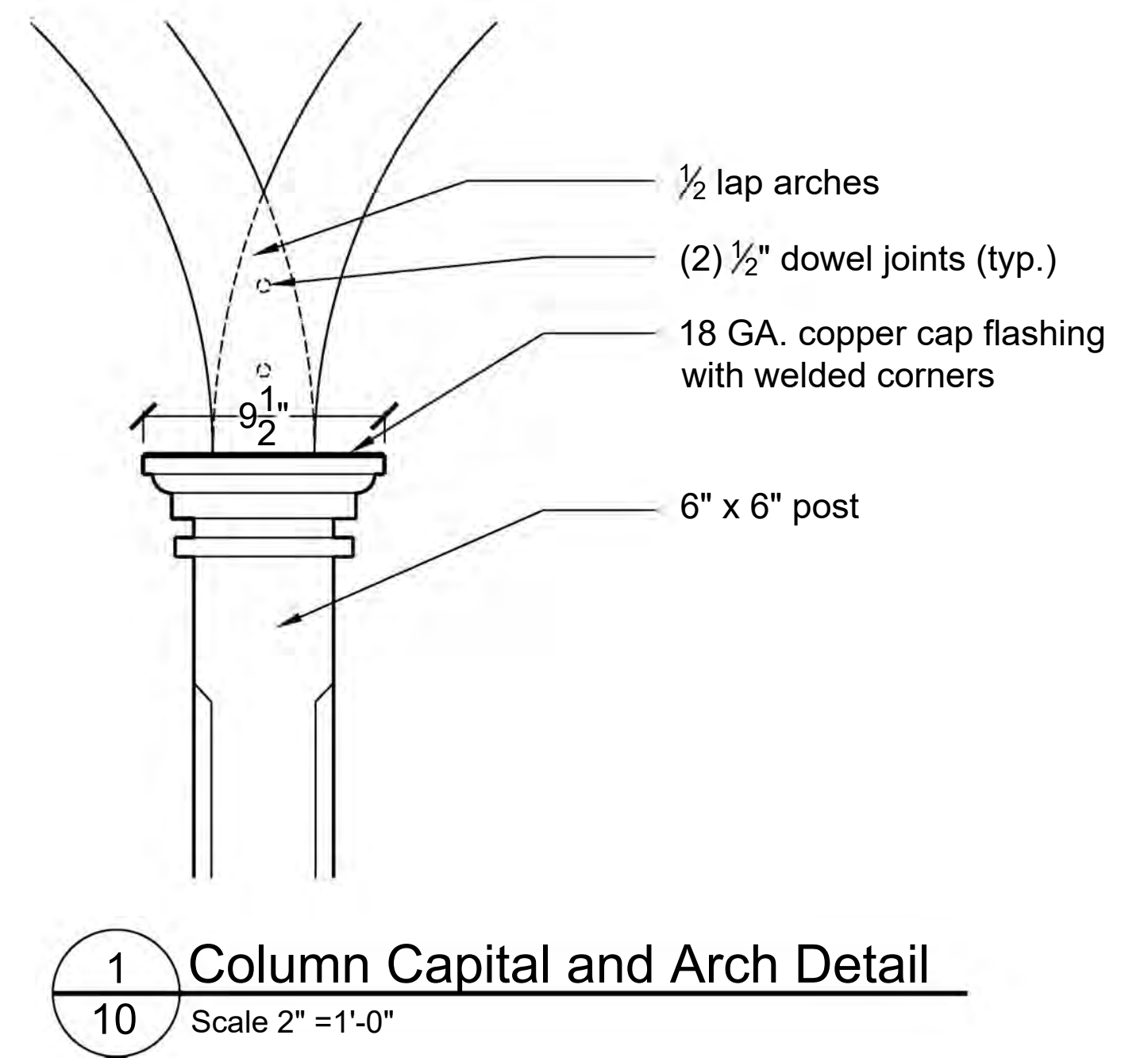
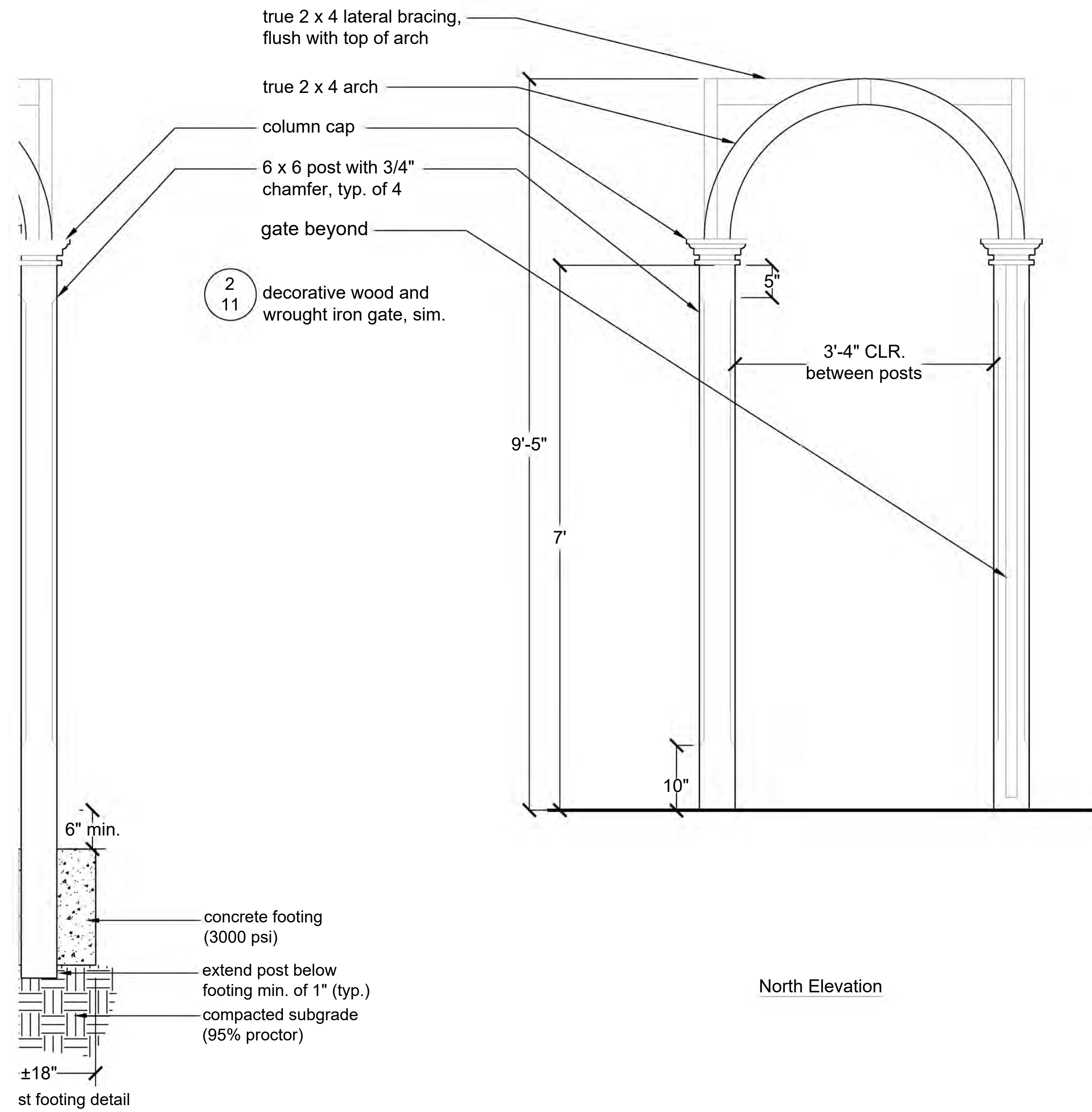
to footing

Continuous (3,000 p.s.i.)

Subgrade (95%)

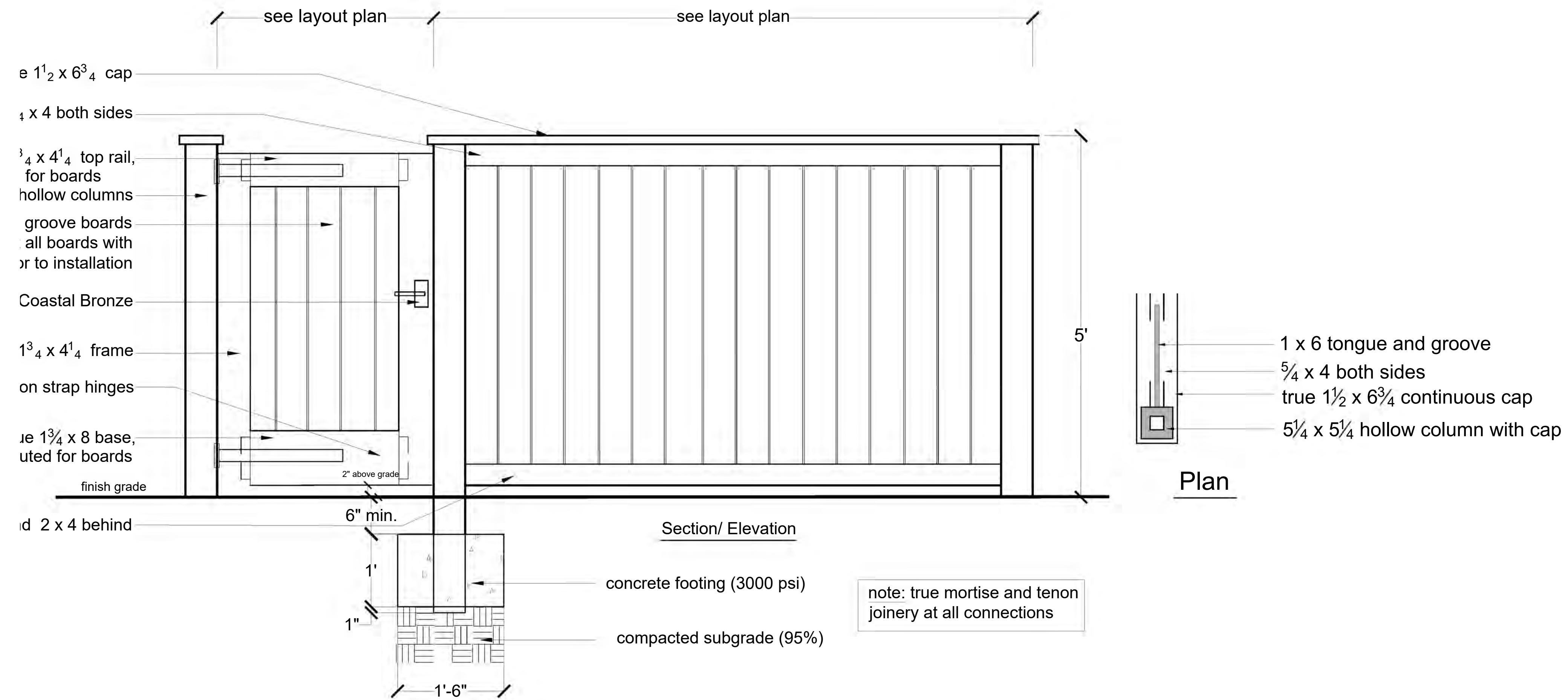


1 Stucco Wall Detail  
Scale 1" = 1'-0"

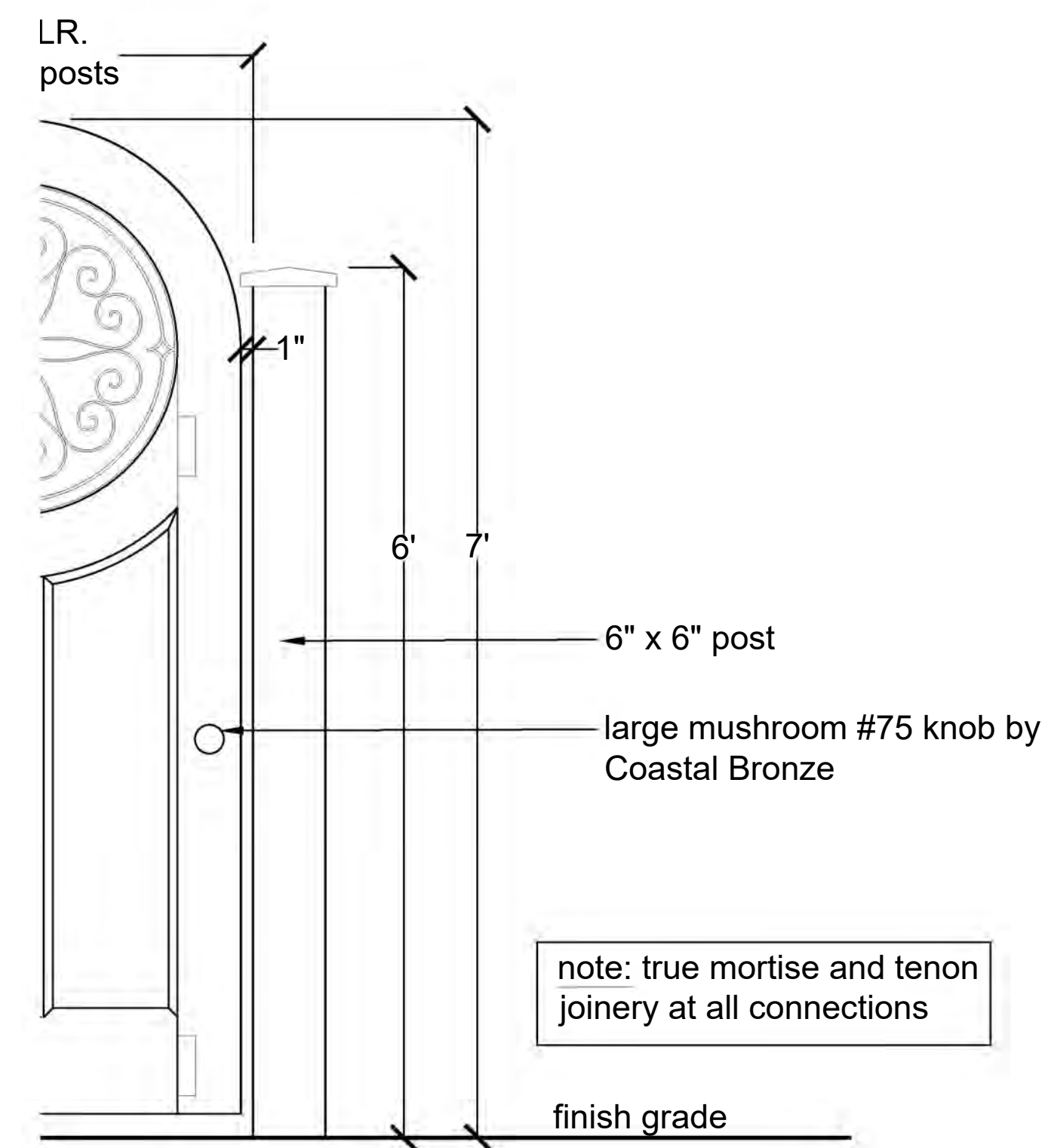


General Carpentry Notes:

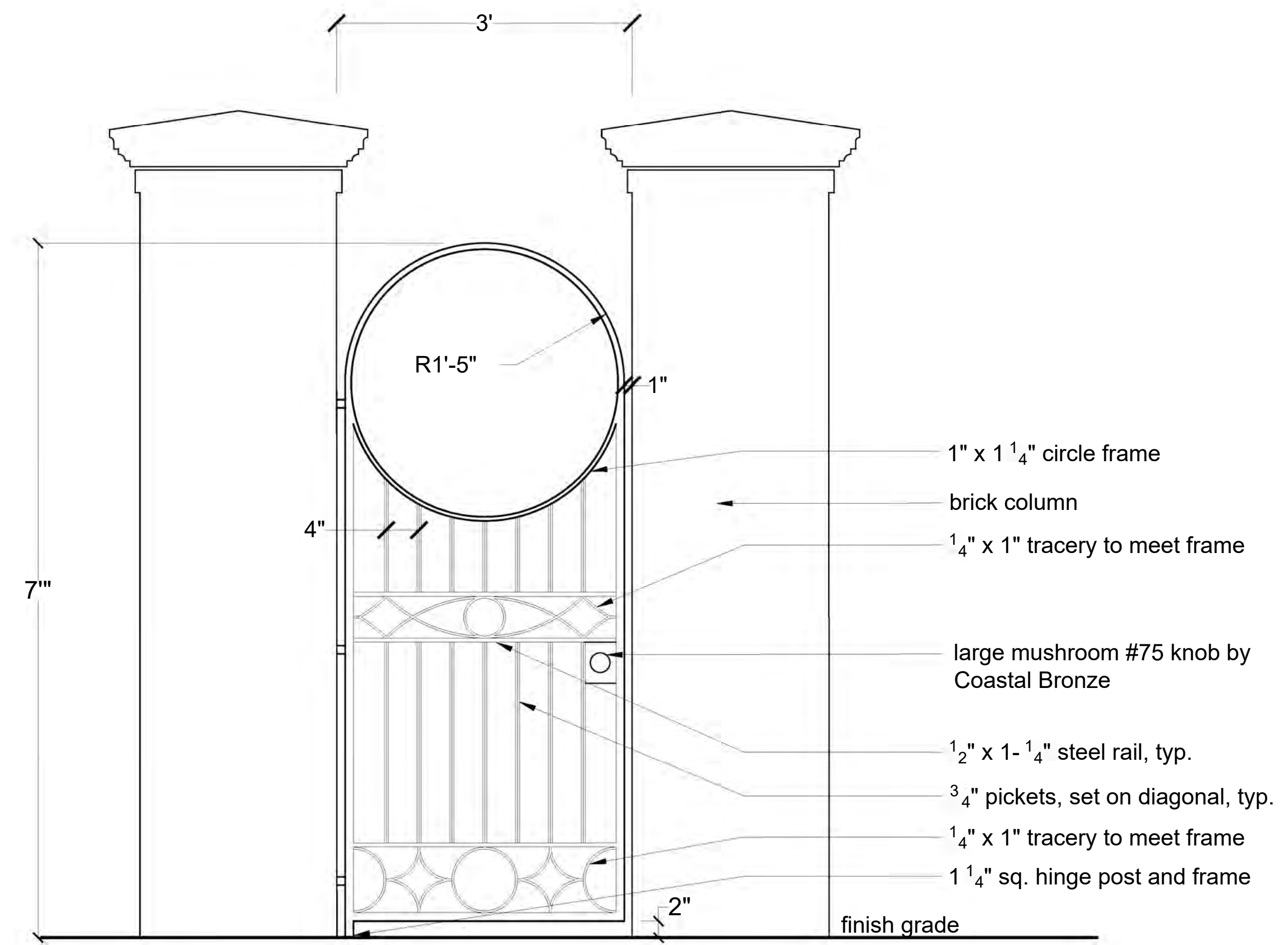
1. All painted fence material to be "Elite" treated pine from Southern Lumber or approved equal. All gates and stained fence material to be African mahogany.
2. All material that comes in contact with ground to be ground contact pressure treated material.
3. All materials to be primed/painted/sealed prior to construction, minimum two coats. Color and finish to be Charleston green. Provide sample for approval prior to application.
4. Interior parts of gates and tongue and groove panels to be painted and sealed with finish color prior to assembly and installation.
5. Contractor shall notify Landscape Architect if existing grade varies to such an extent that ground clearances specified are unreasonable.
6. Unless noted "True," all material dimensions to be nominal.
7. All posts are to be set in concrete footing as specified and must extend a minimum of 1" below the footing to all for drainage.
8. All fasteners, nails, screws, bolts, etc. to be stainless steel.
9. Gate hardware to be chosen by owner.



Fence and Gate



Wrought Iron Gate



3 Wrought Iron Gate

11 Scale 1" = 1'-0"



Pennoyer Newiman  
 Florentine Rope-Edged Square Planter  
 (6) 24"H x 24"W x 24"H  
 Color: Lead Gray (all planters this color)  
 Contact: 212-839-0500.

**3**  
 12 **Cast Stone Planter - Rope-Edged Square**  
 Scale: N.T.S.



Pennoyer Newiman  
 Florentine Rope-Edged Cylinder Planter  
 (3) 16"H x 21.5"W  
 Color: Lead Gray (all planters this color)  
 Contact: 212-839-0500.

**4**  
 12 **Cast Stone Planter - Rope-Edged Cylinder**  
 Scale: N.T.S.



Pennoyer Newiman  
 Riveted Round Basin  
 (3) 17"H x 45"W  
 Color: Lead Gray (all planters this color)  
 Contact: 212-839-0500.

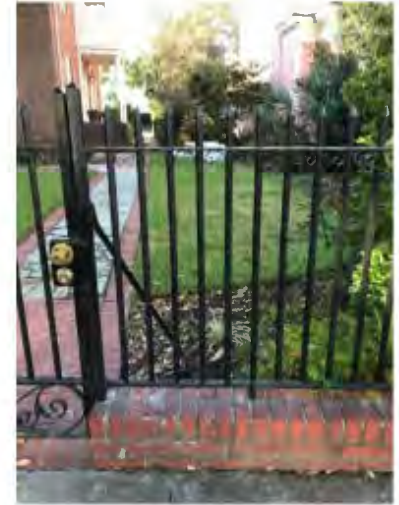
**5**  
 12 **Cast Stone Planter - Riveted Round Basin**  
 Scale: N.T.S.



Site and Context Images



Existing front coping wall & wrought iron fence, pedestrian gate



Existing wrought iron drive gate



Existing wrought iron pedestrian gate



Existing coping wall and wrought iron pedestrian gate. Background: 44 and 46 SB

Trott Residence  
45 S. Battery  
Charleston, SC 29401

WERTIMER + CLINE  
LANDSCAPE ARCHITECTS

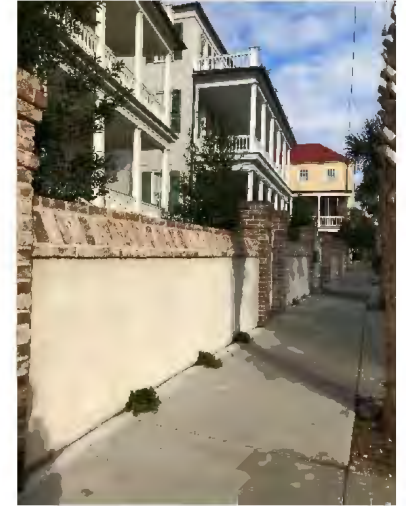
Nearby conditions



50 South Battery, 27"



48 South Battery , 24"



44 ; 46 South Battery, 63"



43 South Battery, 17"



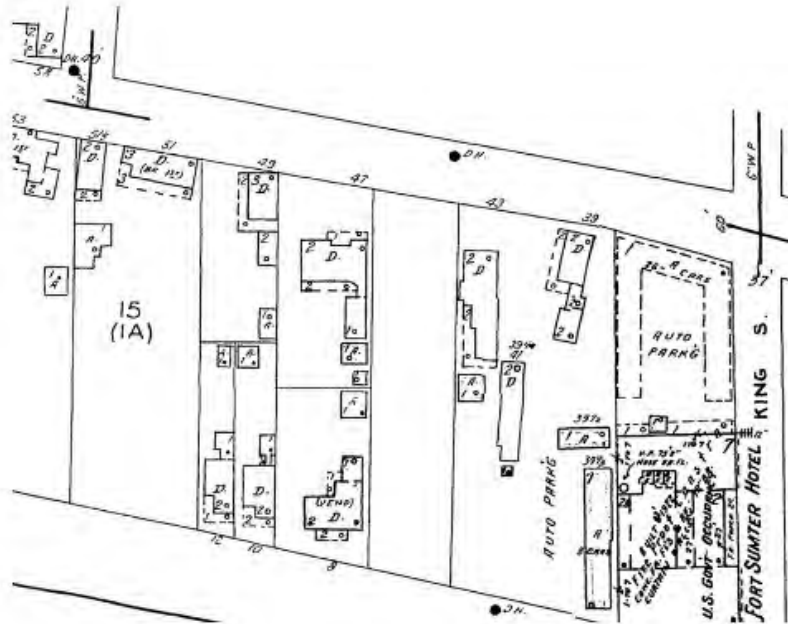
45 South Battery, 10"



47 South Battery, 17"


Trott Residence  
45 S. Battery  
Charleston, SC 29401

Maps



1951 – 45 SB does not appear



Map Type: Fire Insurance Publisher: Sanborn Map Co. Publication Name: Insurance Maps of Charleston, South Carolina Volume D14 Base Map Date: 1902 Revised Date: 1955 Republished Date: 1955 Sheet Number: D072	<b>1955</b>	
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1955 – 45 SB first appears on Sanborn Map

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Charleston, South Carolina

North 1

# The Trott Residence Garden Construction

## Sheet Index

- 0 of 14 Cover
- 1 of 14 Existing Conditions
- 2 of 14 Removals Plan
- 3 of 14 Layout Plan
- 4 of 14 Grading Plan
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- 6 of 14 Masonry Details
- 7 of 14 Masonry Details
- 8 of 14 Masonry Details
- 9 of 14 Masonry and Carpentry Details
- 10 of 14 Wrought Iron and Fountain Details
- 11 of 14 Planting Plan
- 12 of 14 Plant List
- 13 of 14 Lighting Plan
- 14 of 14 Lighting Specifications

Cover

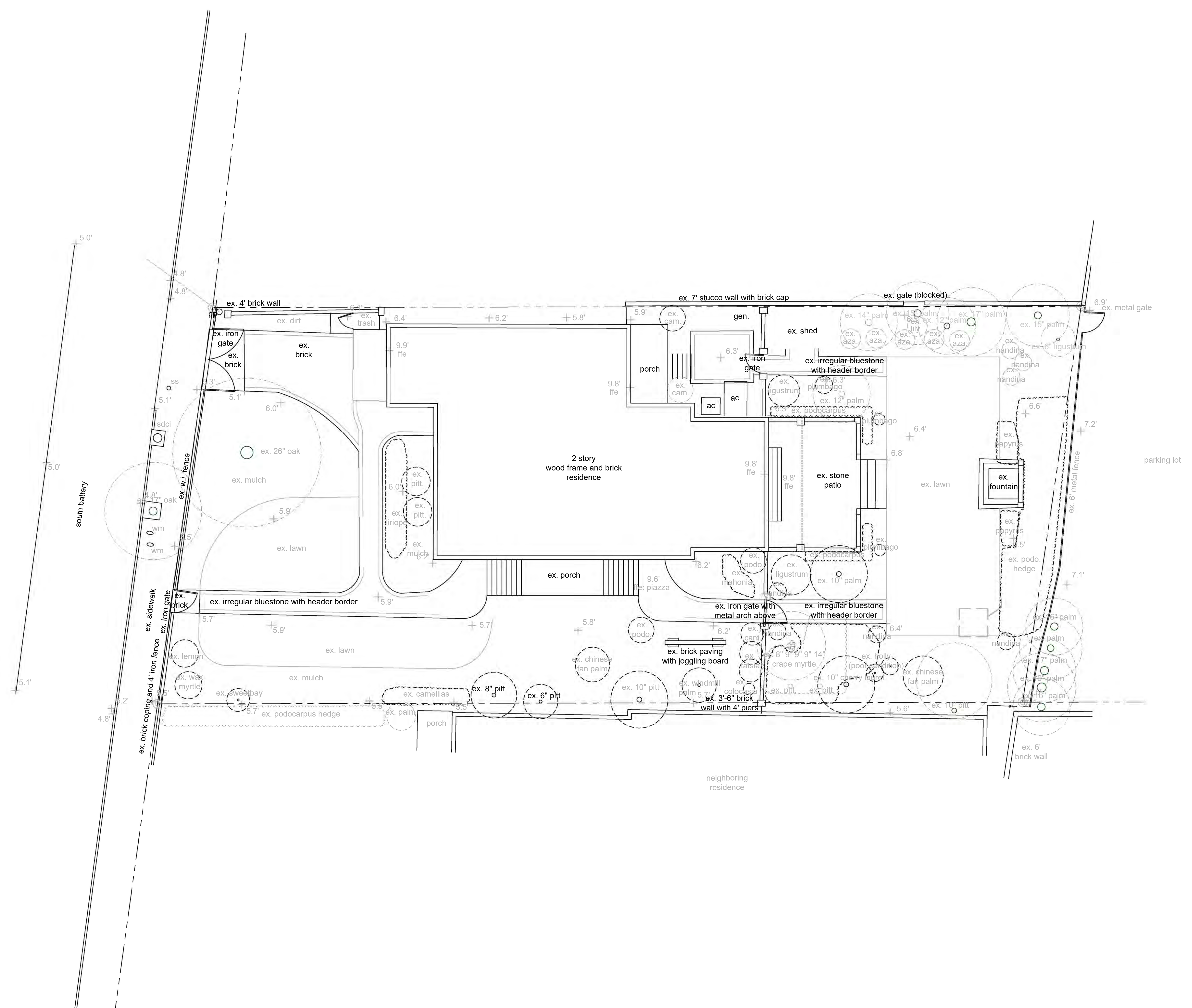
sheet 0 of 14

Trott  
45 South Battery  
Charleston, SC 29401  
# 1869

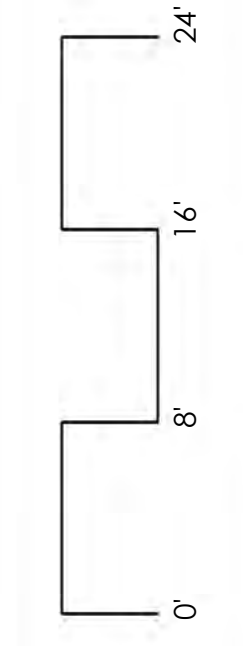
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Rev: 04-10-19 sc 11-12-19 nd  
04-12-19 nd 12-10-19 nd  
04-23-19 sc  
05-16-19 sc  
08-15-19 nd

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LANDSCAPE ARCHITECTS  
171 Church Street, Suite 330  
Charleston, SC 29401  
tel.: 843.577.3360  
email: swc@wertimer.com

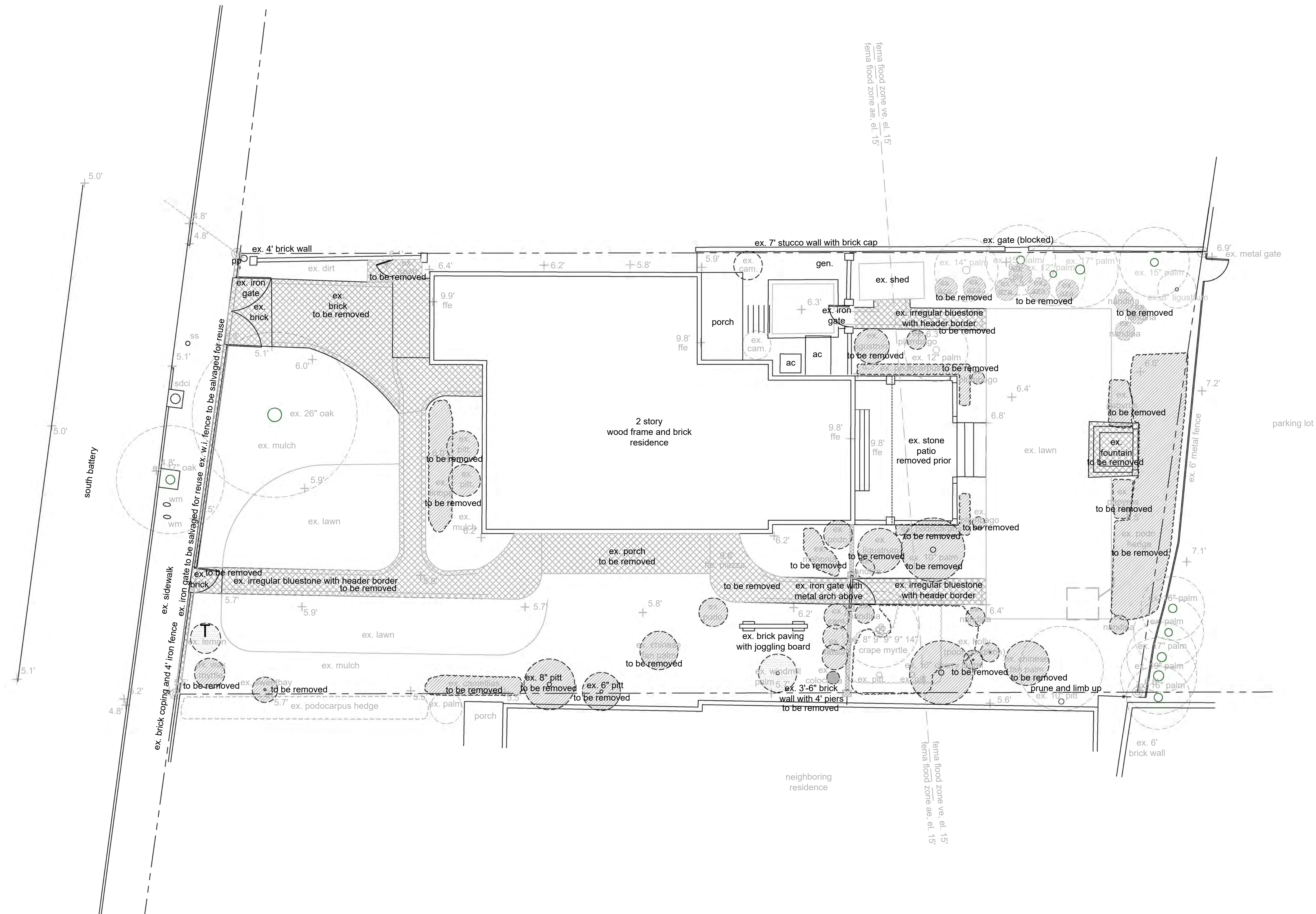
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Existing Conditions



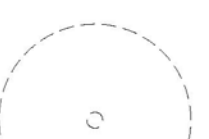

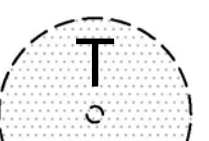
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04-23-19 sc  
05-16-19 sc  
08-15-19 nd

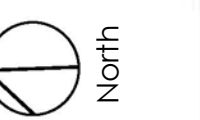
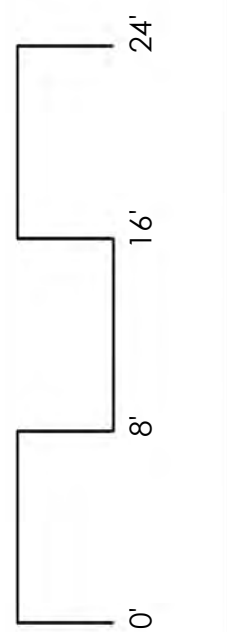


**General notes for all work:**

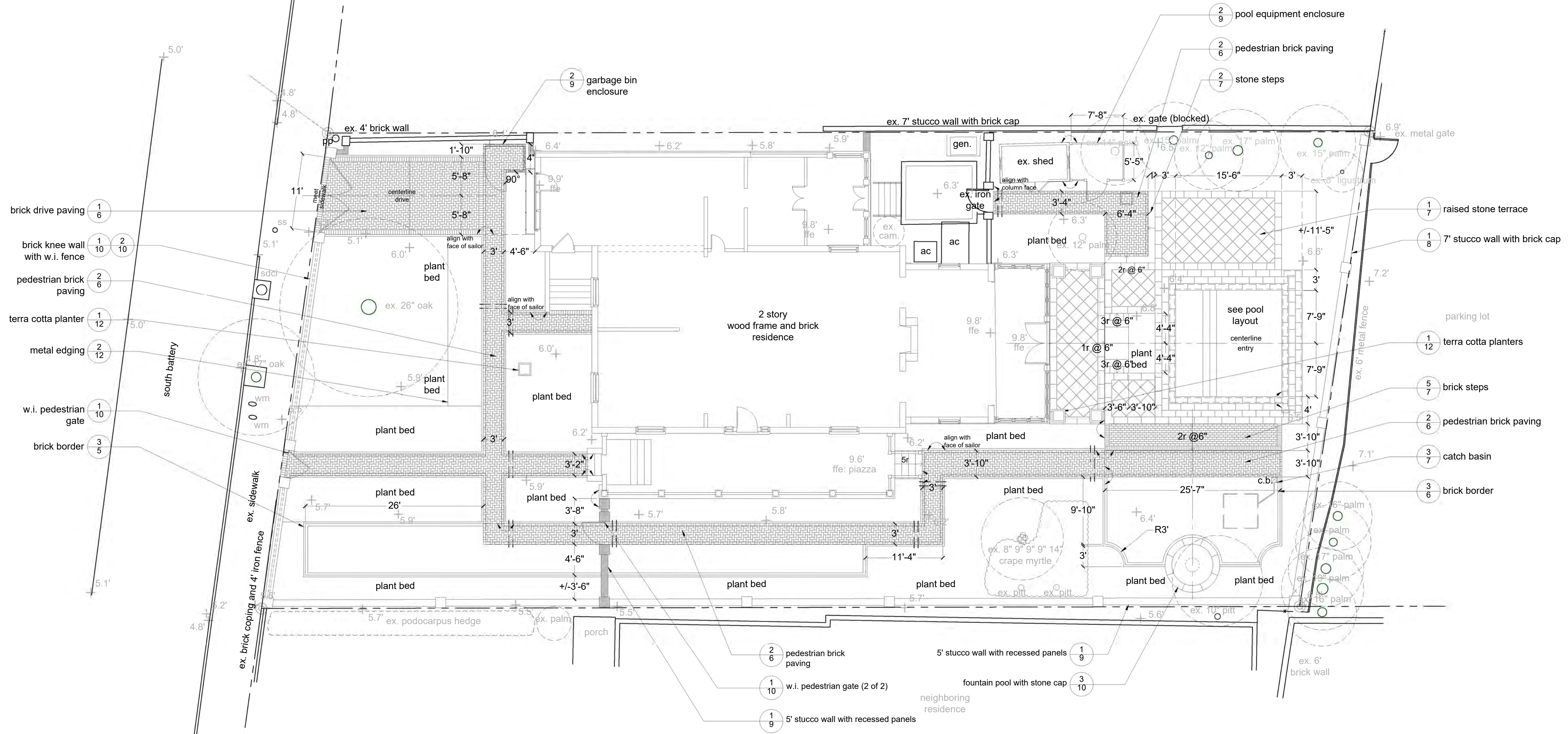
1. All work shall be done in accordance with all national, state, and local codes. Contractors shall acquire and pay for all permits, licenses, taxes, and fees required. All contractors shall include all labor, materials, equipment, transportation, services, tools, and miscellaneous items required for a fully complete project.
2. All materials, workmanship, and equipment shall be guaranteed by Contractors for a minimum of one year from the date of final completion and acceptance by the owner.
3. Contractors shall verify all dimensions in the field prior to beginning construction, fabrication or the ordering of any items to be used on site. Contractors shall notify the Landscape Architect of any discrepancies at his earliest opportunity.
4. Contractors shall coordinate all work with the other contractors working on the site.
5. Any discrepancies between drawings, shop drawings, product samples, and actual conditions shall be reported to the Landscape Architect immediately. Contractors are responsible for the inspection and supervision of all their workmen and work.
6. Notify the Landscape Architect to check the grades and alignment of all new walls and paving prior to the beginning of construction.

**Legend**

-  plant material to remain and be protected
-  plant material to be removed
-  plant material to be transplanted



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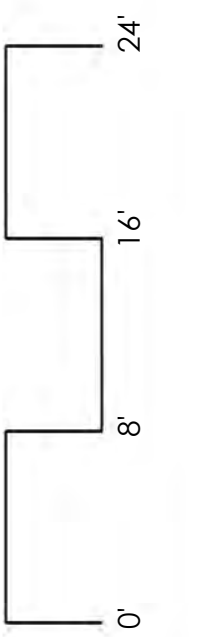
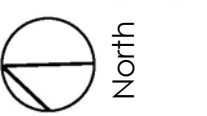


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6. Notify the Landscape Architect to check the grades and alignment of all new walls and paving prior to the beginning of construction.

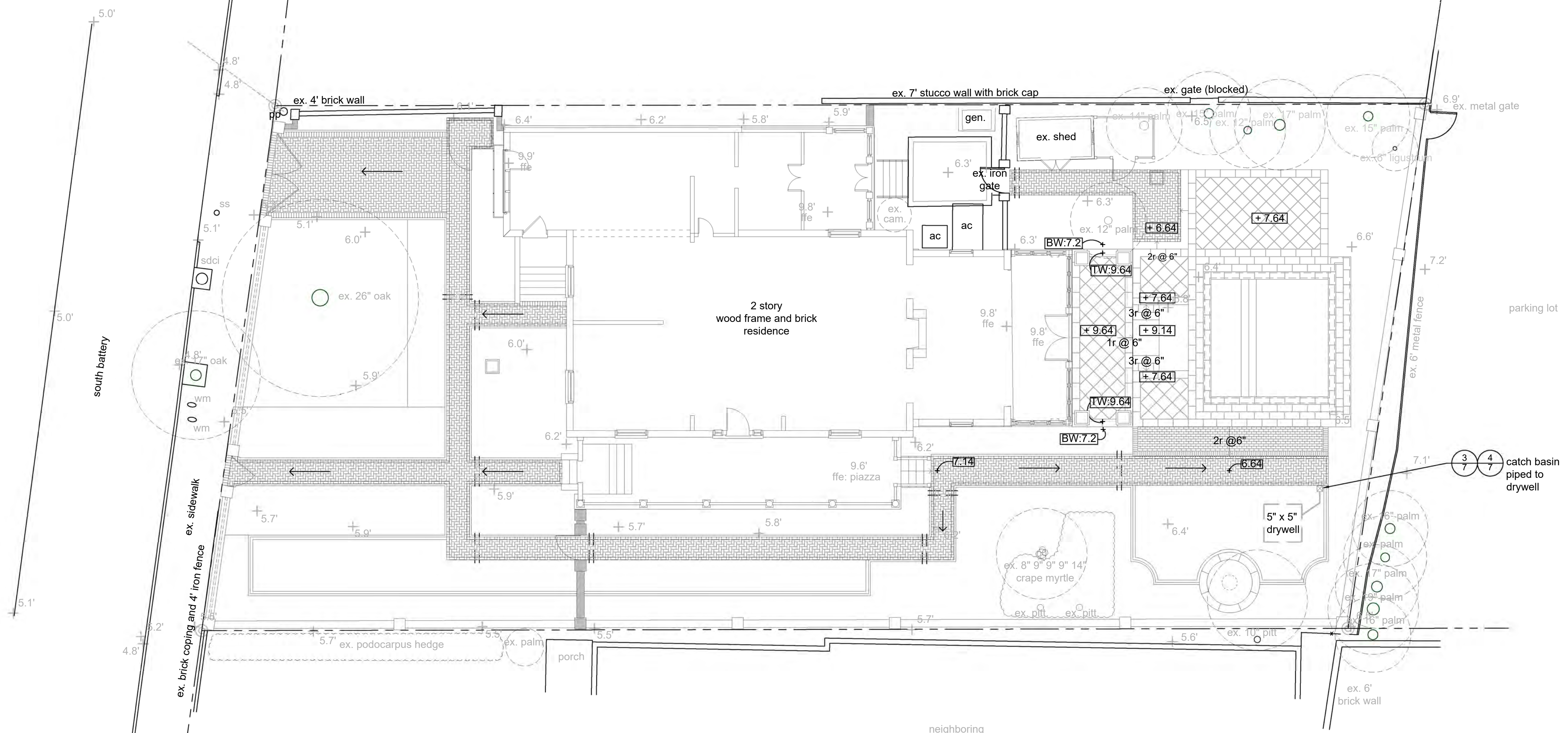
**Legend**

- |  |                |  |  |
|--|----------------|--|--|
|  | wood boardwalk |  | (2) 4" schedule 40 PVC conduit installed side by side at a max. of 12" below grade or below wall footers |
|  | stone paving   |  | underground drainage line, french drain, or footing drain  |
|  | brick paving   |  | catch basin  |



Date:	03-15-19 cq	10-30-19 nd
Rev:	04-10-19 sc	11-12-19 nd
	04-12-19 nd	12-10-19 nd
	04-23-19 sc	
	05-16-19 sc	
	08-15-19 nd	

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**General notes for all work:**

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- All materials, workmanship, and equipment shall be guaranteed by Contractors for a minimum of one year from the date of final completion and acceptance by the owner.
- Contractors shall verify all dimensions in the field prior to beginning construction, fabrication or the ordering of any items to be used on site. Contractors shall notify the Landscape Architect of any discrepancies at his earliest opportunity.
- Contractors shall coordinate all work with the other contractors working on the site.
- Any discrepancies between drawings, shop drawings, product samples, and actual conditions shall be reported to the Landscape Architect immediately. Contractors are responsible for the inspection and supervision of all their workmen and work.
- Notify the Landscape Architect to check the grades and alignment of all new walls and paving prior to the beginning of construction.

**Grading Notes**

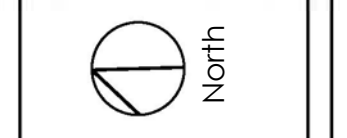
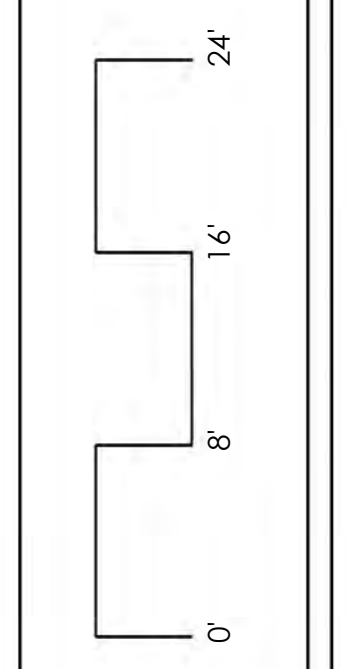
- Verify accuracy of existing grades and interpolated elevations prior to beginning work. Notify owner's representative of any discrepancies prior to beginning work.
- Protect all trees indicated to remain.
- All proposed grades are to meet and blend in with existing grading at project limit, property lines, building lines and existing curbs.
- All areas shall have positive drainage to approved drainage structures or conveyances.
- Provide positive drainage away from buildings at 0.5% minimum.
- Provide 2.0% max slope, perpendicular to direction of travel on all paved sidewalks.
- All grades shown on drawings are based upon datum established by the surveyor. Wertimer and Associates assumes no responsibility for the accuracy of the surveyed conditions as shown. Survey information is provided for reference only.

**Legend**

	Existing contour	BS	Bottom of steps
	Proposed contour	BW	Bottom of wall
	Existing spot elevation	FFE	Finish floor elevation
	Proposed spot elevation	RIM	Rim elevation
	Proposed direction of drainage	TS	Top of steps
	Catch basin	TW	Top of wall

Grading Plan

Date: 03-15-19 cq 10-30-19 nd  
Rev: 04-10-19 sc 11-12-19 nd  
04-12-19 nd 12-10-19 nd  
04-23-19 sc  
05-16-19 sc  
08-15-19 nd



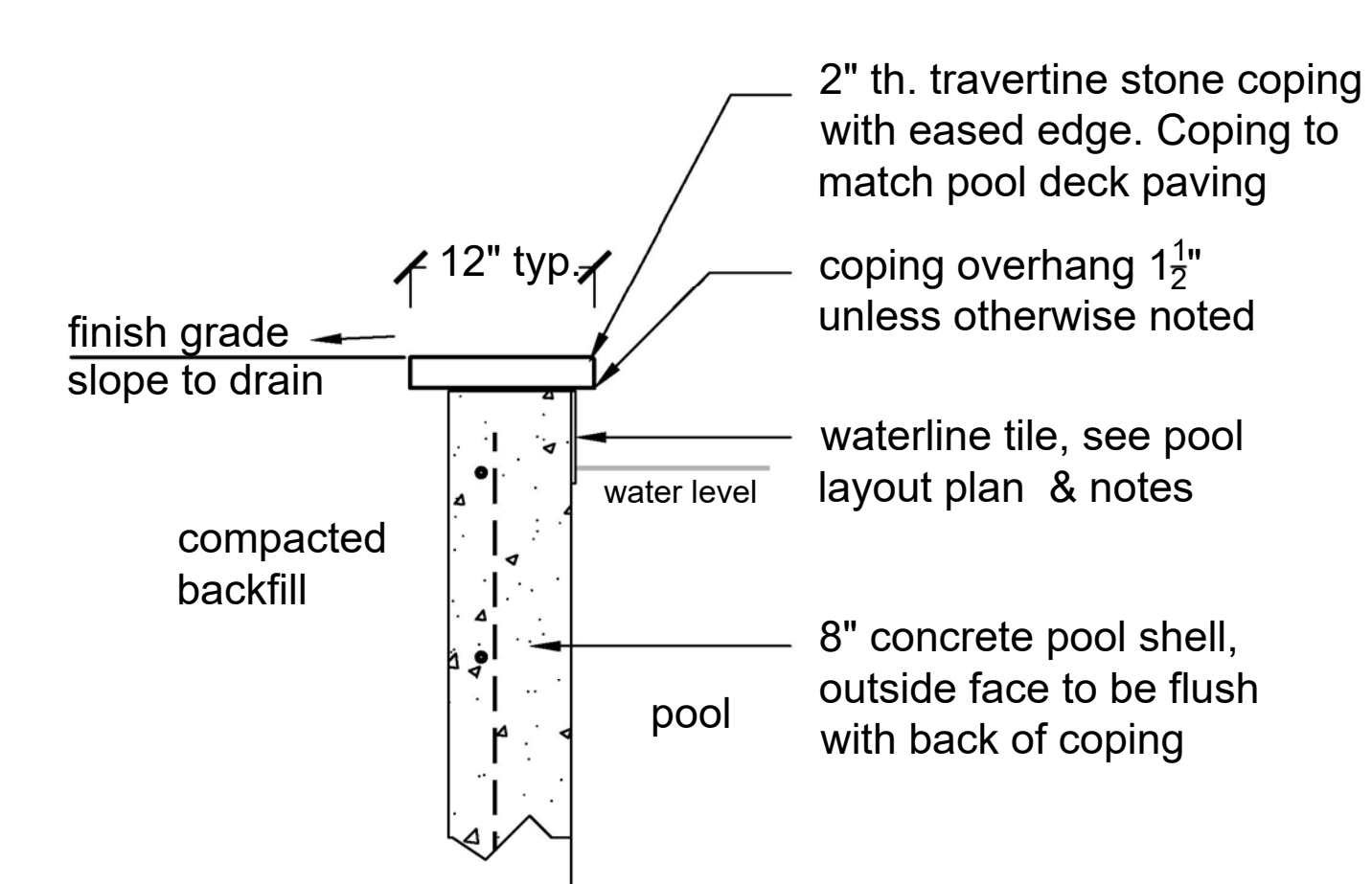
**Trott**  
45 South Battery  
Charleston, SC 29401  
# 1869

sheet 4 of 14



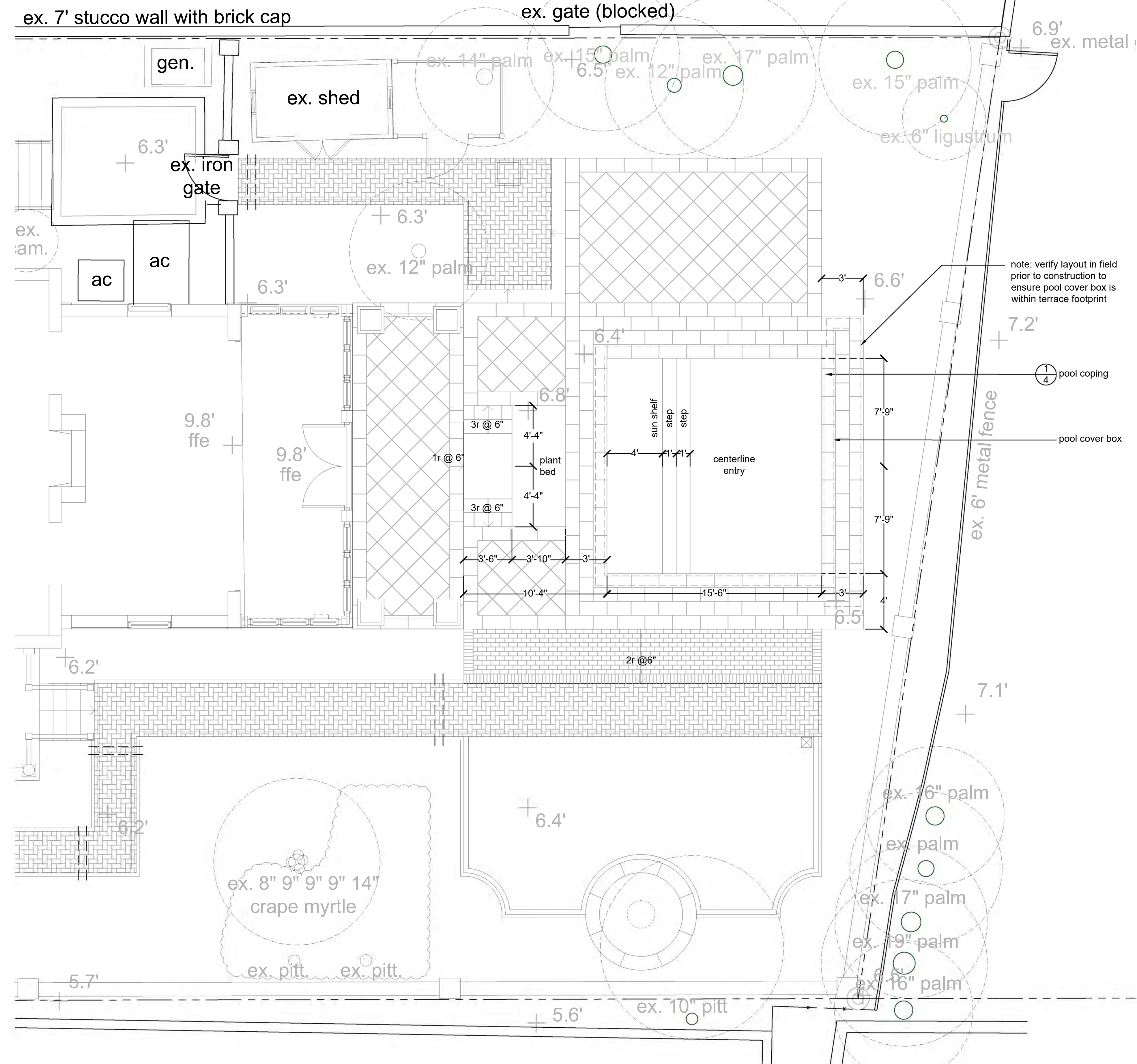
**Pool Layout Notes:**

1. Pool size is 15'-6" x 15'-6": a total of 62 perimeter feet. Verify in field for fit with architecture and setback. Align center of pool with center of conservatory entry.
2. The pool shall have water depths starting at 3'-0", going down to 5'-0".
3. The pool is to have a Hydrazzo marble interior finish in 'Hatteras Gray'.
4. The pool coping is to be 2" thick stone ivory travertine, 12" x 24", eased edge, w/ 1-1/2" overhang. Coordinate purchase and install of stone with project mason. Provide sample to be approved by Landscape Architect and Owner.
5. There are to be (2) underwater lights in pool. Verify location with client.
6. Pool contractor shall provide a salt sanitizing, in-floor cleaning system.
7. Pool waterline tile to be 'Gray Sky' by Glazzio in 3" x 12" size. Provide sample to be approved by Landscape Architect and Owner.
8. Pool shall have three steps at the shallow end as indicated on plans.
9. Pool contractor to remove and stockpile topsoil for reuse on site - all other soil to be removed - coordinate with general contractor.
10. Pool contractor to review all plans, including planting, prior to layout and installation to coordinate locations of all pipes and utilities.



**Notes:**  
 Pool beam shall accommodate a typical 12" width coping unless otherwise noted by Landscape Architect.  
 Any raised or exposed pool beam shall be formed to accommodate 12" coping width with 1 1/2" overhang on each exposed side and desired wall finish.  
 Any discrepancy shall be brought to Landscape Architect's attention prior to beginning construction.

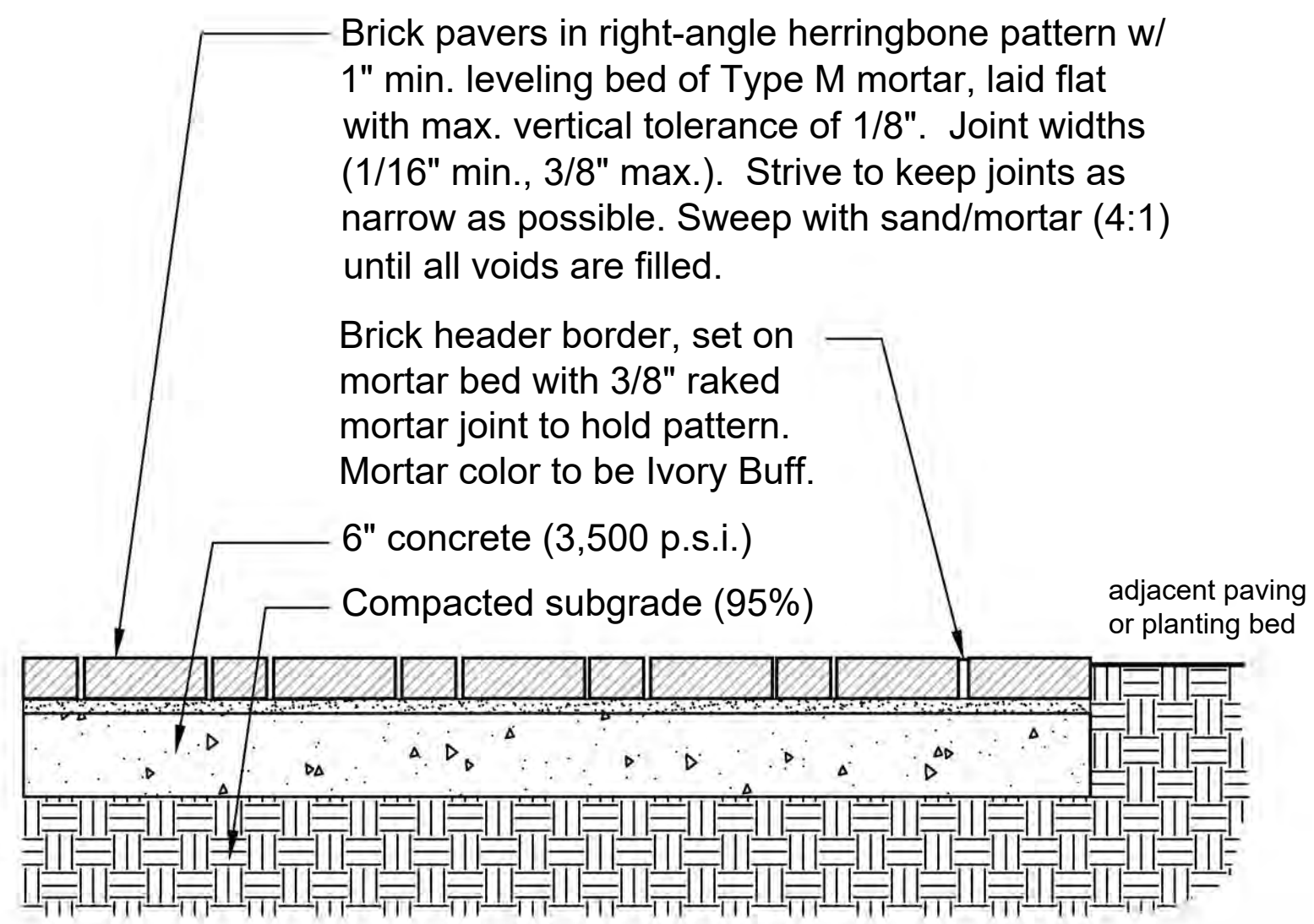
**1** Pool Wall & Coping  
**4** Scale 1" = 1'-0" Section



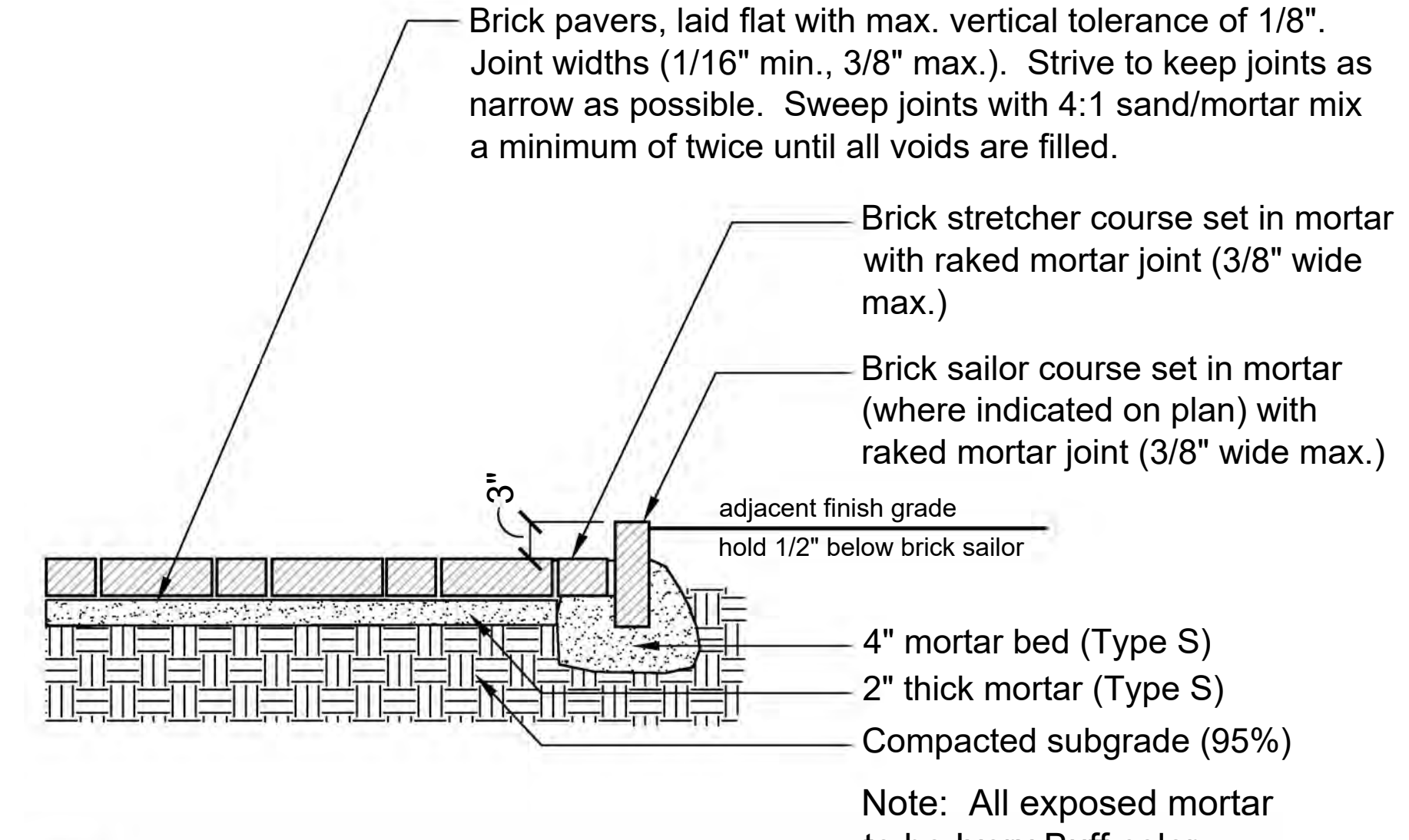
Pool Layout Plan

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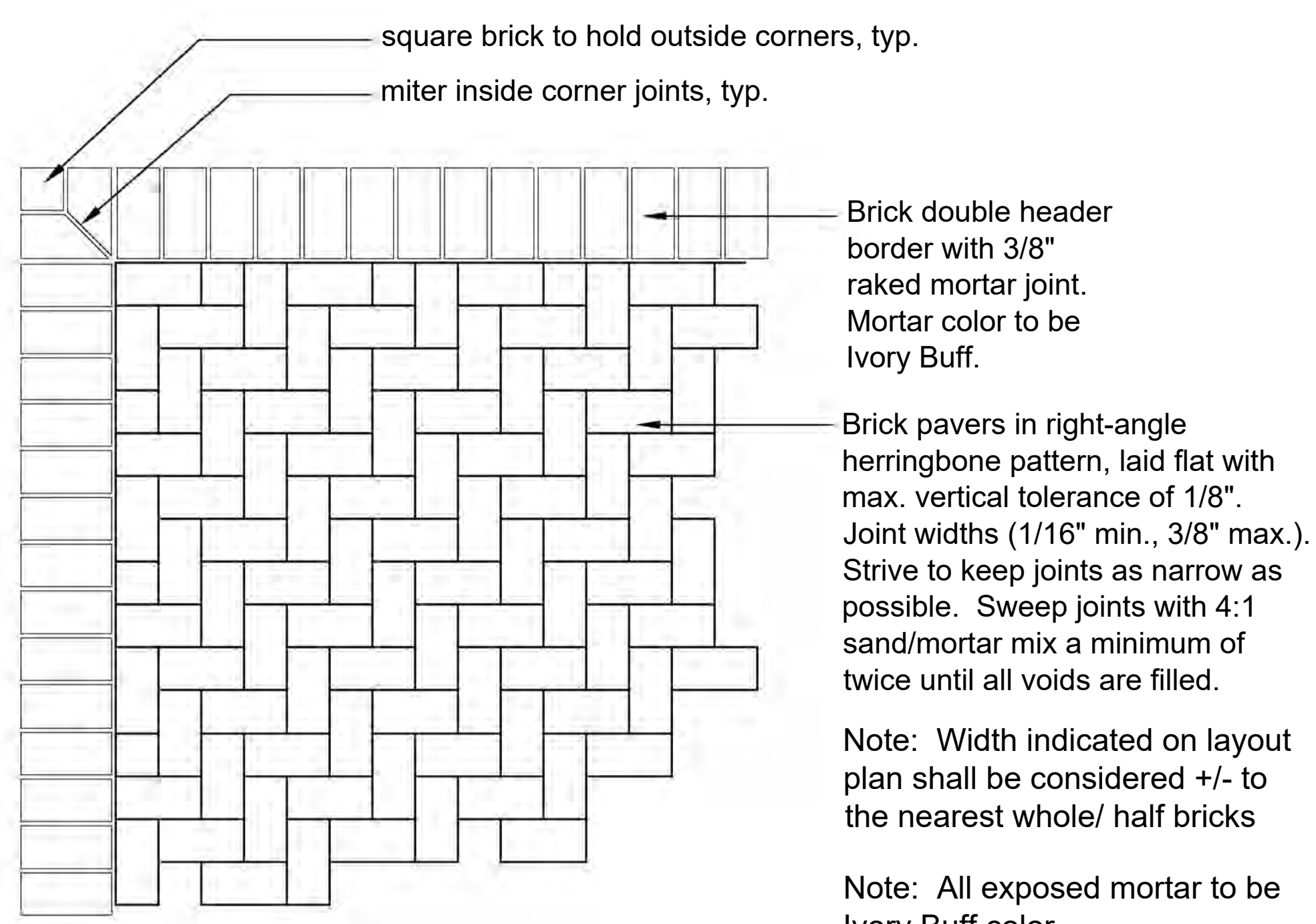
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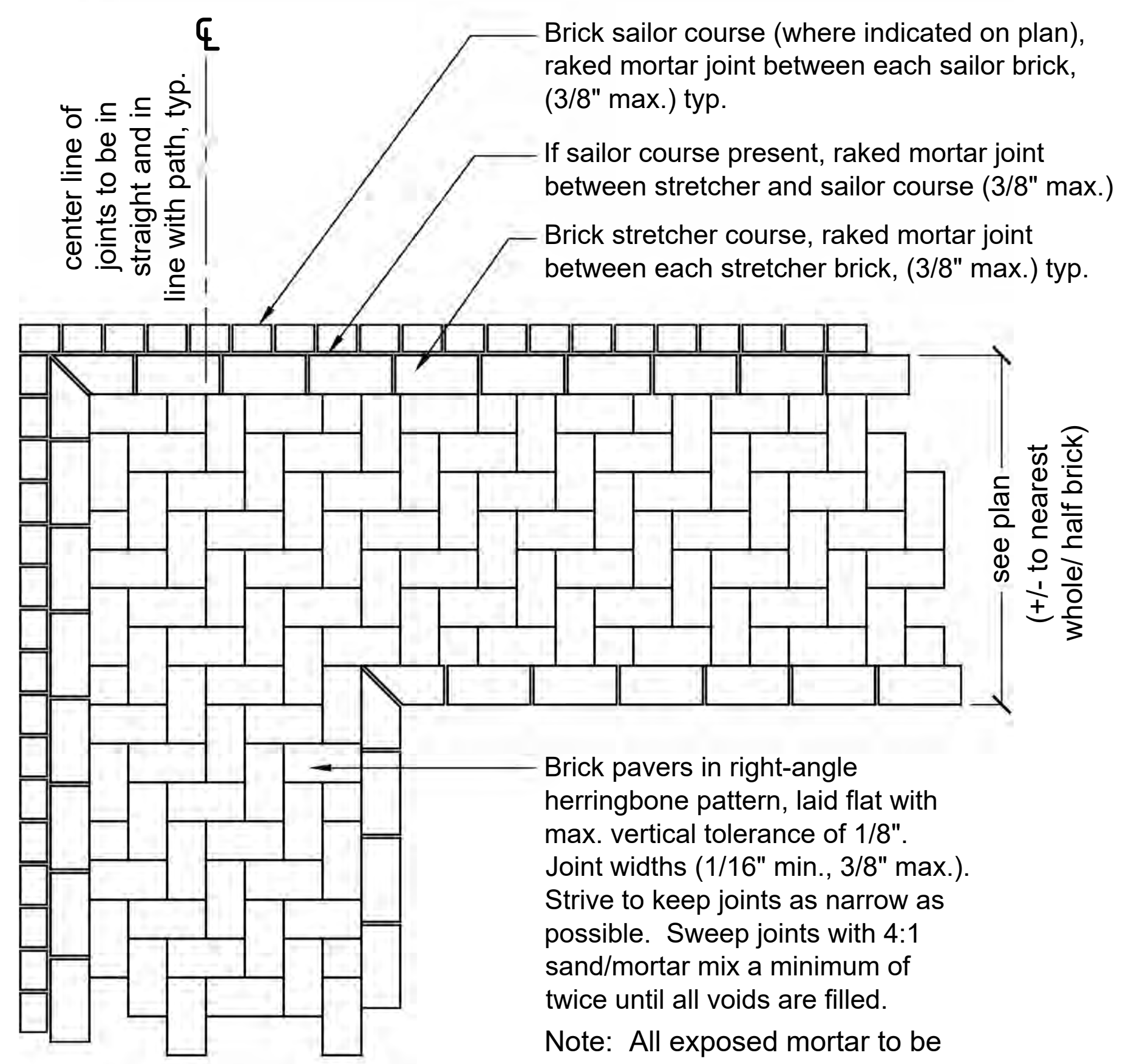
**1** Brick Driveway Paving - Vehicular  
Scale 1" = 1'-0" Section



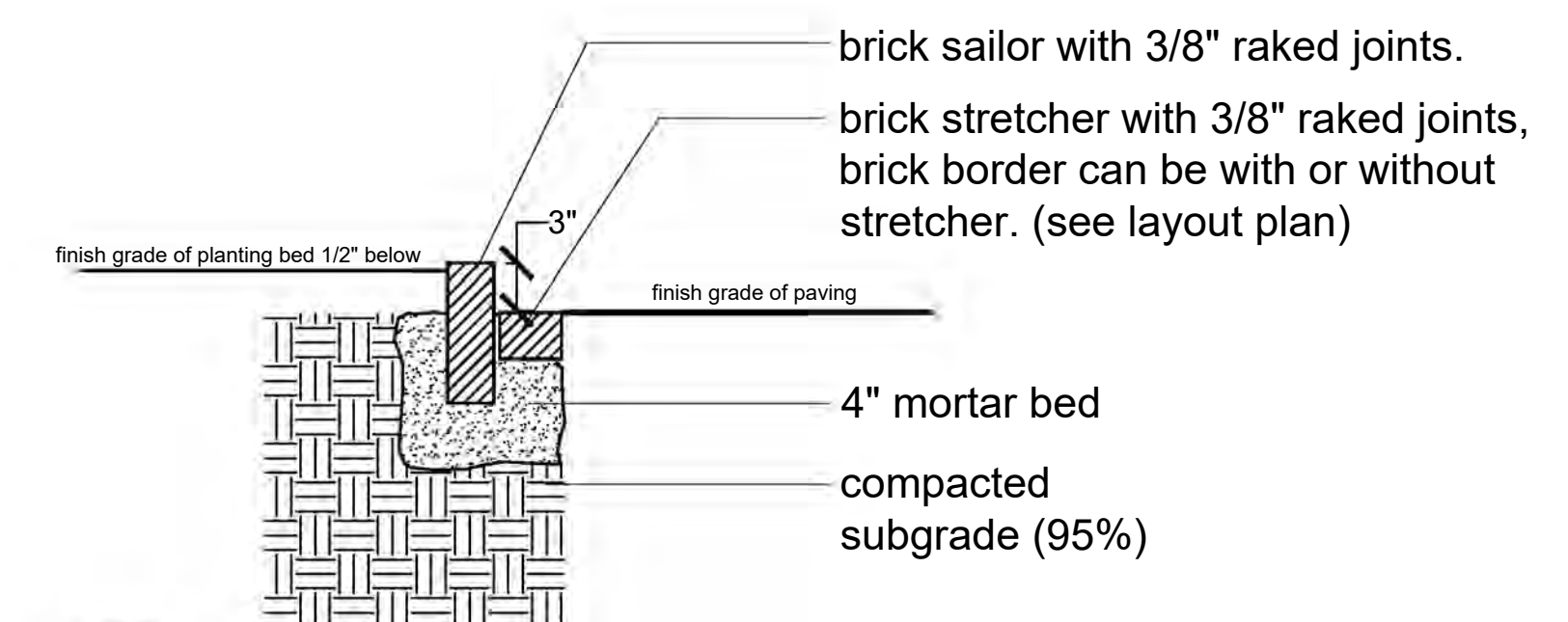
**2** Pedestrian Brick Paving  
Scale 1" = 1'-0" Section



**1** Brick Herringbone Pattern with Header Border  
Scale 1" = 1'-0" Plan



**2** Brick Herringbone Pattern  
Scale 1" = 1'-0" Plan



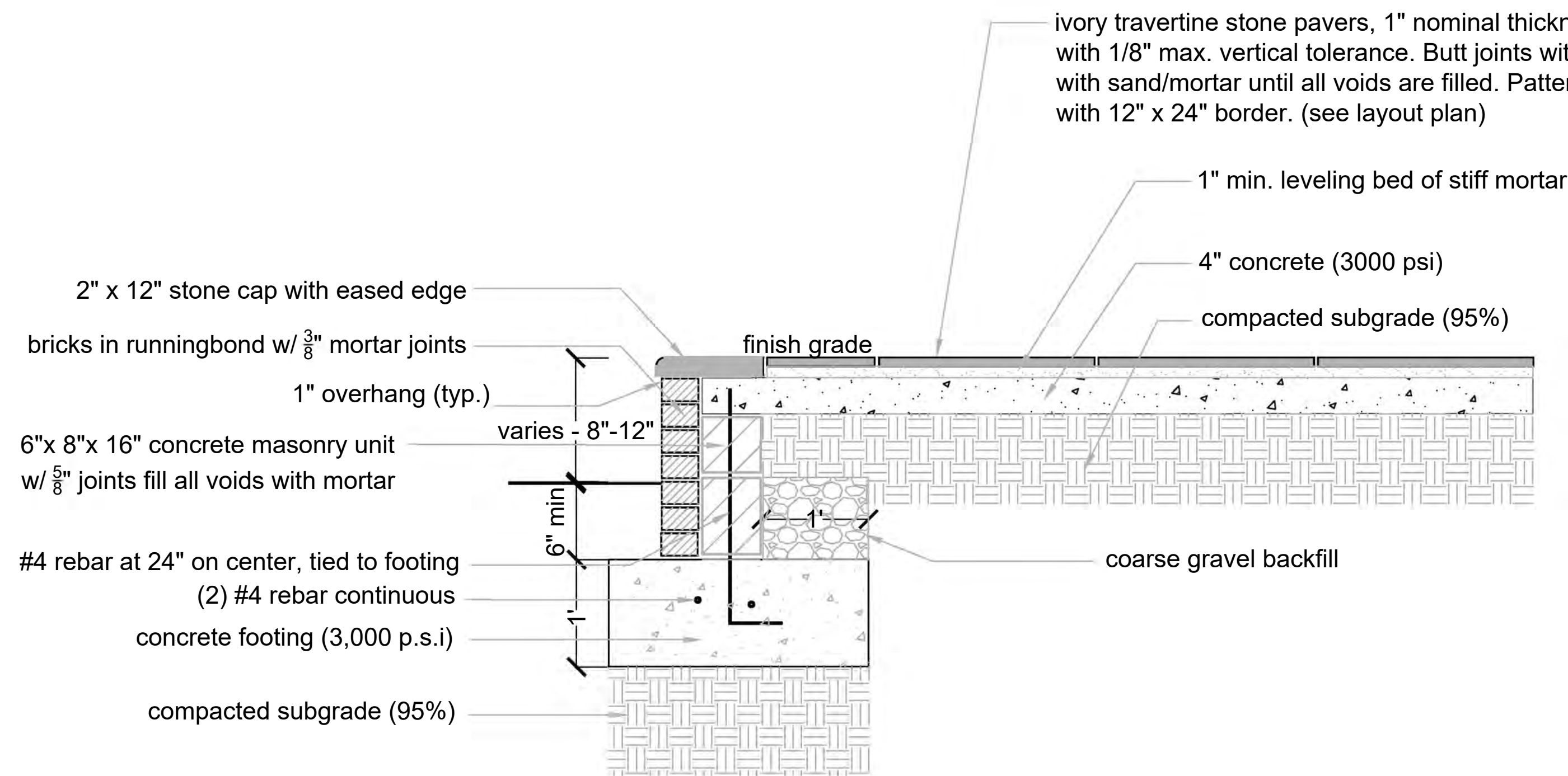
**3** Brick Border  
Scale 1" = 1'-0"

**Brick Notes:**

- All bricks to be Old Carolina Brick Co. Color to be 50% Savannah Gray and 50% Georgetowne. Different color bricks to be mixed in a random fashion when installed.
- Sides of brick with sand or lime coating to be considered finished side - only finished sides to be exposed.
- Brick pavers in right angle herringbone pattern, laid flat with max. vertical tolerance of 1/8".
- Brick sizes vary. Joint widths: min. 1/16", max. 3/8". Strive to keep joints as tight as possible. Center line of joints to be straight and in line with path.
- Swept joints to be filled with 4:1 sand/mortar mix. Mortar to be type 200N, Ivory Buff color. Mix into slurry, sweep into joints and hose down right away to avoid mortar setting on top of brick. Repeat a minimum of twice until all voids are filled.
- All exposed mortar joints to be raked. Max. width 3/8". Ivory Buff color
- Widths indicated on layout plan shall be considered +/- to work to the nearest whole or half brick. Verify adjusting layout dimensions to whole/half brick will not conflict with other areas of layout. If conflict arises, contact Landscape Architect before proceeding.
- Dimensions given are from edge-to-edge of stretchers (or face-to-face of brick sailors where present).
- Do not pressure wash bricks or allow acid to come in contact with it.

Masonry Details

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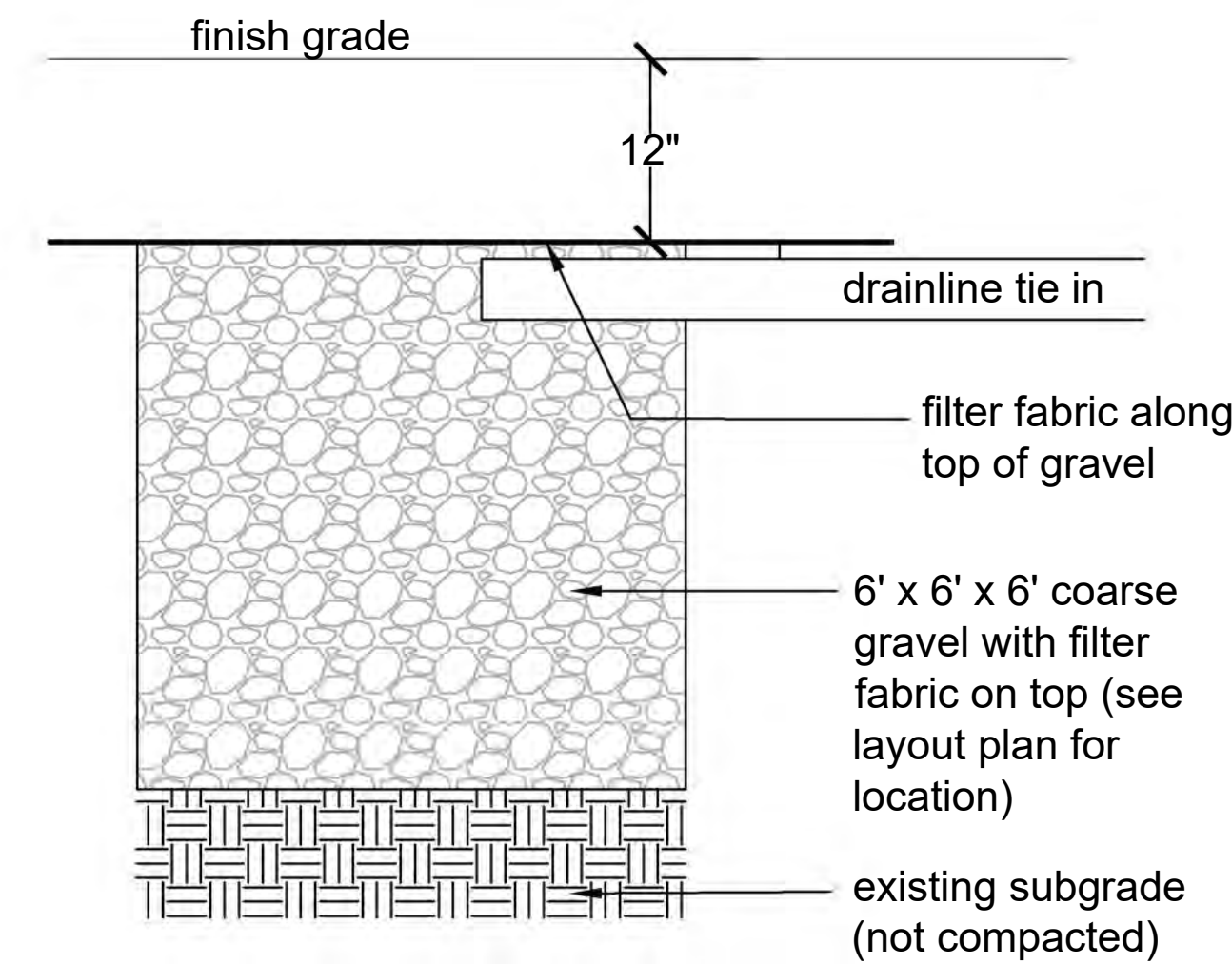
ivory travertine stone pavers, 1" nominal thickness, all corners @ 90, set flat with 1/8" max. vertical tolerance. Butt joints with max. gap 1/8". Sweep gaps with sand/mortar until all voids are filled. Pattern to be 18" x 18" on diagonal with 12" x 24" border. (see layout plan)

1" min. leveling bed of stiff mortar

4" concrete (3000 psi)

compacted subgrade (95%)

coarse gravel backfill

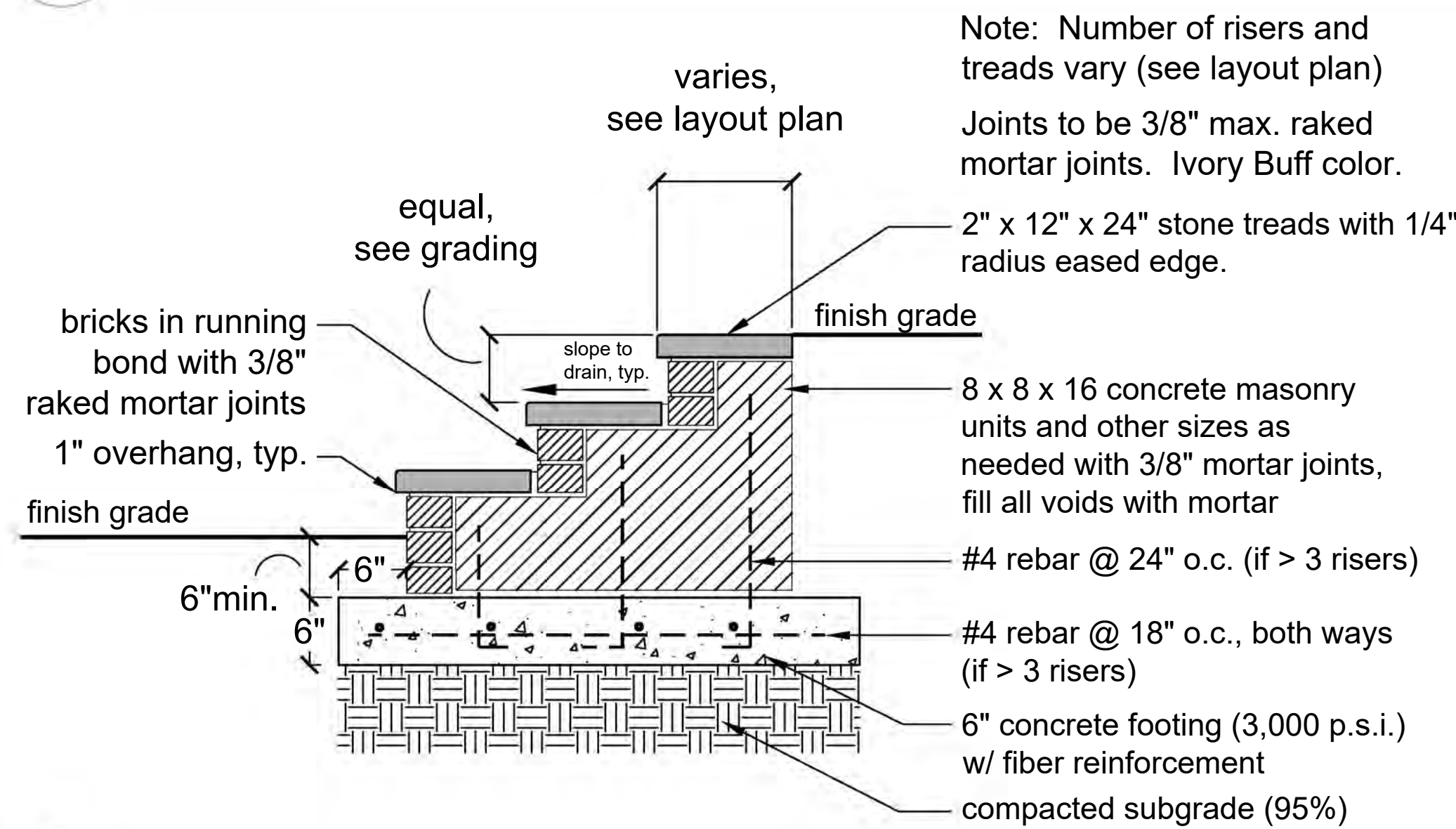


**1 Raised Stone Terrace Detail**

Scale 1" = 1'-0"

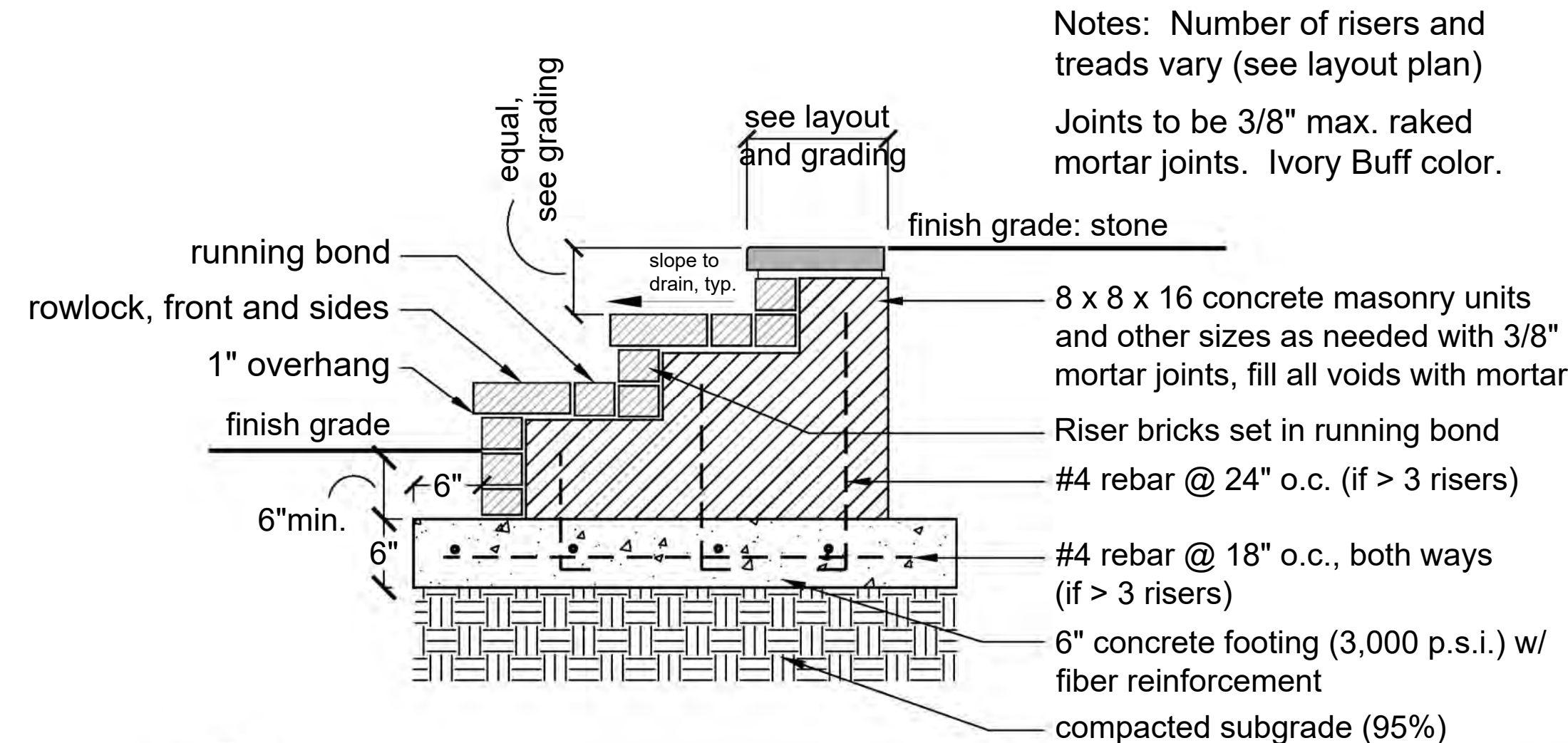
**4 Dry Well Detail**

Not to scale



Note: Number of risers and treads vary (see layout plan)

Joints to be 3/8" max. raked mortar joints. Ivory Buff color.



Notes: Number of risers and treads vary (see layout plan)

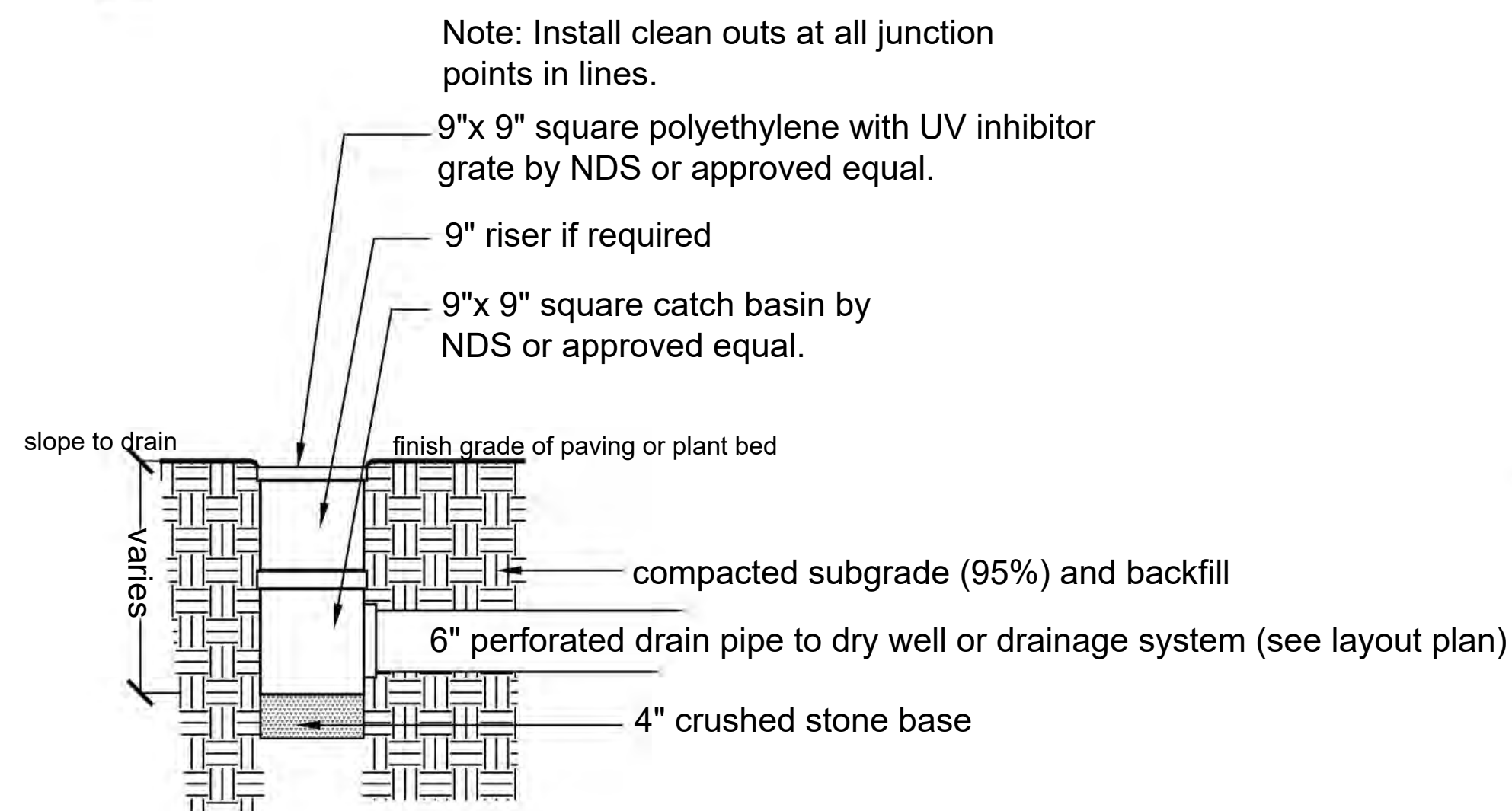
Joints to be 3/8" max. raked mortar joints. Ivory Buff color.

**2 Stone Steps**

Scale 1" = 1'-0"

**5 Brick Steps**

Scale 1" = 1'-0"

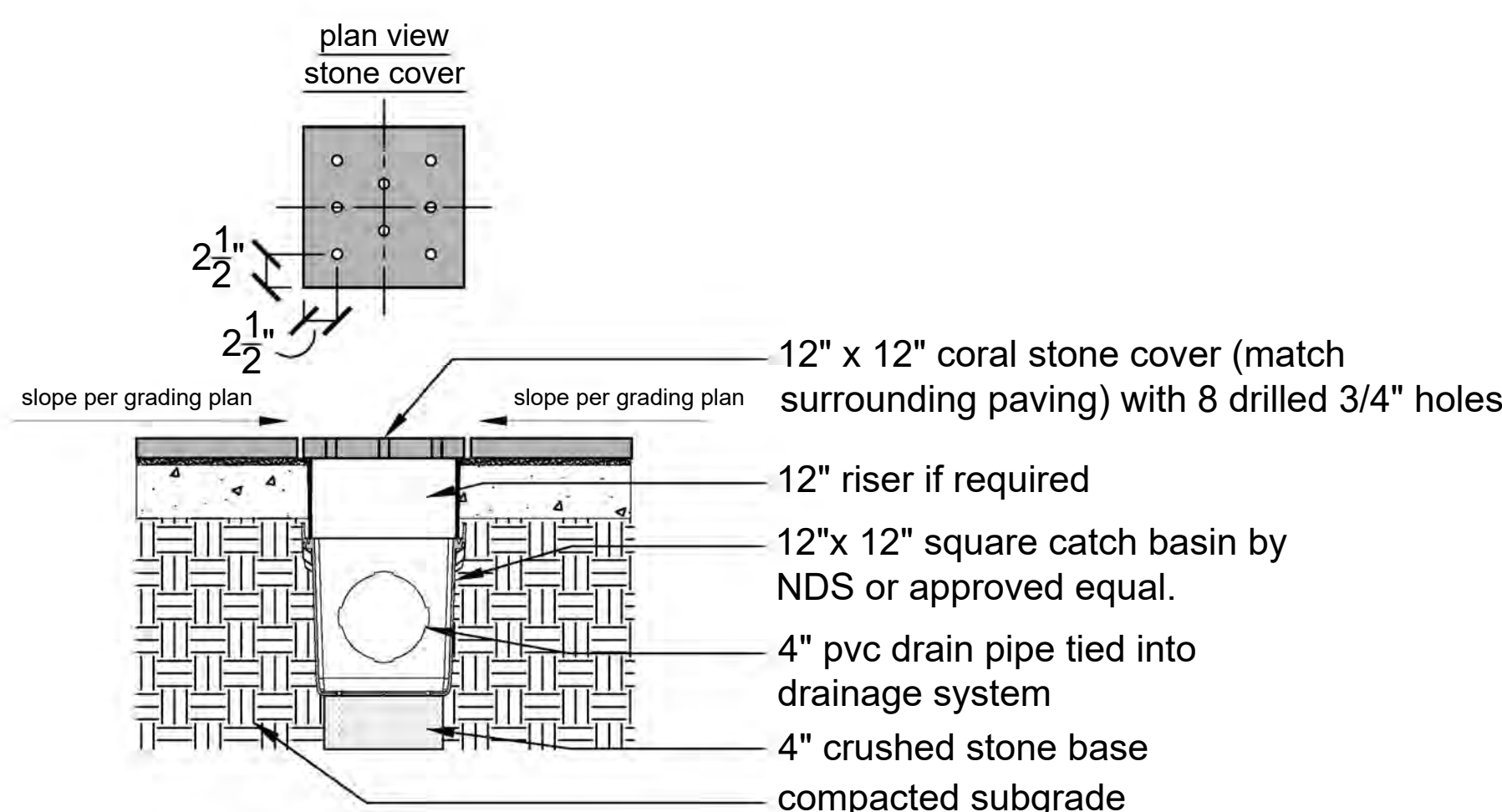


Note: Install clean outs at all junction points in lines.

9" x 9" square polyethylene with UV inhibitor grate by NDS or approved equal.

9" riser if required

9" x 9" square catch basin by NDS or approved equal.



**3 Catch Basin with Stone Cover**

Scale 1" = 1'-0"

Section/Plan

**Travertine Notes:**

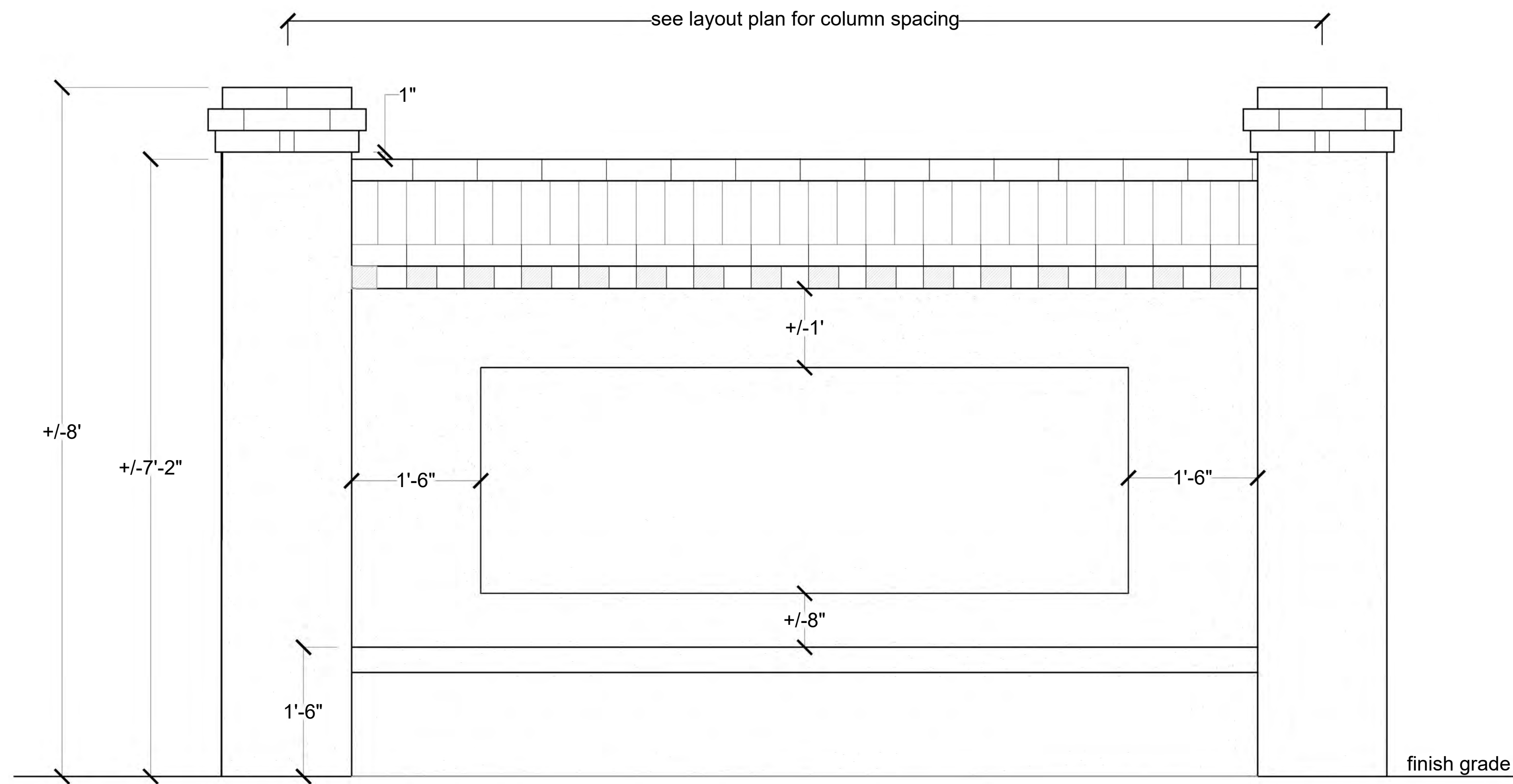
1. Travertine to be 'Ivory'.
2. Finish to be tumbled. Pool coping to have eased edge.
3. Thickness of stone paving to be 1". Thickness of coping to be 2".
4. Butt joints with min. 1/16", max. 1/4" gap. Strive to keep joints as tight as possible. Center line of joints to be straight and in line with path.
5. Joints to be filled with 4:1 sand/mortar mix. Mortar to be type 200N, Ivory Buff color. Mix into slurry, sweep into joints and hose down right away to avoid mortar setting on top of brick. Repeat a minimum of twice until all voids are filled.

**3 Catch Basin Detail**

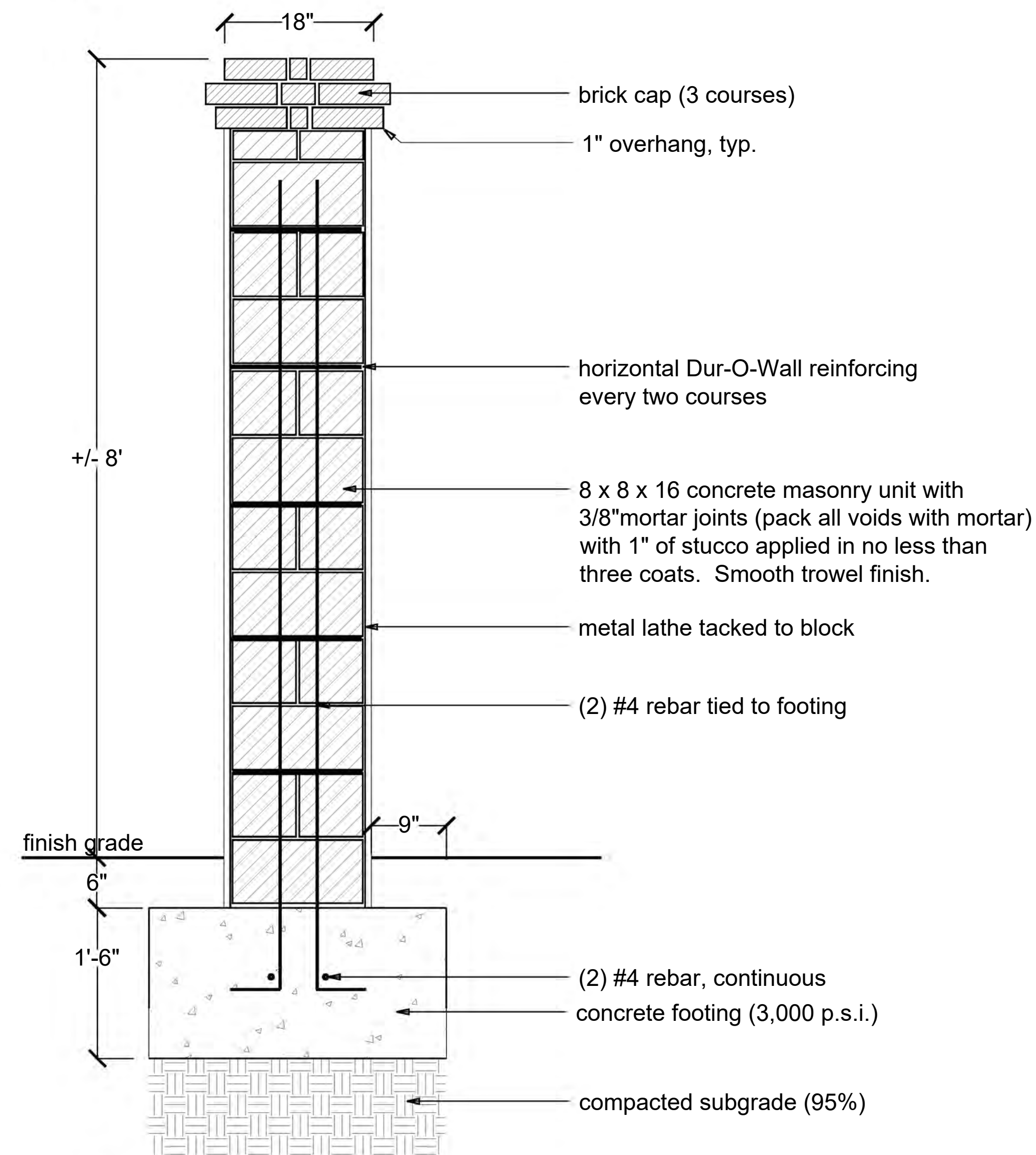
Scale 1" = 1'-0"

Masonry Details

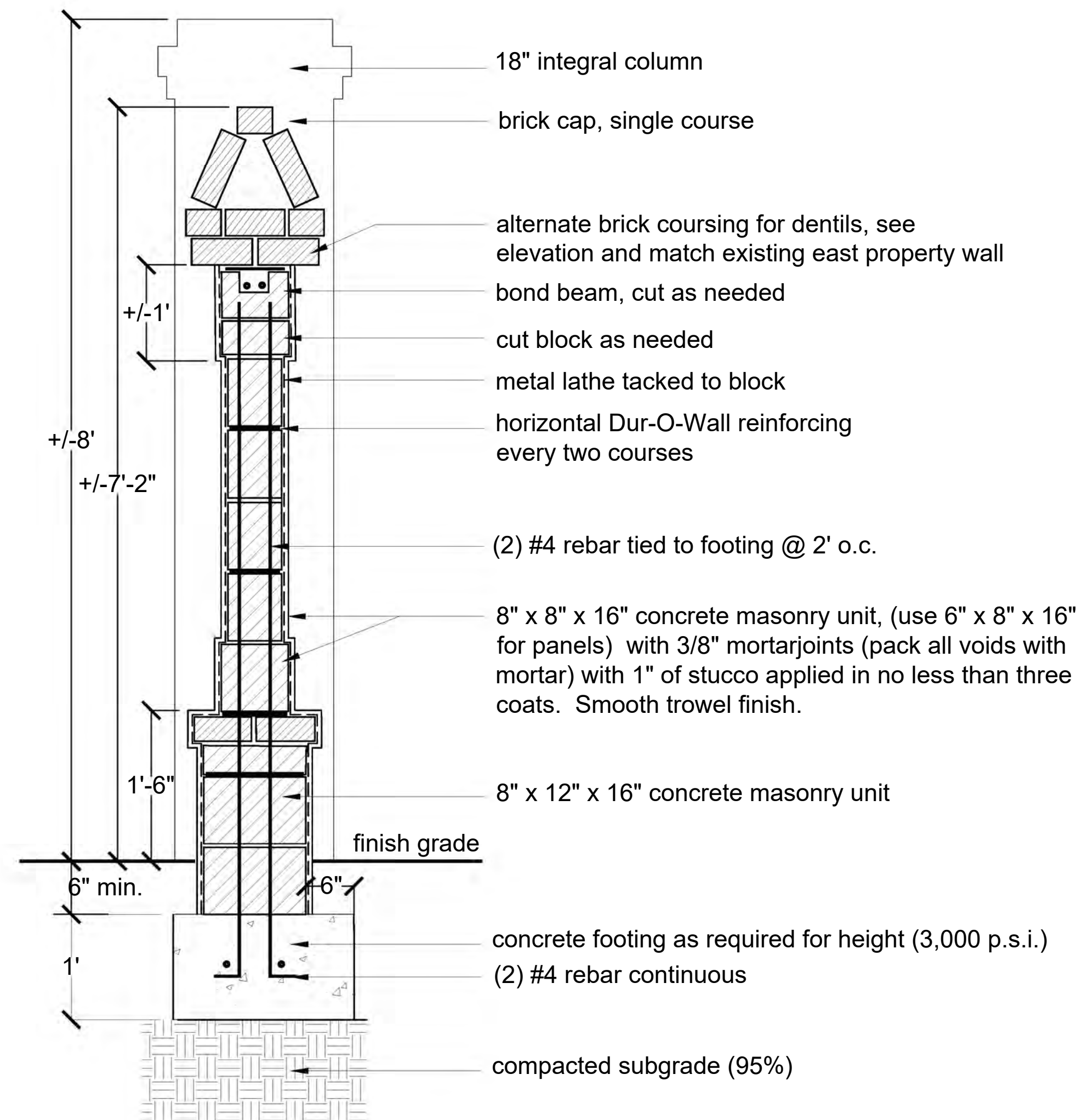
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**1**  
**8** Stucco Wall Elevation - South Wall  
Scale 1" = 1'-0"

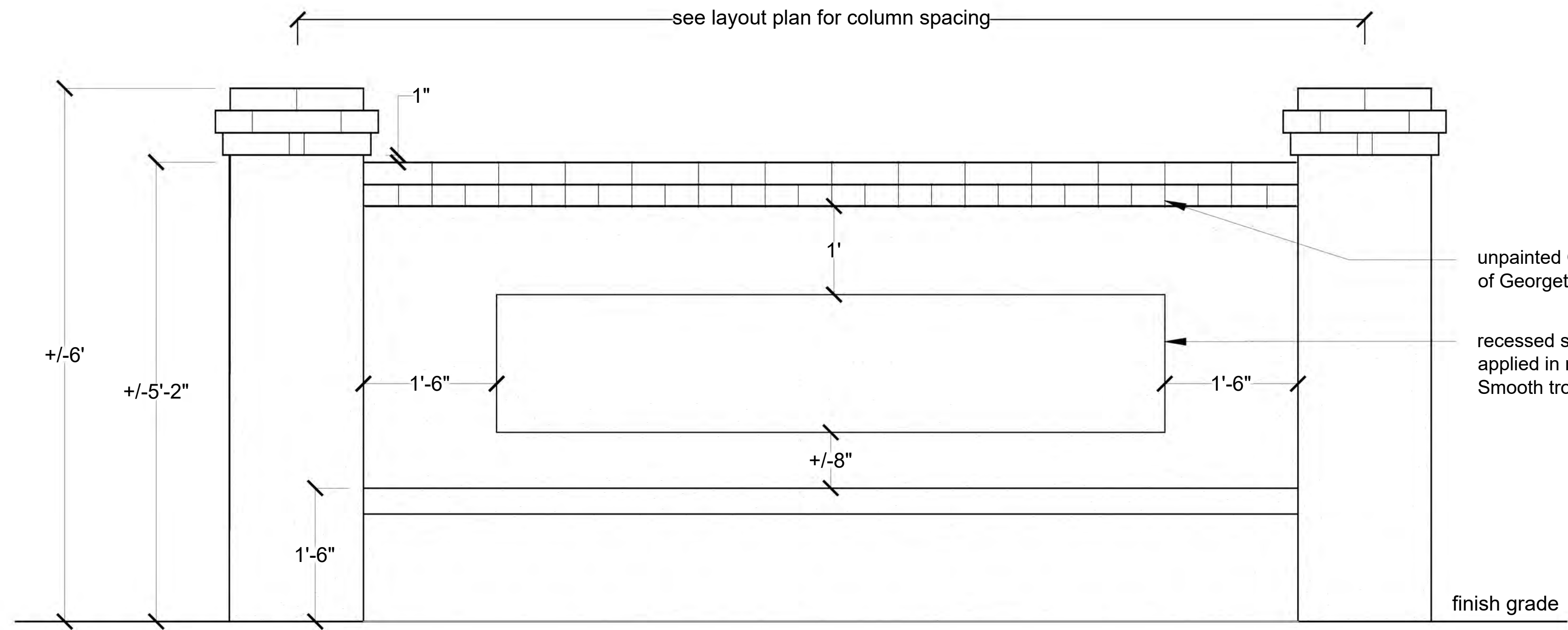


**1**  
**8** Stucco Column Detail - South Wall  
Scale 1" = 1'-0"

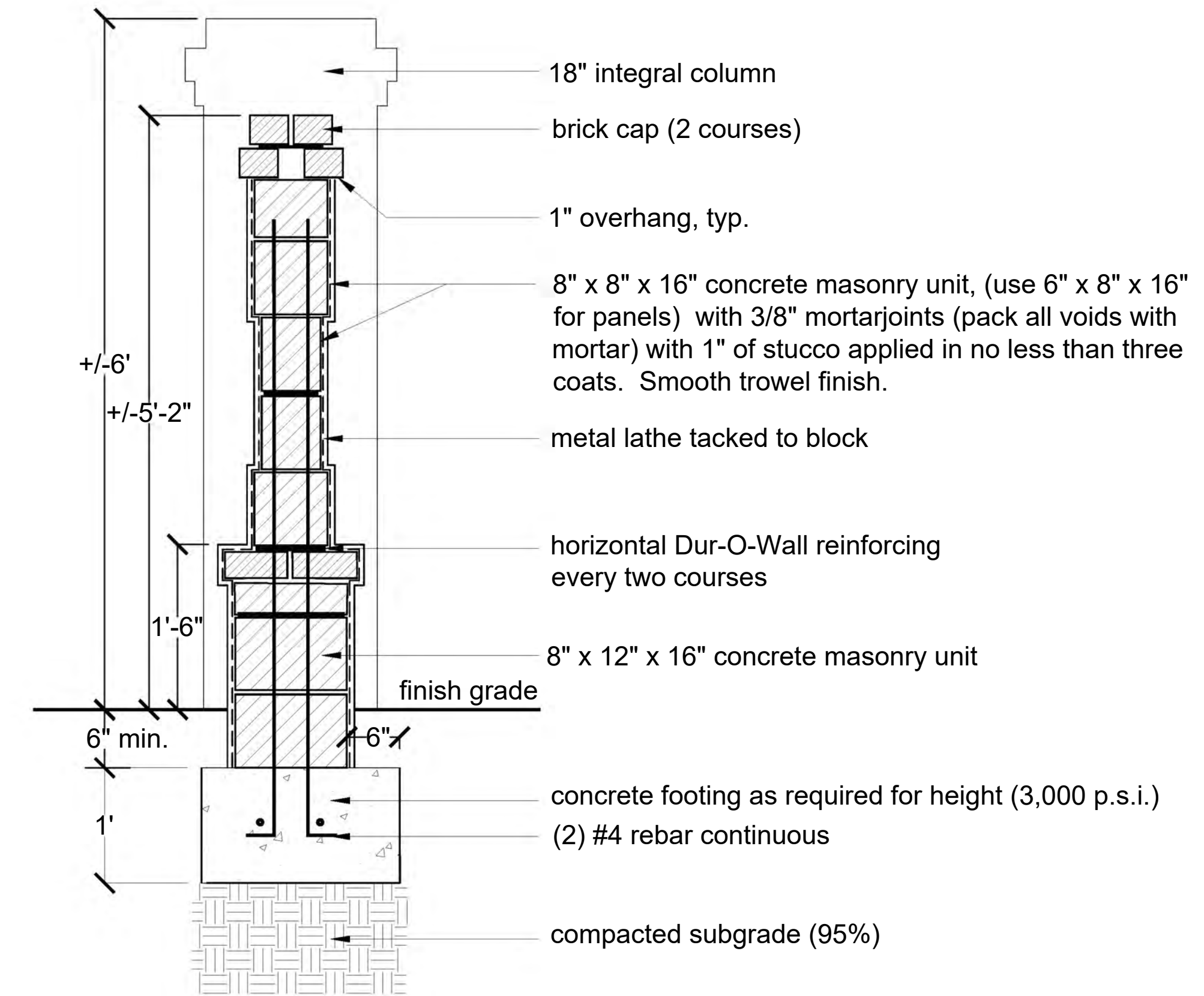


**1**  
**8** Stucco Wall Detail - South Wall  
Scale 1" = 1'-0"

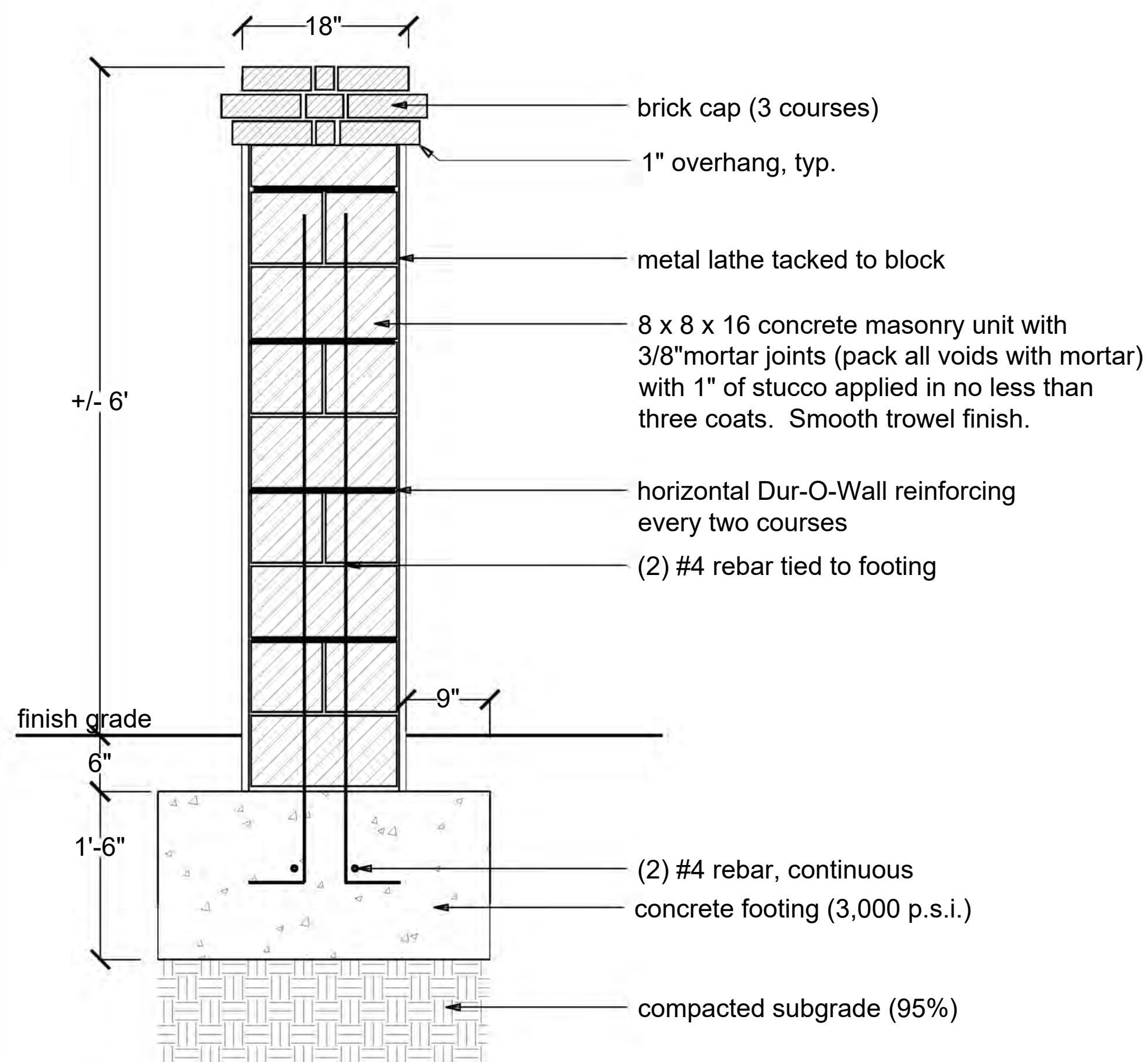
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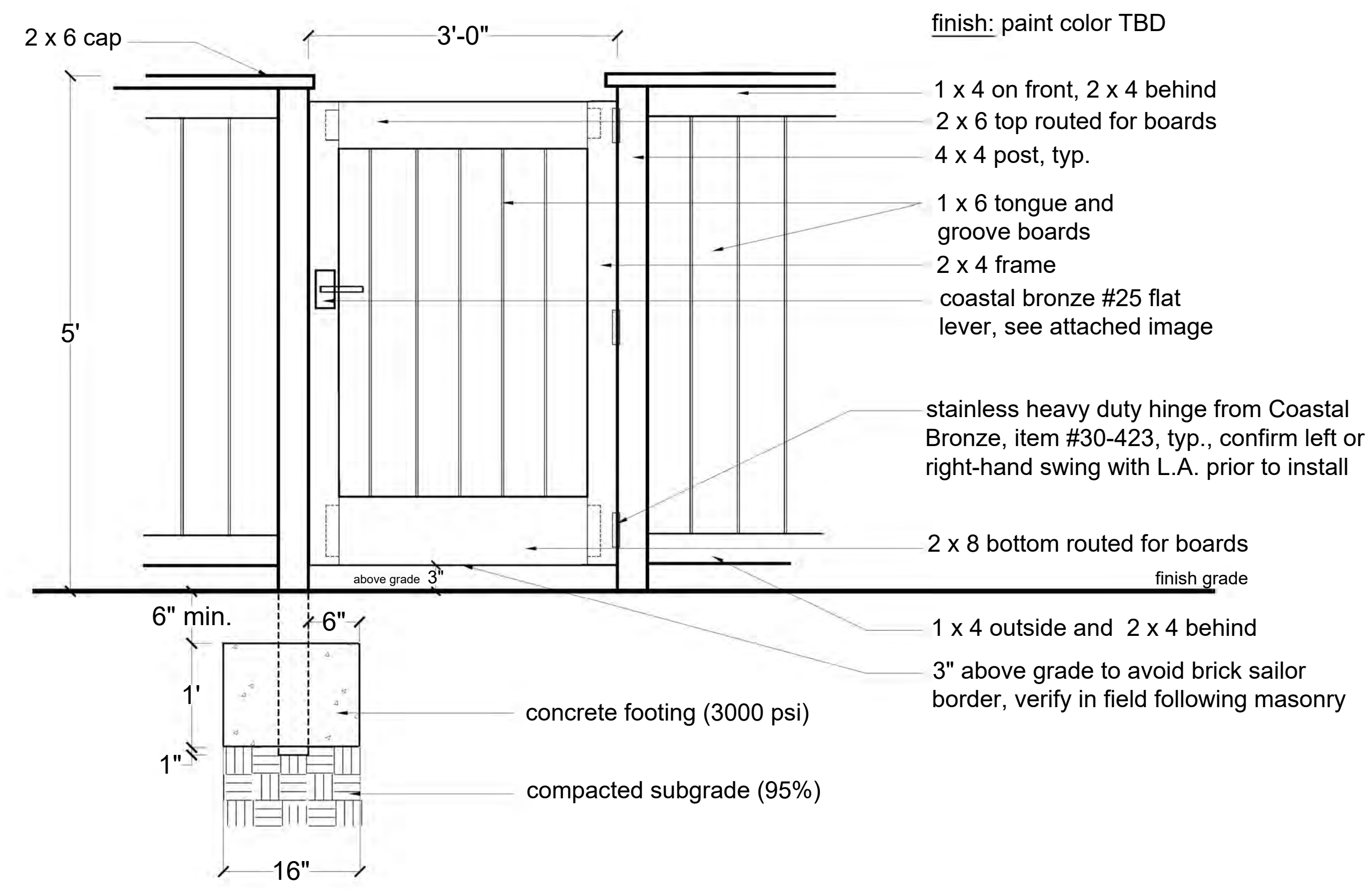
**1**  
**9** Stucco Wall Elevation - West Wall  
Scale 1" = 1'-0"



**1**  
**9** Stucco Wall Detail - West Wall  
Scale 1" = 1'-0"



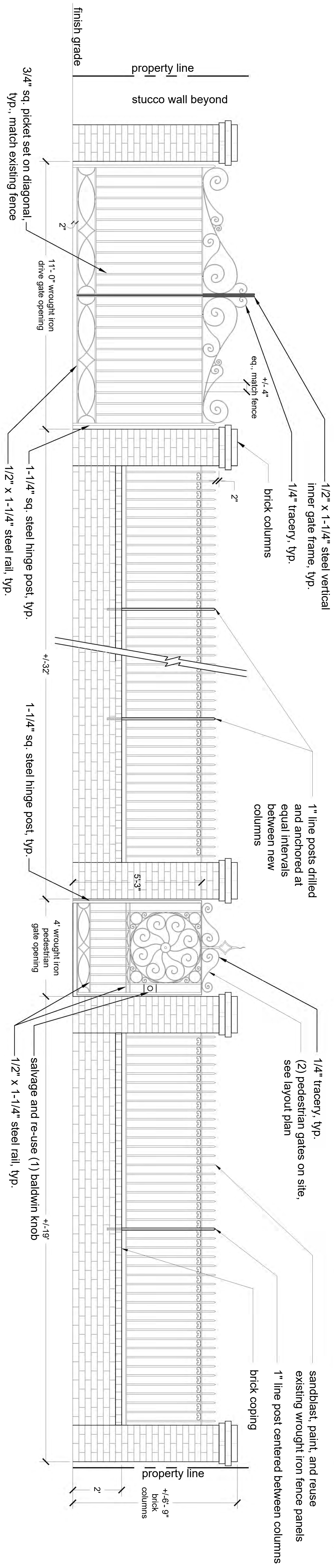
**1**  
**9** Stucco Column Detail - West Wall  
Scale 1" = 1'-0"



**2**  
**9** Wood Utility Enclosure Detail  
Scale 1" = 1'-0"

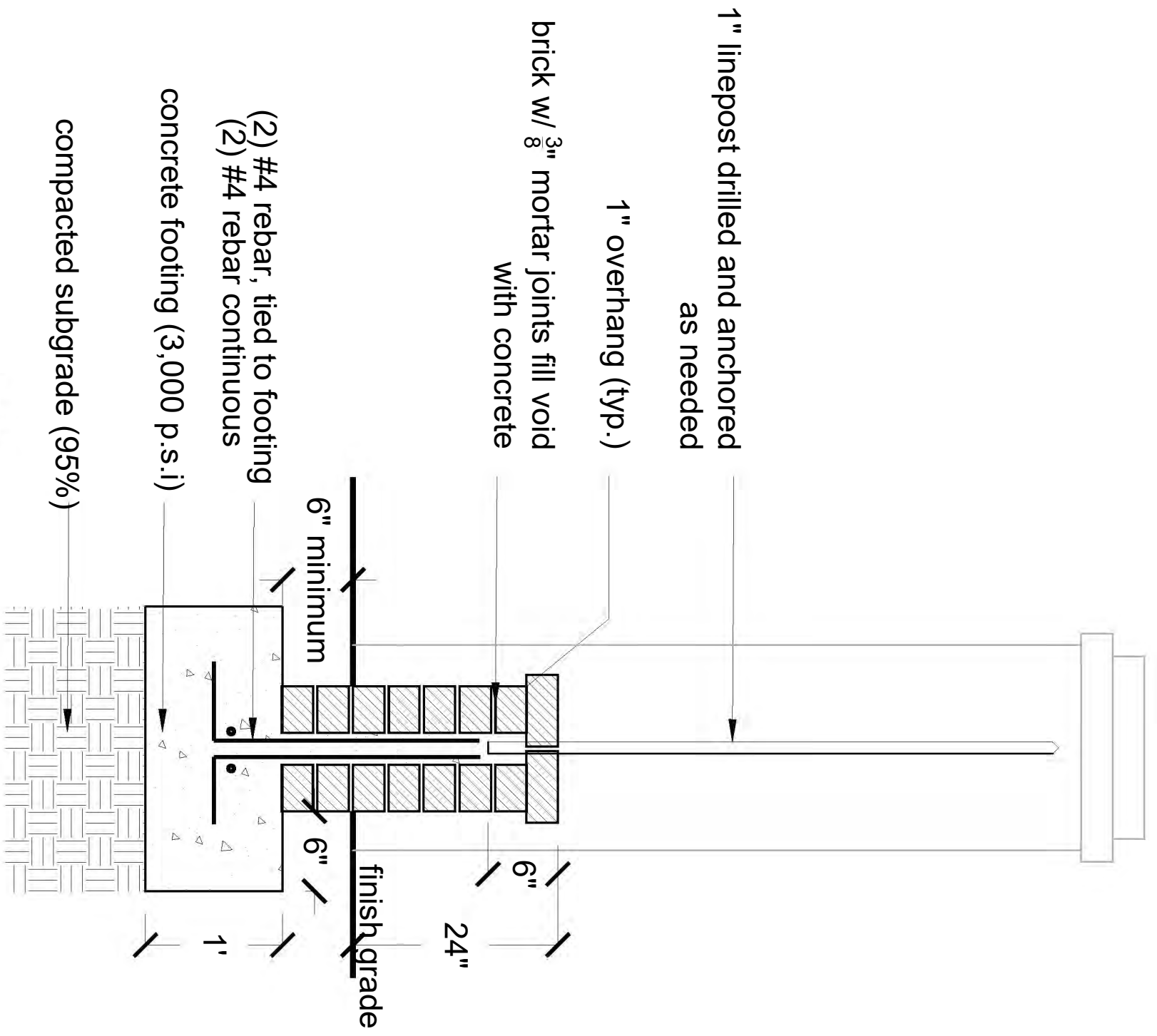
- General Carpentry Notes:
- All painted fence material to be "Elite" treated pine from Southern Lumber or approved equal. All gates and stained fence material to be African mahogany.
  - All material that comes in contact with ground to be ground contact pressure treated material.
  - All materials to be primed/painted/sealed prior to construction, minimum two coats. Color and finish to be Charleston green. Provide sample for approval prior to application.
  - Interior parts of gates and tongue and groove panels to be painted and sealed with finish color prior to assembly and installation.
  - Contractor shall notify Landscape Architect if existing grade varies to such an extent that ground clearances specified are unreasonable.
  - Unless noted "True," all material dimensions to be nominal.
  - All posts are to be set in concrete footing as specified and must extend a minimum of 1" below the footing to all for drainage.
  - All fasteners, nails, screws, bolts, etc. to be stainless steel.
  - Gate hardware to be chosen by owner.

Masonry and Carpentry Details



1 Brick Coping with Wrought Iron Fence and Gates: North Elevation  
Scale 1/2" = 1'-0"

- General Wrought Iron Notes:**
- Steel members to be hand wrought.
  - All joints to be welded construction.
  - All steel shall be hot rolled mild steel free from deformities or imperfections. Panels shall be plumb, square, and true to line.
  - Contractor shall be responsible for all field measurements required to meet field conditions.
  - All welds to be ground clean to the satisfaction of the Landscape Architect.
  - All steel to be primed with one coat of Rustoleum #1060 and painted with two coats of Benjamin Moore low lustre Black #16380 or alternate color and finish approved by the Landscape Architect.



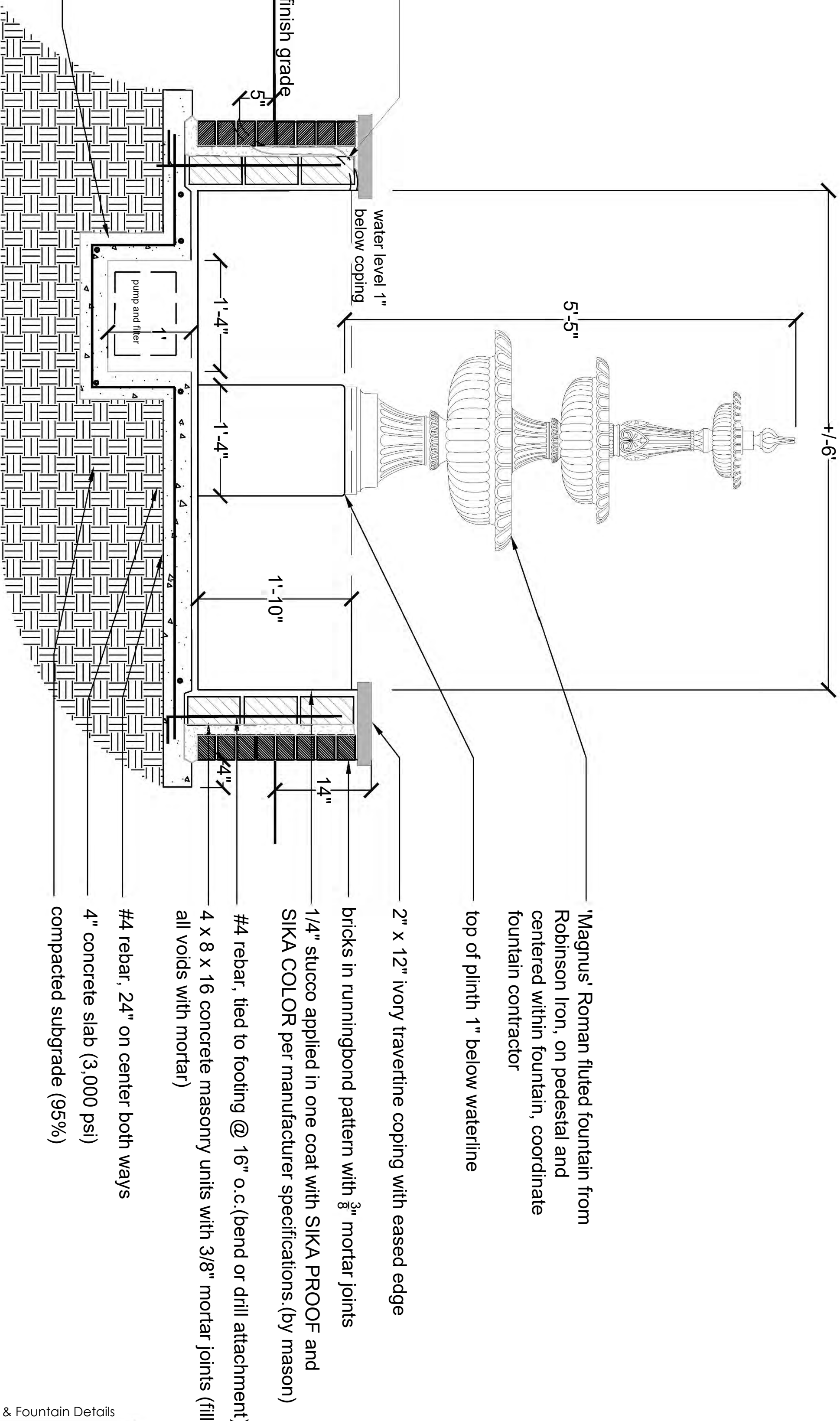
2 Brick Coping for Wrought Iron Fence  
Scale 1" = 1'-0"

(3) 1 1/4" pvc conduit in sweep below cap by mason (painted black)

slope to drain

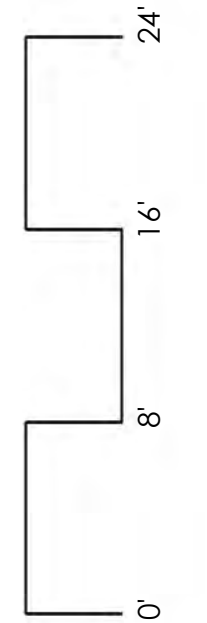
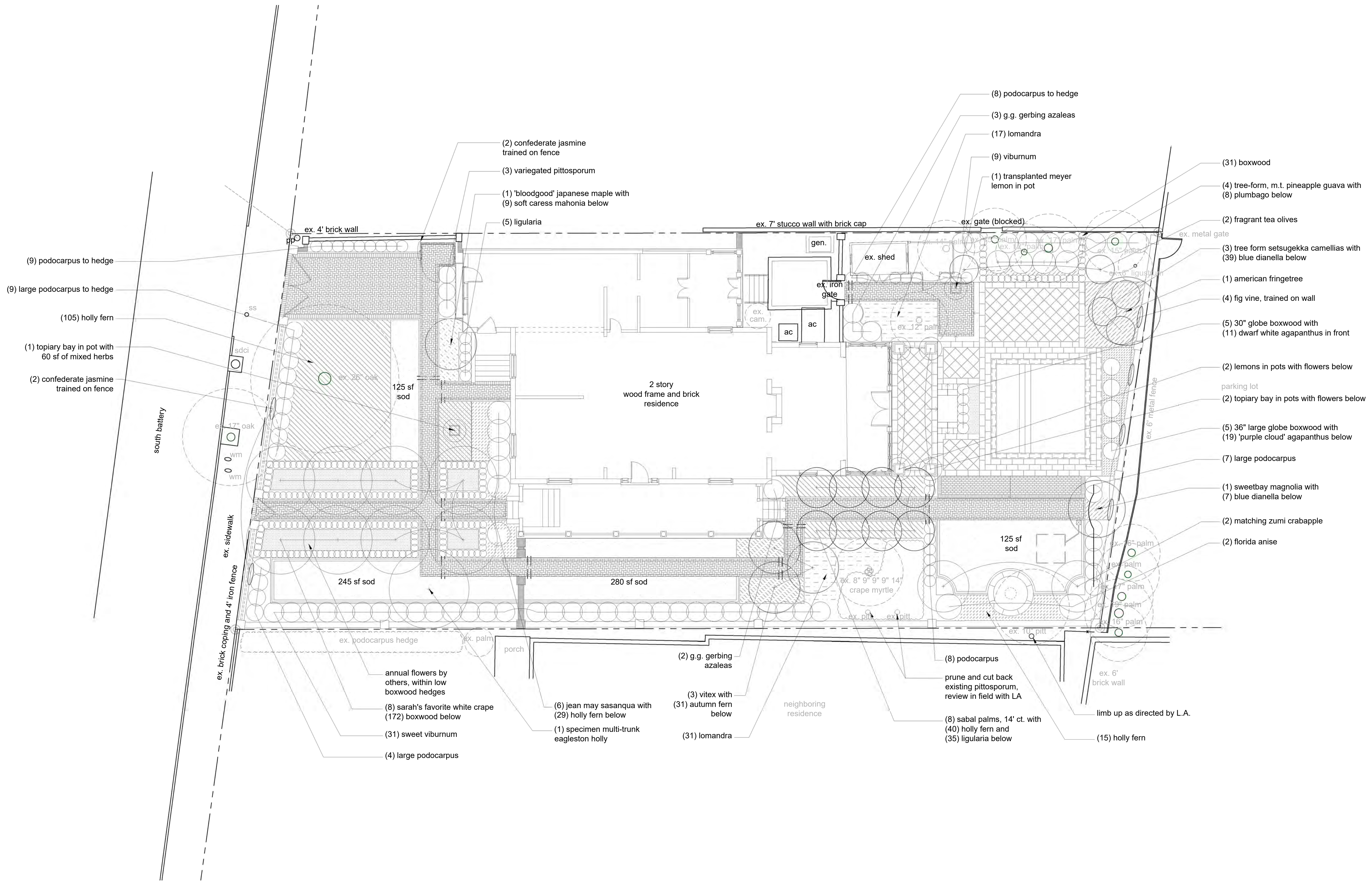
note: landscape contractor to dedicated irrigation zone for fountain autofill. mason to coordinate with landscape contractor and fountain plumbing contractor prior to starting any work.

filter pit to be formed out to fit specified pump, mason to confirm pump dimensions with landscape contractor and adjust filter pit dimensions accordingly prior beginning any work.



3 Fountain Pool with Stone Cap - Side Section  
Scale 1" = 1'-0"

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Date:	03-15-19	cq	10-30-19	nd
Rev:	04-10-19	sc	11-12-19	nd
	04-12-19	nd	12-10-19	nd
	04-23-19	sc		
	05-16-19	sc		
	08-15-19	nd		

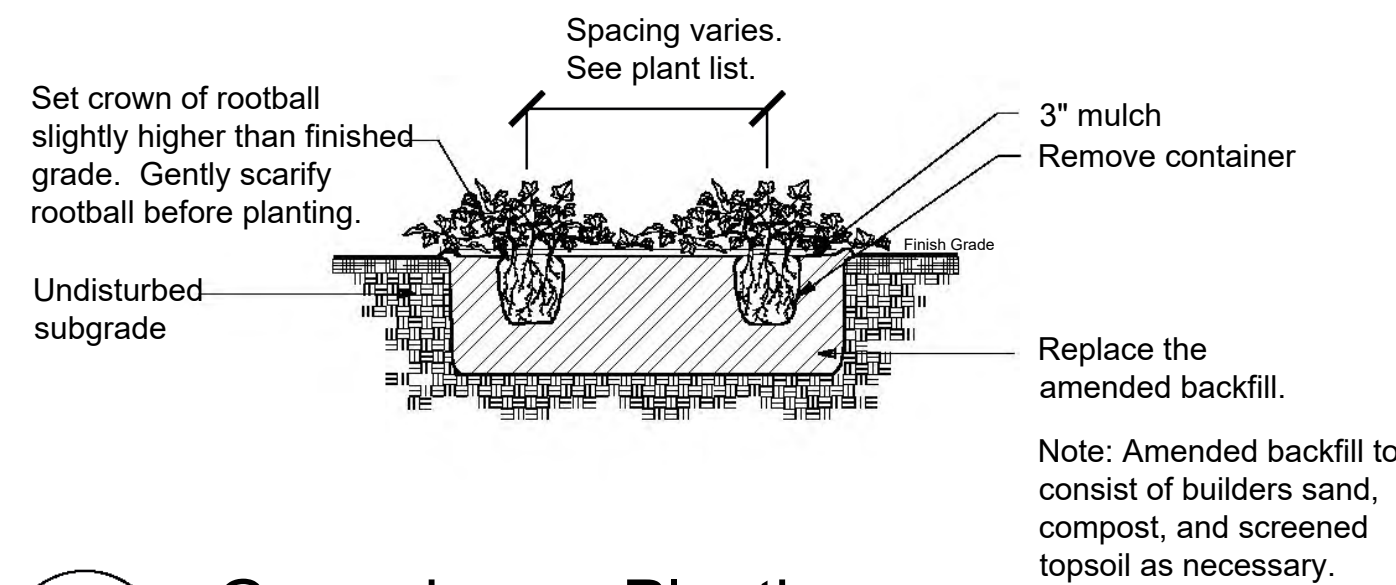
PLANTING NOTES

- The Landscape Contractor is responsible for contacting the utility locator service, NO CUTS (1.800.922.0983), to locate all existing underground electrical and telephone utilities. Contractor to make this contact prior to beginning construction.
- Landscape Contractor shall verify plans in the field and notify Landscape Architect of any discrepancies prior to construction.
- Tree plantings and bed lines shall be staked by Landscape Contractor for Landscape Architect's approval prior to installation. The Landscape Architect reserves the right to make adjustments to planting locations as needed.
- Base bid items include all indicated graded swales, berms, plantings, mulching, irrigation system, and backflow preventer. Irrigation system to provide 100% coverage to all plant beds on site and to include a minimum of two hose bibs, and a rain gauge.
- Add fine pine bark mulch to all beds at 3 inch depth, unless otherwise noted.
- Landscape Contractor is responsible for maintaining all plants & work during the course of the project until final acceptance by Landscape Architect.
- Landscape Contractor to guarantee plant material for (1) one year from the date of final acceptance by Landscape Architect.
- The Landscape Contractor shall exercise extreme caution in areas where additional suspected underground utilities may exist. The Landscape Contractor shall be responsible for all damage to existing utilities, both known and unknown. Also, he shall exercise industry standard safety practices while working near vehicular traffic.
- Landscape Contractor shall make all arrangements for temporary irrigation system services, permits and fees as needed.
- Landscape Contractor to provide 3" Bee's Ferry compost or approved equal to all beds and fine grade to provide smooth transition into existing grades. Grade to prevent ponding.
- Plant material list is prepared for estimating purposes only. Contractors shall make their own quantity takeoffs using drawings to determine quantities to their satisfaction. Contractor shall report any discrepancies which may affect bidding to Landscape Architect.
- If seasonal conditions necessitate the need for container grown stock when balled and burlapped plant material is specified, contractor shall contact Landscape Architect for approval prior to substitution.
- If present, Landscape Contractor to include all pumps and filters suitable for aquatic plant culture in pools.
- Contractor must do a soil test and provide results to Landscape Architect and verify that existing soil conditions are adequate before any planting commences.

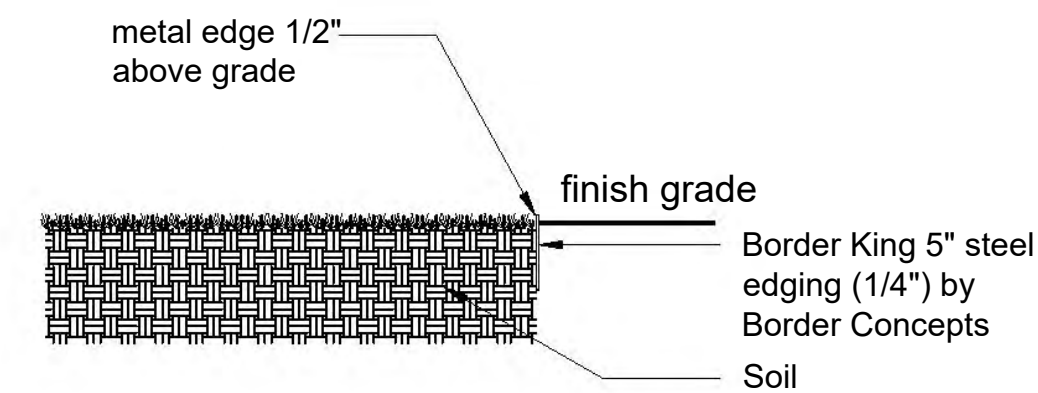


Tuscan Imports  
 Vaso Quadro Moderno  
 (5) ZE104 - 18"l x 18"w x 28"h  
  
 www.tuscanimports.com  
 866.215.4232

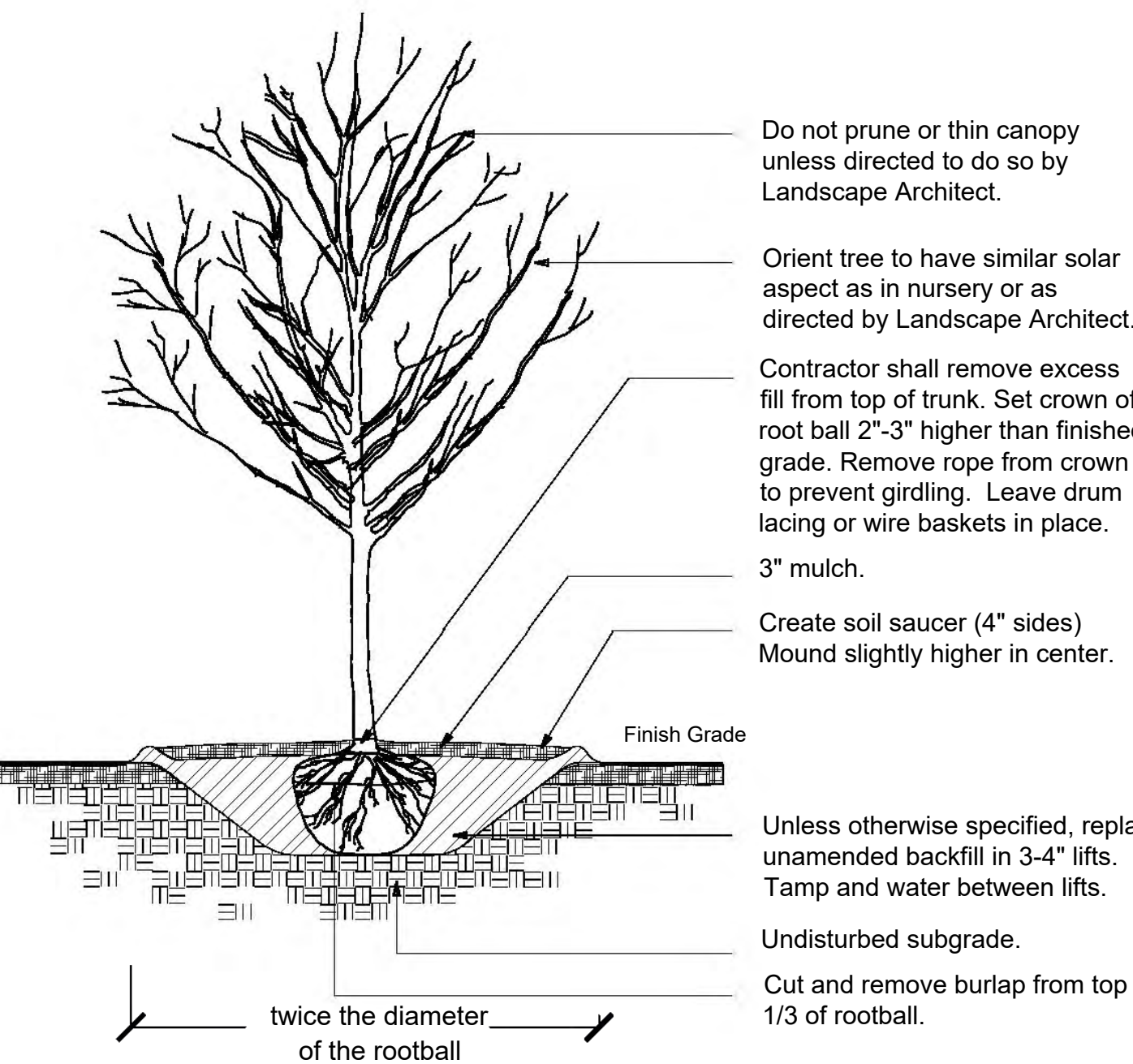
1 Terra Cotta Planter  
 12 Scale: N.T.S.



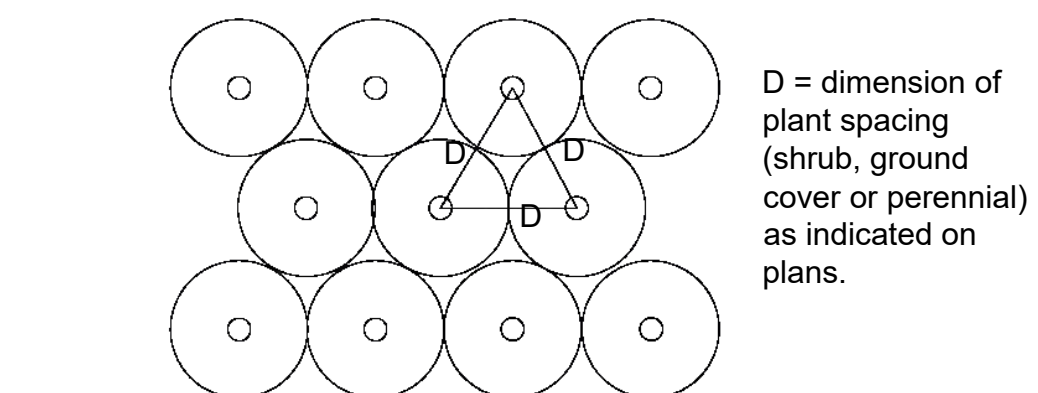
Groundcover Planting  
 Not to Scale



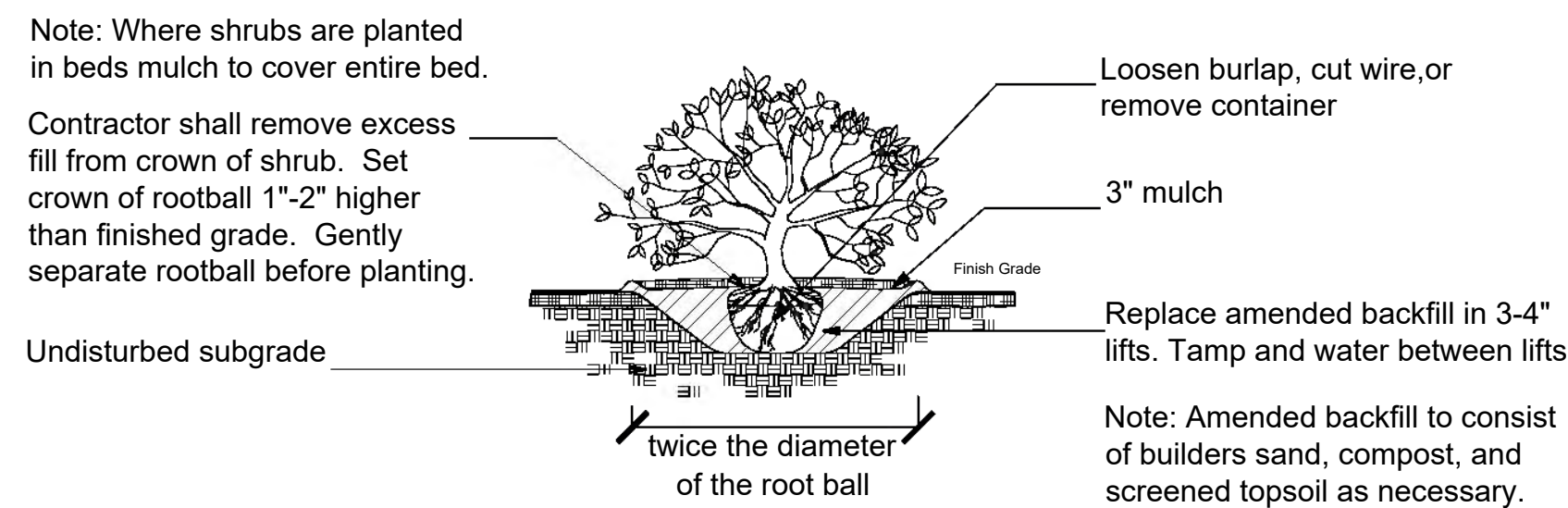
2 Metal Edge  
 12 Scale: 1" = 1'-0"



Deciduous Tree Planting  
 Not to Scale

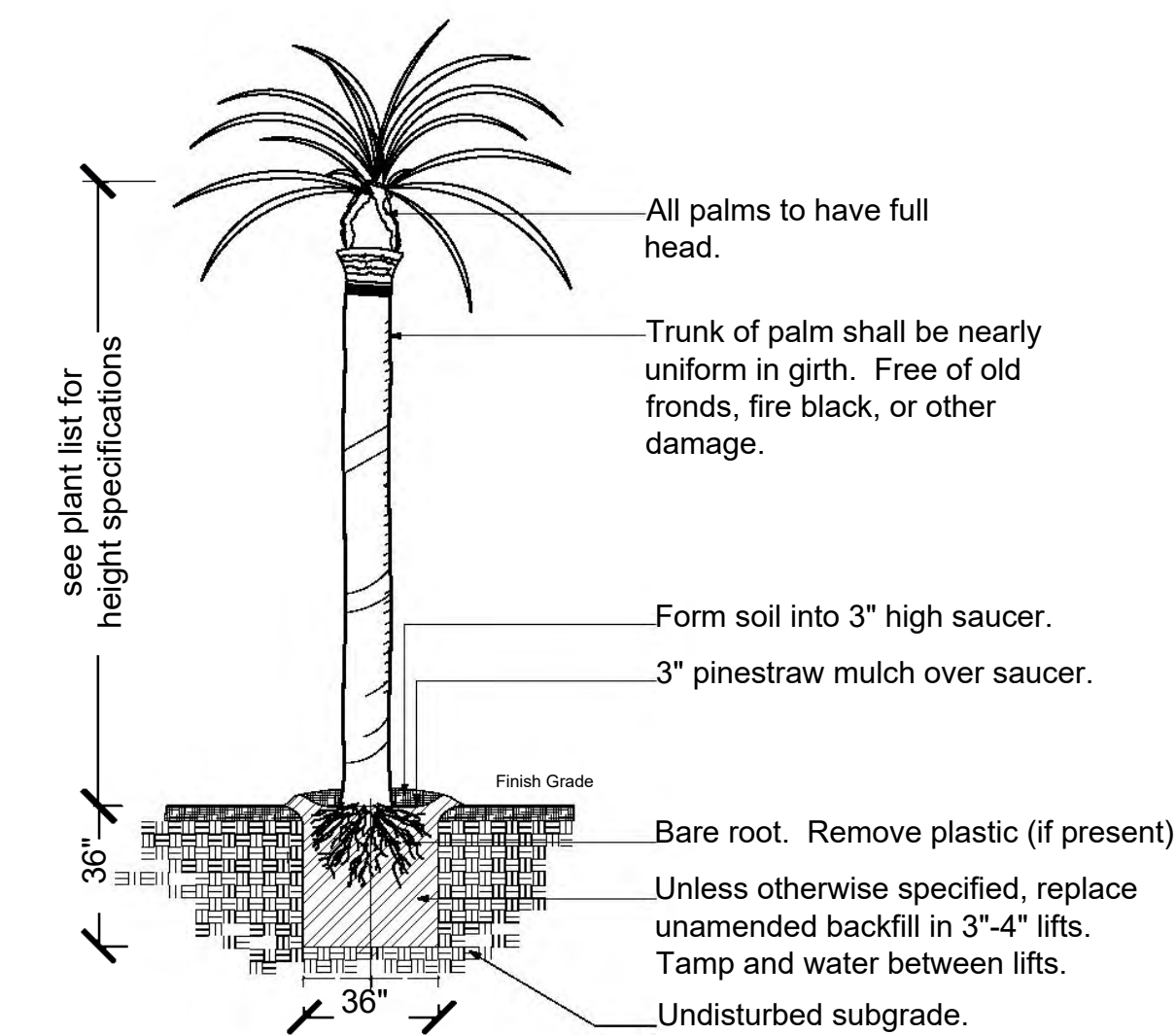


Typical Plant Spacing  
 Not to Scale



Shrub Planting  
 Not to Scale

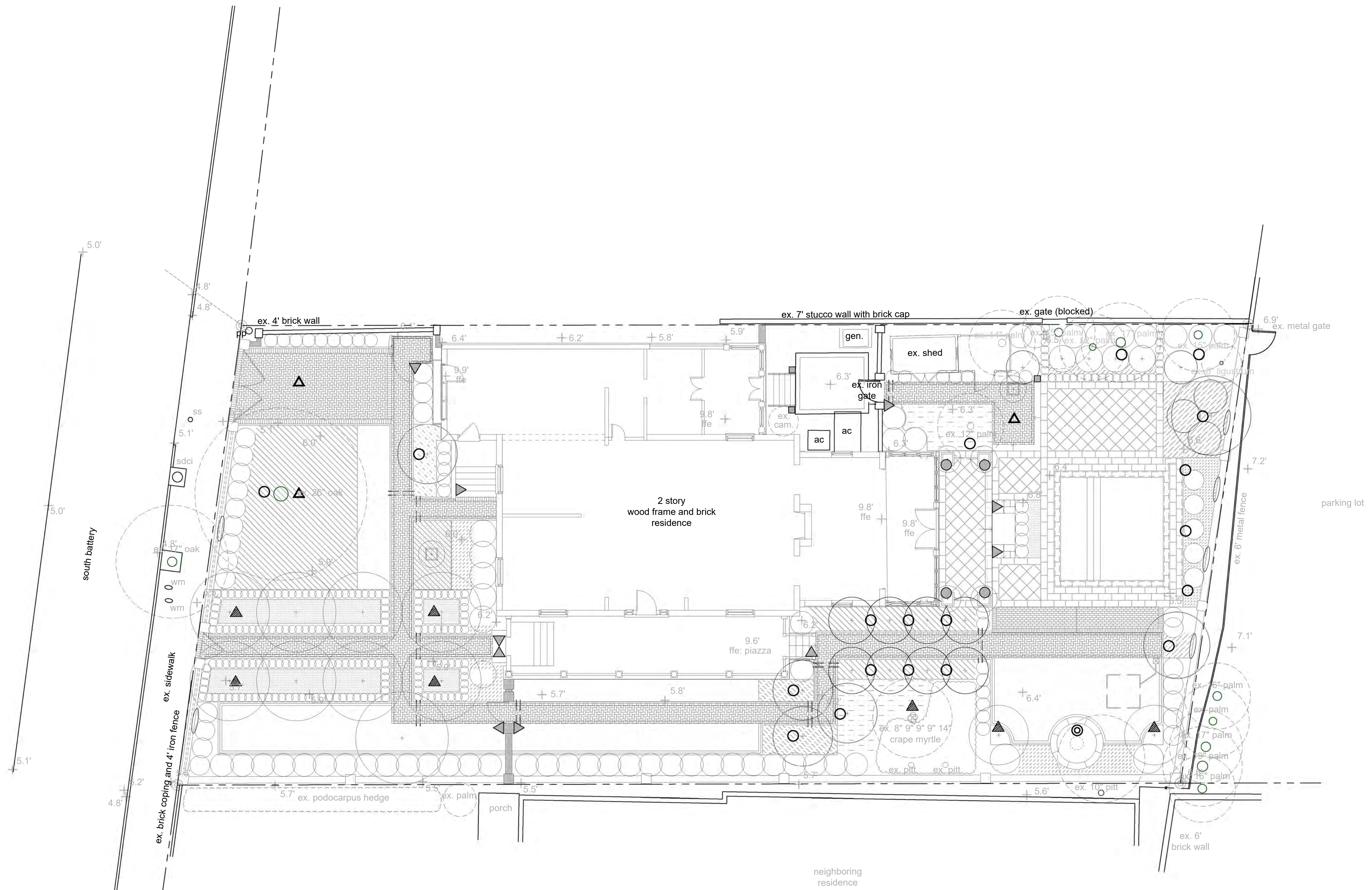
Plant List					
Trees					
Quantity	Botanical Name	Common Name	Size	Root	Remarks
1	Acer palmatum 'Bloodgood'	Bloodgood Japanese Maple	10' ht.	cont.	red, upright
3	Camellia sasanqua 'Setsugekka'	Setsugekka Sasanqua	30 gal.	cont.	tree form
1	Chionanthus virginicus	American Fringe Tree	8'-10'	cont.	
4	Feijoa sellowiana	Pineapple Guava	30 gal.	cont.	tree form, multi-trunk
1	Ilex x attenuata 'Eagleston'	Eagleston Holly	12'-14' ht.	cont.	specimen, multi-trunk
8	Lagerstroemia indica 'Sarah's Favorite'	Sarah's Favorite Crape Myrtle	10'-12' ht.	cont.	matching
1	Magnolia virginiana	Sweetbay Magnolia	8'-10' ht.	cont.	specimen, single-trunk
2	Malus x zumi var. calocarpa	Zumi Crabapple	3' cal.	cont.	
8	Sabal Palmetto	Palmetto	1'4' c.t.	b & b	no boots, full heads, hts. per plan
3	Vitex agnus-castus 'Shoal Creek'	Shoal Creek Blue Vitex	30 gal.	cont.	matching
Shrubs					
Quantity	Botanical Name	Common Name	Size	Root	Remarks
5	Azalea 'G.G. Gerbing'	G.G. Gerbing Azalea	7 gal.	cont.	
203	Buxus microphylla japonica 'Winter Gem'	Winter Gem Boxwood	3 gal.	cont.	trim to hedge
5	Buxus microphylla japonica 'Winter Gem'	Winter Gem Globe Boxwood	24" dia	cont.	round, matching
5	Buxus microphylla japonica 'Winter Gem'	Winter Gem Globe Boxwood	36" dia	cont.	round, matching
6	Camellia sasanqua 'Jean May'	Jean May Sasanqua	30 gal.	cont.	matching
2	Citrus x 'Improved Meyer'	Meyer Lemon	15 gal.	cont.	topiary in pot, matching single stem
2	Illicium floridanum	Anise	30 gal.	cont.	matching
3	Laurus nobilis	Bay	15 gal.	cont.	single stem topiary in pot, matching
2	Osmanthus fragrans	Fragrant Tea Olive	30 gal.	cont.	matching
3	Pittosporum tobira 'Variegata'	Variegated Pittosporum	15 gal.	cont.	verify fit in beds with trees
25	Podocarpus macrophyllus	Podocarpus	4' ht.	cont.	trim to hedge
20	Podocarpus macrophyllus	Podocarpus	6' ht.	cont.	larger size - see planting labels
40	Viburnum odoratissimum	Sweet Viburnum	30 gal.	cont.	per plan
Perennials, Groundcover, Grasses, and Vines					
Quantity	Botanical Name	Common Name	Size	Root	Remarks
11	Agapanthus africanus 'Ever White'	Dwarf White Agapanthus	1 gal.	cont.	12" o.c.
19	Agapanthus africanus 'Storm Cloud'	Purple Agapanthus	1 gal.	cont.	18" o.c.
189	Cyrtomium falcatum	Holly Fern	1 gal.	cont.	18" o.c.
46	Dianella tasmanica 'Cassa Blue'	Cassa Blue Dianella	1 gal.	cont.	15" o.c.
31	Dryopteris erythrosora	Autumn Fern	1 gal.	cont.	18" o.c.
40	Farfugium japonicum 'Giganteum'	Ligularia	1 gal.	cont.	approx 24" o.c.; per plan
4	Ficus pumila	Fig Vine	1 gal.	cont.	per plan, trained on wall
48	Lomandra longifolia 'Katrinus Deluxe'	Katrinus Deluxe Lomandra	1 gal.	cont.	24" o.c.
9	Mahonia 'Soft Caress'	Soft Caress Mahonia	3 gal.	cont.	24" o.c.
8	Plumbago auriculata 'Monott'	Royal Cape Plumbago	1 gal.	cont.	24" o.c.
4	Trachelospermum jasminoides	Confederate Jasmine	1 gal.	cont.	
TBD	flowers	flowers			for (4) pots
TBD	mixed herbs	mixed herbs	60 s.f.	cont.	at front entry
Turf					
775 s.f.	Zoysia 'empire'	Empire Zoysia			bare verify in field
Transplants					
1		Meyer Lemon		cont.	transplant to pot



Palm Tree Planting  
 Not to Scale



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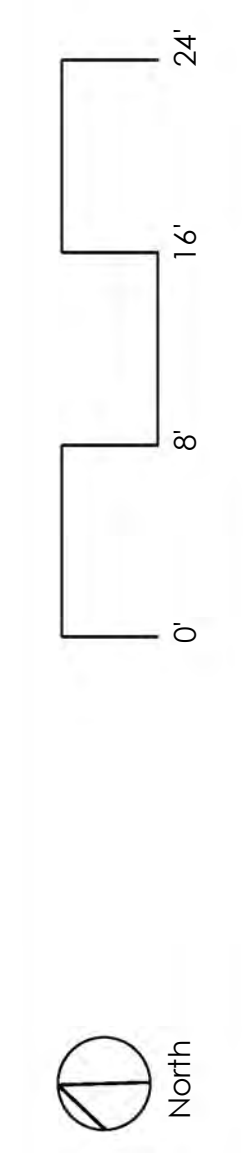


**General Lighting Notes:**

1. Placement shown on plan is diagrammatic only.
2. Switching of lighting system to be determined by client and landscape architect, and may be additional to contract price. Contractor to provide transformers, clock and photocell in base bid.
3. Electrical stub-out and conduit locations to be coordinated with site, mason and landscape contractors.

- Legend**
- (4) Lightcraft FL-104 brass mr-11 accent light (uplight)
  - (21) Moonlighting ML-CBA9 (uplight)
  - ⊙ (1) Kichler H20 LED (uplight, in water)
  - ▲ (10) Copper Moon CM-825 (downlight)
  - ▲ (7) Vista HS-2238-H6 hanging tree light (downlight)
  - ▲ (3) ML - CBA10 (down light)
  - (3) CM 710 - path light
  - (td) 4" schedule 40 PVC conduit installed side by side at a max. of 12" below grade or below wall footers

Lighting Plan



Date:	03-15-19 cq	10-30-19 nd
Rev:	04-10-19 sc	11-12-19 nd
	04-12-19 nd	12-10-19 nd
	04-23-19 sc	
	05-16-19 sc	
	08-15-19 nd	

**FEATURES:**  
-Solid Copper Top  
-Solid Copper Stem  
-Machine Brass Fittings  
-Porcelain Socket with 4 Ft. Lead

**FINISHES:**  
-Natural Copper  
-Antique  
-Dark Antique  
-Black  
-Verde  
-Blat

**LAMPS:**  
-12 Volt, 10 or 20 Watt Bi Pin LED MR11  
-20 Watt Maximum

**LENS:**  
-3.75mm x 2.8mm x 2.1875in FROSTED TEMPERED GLASS (STANDARD)  
-37.4mm x 2.8mm x 2.1875in CLEAR TEMPERED GLASS

**MOUNTING:**  
-Black ABS Ground Stake 8 3/4" Long with Female 1/2" NPT (STANDARD)  
-Brass Threaded (Female 1/2" NPT) or Non-Threaded Flush Mount (Deep or Shallow Housing)  
-Copper Stem Risers 1" Diameter (Female 1/2" NPT) or 1/2" Diameter (Female 1/2" NPT)  
-Available in custom heights

**ACCESSORIES:**  
-25ft. & 50 Ft. 16/2 Leads Available

**SHOWN IN NATURAL COPPER**

**TOP VIEW WITH DIMENSIONS**

**SIDE VIEW WITH DIMENSIONS**

**CM 710 / 15**

cm 710 / 15 path light

**Cast Brass Signature Series - Lifetime Warranty**

**LITTLE SMOKY Uplight**

**FL-104B-MR11 AX-16-25 (Accessory 25 ft. Lead Kit)**

**Construction:** Cast Brass with threaded watertight body

**Shroud:** Removable, adjusts from 6-1/2" to 8" with 360° rotation

**Sockets:** High temp 200 degree ceramic with stainless steel springs

**Finish:** Natural Bronze (NBZ). Brass is chemically oxidized, guaranteed not to chip, flake or peel in harsh environments.

**Standard Lead:** 3 ft. high temperature wire

**Accessory Order:** Lead Kit-25 ft 16/2 wire w/ brass connectors

**O Ring Seal:** High temp, UV protected silicone filled rubber

**Anti-Siphon Device:** Watertight molded seal around lead wire exit

**Wet Location Rated:** Resist moisture and water accumulation

**Stake:** Heavy duty brown PVC, with double anchor points

**Lens:** Heavy tempered glass

**Lamp:** Maximum wattage is 35W MR 11 (not included)

**UL Approved**

**CAST BRASS!**  
Removable shroud  
Threaded & sealed body!

**Lightcraft FL-104 brass mr-11 accent light**

Lightcraft FL-104 brass mr-11 accent light

**moonlighting LANDSCAPE LIGHTING SYSTEMS ML-CBA9 Specification Sheet Stake Mounted Up Light**

**Project Name:** \_\_\_\_\_ **Date:** \_\_\_\_\_

**Fixture Type:** \_\_\_\_\_

**Quantity:** \_\_\_\_\_

**Lamps:** \_\_\_\_\_

**Notes:** \_\_\_\_\_

**ML-CBA9 INFORMATION:**  
Polished Solid Copper & Brass Up Light

**FEATURES:**  
- SOCKET HEIGHT ADJUSTABLE TO ACCOMMODATE ALL BEAM SPREADS  
- NON-CORROSIIVE MATERIALS ADJUSTABLE  
- GLARE SHIELD  
- POTTED KNUCKLE AND BASE  
- WATER TIGHT FIXTURE ASSEMBLY  
- OPTIONAL LENSES & LIDERS

**Plan Symbol:**

**MADE IN U.S.A.**

**Specifications:**

**Body:** Machined brass for shock and copper tubing. Body design provides excellent water resistant structure to protect glass lens. The top and base come with a shock and vibration resistant design. A complete set of copper design lenses including spread lens, frosted, range of colored lenses, from red also available.

**Lens:** Comes with a factory sealed shock resistant heat tempered borosilicate glass lens to prevent water intrusion. Glass lens fits flush with top to prevent moisture buildup. An upgrade set of colored design lenses including spread lens, frosted, range of colored lenses, from red also available.

**Lamp:** LED with a MR16 halogen lamp up to 35W. LED MR16 lamps are available and recommended.

**Electrical Requirements:** A 120V 120 transformer is required. Recommended voltage range for 12V halogen lamps is 10.8V - 12V. Recommended voltage range for 12V LED is 10V - 14V (10V is ideal).

**Lamp Connection:** Pre-wired adjustable height socket. Pre-wired halogen socket. 16/2 is ideal.

**Mounting Stake:** Threaded 1/2" x 8" stake is 12" high which easily breaks in at mounting location.

**Wiring:** 14/2 (14/2) Solid Copper wire that is provided by Black Polymer Cores (PVC).

**Finish:** Polished Copper finish gives the longest a beautiful color. Choosing the ML-CBA9 lenses will naturally give. The copper lenses have a 1 Year Finish.

**Warranty:** 5 Year Limited Warranty.

**Manufacturing:** Proudly made in Charleston, NC, USA.

**MOONLIGHTING LANDSCAPE LIGHTING SYSTEMS** 1025-B Banking Street Road • Charleston • NC • 29405 843.853.3221 www.moonlighting.com info@moonlighting.com

Moonlighting ML-CBA9

**Legend**

- (4) Lightcraft FL-104 brass mr-11 accent light (uplight)
  - (21) Moonlighting ML-CBA9 (uplight)
  - ⊙ (1) Kichler H20 LED (uplight, in water)
  - ▲ (10) Copper Moon CM-825 (downlight)
  - ▲ (7) Vista HS-2238-H6 hanging tree light (downlight)
  - ▲ (3) ML - CBA10 (down light)
  - (3) CM 710 - path light
- (td) 4" schedule 40 PVC conduit installed side by side at a max. of 12" below grade or below wall footers

**WERTIMER + CLINE**  
LANDSCAPE ARCHITECTS  
171 Church Street, Suite 350  
Charleston, SC 29401  
tel.: 843.577.3360  
email: swic@wertimer.com

Date: 03-15-19 cq 10-30-19 nd  
Rev: 04-10-19 sc 11-12-19 nd  
04-12-19 nd 12-10-19 nd  
04-23-19 sc  
05-16-19 sc  
08-15-19 nd

**KICHLER**

**2-in-1 LED Underwater Accent**

**PROJECT:** \_\_\_\_\_

**TYPE:** \_\_\_\_\_

**ORDERING #:** \_\_\_\_\_

**COMMENTS:** \_\_\_\_\_

**FEATURES:**  
- Designed For Underwater Usage in Pools, Fountains, & Other Water Features  
- Can Also Be Used Out of Water as an Accent Light - Ideal For Wood Decks & Chandeliers  
- Stainless Steel Housing Featuring an Integrated Cord & Brushed Finish  
- Integrated LED's & Driver, 60° Beam Spread  
- High CRI & Tight Color Consistency

**ORDERING INFORMATION**

**EXAMPLE: 15775B (Product & Finish)**

PRODUCT	WATERING/DEPTH	LIGHT SOURCE	FINISH	MOUNTING ACCESSORIES
15775	2-4ft / 4ft-6ft 60° Beam Spread	LED Source -Integrated LED's & Driver -60° Beam Spread -3500K Color Temperature -40,000 Hours Lamp Life -UL5 Specifications	SS - Stainless Steel w/ Brushed Finish	15775K - Universal Heavy Weather 3-Piece Underwater Accessory For 2 or 3 Fixtures to Give Maximum Flexibility & Structural Capability - Textured Black Finish - U.S. Patent Pending
				15775S - Stainless Steel Easy Mount Bracket For Use Above Ground on Any Surface - Ideal For Wood & Masonry (When Used as Deck, Patio, or Overhang) - Stainless Steel Brushed Finish - U.S. Patent Pending
				15775K - Heavy Weight 1-Piece Underwater Accessory for Standard Installations - Stainless Steel Brushed Finish - U.S. Patent Pending

**NOTES:**  
- Duration of 40,000 hours. Varying factors including the actual quality standard of LED, water area the entire lighting fixture standard of 40,000 hours, with engineered electronics that will last at least 40,000 hours, superior optical engineering, and truly utilizing a design that operates at the optimal temperature threshold for the LED chips. The final result is a complete light fixture that has not been replaced parts and all provide 100% or beyond its original light output for at least 40,000 hours. It has been tested for the same way can handle several any difference in light output when light output at 75% or above of its original output.

**UL**

**7711 E. Pleasant Valley Road, Cleveland, OH 44131 ph:(216) 973-1000 fax:(216) 973-2270 email:sales@kichler.com web:lanescaplighting.com**

Kichler H20 LED

**FEATURES:**  
- SOLID COPPER CONSTRUCTION  
- POLISHED BRASS BRACKET WITH SHOCK RESISTANT GLASS LENS

**FINISHES:**  
- NATURAL COPPER  
- DARK ANTIQUE  
- BLACK  
- VERDE  
- BLAT

**LAMPS:**  
- 12VOLT 10WATT MR16 (STANDARD)  
- 20WATT MR16 (MAXIMUM)

**STANDARD MOUNTING:**  
- 1/2" NPT BRASS STAKE

**ACCESSORIES:**  
- 25 FT. HIGH TEMPERATURE LEAD

**18/2 POWER WIRE**

**SIDE VIEW WITH DIMENSIONS**

**FRONT VIEW WITH DIMENSIONS**

**CM 825**

**CopperMoon DECK, SURFACE & STEP**

**CM 825**

CM - 825 downlight

**moonlighting LANDSCAPE LIGHTING SYSTEMS ML-CBA10 Specification Sheet TREE/DOWN LIGHT**

**Project Name:** \_\_\_\_\_ **Date:** \_\_\_\_\_

**Fixture Type:** \_\_\_\_\_

**Quantity:** \_\_\_\_\_

**Lamps:** \_\_\_\_\_

**Notes:** \_\_\_\_\_

**ML-CBA10 INFORMATION:**  
Polished Solid Copper & Brass Down Light

**FEATURES:**  
- SOCKET HEIGHT ADJUSTABLE TO ACCOMMODATE ALL BEAM SPREADS  
- NON-CORROSIIVE MATERIALS ADJUSTABLE  
- ADJUSTABLE GLARE SHIELD  
- POTTED KNUCKLE AND BASE  
- WATER TIGHT FIXTURE ASSEMBLY  
- OPTIONAL LENSES & LIDERS

**Plan Symbol:**

**MADE IN U.S.A.**

**Specifications:**

**Body:** Machined brass for shock and copper tubing. Body design provides excellent water resistant structure to protect glass lens. The top and base come with a shock and vibration resistant design. A complete set of copper design lenses including spread lens, frosted, range of colored lenses, from red also available.

**Lens:** Comes with a factory sealed shock resistant heat tempered borosilicate glass lens to prevent water intrusion. Glass lens fits flush with top to prevent moisture buildup. An upgrade set of colored design lenses including spread lens, frosted, range of colored lenses, from red also available.

**Lamp:** LED with a MR16 halogen lamp up to 35W. LED MR16 lamps are available and recommended.

**Electrical Requirements:** A 120V 120 transformer is required. Recommended voltage range for 12V halogen lamps is 10.8V - 12V. Recommended voltage range for 12V LED is 10V - 14V (10V is ideal).

**Lamp Connection:** Pre-wired adjustable height socket. Pre-wired halogen socket. 16/2 is ideal.

**Mounting Stake:** Threaded 1/2" x 8" stake is 12" high which easily breaks in at mounting location.

**Wiring:** 14/2 (14/2) Solid Copper wire that is provided by Black Polymer Cores (PVC).

**Finish:** Polished Copper finish gives the longest a beautiful color. Choosing the ML-CBA10 lenses will naturally give. The copper lenses have a 1 Year Finish.

**Warranty:** 5 Year Limited Warranty.

**Manufacturing:** Proudly made in Charleston, NC, USA.

**MOONLIGHTING LANDSCAPE LIGHTING SYSTEMS** 1025-B Banking Street Road • Charleston • NC • 29405 843.853.3221 www.moonlighting.com info@moonlighting.com

Moonlighting ML-CBA10

**SECTION A-A SCALE 2:1**

**NOTE:**  
1. SOME HIDDEN LINES ARE INTENTIONALLY DELETED FOR CLARITY  
2. BREAK ALL SHARP EDGES.  
3. VERIFY ALL APPLIED DIMENSIONS.

**HANGING LAMP DETAIL VIEW**

**C DETAIL A**

**SCALE 1:1 SHEET 2 OF 3**

Vista HS-2238-H6 hanging tree light



**AMERICAN VERNACULAR**  
 151 Sheppard St.  
 Charleston  
 South Carolina  
 29403  
 843-856-4818  
 www.americanvernacular.com

ISSUES/REVISIONS

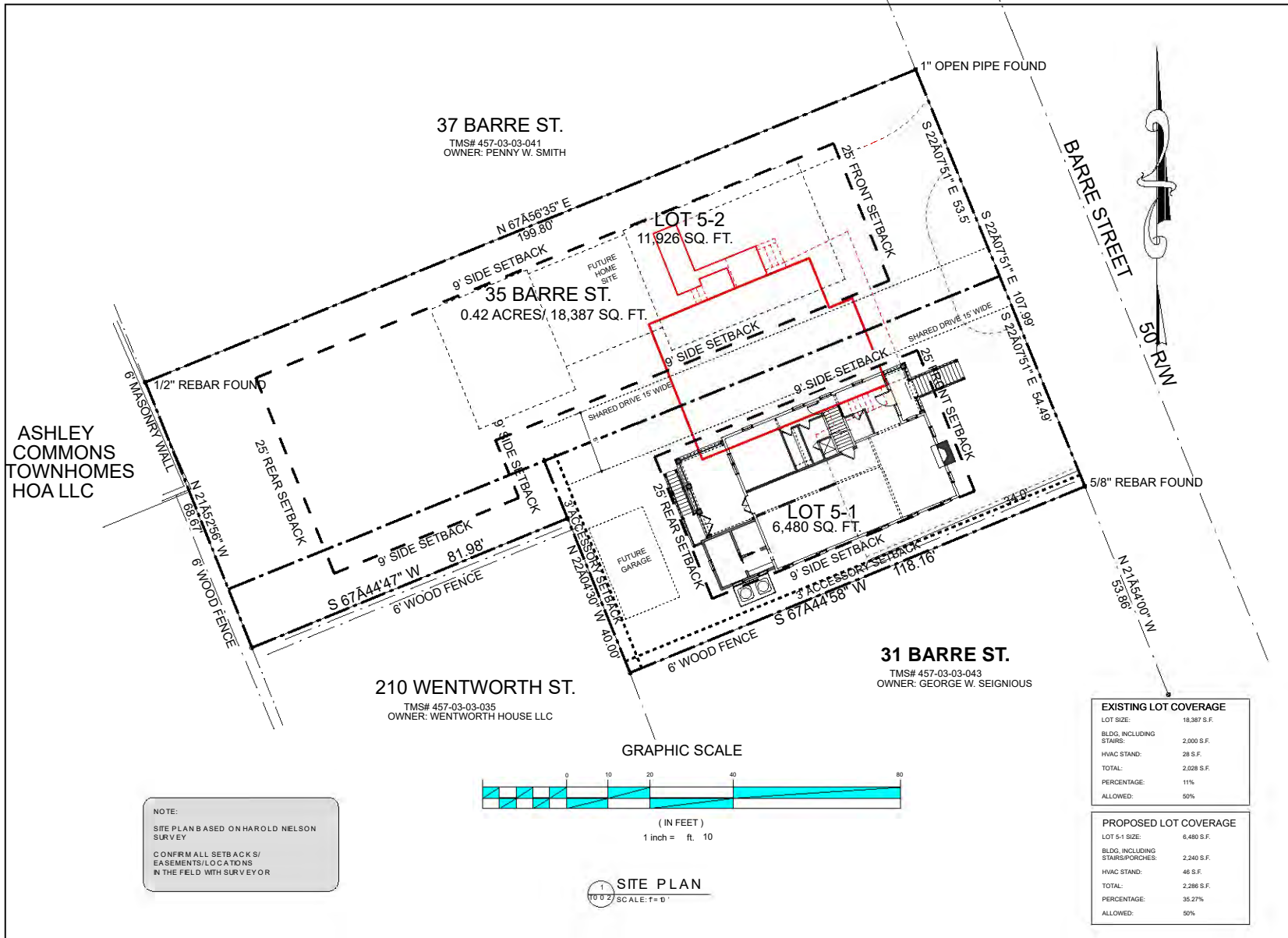
1/17/19	SITE PLAN
3/1/19	SCHEMATICS
4/30/19	SCHEMATICS
5/14/19	SCHEMATICS
5/21/19	REVISIONS
8/13/19	BAR SET
7/1/19	REVISIONS
10/4/19	REVISIONS
10/24/19	REVISIONS
1/8/20	REVISIONS

**35 Barre LLC**  
 35 Barre Street  
 Charleston, South Carolina  
**SITE PLAN**

DRAWING AND THIS DESIGN ARE THE PROPERTY OF THE DESIGNER AND UNDER NO CIRCUMSTANCES SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE DESIGNER.

SCALE: 1" = 10'-0"  
 DATE: January 8, 2020

**SITE PLAN**  
**T002**





**AMERICAN VERNACULAR**  
 151 Sheppard St.  
 Charleston  
 South Carolina  
 29403  
 843-856-4818  
 www.americanvernacular.com

ISSUES/REVISIONS	
1/17/19	SITE PLAN
3/1/19	SCHEMATICS
4/30/19	SCHEMATICS
5/14/19	SCHEMATICS
5/21/19	REVISIONS
6/13/19	BAR SET
7/1/19	REVISIONS
10/4/19	REVISIONS
10/24/19	REVISIONS
1/8/20	REVISIONS

**35 Barre LLC**  
 35 Barre Street  
 Charleston, South Carolina  
**FLOOR PLANS**

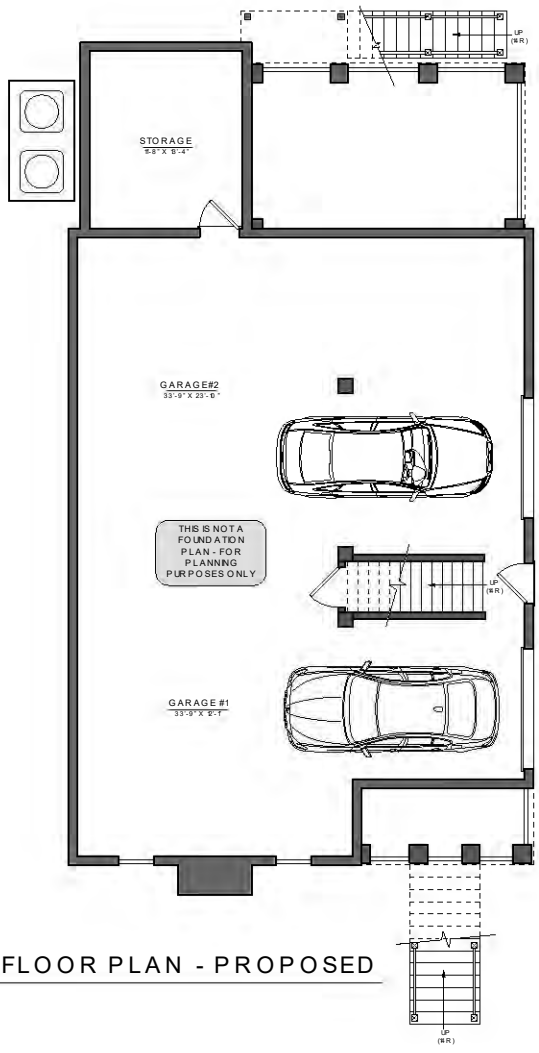
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SCALE: 1/4" = 1'-0"

DATE: January 8, 2020

FLOOR PLANS

**A100A**



**1**  
**A100A**  
**GROUND FLOOR PLAN - PROPOSED**  
 SCALE: 1/4" = 1'-0"



American Vernacular, Inc.

**AMERICAN VERNACULAR**

151 Sheppard St.  
Charleston  
South Carolina  
29403  
843-856-4818

www.americanvernacular.com



ISSUES/REVISIONS

1/17/19	SITE PLAN
3/1/19	SCHEMATICS
4/30/19	SCHEMATICS
5/14/19	SCHEMATICS
5/21/19	REVISIONS
6/13/19	BAR SET
7/1/19	REVISIONS
10/4/19	REVISIONS
10/24/19	REVISIONS
1/8/20	REVISIONS

**35 Barre LLC**  
35 Barre Street  
Charleston, South Carolina  
**FLOOR PLANS**

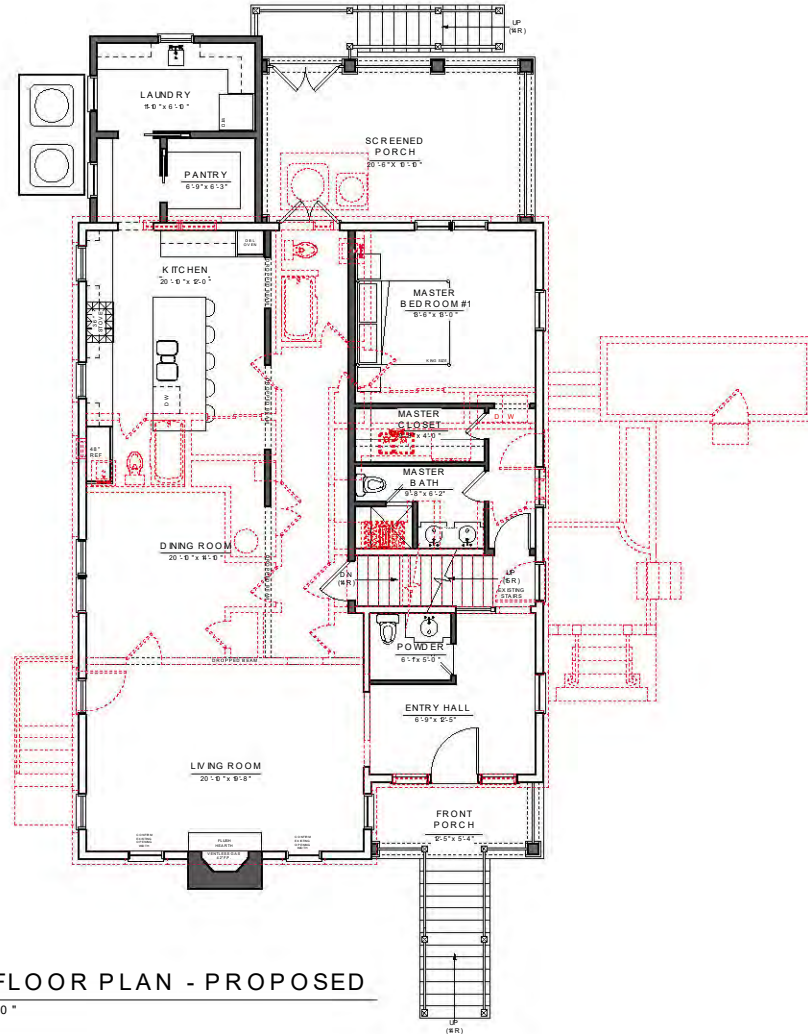
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SCALE: 1/4" = 1'-0"

DATE: January 8, 2020

FLOOR PLANS

**A101A**



**1**  
A01A **FIRST FLOOR PLAN - PROPOSED**  
SCALE: 1/4" = 1'-0"



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29403  
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ISSUES/REVISIONS

1/17/19	SITE PLAN
3/1/19	SCHEMATICS
4/30/19	SCHEMATICS
5/14/19	SCHEMATICS
5/21/19	REVISIONS
6/13/19	BAR SET
7/1/19	REVISIONS
10/4/19	REVISIONS
10/24/19	REVISIONS
1/8/20	REVISIONS

3 5 B a r r e L L C

35 Barre Street  
Charleston, South Carolina

FLOOR PLANS

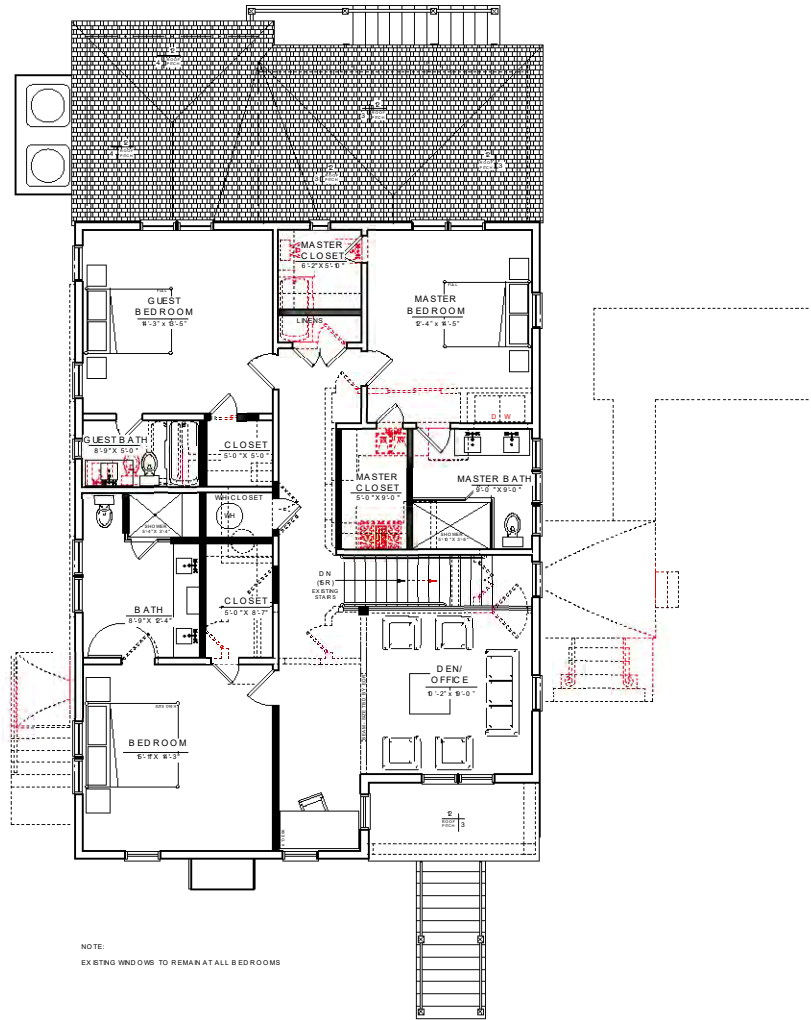
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SCALE: 1/4" = 1'-0"

DATE: January 8, 2020

FLOOR PLANS

A102A



NOTE:  
EXISTING WINDOWS TO REMAIN AT ALL BEDROOMS

**1** SECOND FLOOR PLAN - PROPOSED  
SCALE: 1/4" = 1'-0"



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4/30/19	SCHEMATICS
5/14/19	SCHEMATICS
5/21/19	REVISIONS
6/13/19	BAR SET
7/1/19	REVISIONS
10/4/19	REVISIONS
10/24/19	REVISIONS
1/8/20	REVISIONS

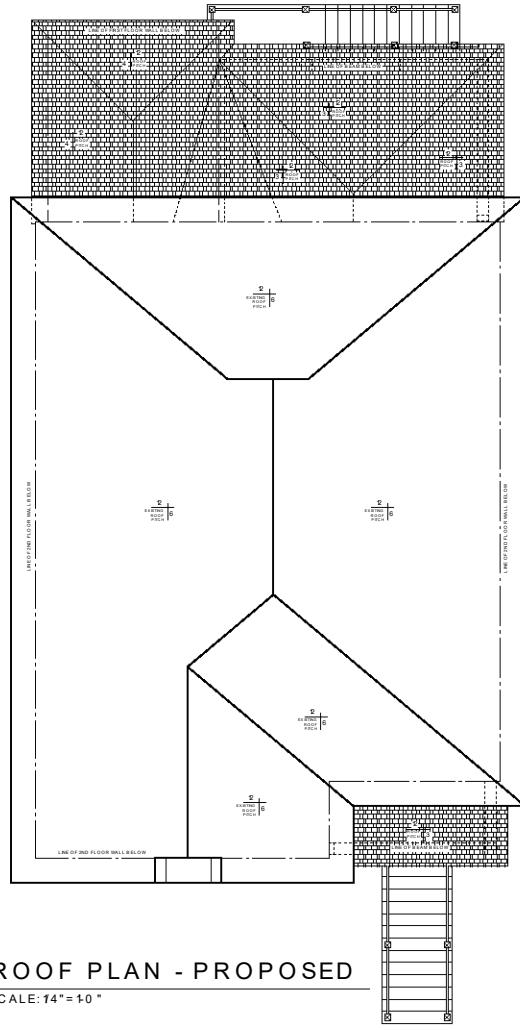
**35 Barre L L C**  
 35 Barre Street  
 Charleston, South Carolina  
**ROOF PLAN PROPOSED**

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SCALE: 1/4" = 1'-0"  
 DATE: January 8, 2020

**ROOF PLAN PROPOSED**

**A103A**



**1**  
**A 0 3 A** **ROOF PLAN - PROPOSED**  
 SCALE: 1/4" = 1'-0"

ISSUES/REVISIONS	
1/17/19	SITE PLAN
3/1/19	SCHEMATICS
4/30/19	SCHEMATICS
5/14/19	SCHEMATICS
5/21/19	REVISIONS
6/13/19	BAR SET
7/7/19	REVISIONS
10/4/19	REVISIONS
10/24/19	REVISIONS
1/8/20	REVISIONS



**1 EAST ELEVATION - AS-BUILT**  
SCALE: 1/4" = 1'-0"



**2 EAST ELEVATION - PROPOSED**  
SCALE: 1/4" = 1'-0"

*35 Barré LLC*  
35 Barré Street  
Charleston, South Carolina  
EXTERIOR ELEVATIONS

Information shown on this drawing was prepared by the architect and the architect is not responsible for the accuracy of the information shown on this drawing. The architect is not responsible for the accuracy of the information shown on this drawing. The architect is not responsible for the accuracy of the information shown on this drawing.

SCALE: 1/4" = 1'-0"

DATE: January 8, 2020

EXTERIOR ELEVATIONS

**A201**





1 SOUTH ELEVATION - AS-BUILT  
 A202 SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION - PROPOSED  
 A202 SCALE: 1/4" = 1'-0"

ISSUES/REVISIONS

1/17/19	SITE PLAN
3/1/19	SCHEMATICS
4/30/19	SCHEMATICS
5/14/19	SCHEMATICS
5/21/19	REVISIONS
6/13/19	BAR SET
7/7/19	REVISIONS
10/4/19	REVISIONS
10/24/19	REVISIONS
1/8/20	REVISIONS

*35 Barré LLC*  
 35 Barré Street  
 Charleston, South Carolina  
 EXTERIOR ELEVATIONS

SCALE: 1/4" = 1'-0"  
 DATE: January 8, 2020

EXTERIOR ELEVATIONS

A202



1 WEST ELEVATION - AS-BUILT  
A203 SCALE: 1/4" = 1'-0"



2 WEST ELEVATION - PROPOSED  
A203 SCALE: 1/4" = 1'-0"



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5/14/19	SCHEMATICS
5/21/19	REVISIONS
6/13/19	BAR SET
7/1/19	REVISIONS
10/4/19	REVISIONS
10/24/19	REVISIONS
1/8/20	REVISIONS

*35 Barré LLC*  
35 Barré Street  
Charleston, South Carolina  
EXTERIOR ELEVATIONS

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SCALE: 1/4" = 1'-0"  
DATE: January 8, 2020

EXTERIOR ELEVATIONS

A203



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ISSUES/REVISIONS	
1/17/19	SITE PLAN
3/1/19	SCHEMATICS
4/30/19	SCHEMATICS
5/14/19	SCHEMATICS
5/21/19	REVISIONS
6/13/19	BAR SET
7/1/19	REVISIONS
10/4/19	REVISIONS
10/24/19	REVISIONS
1/8/20	REVISIONS



**1 NORTH ELEVATION - AS-BUILT**  
 A204 SCALE: 1/4" = 1'-0"



**2 NORTH ELEVATION - PROPOSED**  
 A204 SCALE: 1/4" = 1'-0"

*35 Barré LLC*  
 35 Barré Street  
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**EXTERIOR ELEVATIONS**

SCALE: 1/4" = 1'-0"  
 DATE: January 8, 2020

**EXTERIOR ELEVATIONS**  
**A204**

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ISSUES/REVISIONS

1/17/19	SITE PLAN
3/1/19	SCHEMATICS
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5/14/19	SCHEMATICS
5/21/19	REVISIONS
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7/1/19	REVISIONS
10/4/19	REVISIONS
10/24/19	REVISIONS
1/8/20	REVISIONS



31 BARRE STREET  
EXISTING  
2 STORY  
WOOD  
STRUCTURE



31 BARRE STREET  
EXISTING  
1 STORY  
WOOD  
STRUCTURE

1 STREET ELEVATION- EXISTING  
A205 SCALE: 1/8" = 1'-0"



31 BARRE STREET  
EXISTING  
2 STORY  
WOOD  
STRUCTURE



31 BARRE STREET  
EXISTING  
1 STORY  
WOOD  
STRUCTURE

2 STREET ELEVATION- PROPOSED  
A205 SCALE: 1/8" = 1'-0"

35 Barre LLC

35 Barre Street  
Charleston, South Carolina

STREET ELEVATIONS

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SCALE: 1/8" = 1'-0"

DATE: January 8, 2020

ELEVATIONS

A205



1 EAST ELEVATION - BAR APPROVED  
 A301 SCALE: 1/4" = 1'-0"



2 EAST ELEVATION - PROPOSED  
 A301 SCALE: 1/4" = 1'-0"

ISSUES/REVISIONS	
1/17/19	SITE PLAN
3/1/19	SCHEMATICS
4/30/19	SCHEMATICS
5/14/19	SCHEMATICS
5/21/19	REVISIONS
6/13/19	BAR SET
7/11/19	REVISIONS
10/4/19	REVISIONS
10/24/19	REVISIONS
1/8/20	REVISIONS



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ISSUES/REVISIONS	
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5/14/19	SCHEMATICS
5/21/19	REVISIONS
6/13/19	BAR SET
7/7/19	REVISIONS
10/4/19	REVISIONS
10/24/19	REVISIONS
1/8/20	REVISIONS



**1 SOUTH ELEVATION - BAR APPROVED**  
 A302 SCALE: 1/4" = 1'-0"



**2 SOUTH ELEVATION - PROPOSED**  
 A302 SCALE: 1/4" = 1'-0"

*35 Barré LLC*  
 35 Barré Street  
 Charleston, South Carolina  
**EXTERIOR ELEVATIONS**

SCALE: 1/4" = 1'-0"  
 DATE: January 8, 2020

**EXTERIOR ELEVATIONS**

**A302**

ISSUES/REVISIONS	
1/7/19	SITE PLAN
3/1/19	SCHEMATICS
4/30/19	SCHEMATICS
5/14/19	SCHEMATICS
5/21/19	REVISIONS
6/13/19	BAR SET
7/1/19	REVISIONS
10/4/19	REVISIONS
10/24/19	REVISIONS
1/8/20	REVISIONS



**1 WEST ELEVATION - BAR APPROVED**  
 A303 SCALE: 1/4" = 1'-0"



**2 WEST ELEVATION - PROPOSED**  
 A303 SCALE: 1/4" = 1'-0"

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 35 Barré Street  
 Charleston, South Carolina  
**EXTERIOR ELEVATIONS**

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SCALE: 1/4" = 1'-0"  
 DATE: January 8, 2020

**EXTERIOR ELEVATIONS**

**A303**



1 NORTH ELEVATION - BAR APPROVED  
 A304 SCALE: 1/4" = 1'-0"



2 NORTH ELEVATION - PROPOSED  
 A304 SCALE: 1/4" = 1'-0"



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1/17/19	SITE PLAN
3/1/19	SCHEMATICS
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5/14/19	SCHEMATICS
5/21/19	REVISIONS
6/13/19	BAR SET
7/1/19	REVISIONS
10/4/19	REVISIONS
10/24/19	REVISIONS
1/8/20	REVISIONS

*35 Barré LLC*

35 Barré Street  
 Charleston, South Carolina  
 EXTERIOR ELEVATIONS

SCALE: 1/4" = 1'-0"  
 DATE: January 8, 2020

EXTERIOR ELEVATIONS

A304



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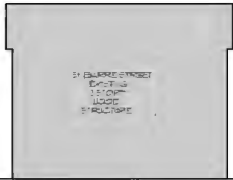


ISSUES/REVISIONS

1/17/19	SITE PLAN
3/1/19	SCHEMATICS
4/30/19	SCHEMATICS
5/14/19	SCHEMATICS
5/21/19	REVISIONS
6/13/19	BAR SET
7/7/19	REVISIONS
10/4/19	REVISIONS
10/24/19	REVISIONS
1/8/20	REVISIONS



1 STREET ELEVATION- BAR APPROVED  
A305 SCALE: 1/8" = 1'-0"



2 STREET ELEVATION- PROPOSED  
A305 SCALE: 1/8" = 1'-0"

35 Barré LLC

35 Barré Street  
Charleston, South Carolina

STREET ELEVATIONS

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SCALE: 1/8" = 1'-0"

DATE: January 8, 2020

ELEVATIONS

A305



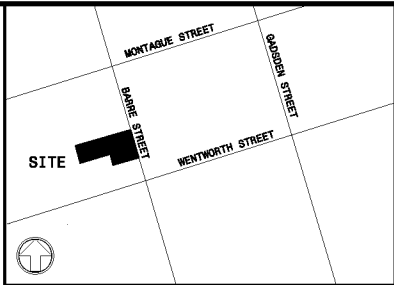
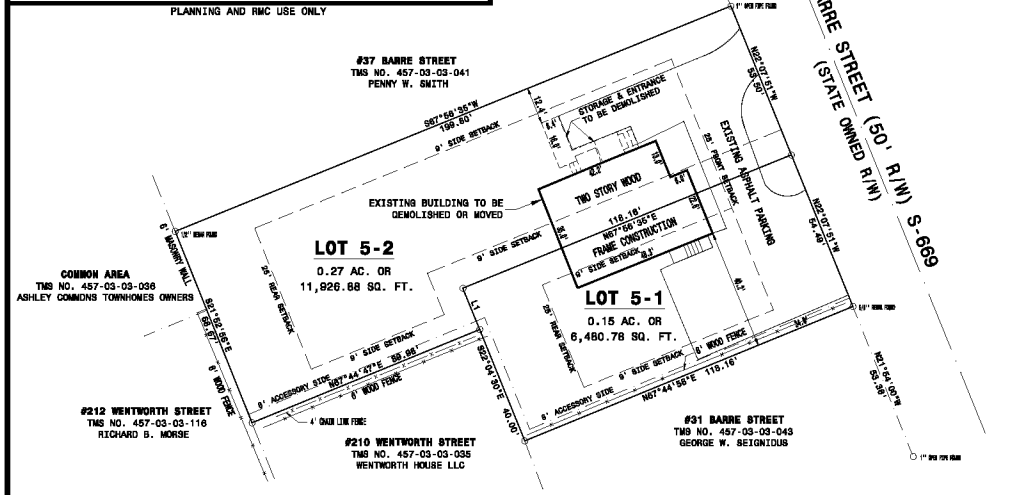








PLANNING AND RMC USE ONLY



- NOTES:**
1. PROPERTY IS LOCATED IN FLOOD ZONE 'AE 13' ACCORDING TO F.E.M.A. F.I.R.M. MAP PANEL 450190 0514 J, COMMUNITY PANEL 458412 0514 J DATED 11-17-2004.
  2. LOT 5 CONTAINS 0.422 ACRES, OR 19,397.66 SQ. FT. LOT 5-1 WILL CONTAIN 0.26 ACRES, OR 11,615.90 SQ. FT. LOT 5-2 WILL CONTAIN 0.16 ACRES, OR 6,673.76 SQ. FT.
  3. THE PROPERTY IS ZONED SR-2.
  4. THIS SURVEY DOES NOT REFLECT A TITLE SEARCH, AND IS BASED ENTIRELY ON THE REFERENCED DOCUMENTS. ANY EASEMENT OR ENCUMBRANCES OF RECORD NOT SHOWN ON THE REFERENCE PLAT MAY NOT BE SHOWN ON THIS SURVEY.
  5. ALL SC STATE PLANE COORDINATES SHOWN, IF ANY, ARE BASED ON NAD 1983 HORIZONTAL DATUM.
  6. THE AREA IS DETERMINED BY THE COORDINATE METHOD.
  7. THE OWNER OF THIS PROPERTY IS 35 BARRE, LLC.
  8. ALL PROPERTY CORNERS ARE 5/8" REBARS, UNLESS OTHERWISE STATED.

- PLAT REFERENCES:**
1. PLAT BOOK 'U' PAGE 65.
  2. T.M.S. NUMBER 457-03-03-042

**COMMON AREA**  
TMS NO. 457-03-03-036  
ASHLEY COMMONS TOWNHOMES OWNERS

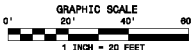
**#212 WENTWORTH STREET**  
TMS NO. 457-03-03-116  
RICHARD B. MORSE

**#210 WENTWORTH STREET**  
TMS NO. 457-03-03-035  
WENTWORTH HOUSE LLC

**#31 BARRE STREET**  
TMS NO. 457-03-03-043  
GEORGE W. REINGOLD

**LINE TABLE**

LINE	BEARING	DISTANCE
L1	N87°44'56" W	64.80'



I HEREBY STATE THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE STANDARDS OF PRACTICE MANUAL FOR SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS 'A' SURVEY AS SPECIFIED HEREIN.



**HAROLD B. NIELSON, JR., PE & PLS**  
PROFESSIONAL ENGINEERS AND LAND SURVEYORS  
2724 MAGNOLIA WOODS DRIVE  
MT. PLEASANT, SC 29484  
PHONE (843) 276-1379

DATE: 29 OCTOBER 2019  
REVISED: 22 NOVEMBER 2019

HAROLD NIELSON, PE & PLS S.C.NO. 7023

**SUBDIVISION OF LOT 5**  
**(CONTAINING 0.422 ACRES)**  
**INTO LOT 5-1 (CONTAINING 0.15 ACRES),**  
**AND LOT 5-2 (CONTAINING 0.27 ACRES)**  
**35 BARRE STREET, T.M.S. NO. 457-03-03-042**  
**LOCATED IN THE CITY OF CHARLESTON**  
**CHARLESTON COUNTY, SOUTH CAROLINA**

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#### SHEET LIST

A000	Cover
A001	Survey
A002	Sanborn Maps and Existing Photos
A003	Context Photos
A100	Existing and Proposed Site Plan
A101a	Previously Proposed Floor Plan
A101b	Existing and Proposed Floor Plans
A102	Existing and Proposed Roof Plans
A201	Existing and Proposed Building Context Elevations
A202	Existing and Proposed Building Context Elevations
A211a	Previously Proposed Building Elevations
A211b	Proposed Building Elevations
A212	Existing Building Elevations
A501	3D Perspectives

Conceptual B.A.R.  
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McNulty Residence | 103 Ashley Ave, Charleston SC 29401

eefava architects, etc, inc. | 54 Broad Street | Charleston, South Carolina 29401 | 843.723.5099 | eefava.com



01.09.2020

SUBMITTING FOR January 23,  
2020 MEETING



I CERTIFY THAT THE MEASUREMENTS SHOWN HEREON ARE CORRECT AND THAT THERE ARE NO ENCROACHMENTS OR PROJECTIONS UNLESS SHOWN.

I CERTIFY THAT THE PROPERTY SHOWN HEREON IS IN A SPECIAL FLOOD HAZARD ZONE ACCORDING TO FEMA AND HUD FLOOD HAZARD BOUNDARY MAPS.

LINE TABLE		
Id	Bearing	Distance
L1	S 16°10'58" E	47.50'
L2	N 16°10'56" W	47.50'

NOTES:

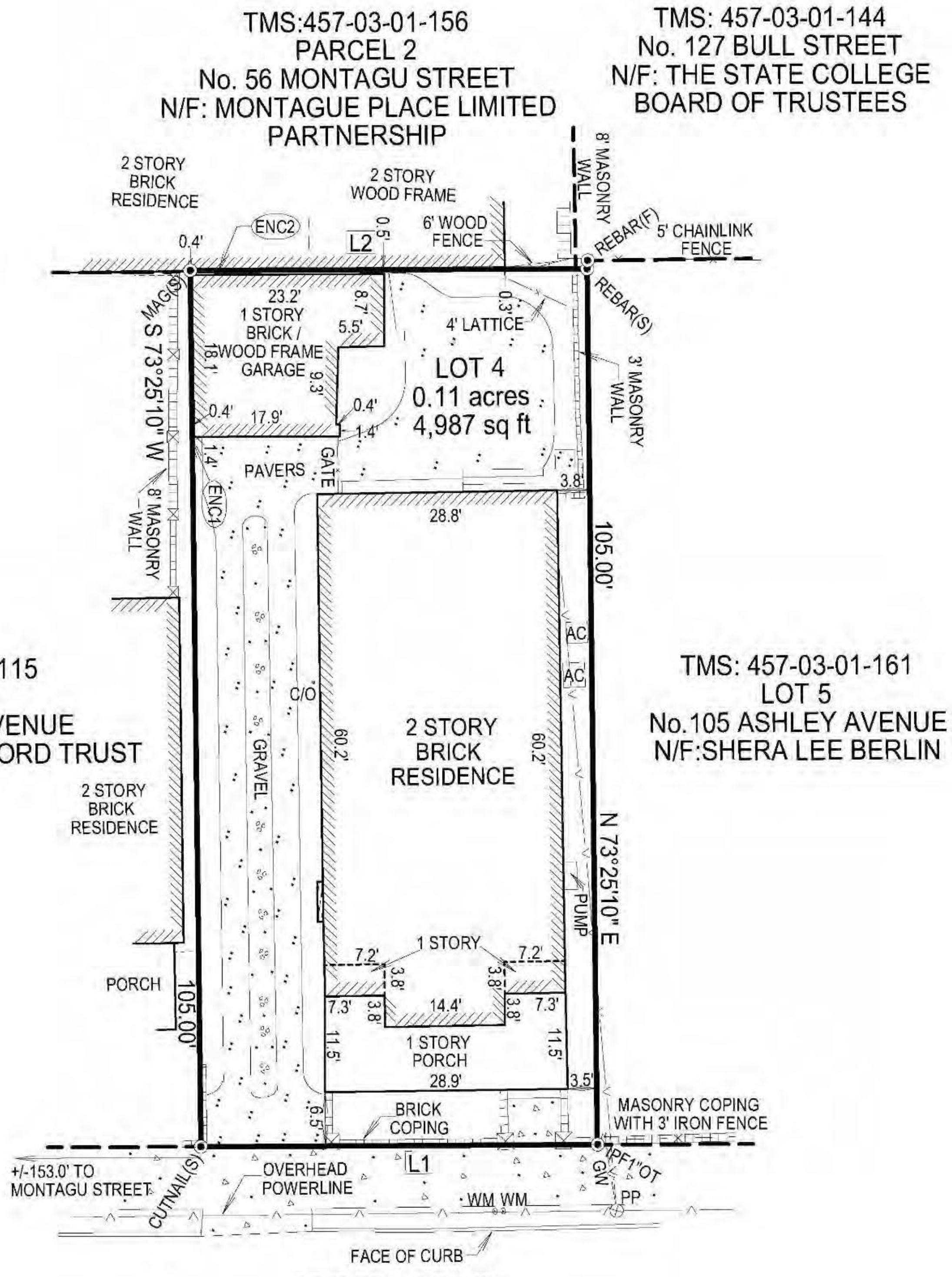
- PROPERTY APPEARS IN FLOOD ZONE AE, EL. 13' ON FIRM COMMUNITY-PANEL NUMBER 45019C0514J. MAP REVISED NOVEMBER 17, 2004.
- THE BEARINGS SHOWN ARE MAGNETIC AND SUBJECT TO LOCAL ATTRACTION.
- ANYTHING SHOWN OUTSIDE OF THE DEFINED BOUNDARY IS FOR DESCRIPTIVE PURPOSES ONLY.
- THIS SURVEY IS BASED ON THE REFERENCE SHOWN AND DOES NOT CONSTITUTE A TITLE SEARCH.

LEGEND:

- |                 |                                |
|-----------------|--------------------------------|
| 1. ● IPF 1"OT   | - 1" OPEN TOP PIPE FOUND, OLD. |
| 2. ● REBAR(F)   | - REBAR FOUND, OLD.            |
| 3. ● REBAR(S)   | - 5/8" REBAR SET, NEW.         |
| 4. ● CUTNAIL(S) | - CUTNAIL SET, NEW.            |
| 5. ● MAG(S)     | - MAGNETIC NAIL SET, NEW.      |
| 6. ⊗ PP         | - POWER POLE.                  |
| 7. GW           | - GUY WIRE.                    |
| 8. WM           | - WATER METER.                 |
| 9. C/O          | - SANITARY SEWER CLEAN OUT.    |

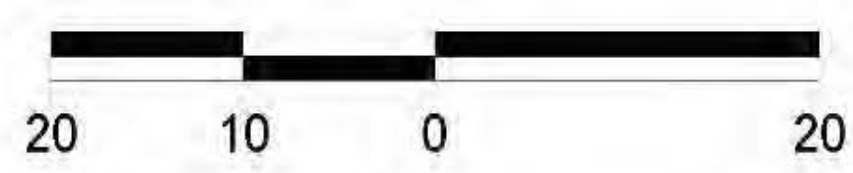
ENCROACHMENT TABLE

ENC1	GARAGE CORNER OVER PROPERTY LINE BY +/- 0.2'
ENC2	EAVES OVERHANG PROPERTY LINE BY +/- 0.5'



**PLAT**

OF LOT 4, No.103 ASHLEY AVENUE,  
 CITY OF CHARLESTON, CHARLESTON COUNTY.  
 BEING CONVEYED FOR LIZ & PATRICK McNULTY.



SCALE: 1" = 20'

DATE: NOVEMBER 14, 2016  
 REF: PLAT BK "C", PG. 032  
 REF: DEED BK. "T276", PG. 663  
 TMS: 457-03-01-065

ALEXANDER C. PEABODY, PLS  
 PEABODY & ASSOCIATES, INC.  
 PROFESSIONAL LAND SURVEYING  
 P.O. BOX 22646, CHARLESTON, SC 29413  
 OFFICE 843-723-5225 MOBILE 843-270-4847



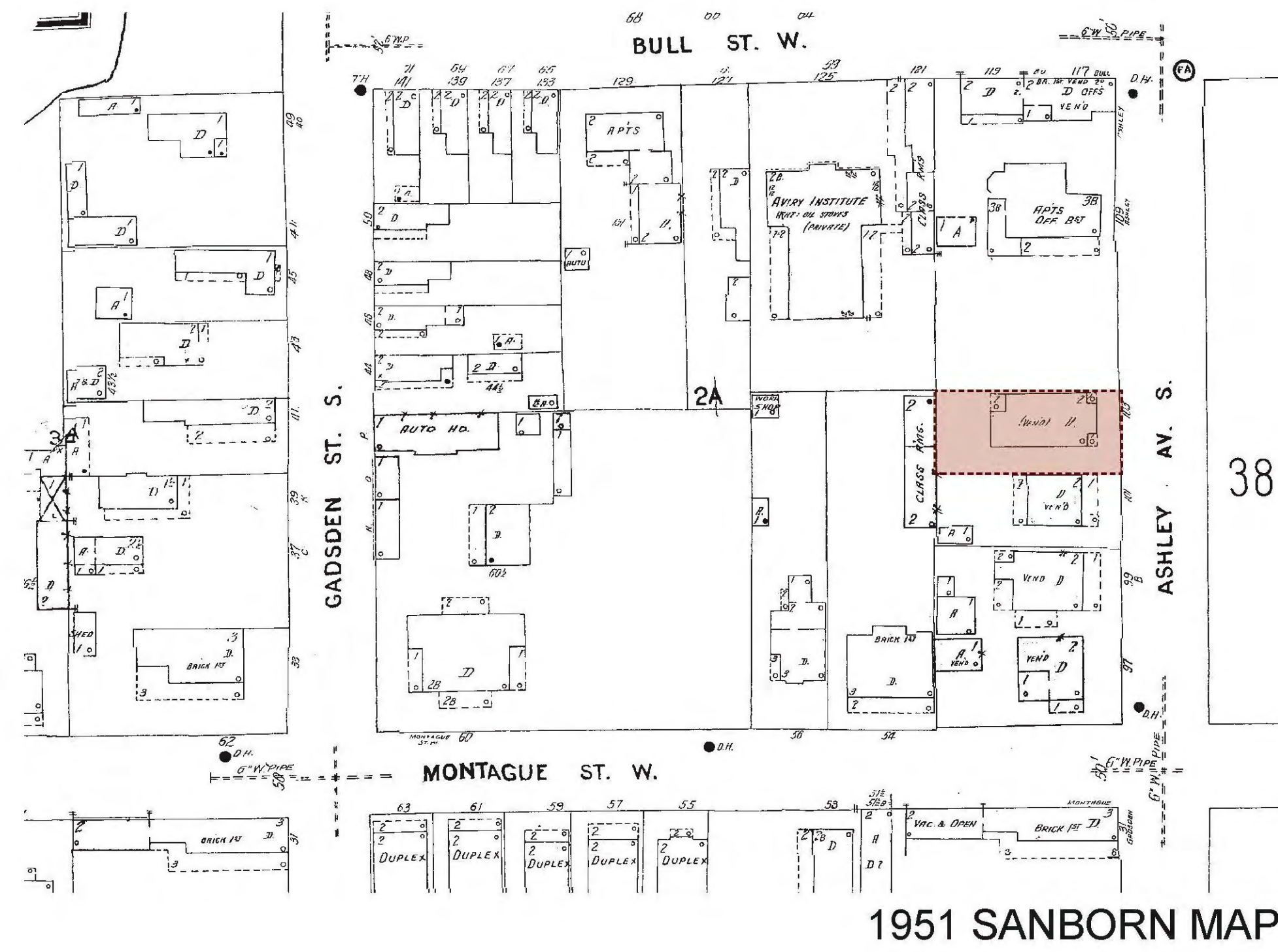
CHARLESTON COUNTY  
 SOUTH CAROLINA

McNulty Residence | 103 Ashley Ave, Charleston SC 29401  
 eefava architects, etc., inc. | 54 Broad Street | Charleston, South Carolina 29401 | 843.723.5099 | eefava.com

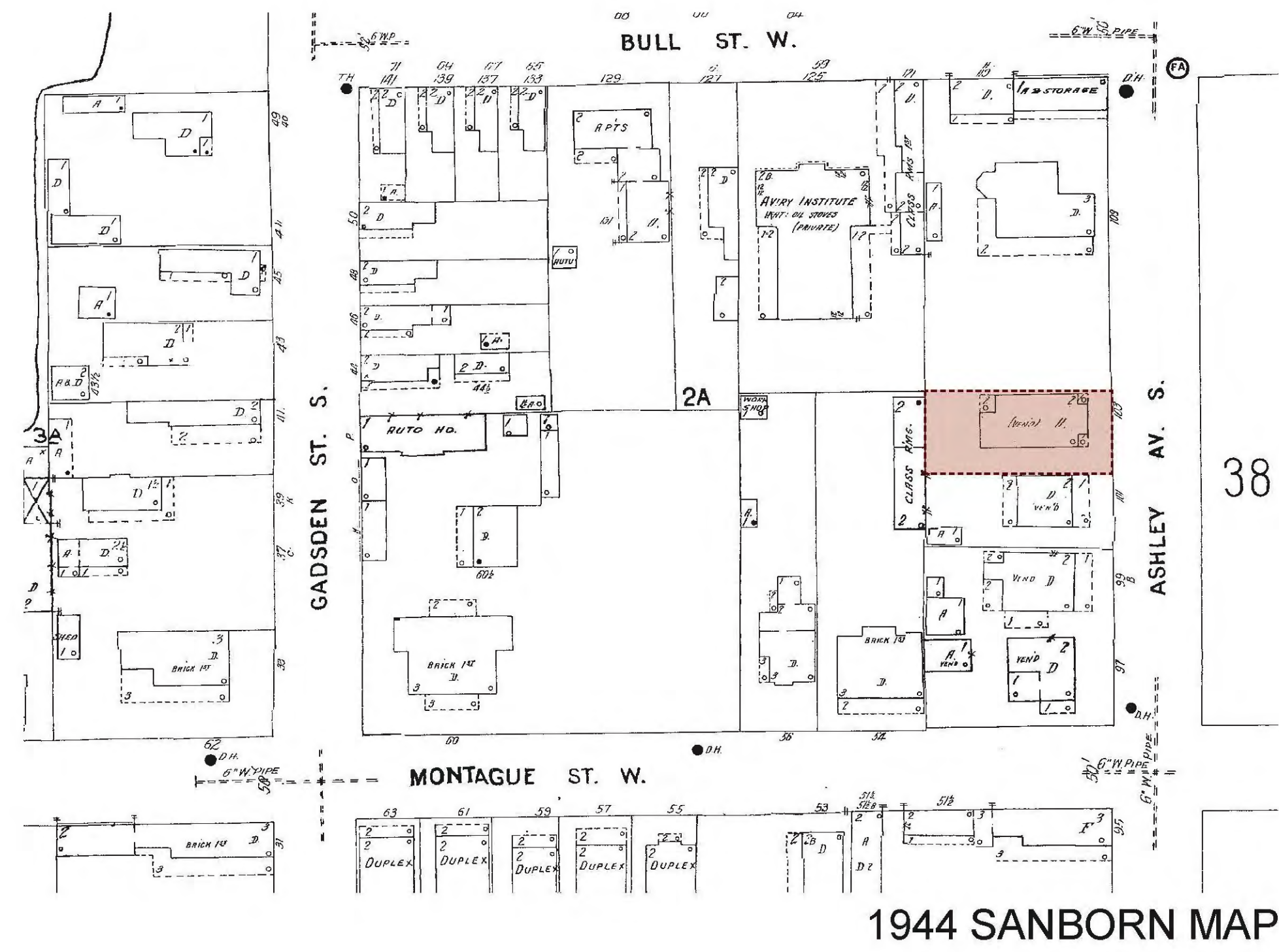
Survey  
 E.A001

SCALED TO 200% FOR LEGIBILITY

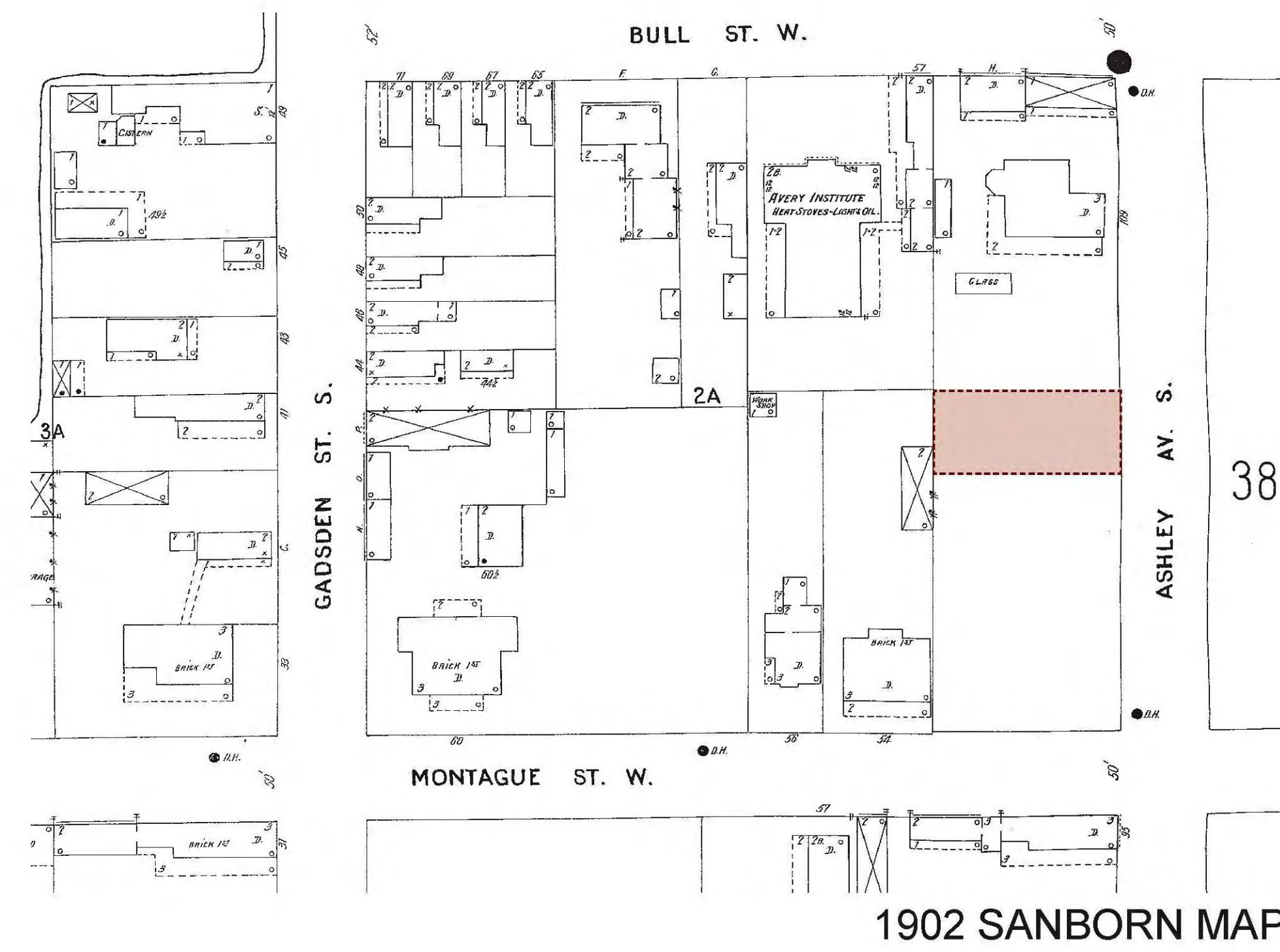
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1951 SANBORN MAP



1944 SANBORN MAP



1902 SANBORN MAP



EXISTING SITE PHOTOS



Eclectic Outbuildings in the Area



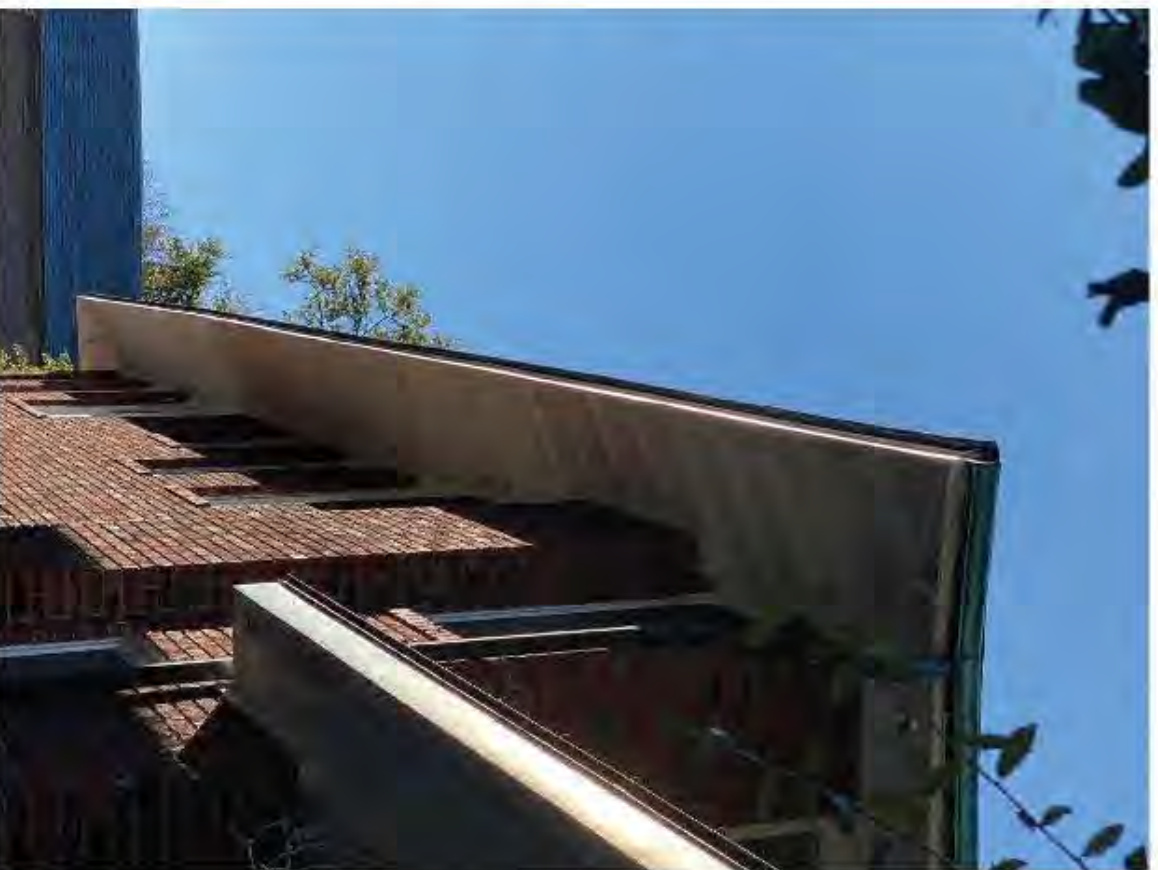
Multi-Gang Windows



Shallow Elevation Extrusions



Adjacent Property Context



Existing Exposed Rafters



Existing Window Composition



Brick with Concrete Caps

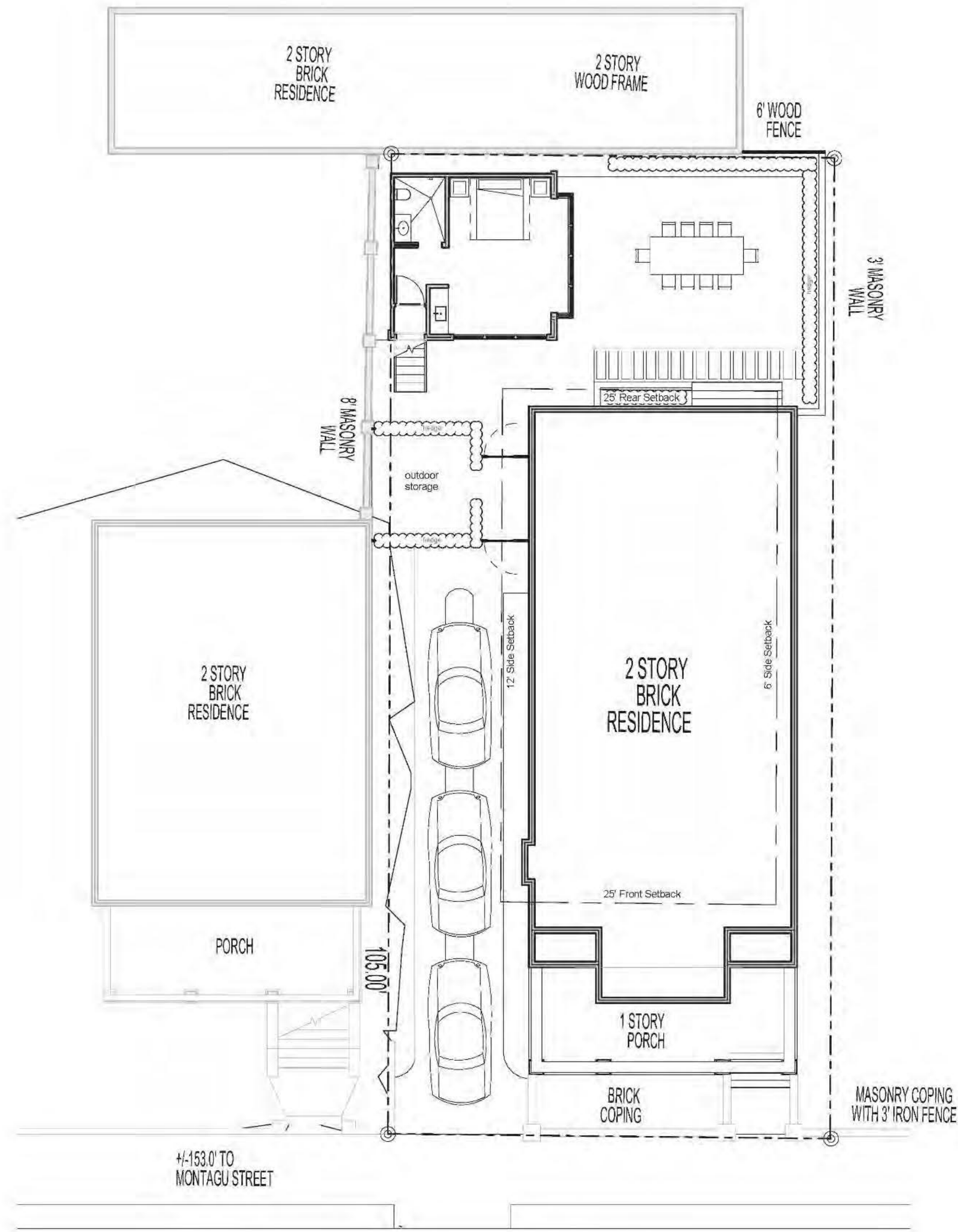


Triple Gang Windows



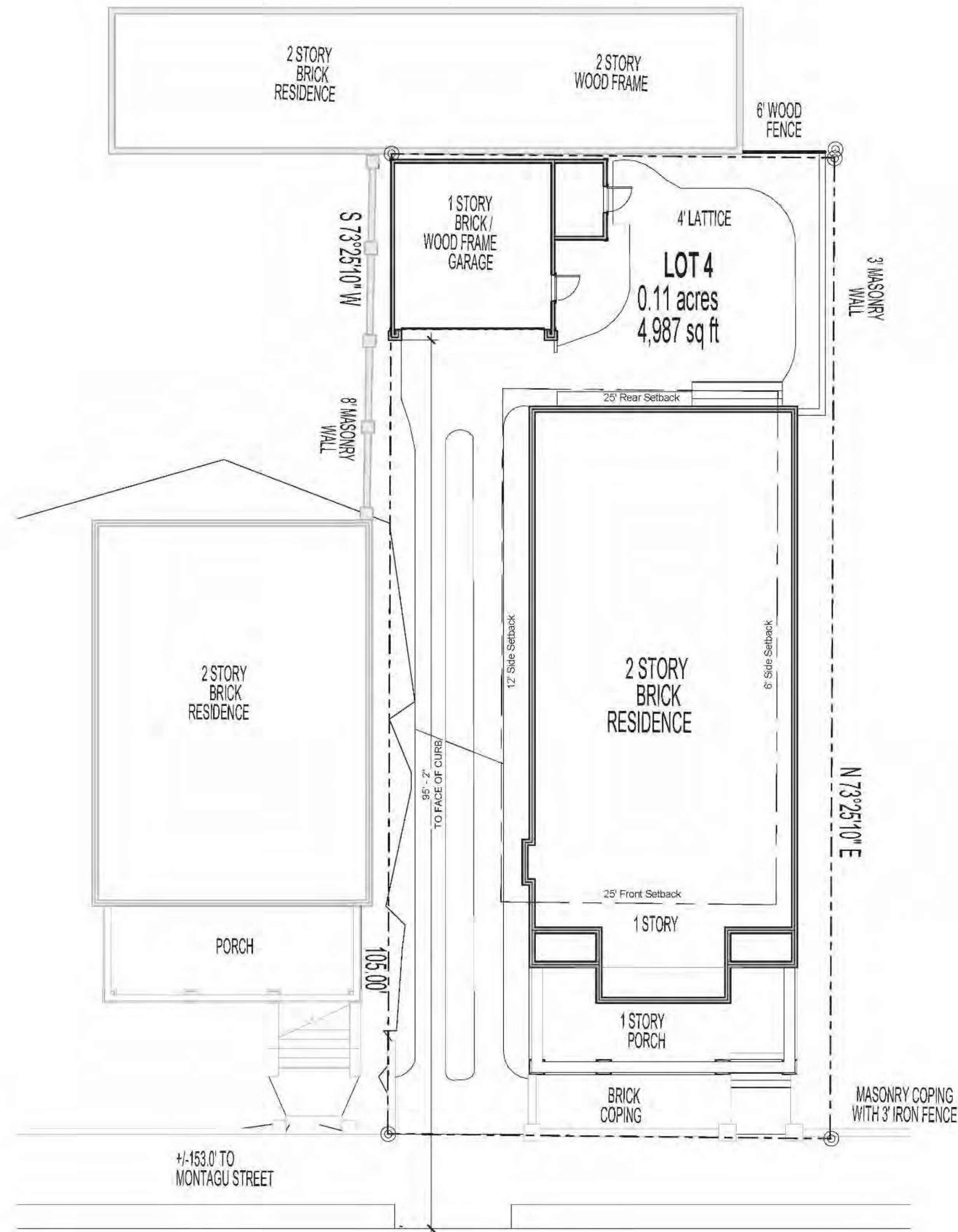
Building Context

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FACE OF CURB  
 ADDRESS IS No. 103  
**ASHLEY AVENUE (50' R/W)**

3  
 A100  
**Conceptual Site Plan**  
 SCALE: 1/8" = 1'-0"



FACE OF CURB  
 ADDRESS IS No. 103  
**ASHLEY AVENUE (50' R/W)**

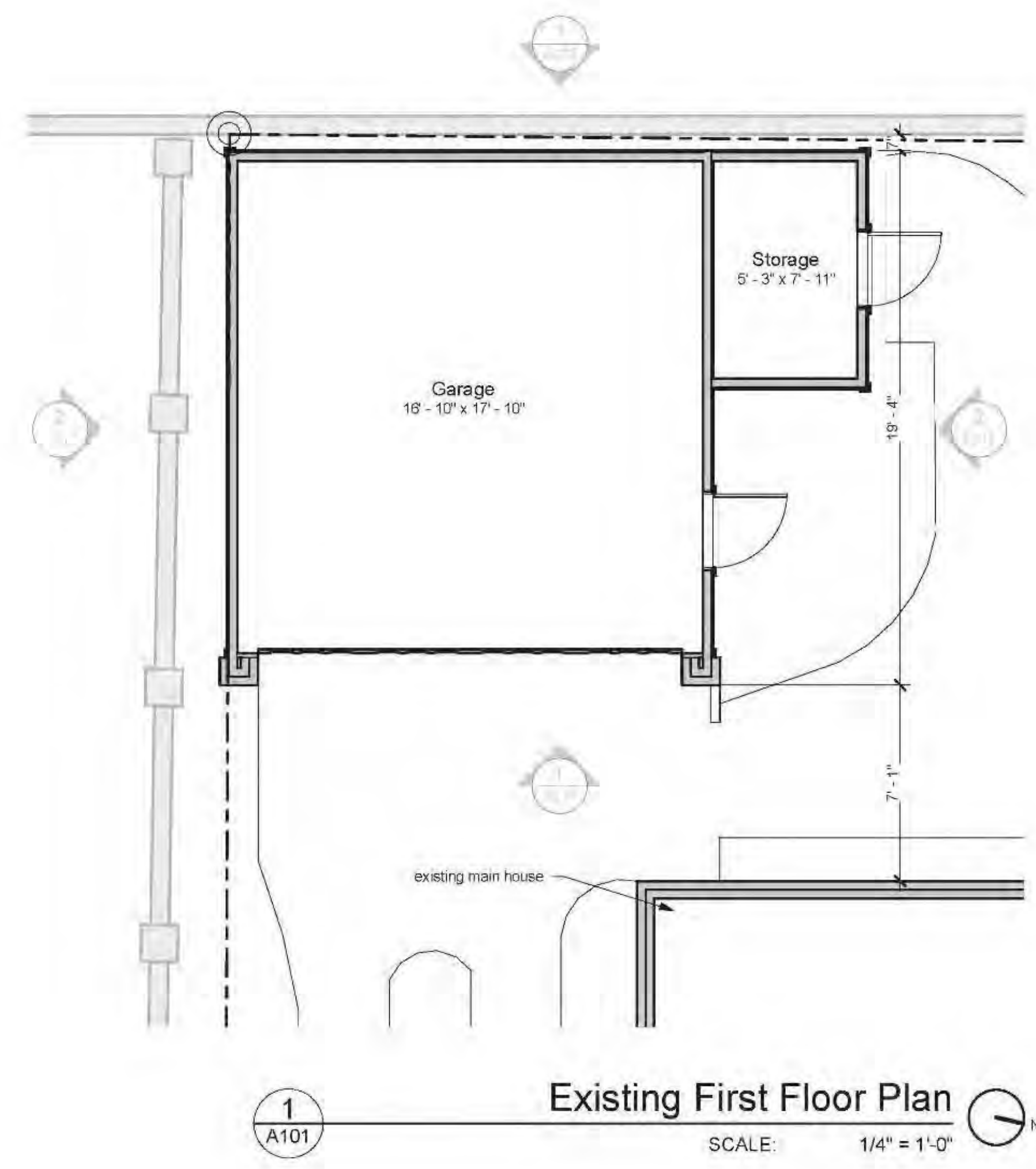
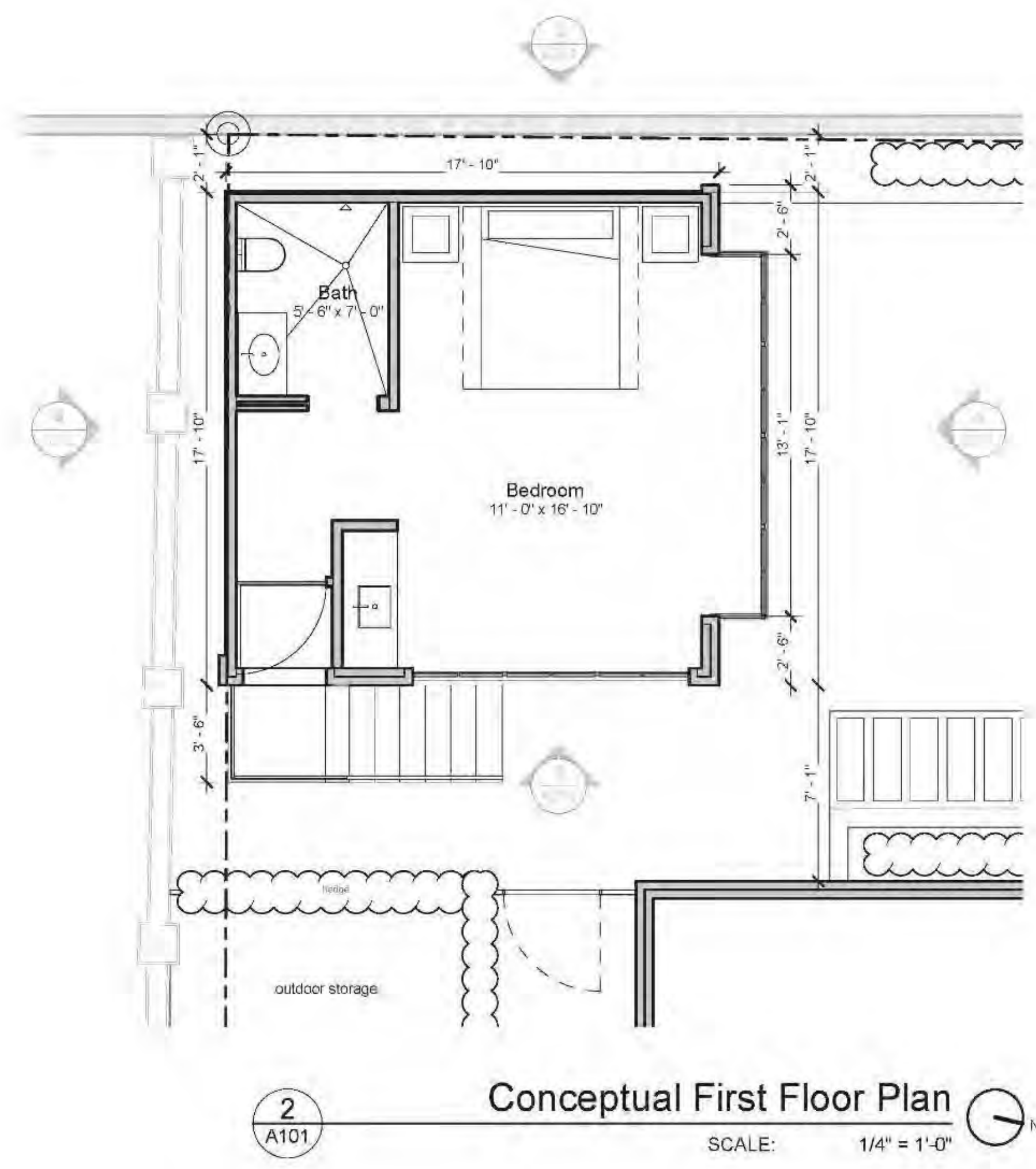
1  
 A100  
**Existing Site Plan**  
 SCALE: 1/8" = 1'-0"

<b>STR</b>	
Minimum Lot Size:	6,000 SF
Actual Lot Size:	4,987 SF
<b>Allowable Lot Occupancy</b>	
Lot Size x 50%	
Total allowable building coverage	2,493 SF (50%)
<b>Existing Lot Occupancy</b>	
Existing Main House	2,063 SF
Existing Garage	382 SF
Total existing building coverage	2,445 SF (49%)
<b>Proposed Lot Occupancy   REDUCED</b>	
Existing Main House	2,063 SF
Proposed Garage	355 SF
Total proposed building coverage	2,418 SF (48%)
<b>Required Setbacks</b>	
	Existing
FRONT (East)	25'
FRONT (West)	25'
SIDE (North)	6'
SIDE (South)	12'
<b>Accessory Setbacks</b>	
	Existing
FRONT (East)	60'
FRONT (West)	3'
SIDE (North)	3'
SIDE (South)	3'
<b>Proposed Accessory Setbacks</b>	
FRONT (East)	83'-1"
FRONT (West)	2'-1"
SIDE (North)	28'-0"
SIDE (South)	0'-0"
<b>Allowable Building Height</b>	
35 / 2.5 Stories	


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No.	Description	Date

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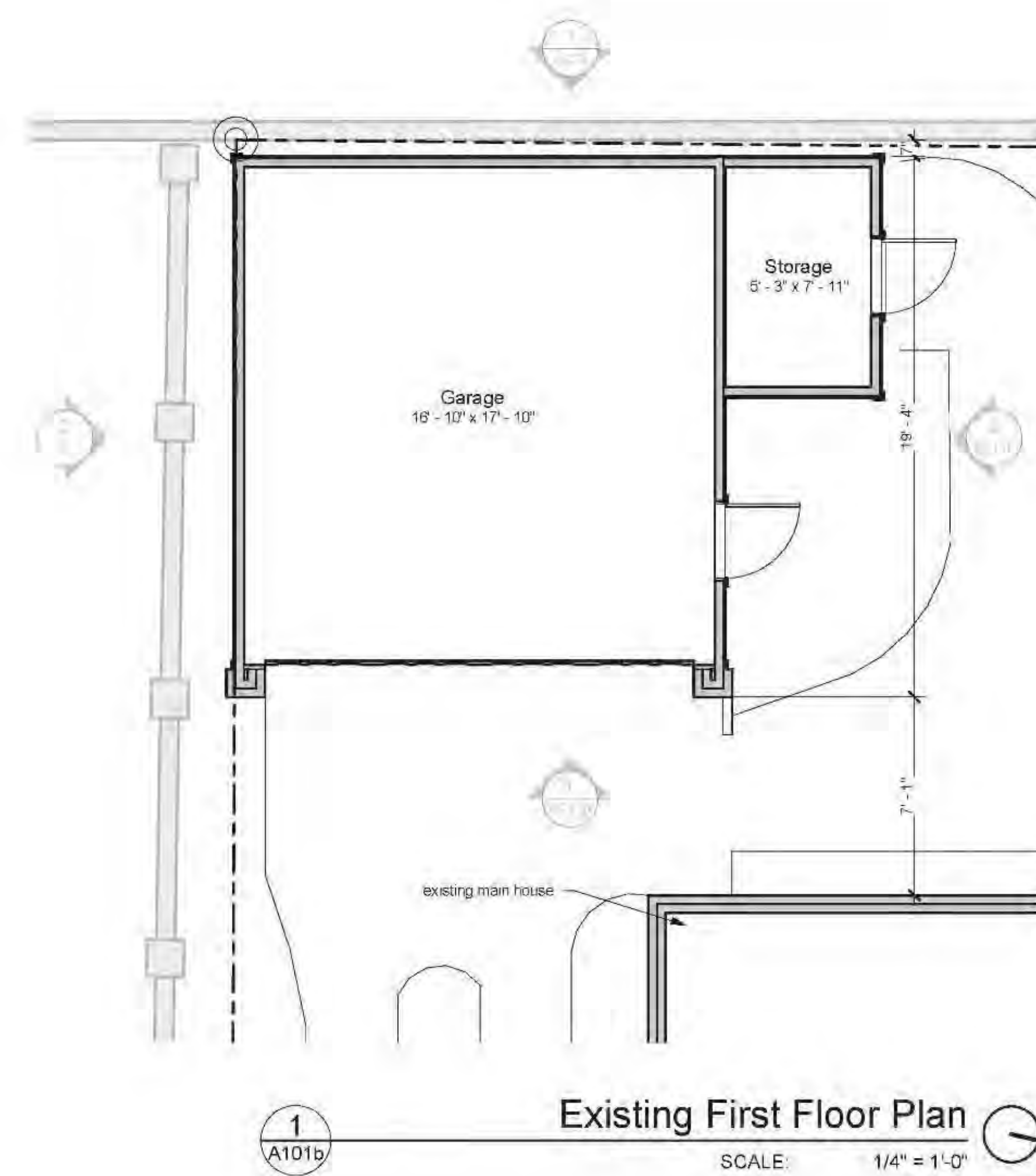
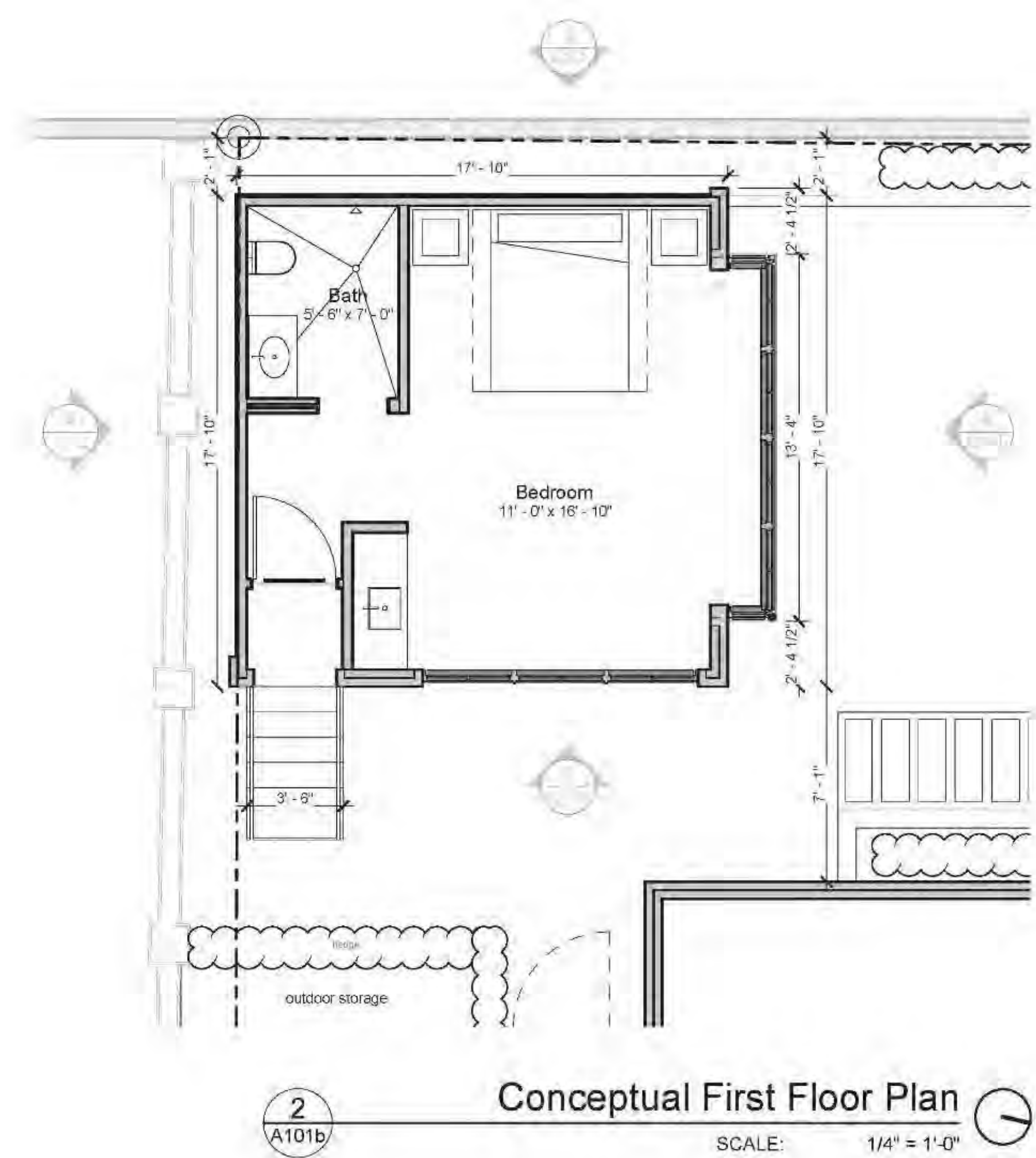

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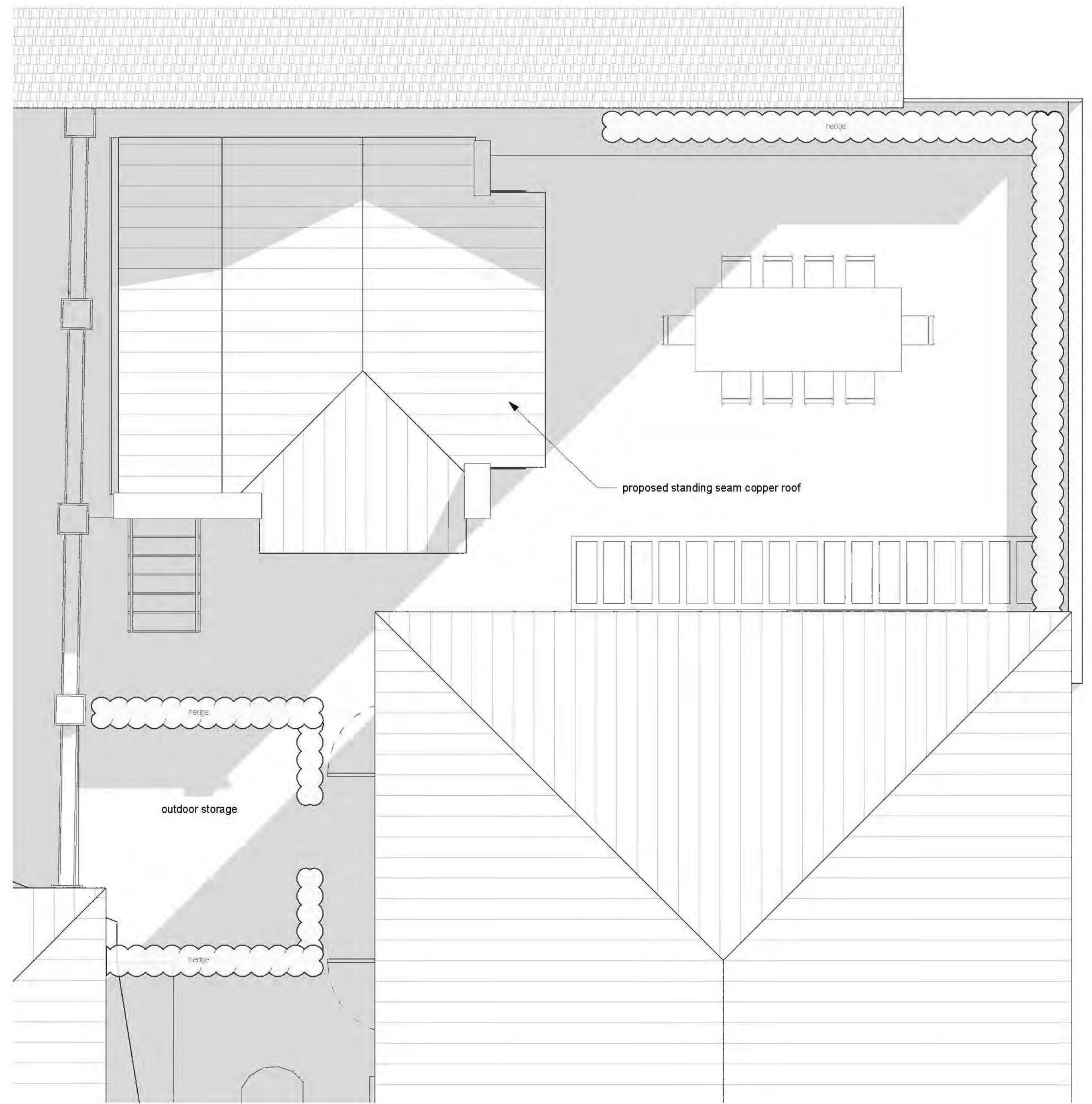


- General Notes**
- Contractor shall maintain a neat & orderly construction site at all times and shall not allow the unnecessary accumulation of construction debris. Contractor's hours, access, staging area, dumpster, and portable w.c. location to be coordinated with and approved by Owner prior to commencement of work. The building shall remain secure and weather tight at all times.
  - Contractor shall be responsible for securing all required permits and approvals necessary to initiate and complete specified work.
  - All demolition and construction shall be in accordance with current applicable building codes and local regulation, including, but not limited to, Daniel Island Architectural Review Board and the City of Charleston's Zoning, Design Review, and Building Inspection Departments.
  - Contractor shall notify Architects immediately of any problems/discrepancies due to unforeseen conditions revealed during site work & construction.
  - Contractor shall notify Architect, Engineer and Owner immediately should demolition work reveal any additional "hazmat" materials or substances that have not been previously removed. Architect waives all responsibility and liability for any work required, proposed, and/or completed with hazardous materials or substances.
  - The design adequacy & safety of all temporary supports, bracing, & shoring is the sole responsibility of the Contractor.
  - All dimensions must be verified by contractor prior to commencement of work, including installation of fixtures and/or architectural components. All fixture and architectural component sizes should be verified with Architect prior to purchase.
  - Contractor shall verify with Architect and Engineer all structural mechanical, electrical, and plumbing conditions requiring Engineer's/Consultant's approval. Contractor shall coordinate and verify all HVAC, Plumbing, and Electrical equipment future specifications and locations with Architect and Engineer prior to commencement of work.
  - Contractor shall secure verification & approval in writing from the Owner for any requested change orders prior to commencing work associated with a change order.
  - Contractor shall provide documentation that structure is protected by an owner approved chemical termiticide treatment which shall include soil treatment and/or field applied wood treatment. The concentration, rate of application, and method of treatment of chemical termiticide shall be in strict accordance with the termiticide label, legally permissible regulations and standards. The Owner, Engineer, and Architect waive all responsibility & liability for Contractor's failure to follow the associated plans, specification notes, & design they convey, or for problems which arise from other's failure to obtain/follow the Owner's / Engineer's / Architect's guidance with respect to any inconsistencies, errors, omissions, ambiguities, or conflicts which are alleged.

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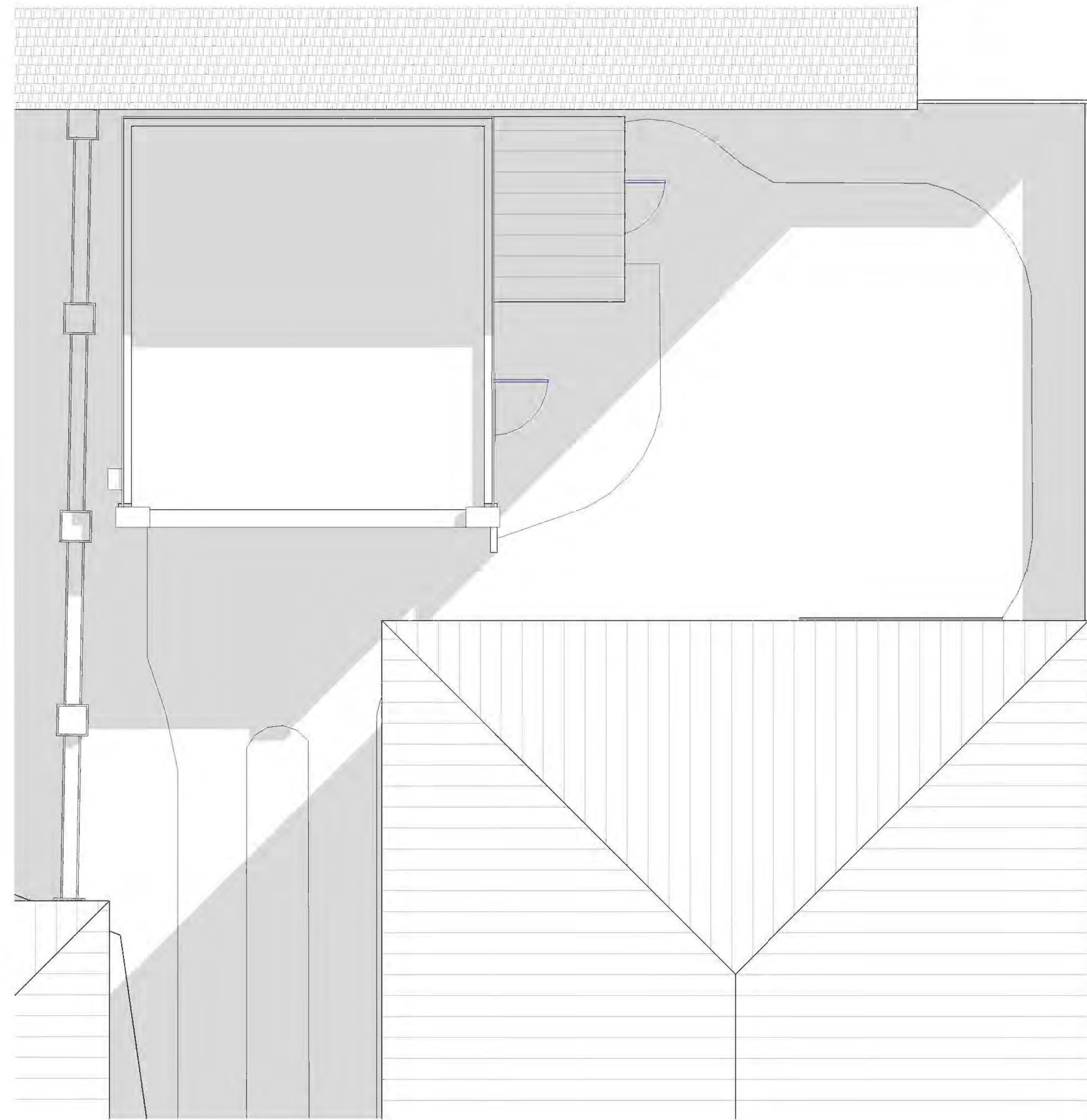
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3  
A102

Conceptual Roof Plan

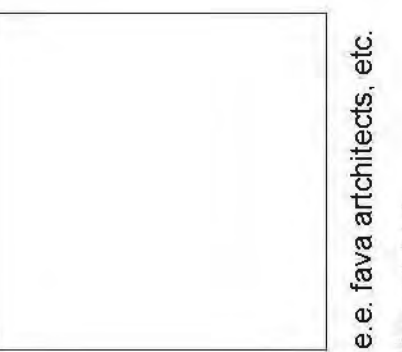
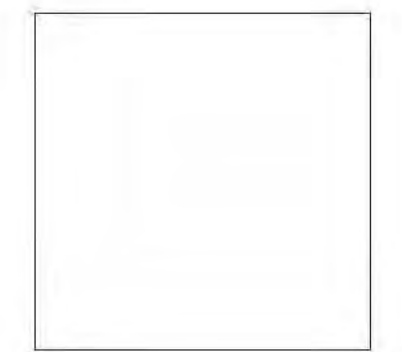
SCALE: 1/4" = 1'-0"



1  
A102

Existing Roof Plan

SCALE: 1/4" = 1'-0"

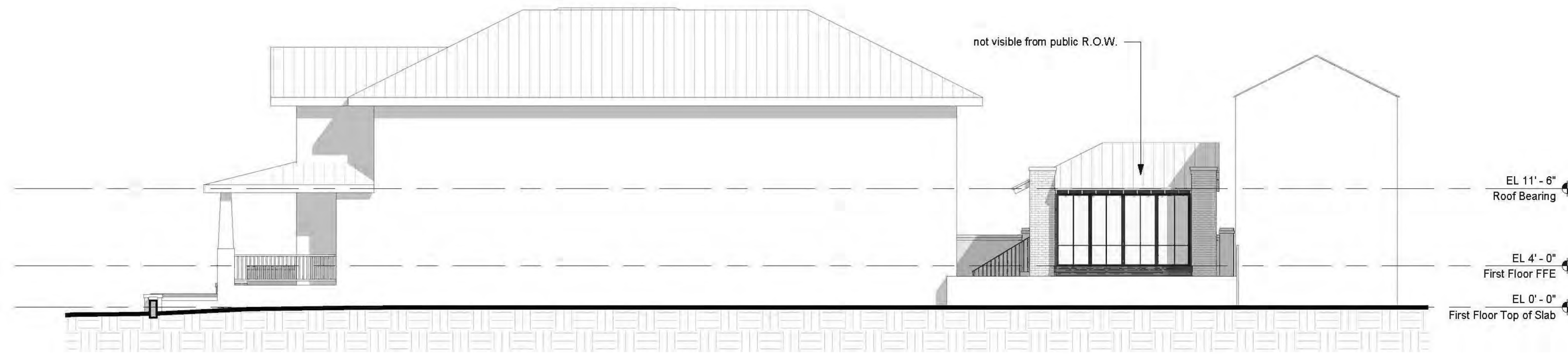


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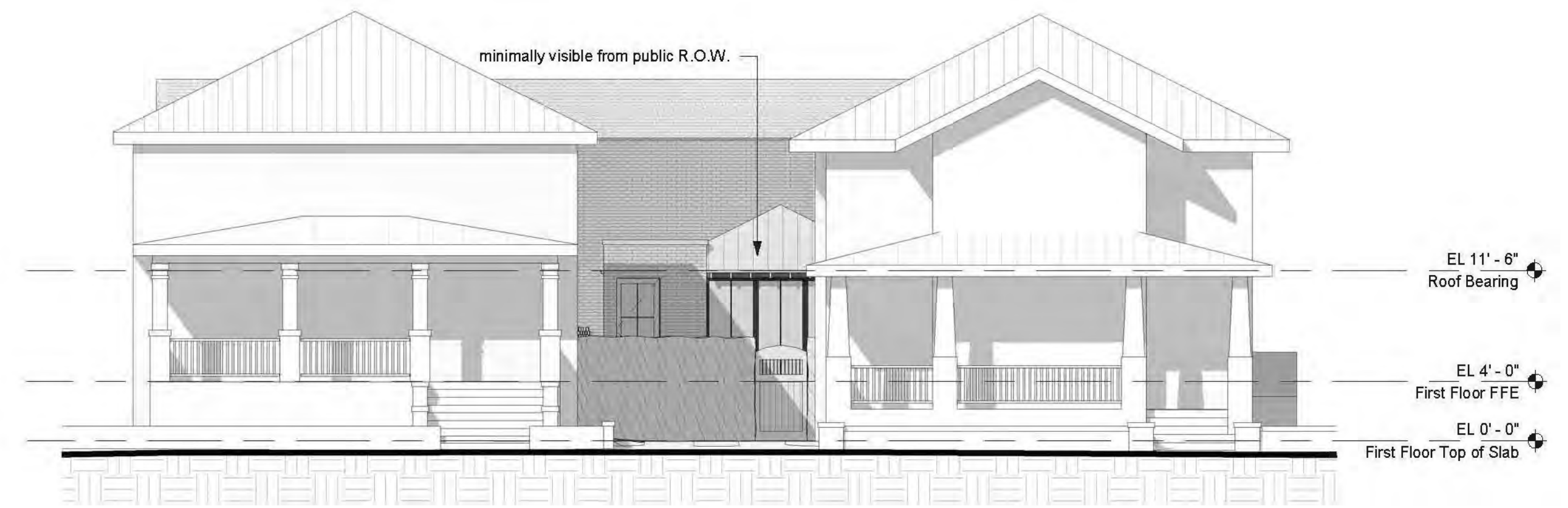
Revisions		
No.	Description	Date

01.09.2020

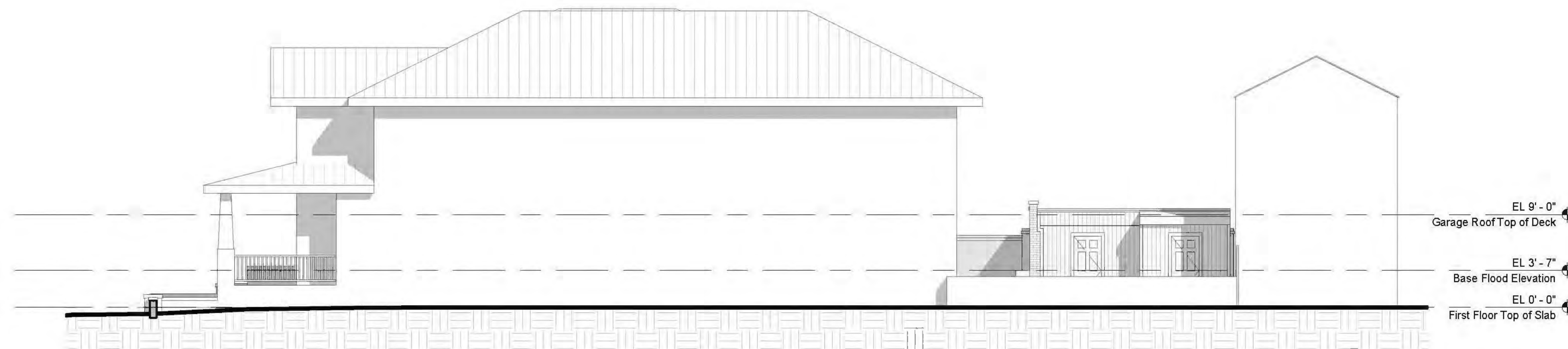
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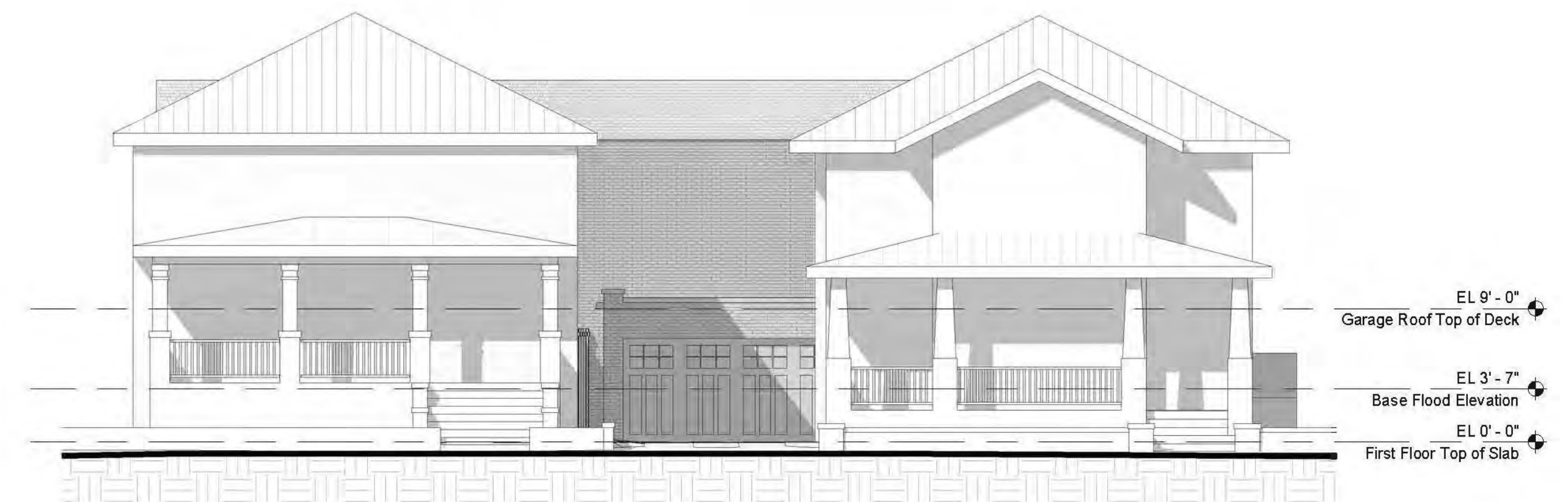
**4** Conceptual North Context Elevation  
 A201 SCALE: 1/8" = 1'-0"



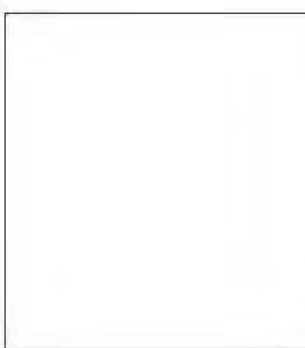
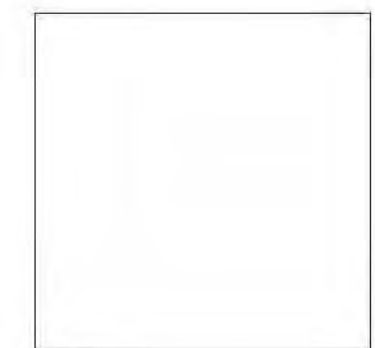
**3** Conceptual Front Context Elevation  
 A201 SCALE: 1/8" = 1'-0"



**2** Existing North Context Elevation  
 A201 SCALE: 1/8" = 1'-0"



**1** Existing Front Context Elevation  
 A201 SCALE: 1/8" = 1'-0"



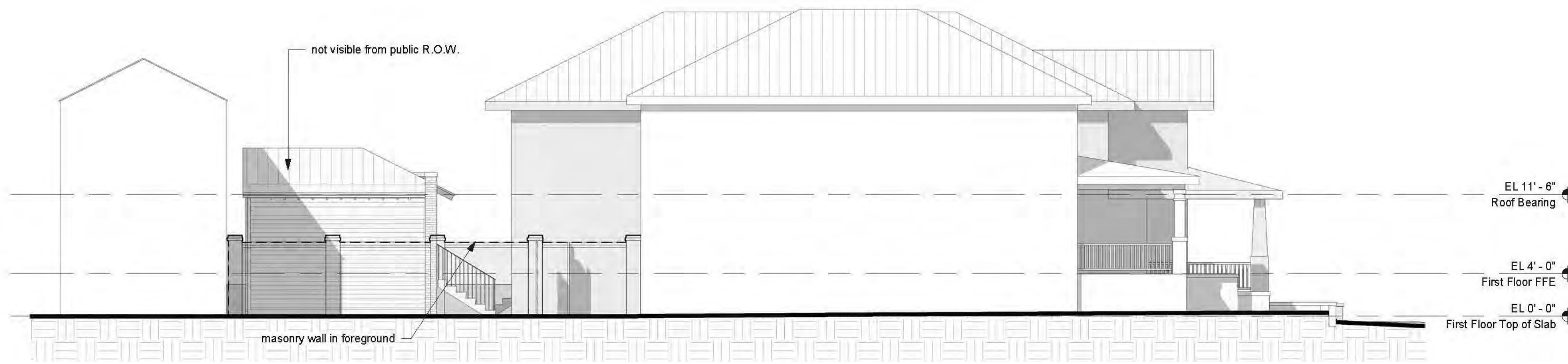
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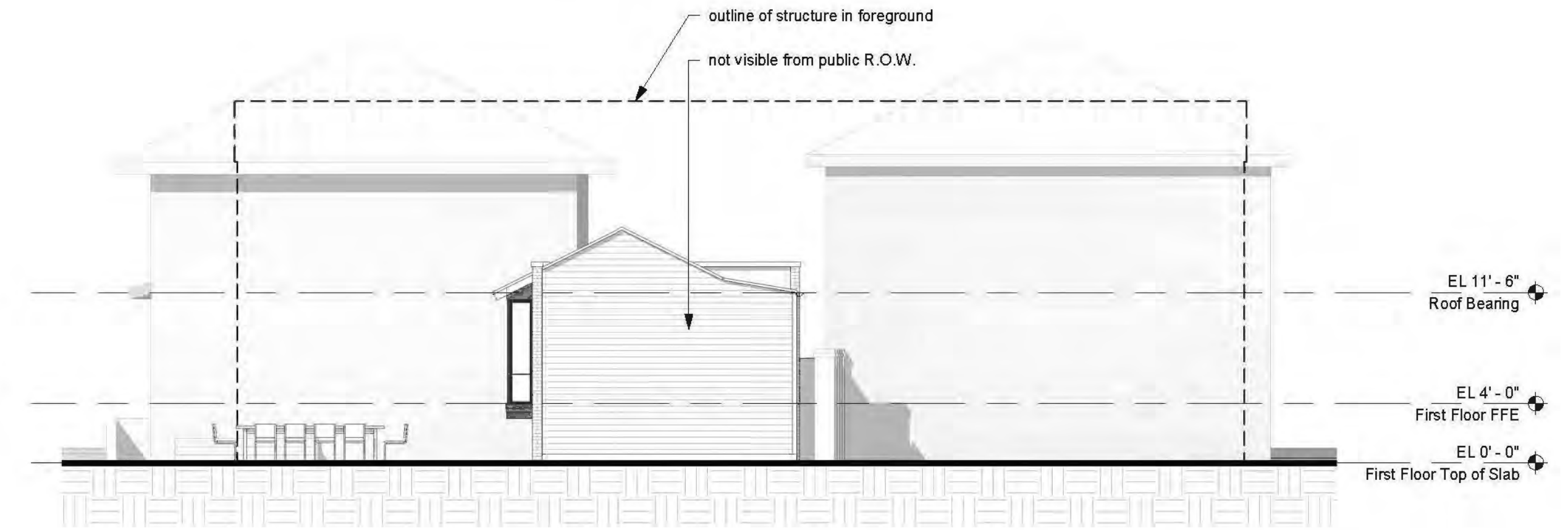
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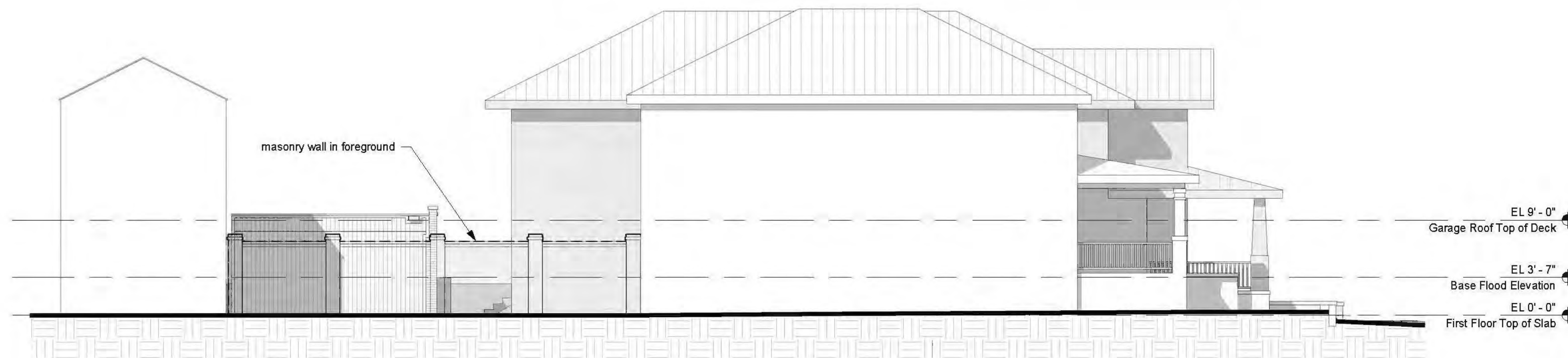
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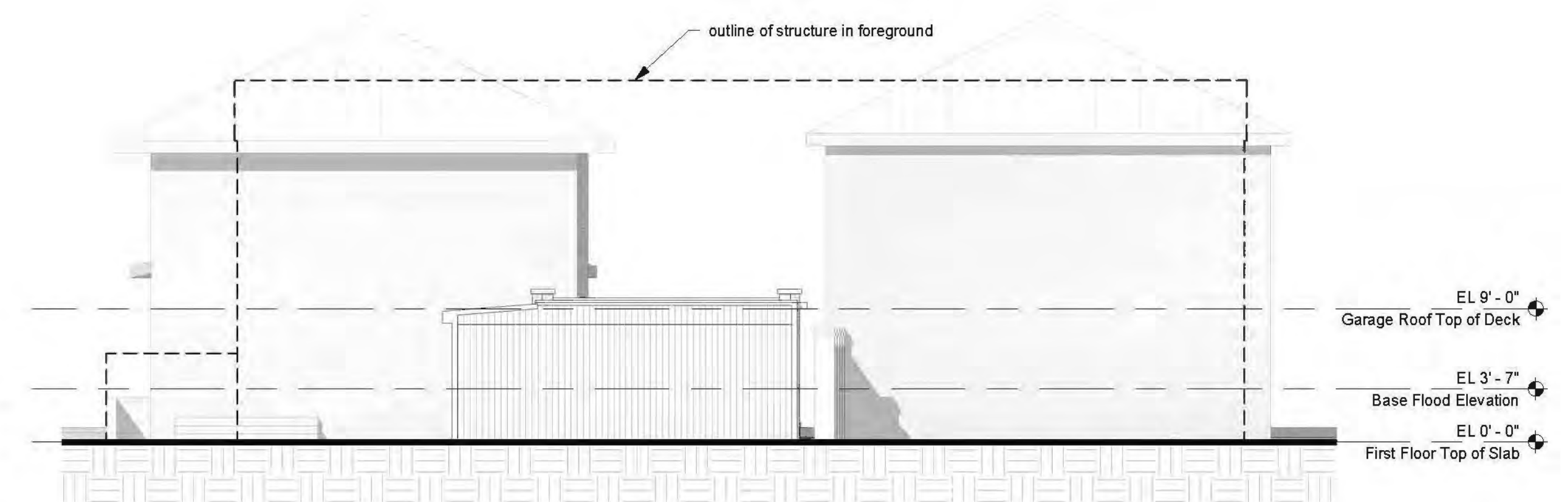
**4** Conceptual South Context Elev.  
 A202 SCALE: 1/8" = 1'-0"



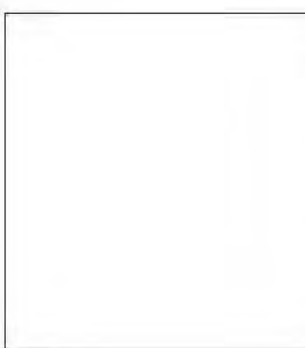
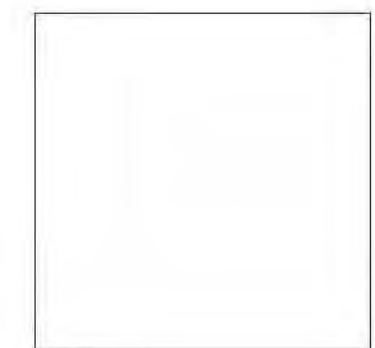
**3** Conceptual Rear Context Elevation  
 A202 SCALE: 1/8" = 1'-0"



**2** Existing South Context Elevation  
 A202 SCALE: 1/8" = 1'-0"



**1** Existing Rear Context Elevation  
 A202 SCALE: 1/8" = 1'-0"

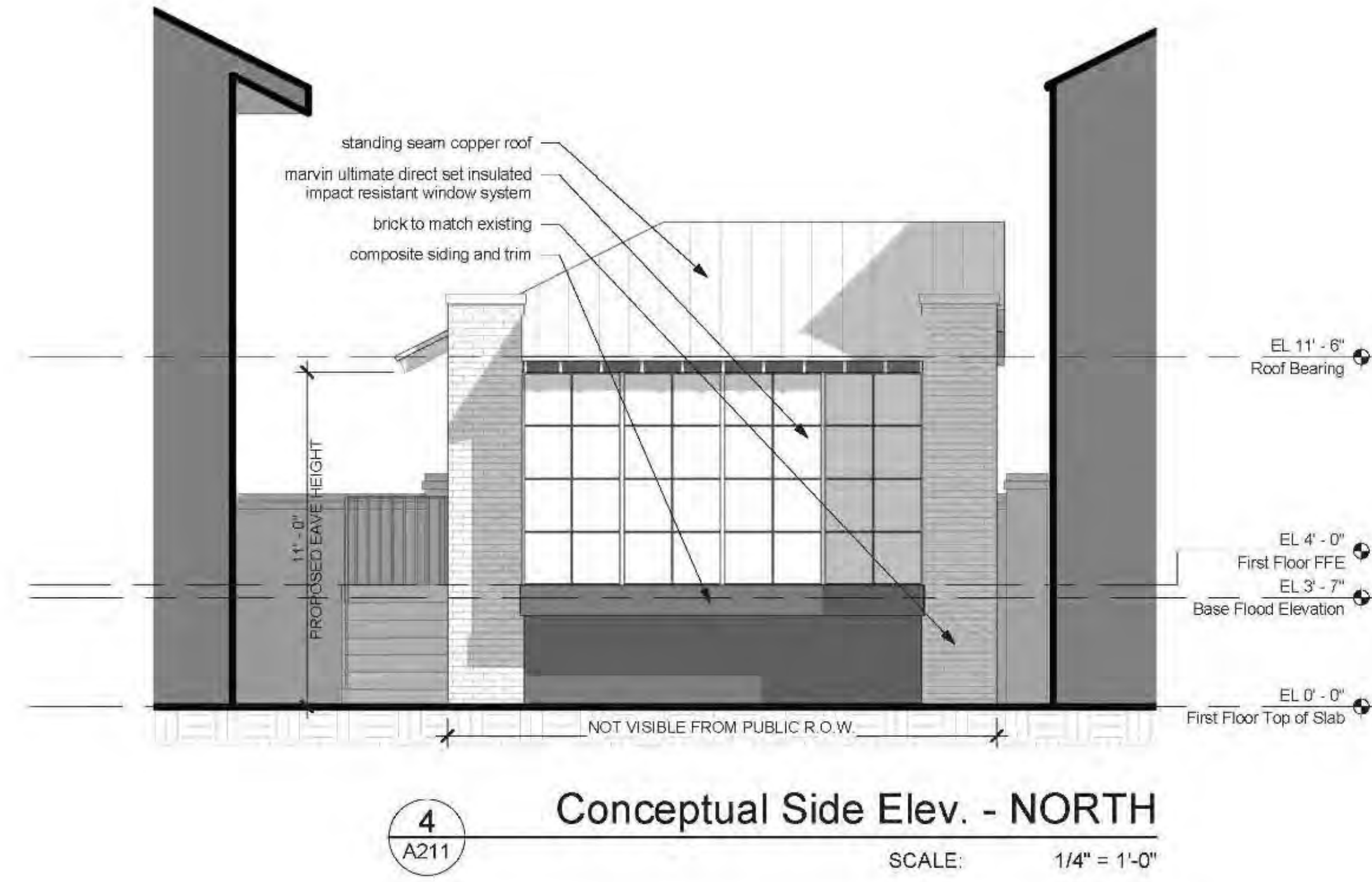


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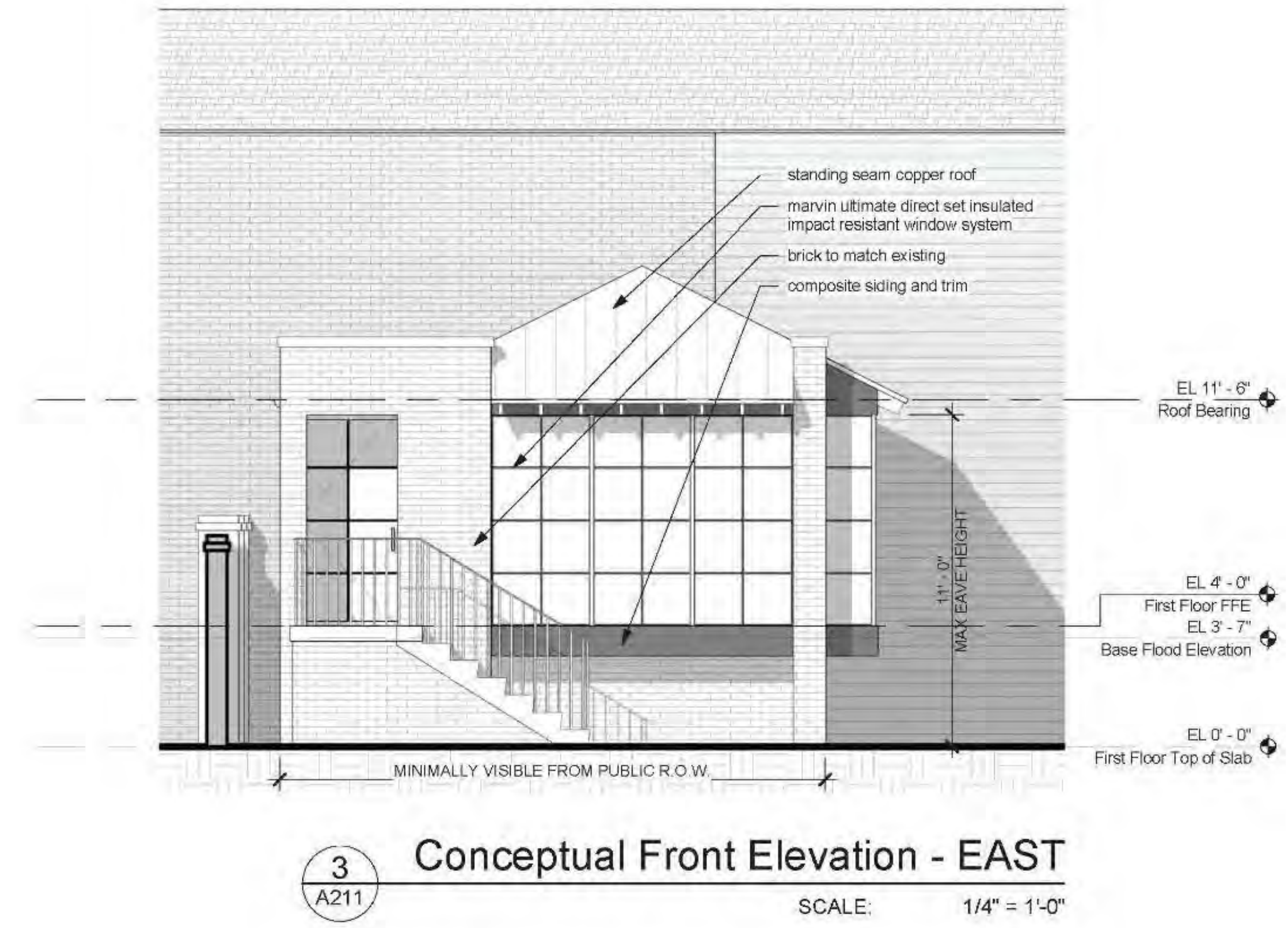
Revisions		
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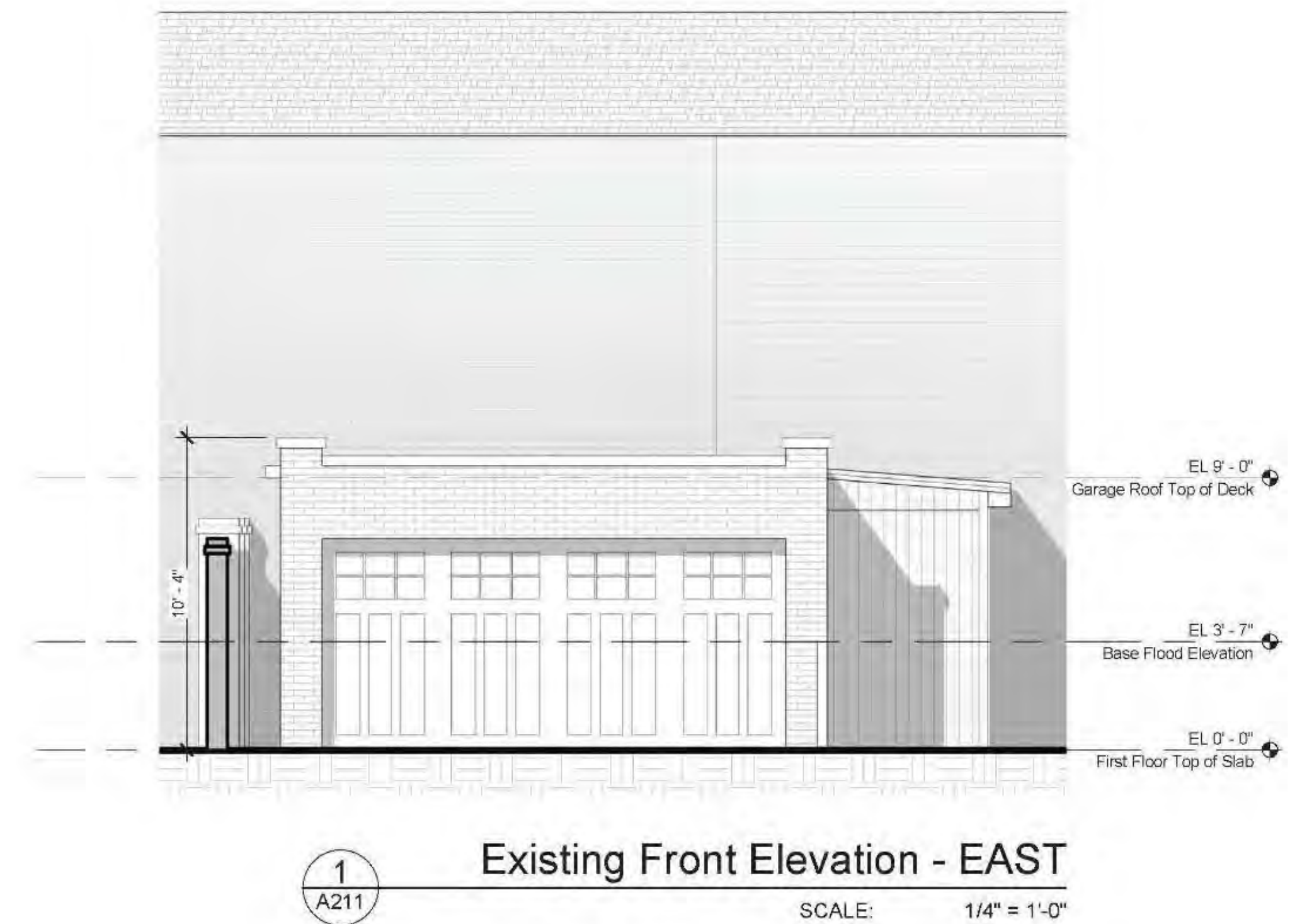
**4**  
A211  
**Conceptual Side Elev. - NORTH**  
SCALE: 1/4" = 1'-0"



**3**  
A211  
**Conceptual Front Elevation - EAST**  
SCALE: 1/4" = 1'-0"



**2**  
A211  
**Existing Side Elevation - NORTH**  
SCALE: 1/4" = 1'-0"



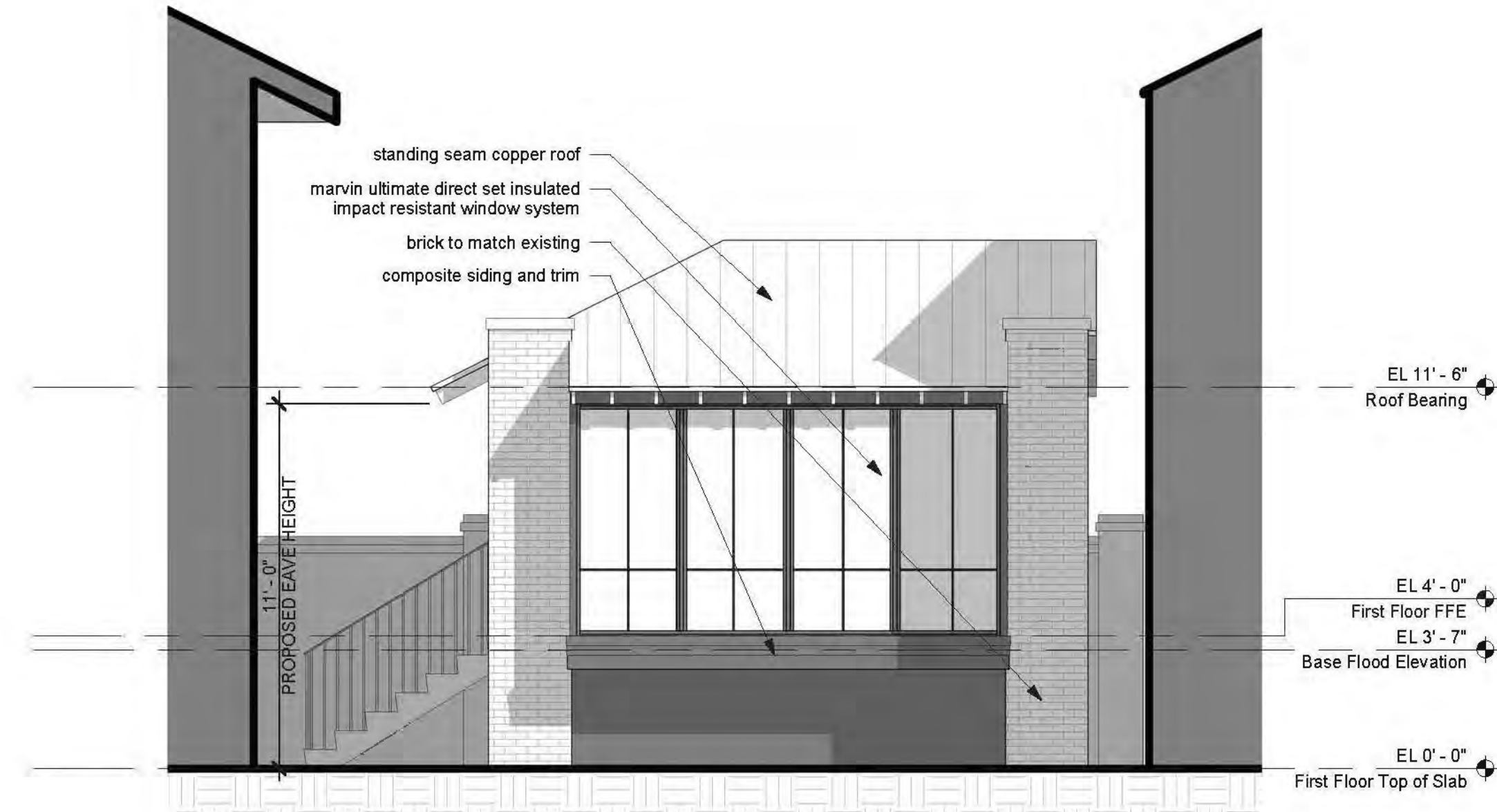
**1**  
A211  
**Existing Front Elevation - EAST**  
SCALE: 1/4" = 1'-0"


Revisions		
No.	Description	Date

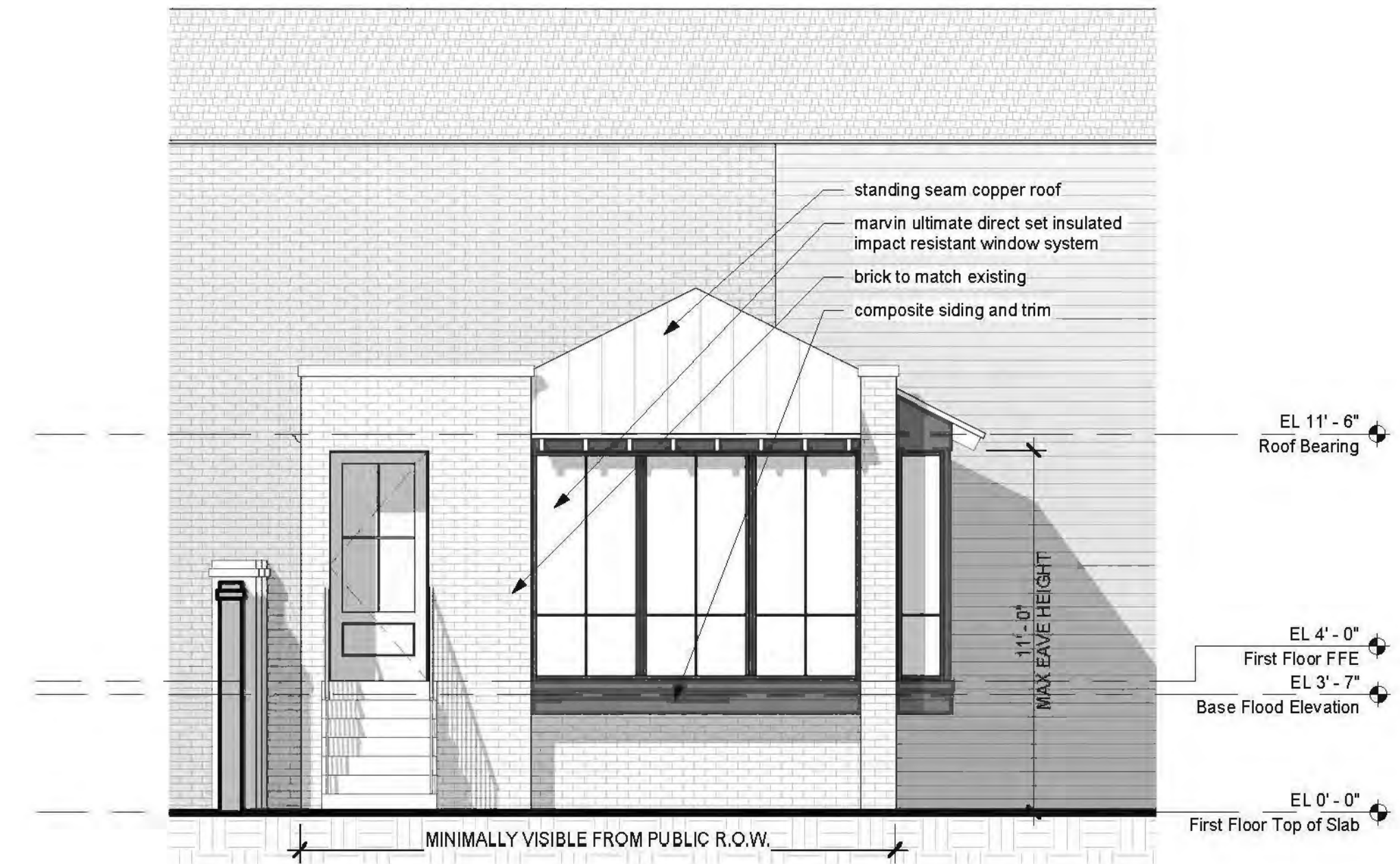
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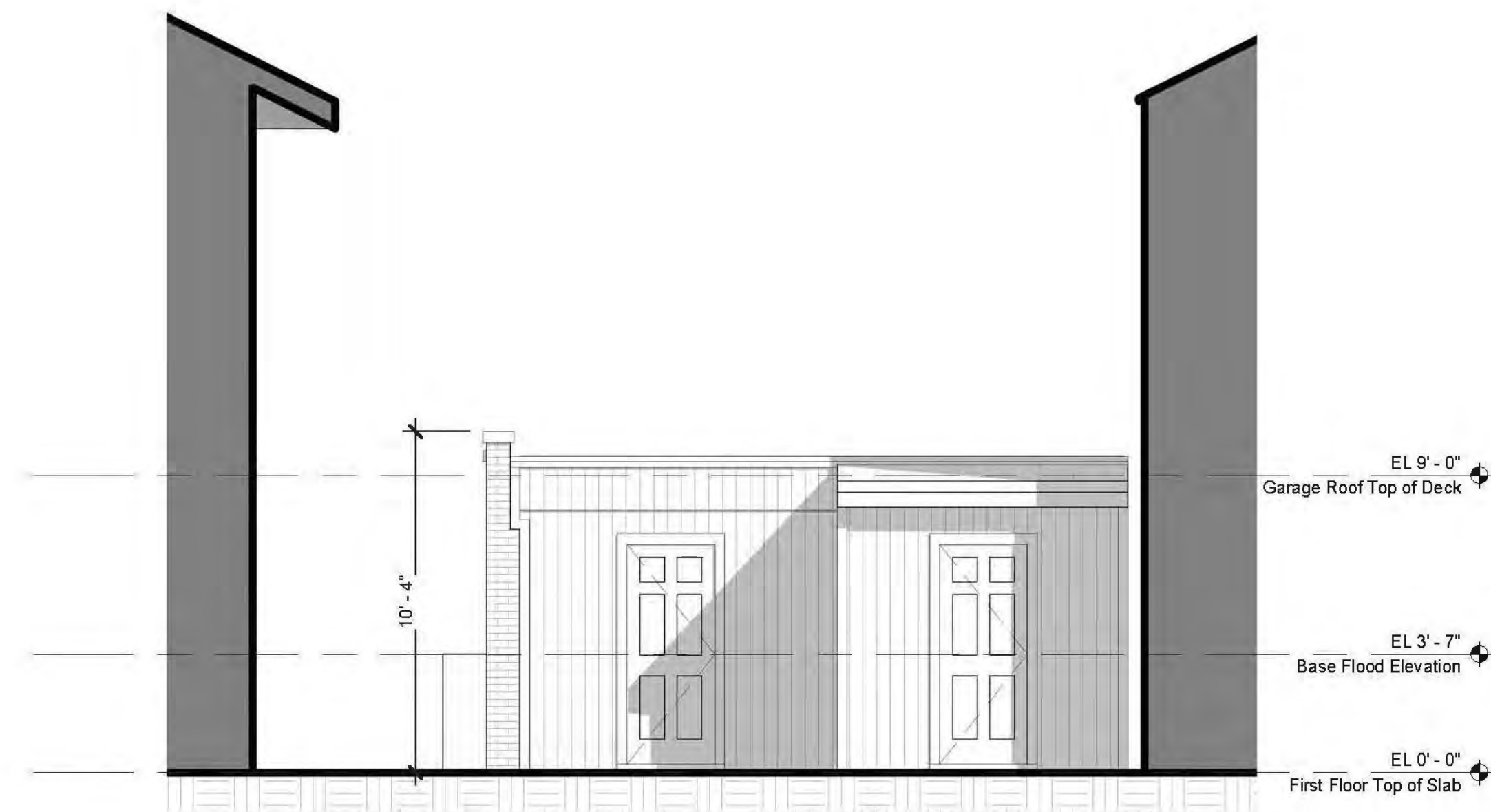
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4  
A211b  
Conceptual Side Elev. - NORTH  
SCALE: 1/4" = 1'-0"



3  
A211b  
Conceptual Front Elevation - EAST  
SCALE: 1/4" = 1'-0"



2  
A211b  
Existing Side Elevation - NORTH  
SCALE: 1/4" = 1'-0"



1  
A211b  
Existing Front Elevation - EAST  
SCALE: 1/4" = 1'-0"

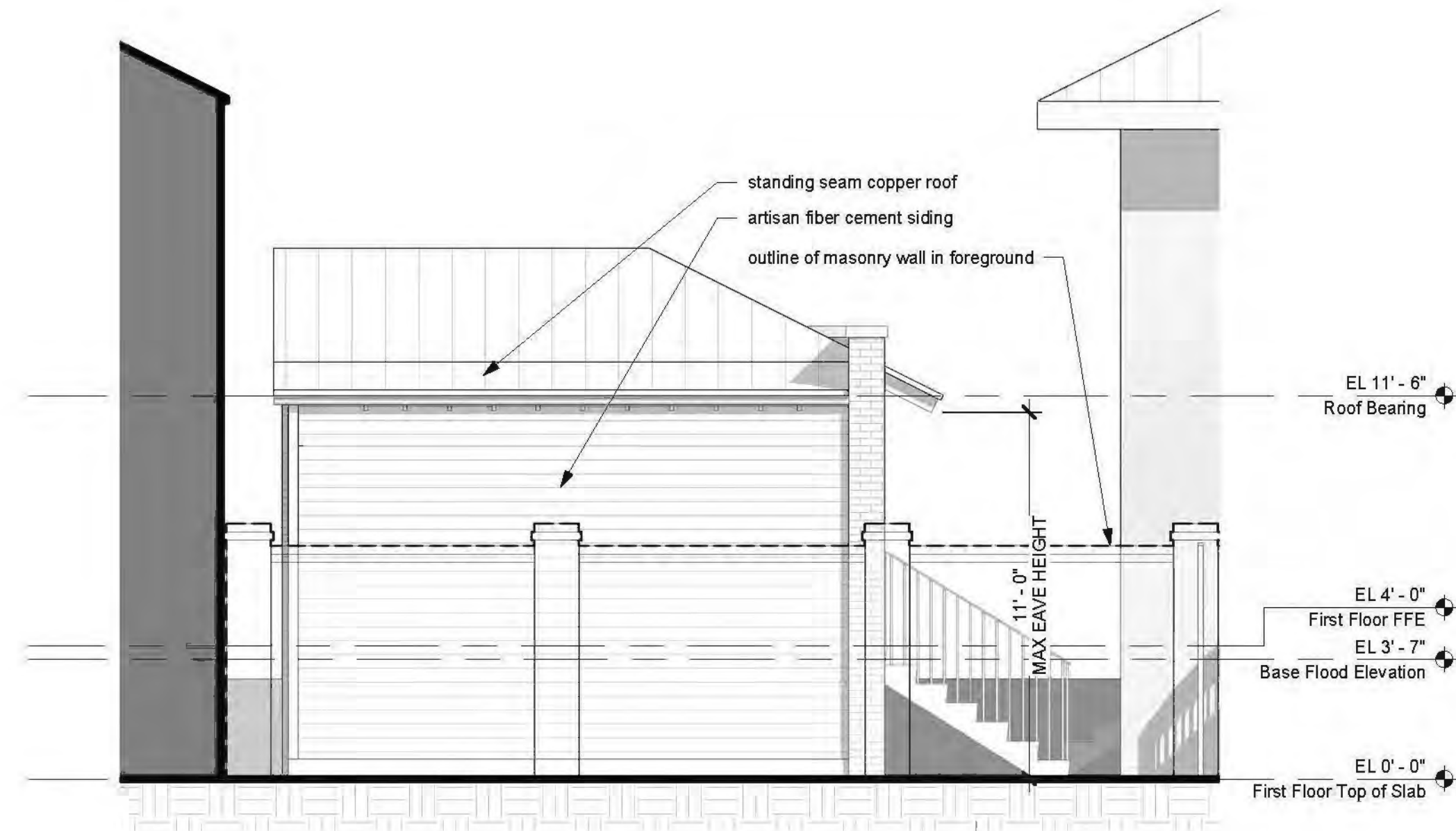
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No.	Description	Date

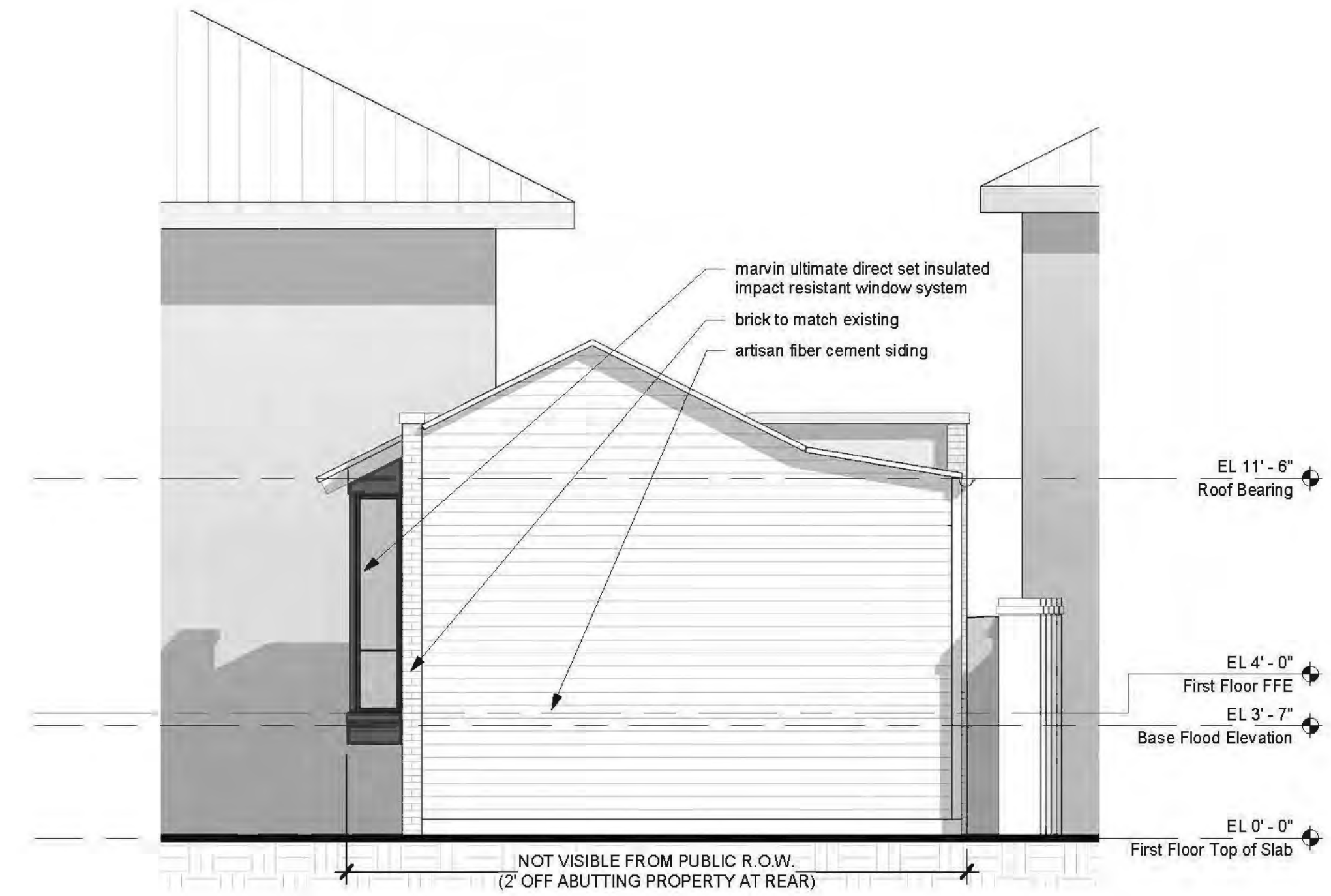
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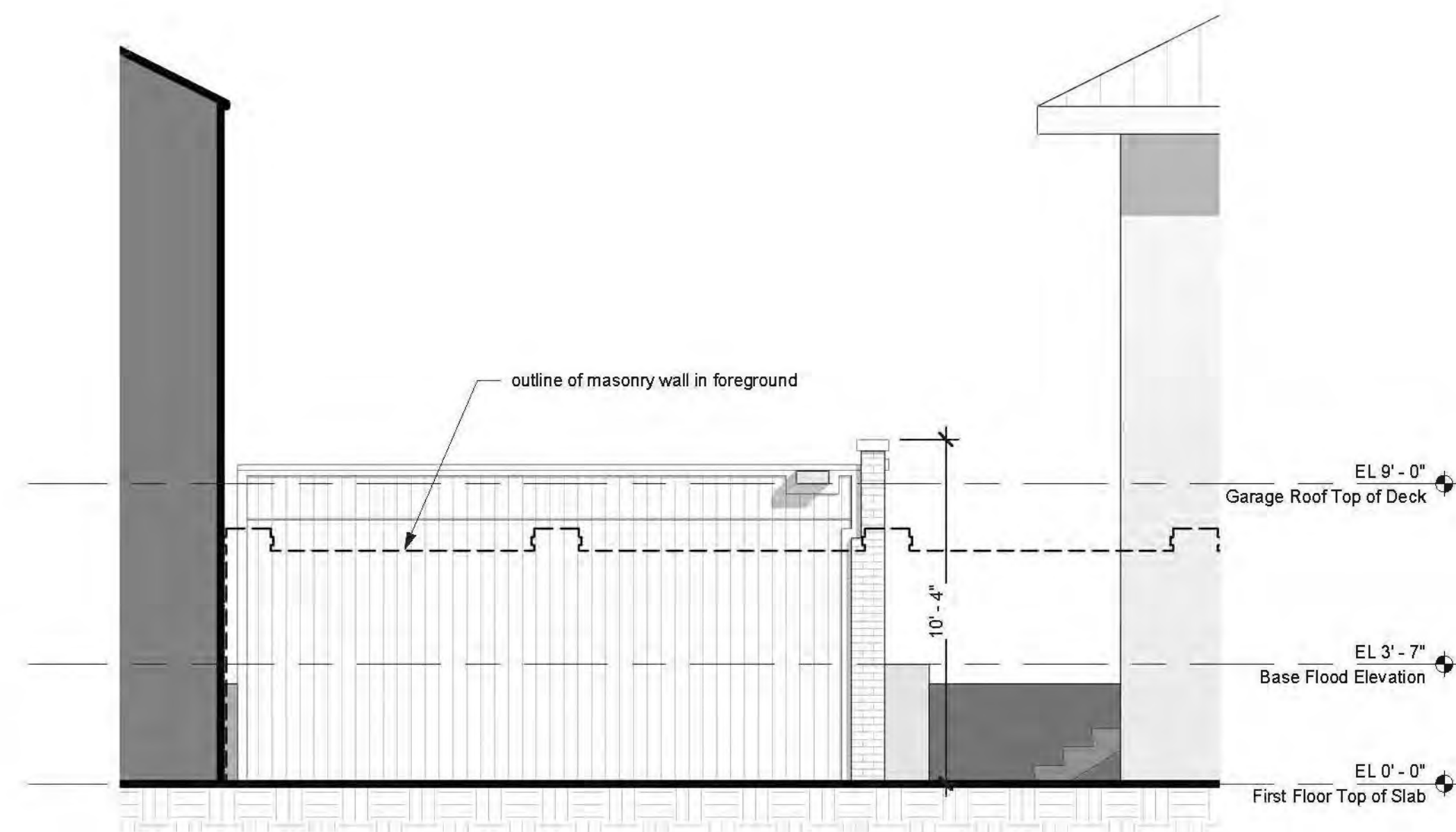
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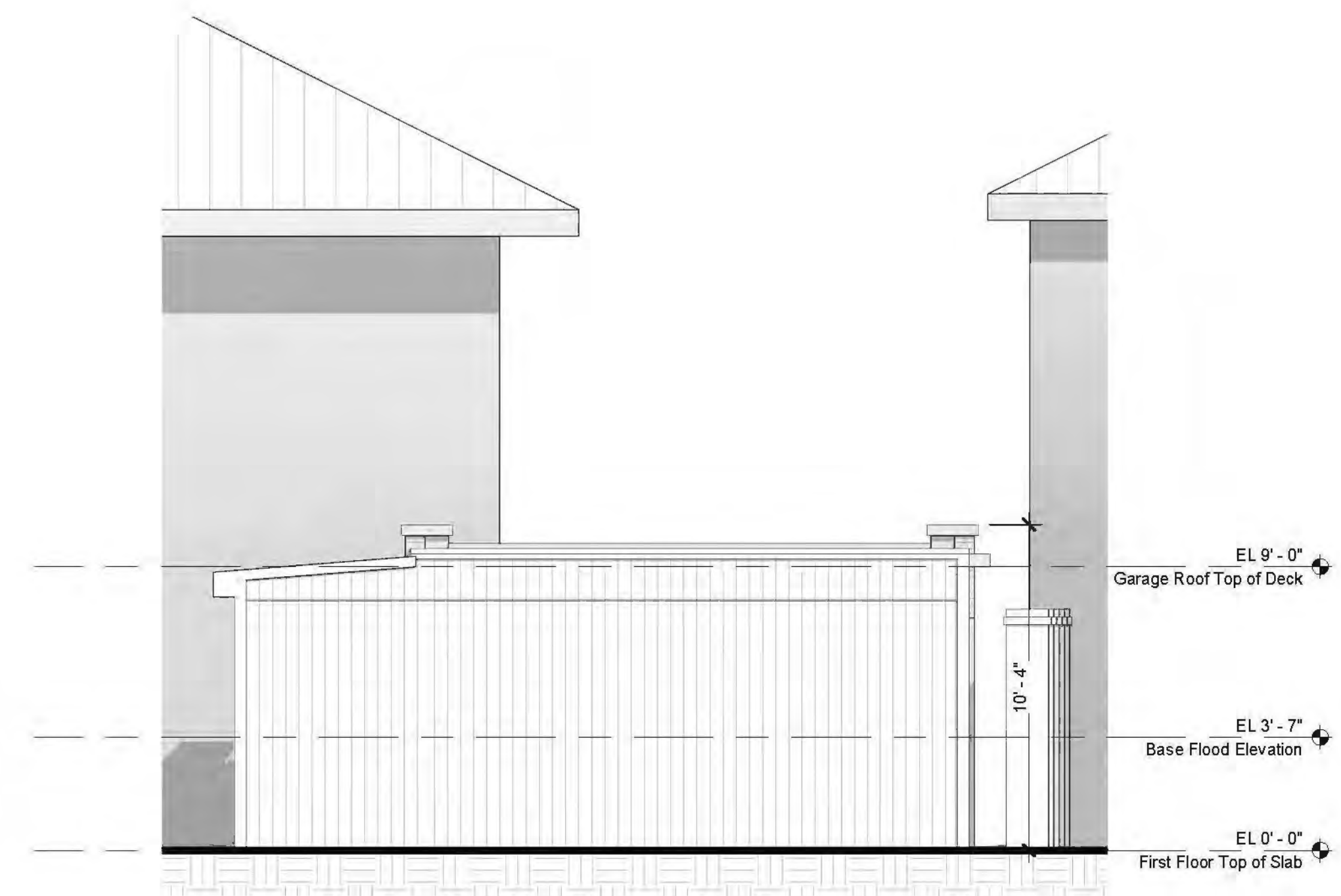
4  
A212  
Conceptual Side Elev. - SOUTH  
SCALE: 1/4" = 1'-0"



3  
A212  
Conceptual Rear Elevation - WEST  
SCALE: 1/4" = 1'-0"



2  
A212  
Existing Side Elevation - SOUTH  
SCALE: 1/4" = 1'-0"



1  
A212  
Existing Rear Elevation - WEST  
SCALE: 1/4" = 1'-0"

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EXISTING MAIN HOUSE

3  
A501

### Conceptual 3D Perspective

NOT VISIBLE FROM PUBLIC RIGHT OF WAY SCALE:

VIEW FROM EXISTING DRIVE - PROPOSED  
HEDGES REMOVED FOR CLARITY

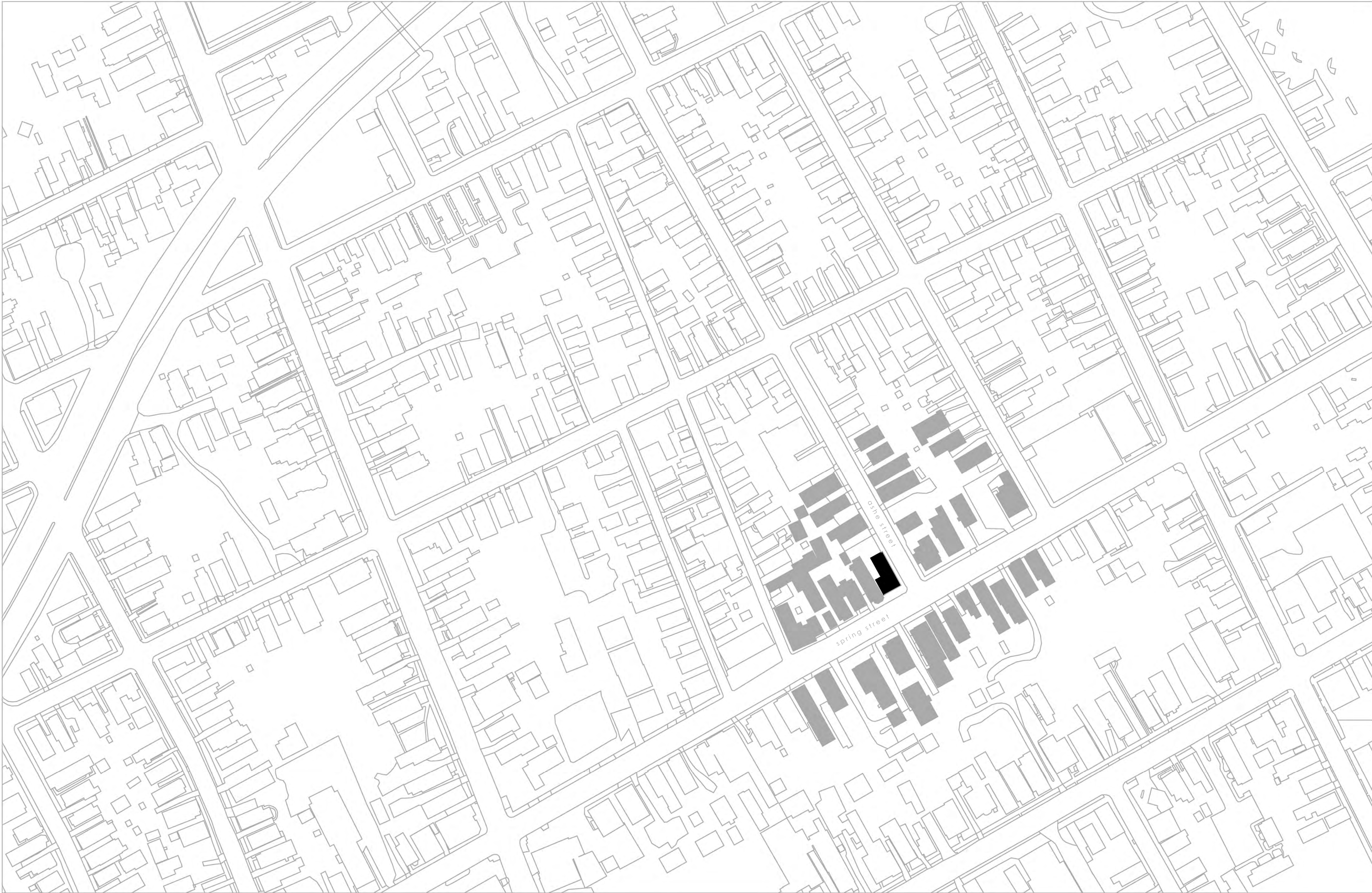


1  
A501

### Conceptual Street View

SCALE:

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LLC  
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897003  
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29403  
843-577-7030 phone  
843-577-8060 fax

renovations  
84 SPRING STREET  
CHARLESTON, SC  
CONCEPTUAL BAR

DESIGNED  
ckj  
DRAWN  
ckj  
CHECKED  
ckj

DATE  
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COVER



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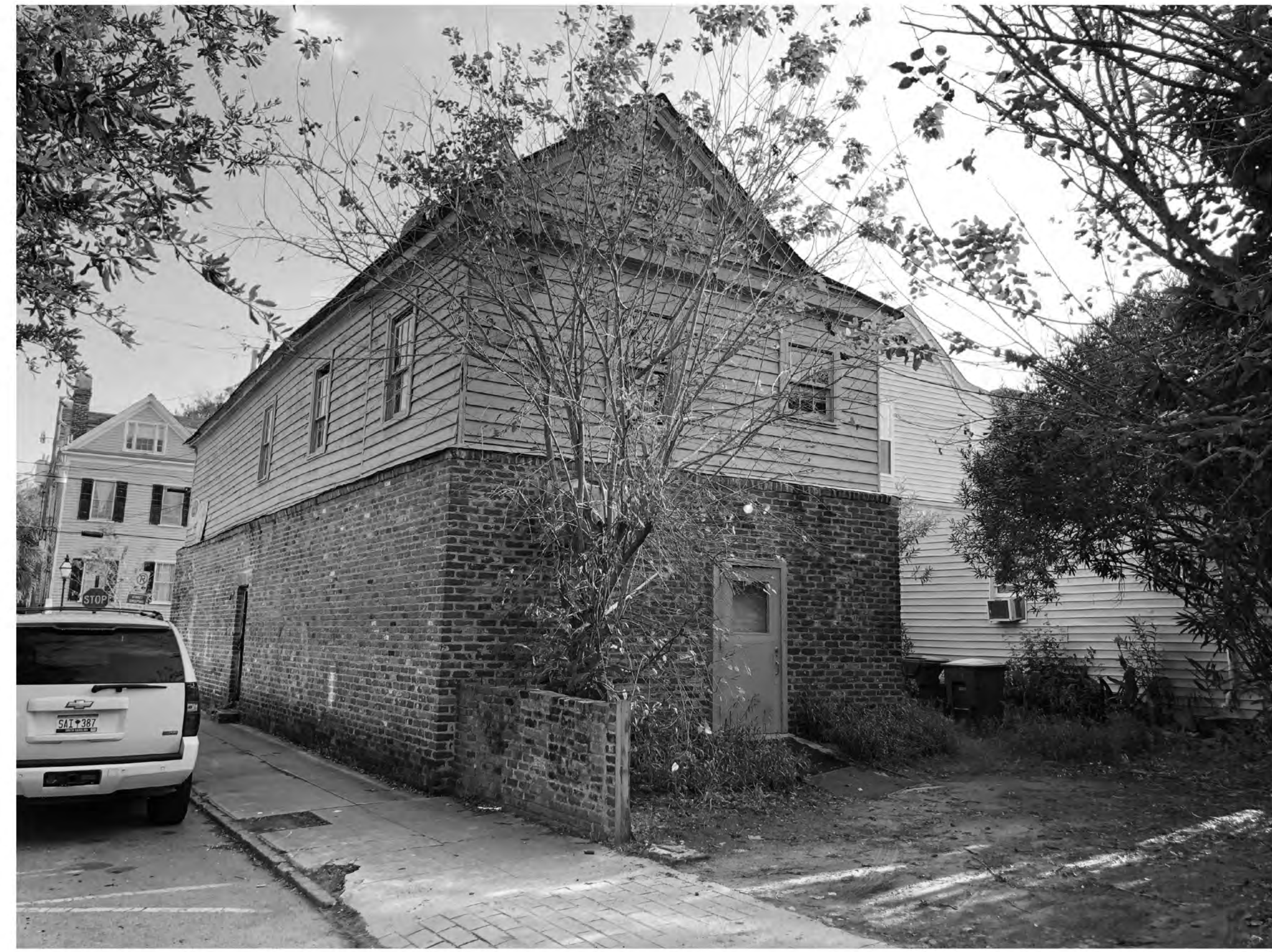
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renovations  
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 CHARLESTON, SC  
 CONCEPTUAL BAR

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 CONCEPTUAL BAR

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 PHOTO 2



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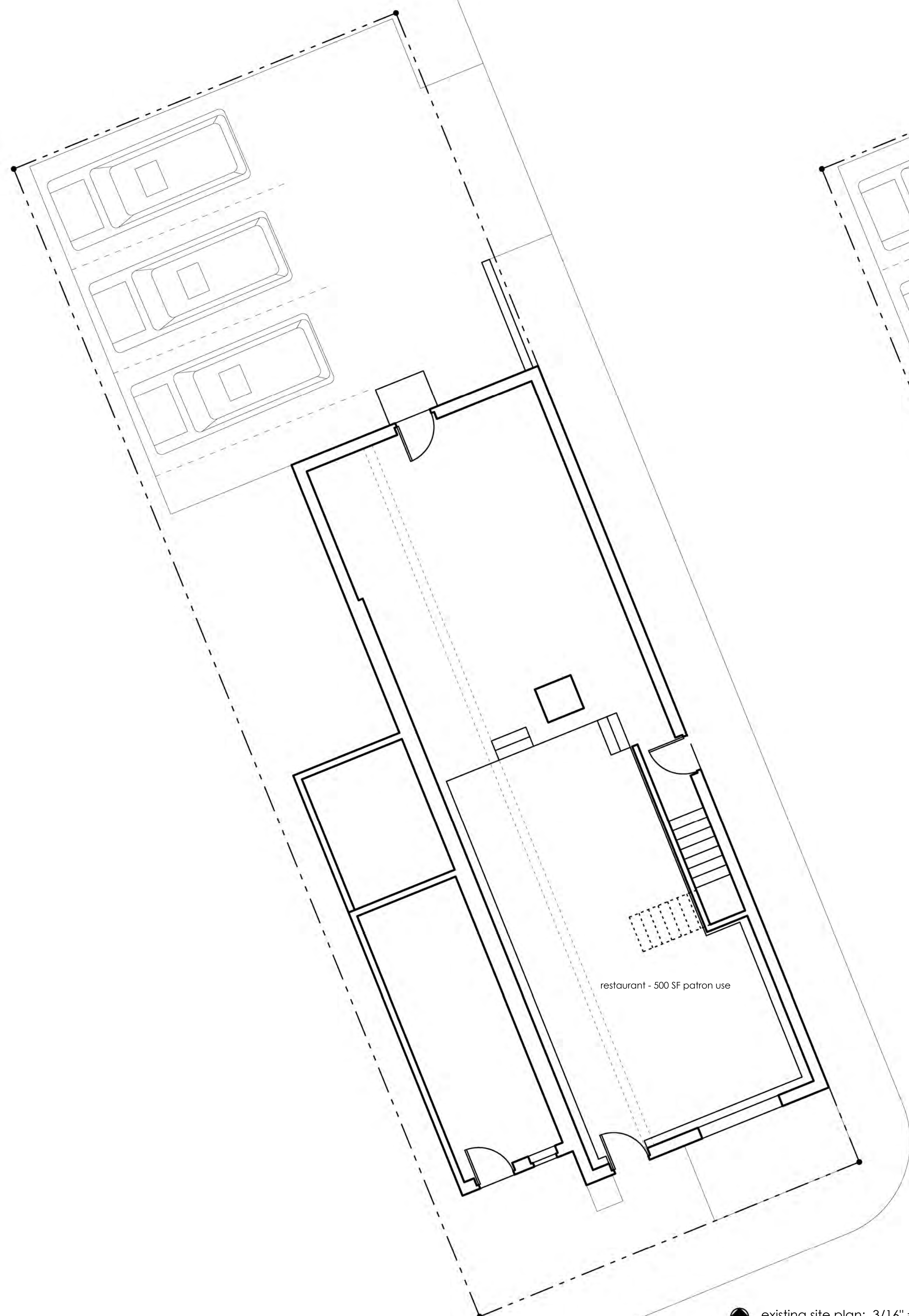
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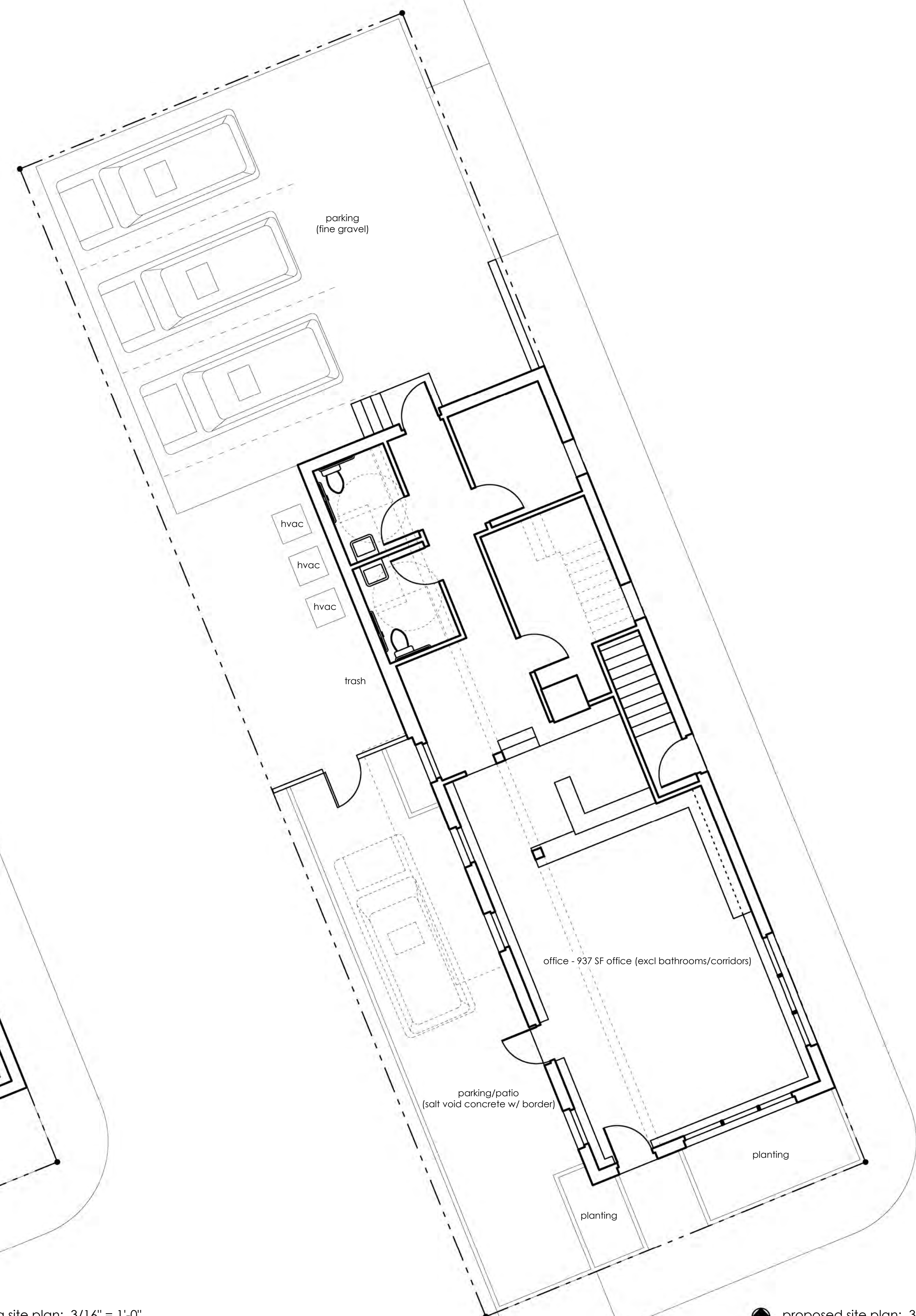
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existing site plan: 3/16" = 1'-0"

ZONED	LB - mixed use
LOT SIZE	3,322 SF
BUILDING FOOTPRINT	1,684 SF
LOT COVERAGE	N/A, 50% CONFORMING
EXISTING USE	2 Units: first floor restaurant, second floor residential
SETBACKS	front - N/R, 6'-6" CONFORMING rear - N/R, 30'-7" CONFORMING sw side - N/R, 2'-5" CONFORMING ne side - N/R, 0'-0" CONFORMING

PARKING 3 spaces provided, 7 required NON-CONFORMING



proposed site plan: 3/16" = 1'-0"

ZONED	LB - mixed use
LOT SIZE	3,322 SF
BUILDING FOOTPRINT	1,376 SF
LOT COVERAGE	N/A, 42% CONFORMING
EXISTING USE	2 Units: first floor office, second floor residential
SETBACKS	front - N/R, 6'-6" CONFORMING rear - N/R, 30'-7" CONFORMING sw side - N/R, 7'-10" CONFORMING ne side - N/R, 0'-0" CONFORMING

PARKING 3 spaces provided, 7 required NON-CONFORMING

renovations  
 84 SPRING STREET  
 CHARLESTON, SC

CONCEPTUAL BAR

DESIGNED  
 dkj

DRAWN  
 dkj

CHECKED  
 dkj

DATE  
 1-8-2020

REVISIONS

SHEET

A1.1

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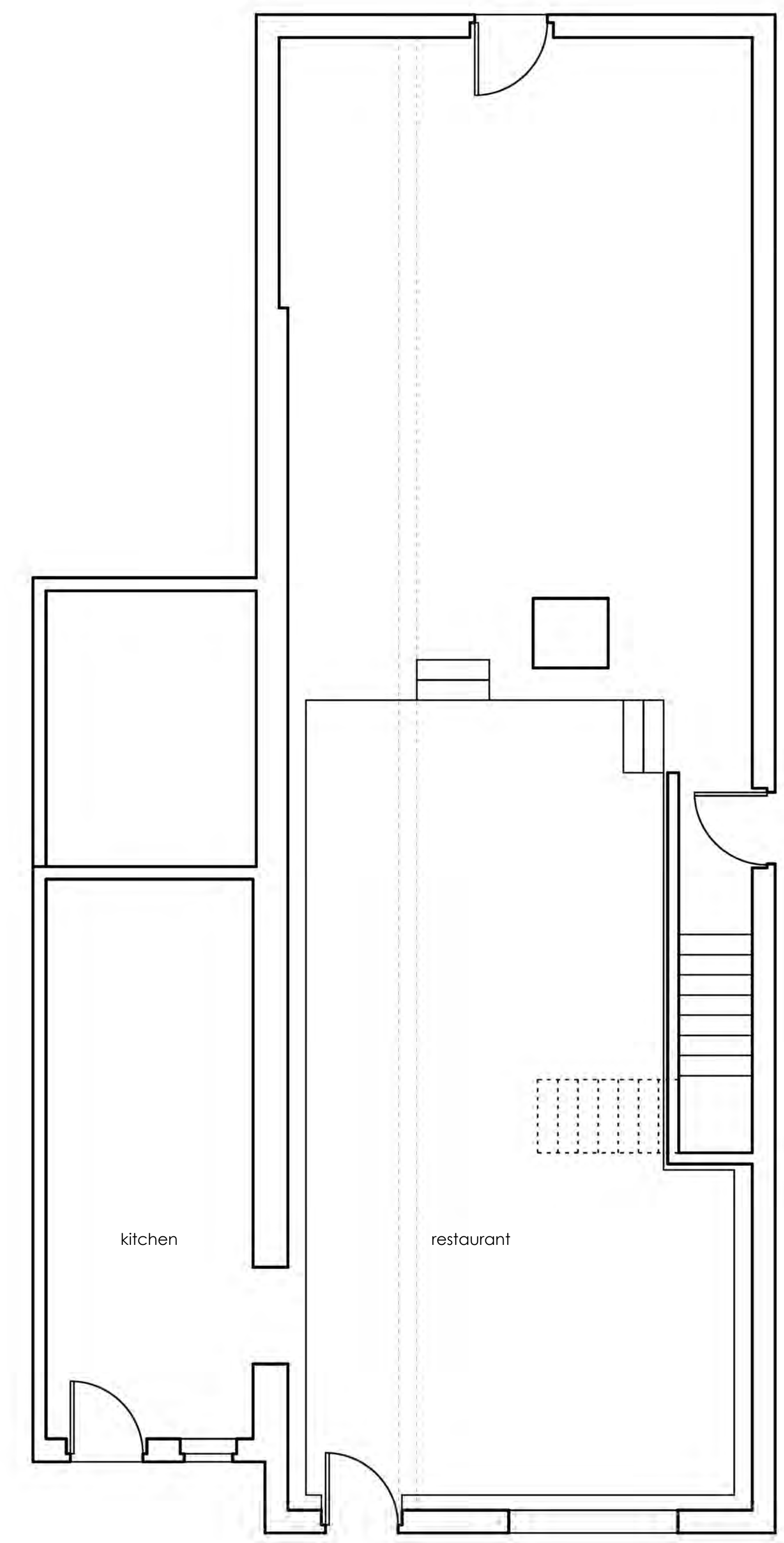
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843-577-8060 fax

renovations  
84 SPRING STREET  
CHARLESTON, SC  
CONCEPTUAL BAR

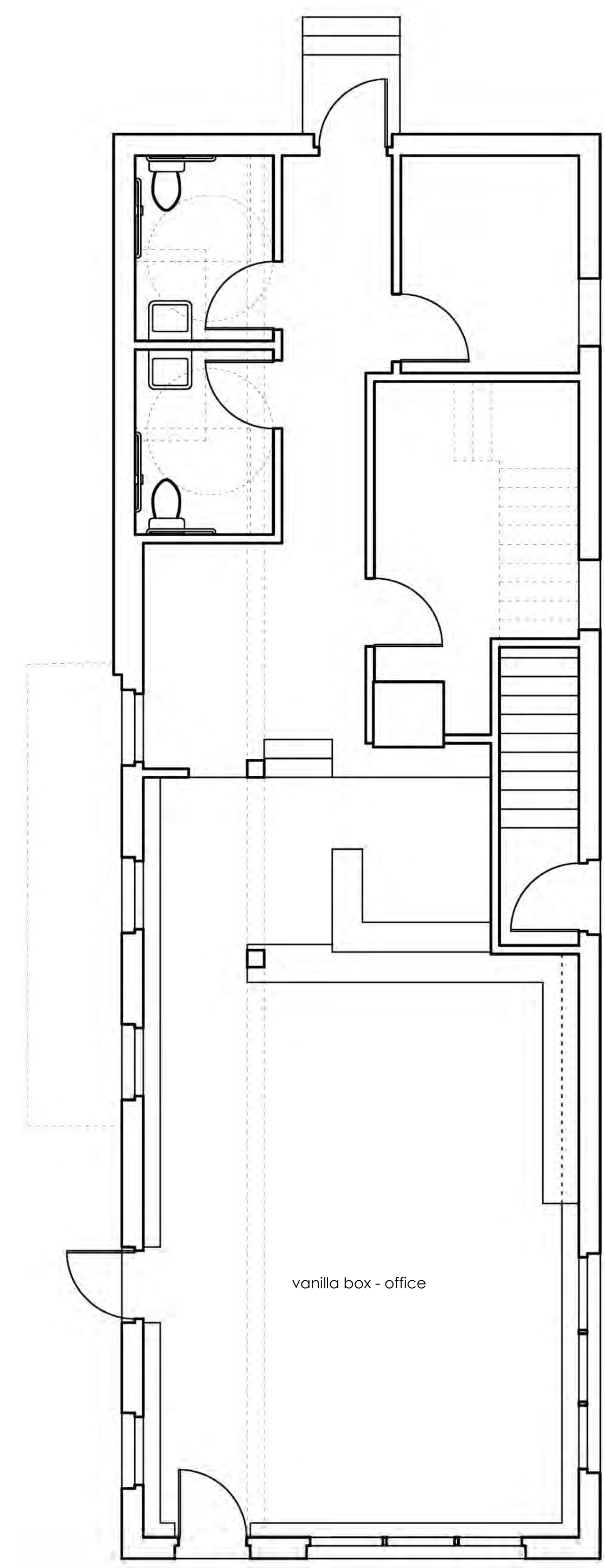
D E S I G N E D  
ajk  
D R A W N  
ajk  
C H E C K E D  
ajk

D A T E  
1-8-2020  
R E V I S I O N S

S H E E T  
A3.1



existing first floor plan: 1/4" = 1'-0"

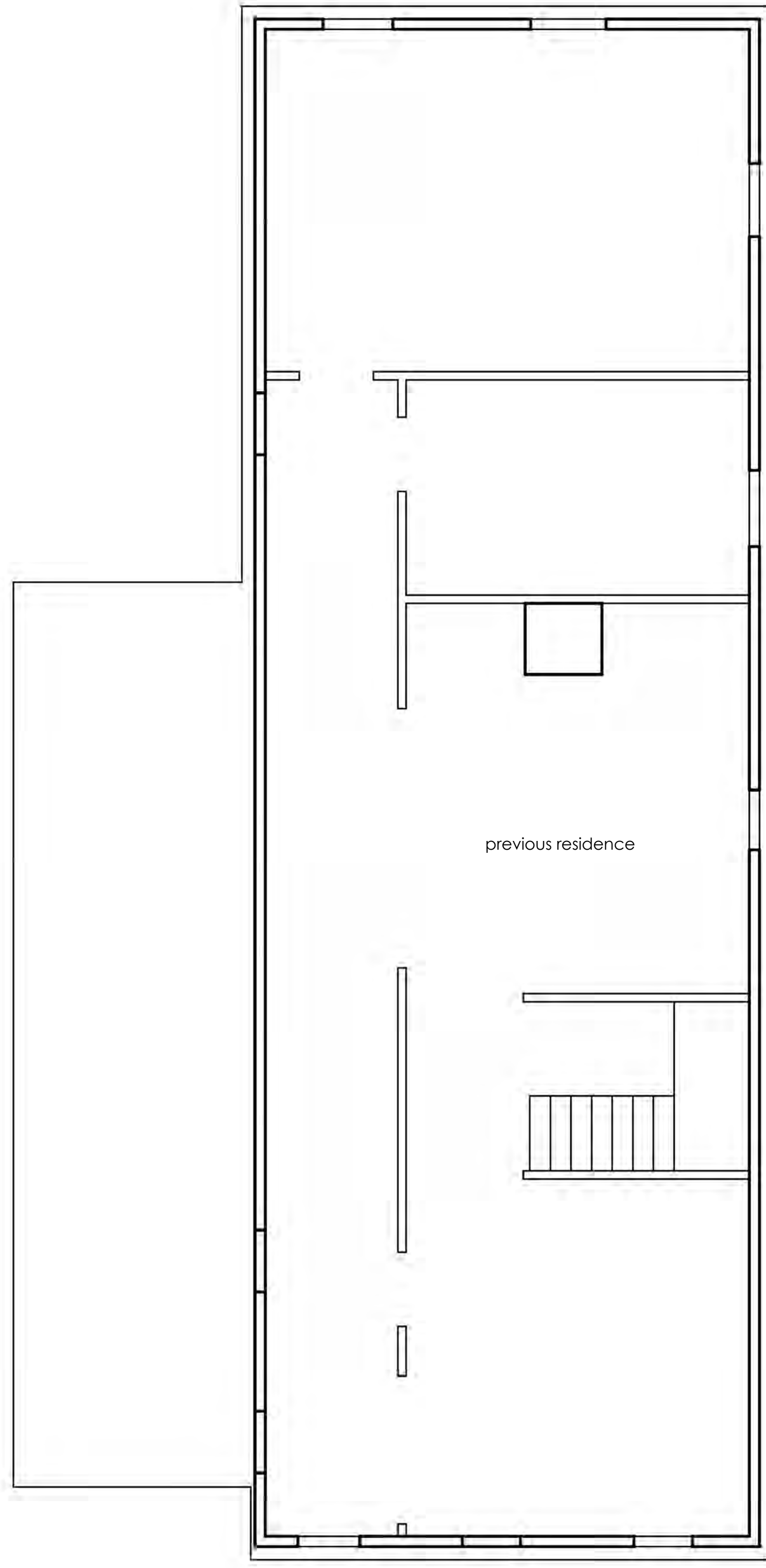


proposed first floor plan: 1/4" = 1'-0"

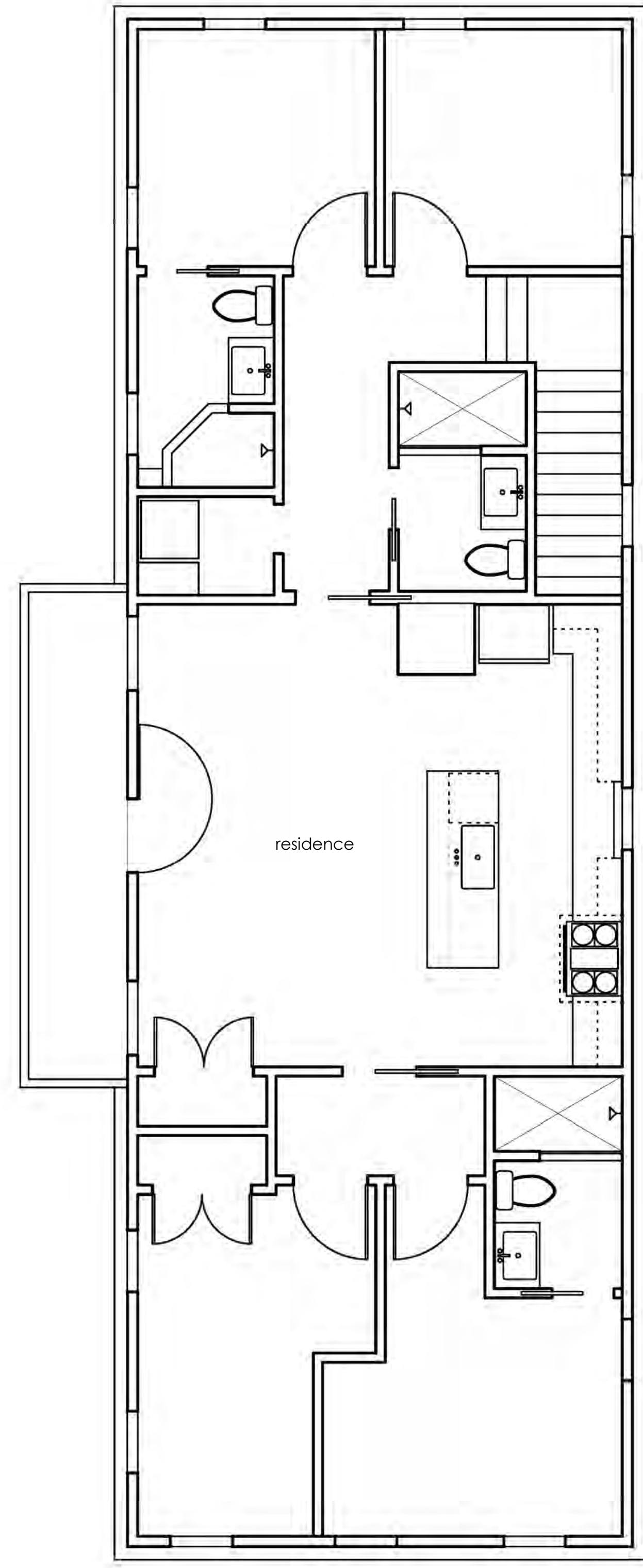
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CHARLESTON, S.C.  
29403  
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existing second floor plan: 1/4" = 1'-0"



proposed second floor plan: 1/4" = 1'-0"

renovations  
84 SPRING STREET  
CHARLESTON, SC  
CONCEPTUAL BAR

D E S I G N E D  
ajk  
D R A W N  
ajk  
C H E C K E D  
ajk

D A T E  
1-8-2020  
R E V I S I O N S

S H E E T  
A3.2

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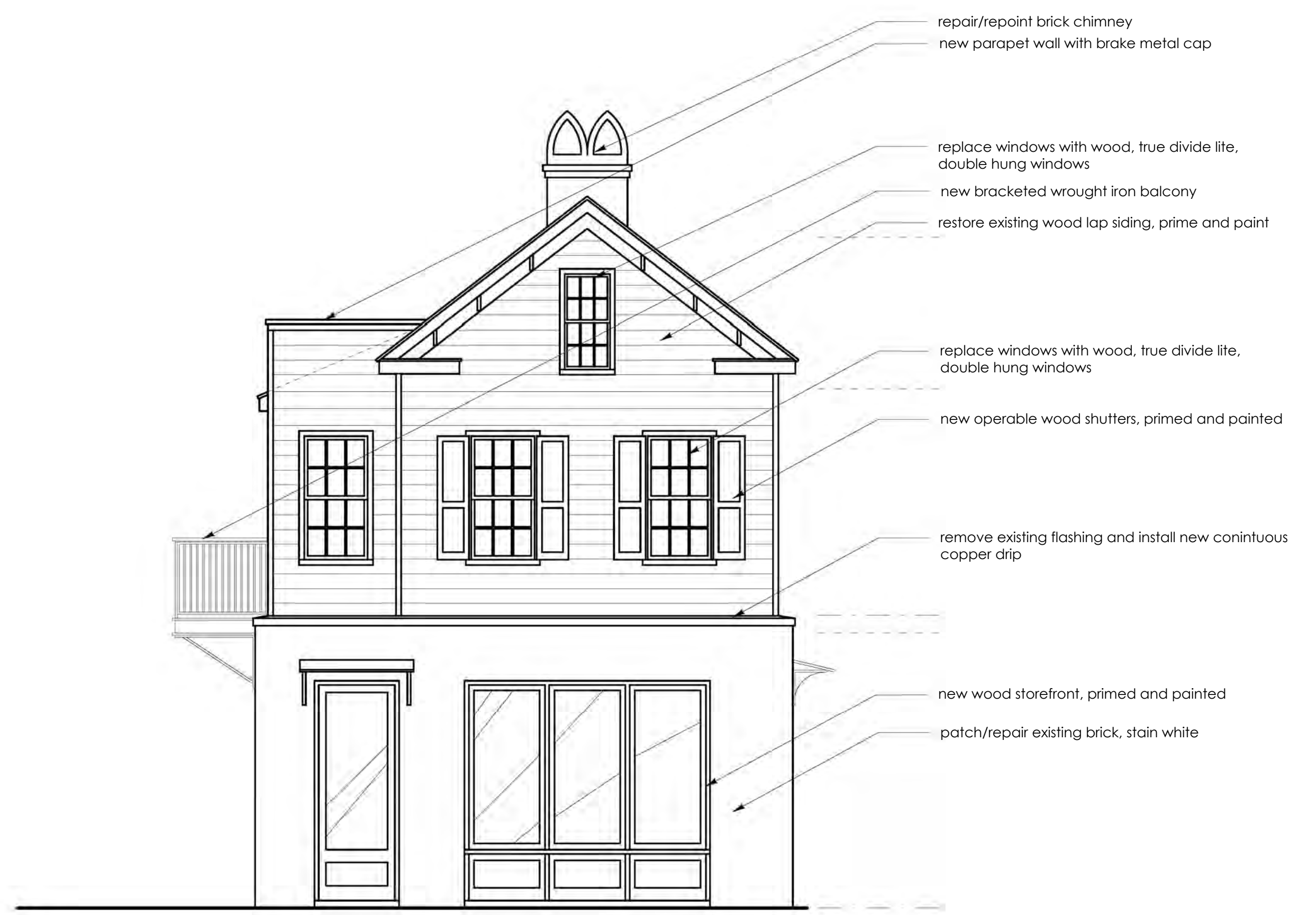
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ASHLEY KLUTTZ JENNINGS  
Charleston, SC  
05303  
REGISTERED ARCHITECT

STATE OF SOUTH CAROLINA  
AJ ARCHITECTS  
LLC  
Charleston, SC  
897003  
REGISTERED ARCHITECT

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existing south (spring street) elevation: 1/4" = 1'-0"



proposed south (spring street) elevation: 1/4" = 1'-0"

renovations  
84 SPRING STREET  
CHARLESTON, SC  
CONCEPTUAL BAR

D E S I G N E D  
ajk  
D R A W N  
ajk  
C H E C K E D  
ajk

D A T E  
1-8-2020  
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S H E E T  
A4.1

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renovations  
84 SPRING STREET  
CHARLESTON, SC  
CONCEPTUAL BAR

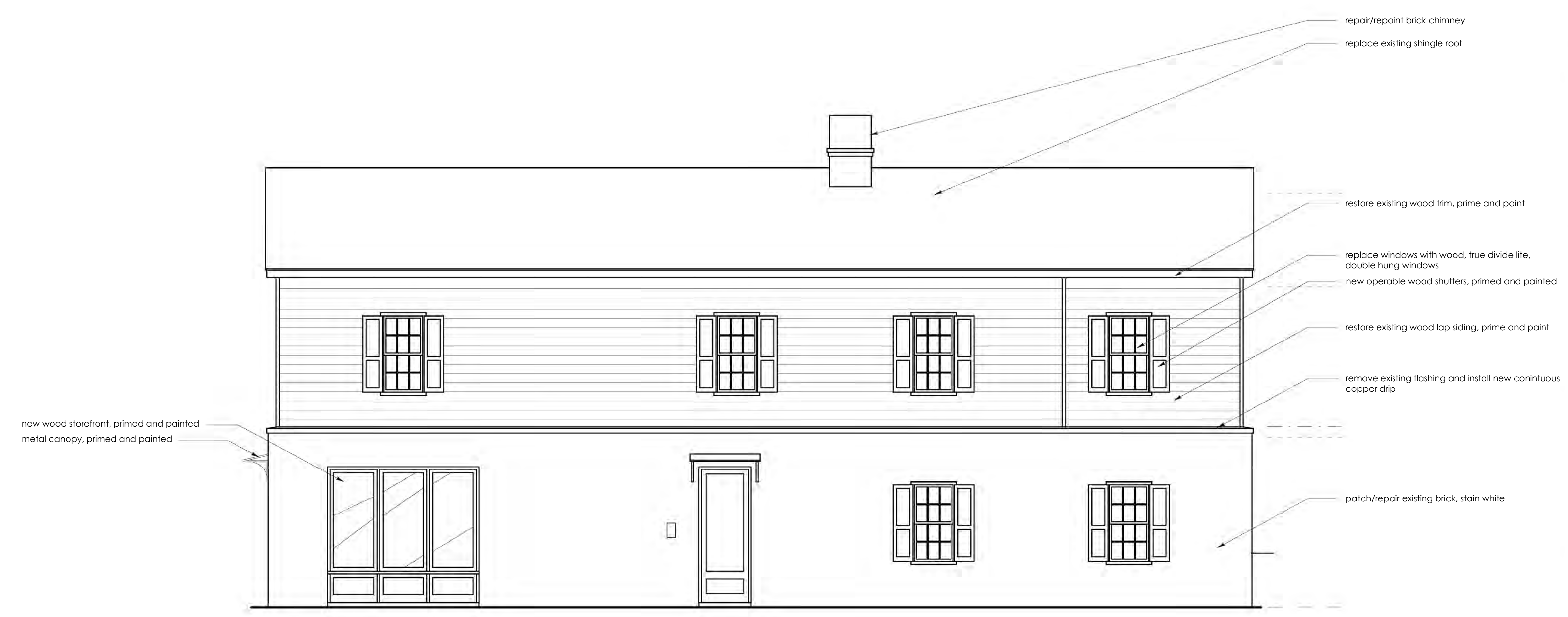
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ajk  
DRAWN  
ajk  
CHECKED  
ajk

DATE  
1-8-2020  
REVISIONS

SHEET  
A4.2



existing east (ashe street) elevation: 1/4" = 1'-0"



proposed east (ashe street) elevation: 1/4" = 1'-0"

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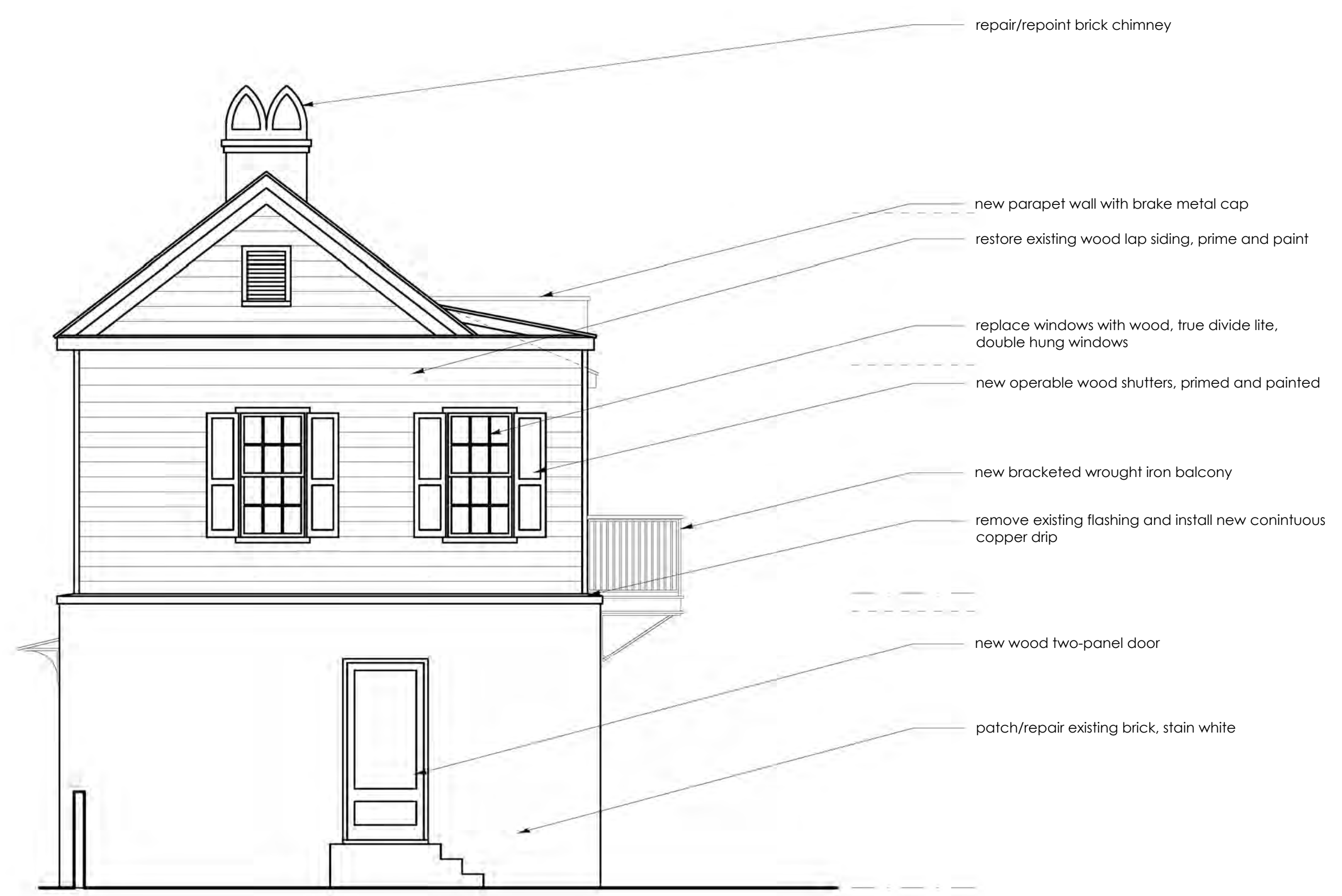
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REGISTERED ARCHITECT

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CHARLESTON, S.C.  
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existing north elevation: 1/4" = 1'-0"



proposed north elevation: 1/4" = 1'-0"

renovations  
84 SPRING STREET  
CHARLESTON, SC

CONCEPTUAL BAR

D E S I G N E D  
ajk

D R A W N  
ajk

C H E C K E D  
ajk

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1-8-2020

R E V I S I O N S

S H E E T

A4.3

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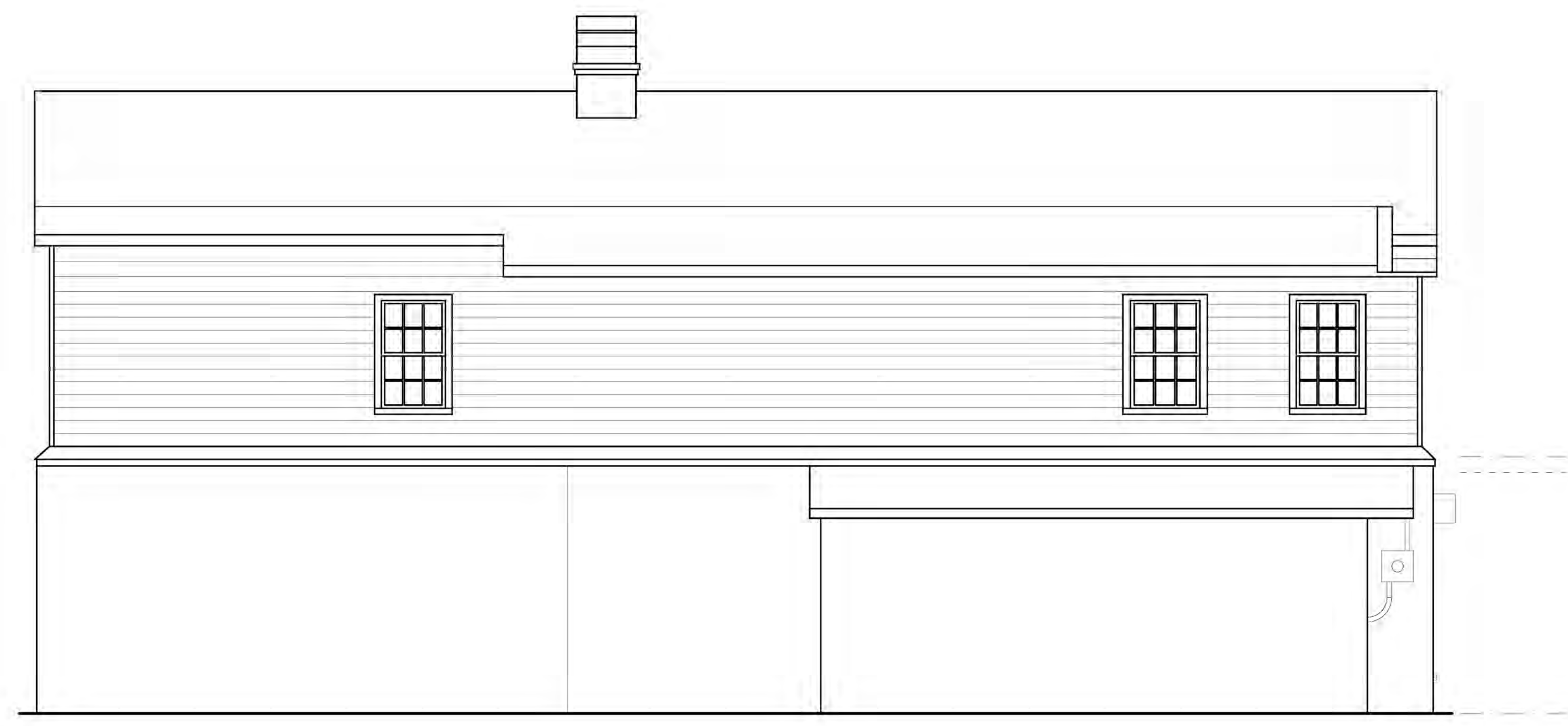
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843-577-8060 fax

renovations  
84 SPRING STREET  
CHARLESTON, SC  
CONCEPTUAL BAR

D E S I G N E D  
ajk  
D R A W N  
ajk  
C H E C K E D  
ajk

D A T E  
1-8-2020  
R E V I S I O N S

S H E E T  
A4.4



existing west elevation: 1/4" = 1'-0"



proposed west elevation: 1/4" = 1'-0"

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**NEW STOREFRONT**  
415 KING STREET  
CHARLESTON SC 29403

BAR 1

D E S I G N E D  
akj  
D R A W N  
akj | bbg  
C H E C K E D  
akj

D A T E  
1•10•2020  
R E V I S I O N S

S H E E T

**A1.0**

EXISTING/PROPOSED ELEVATIONS



context plan: NTS





King Street looking north



415 King Street



King Street looking southwest



King Street looking northwest

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**NEW STOREFRONT**  
415 KING STREET  
CHARLESTON SC 29403

BAR 1

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akj  
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SHEET  
**PHOTO.1**  
PHOTOGRAPHS

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**NEW STOREFRONT**  
415 KING STREET  
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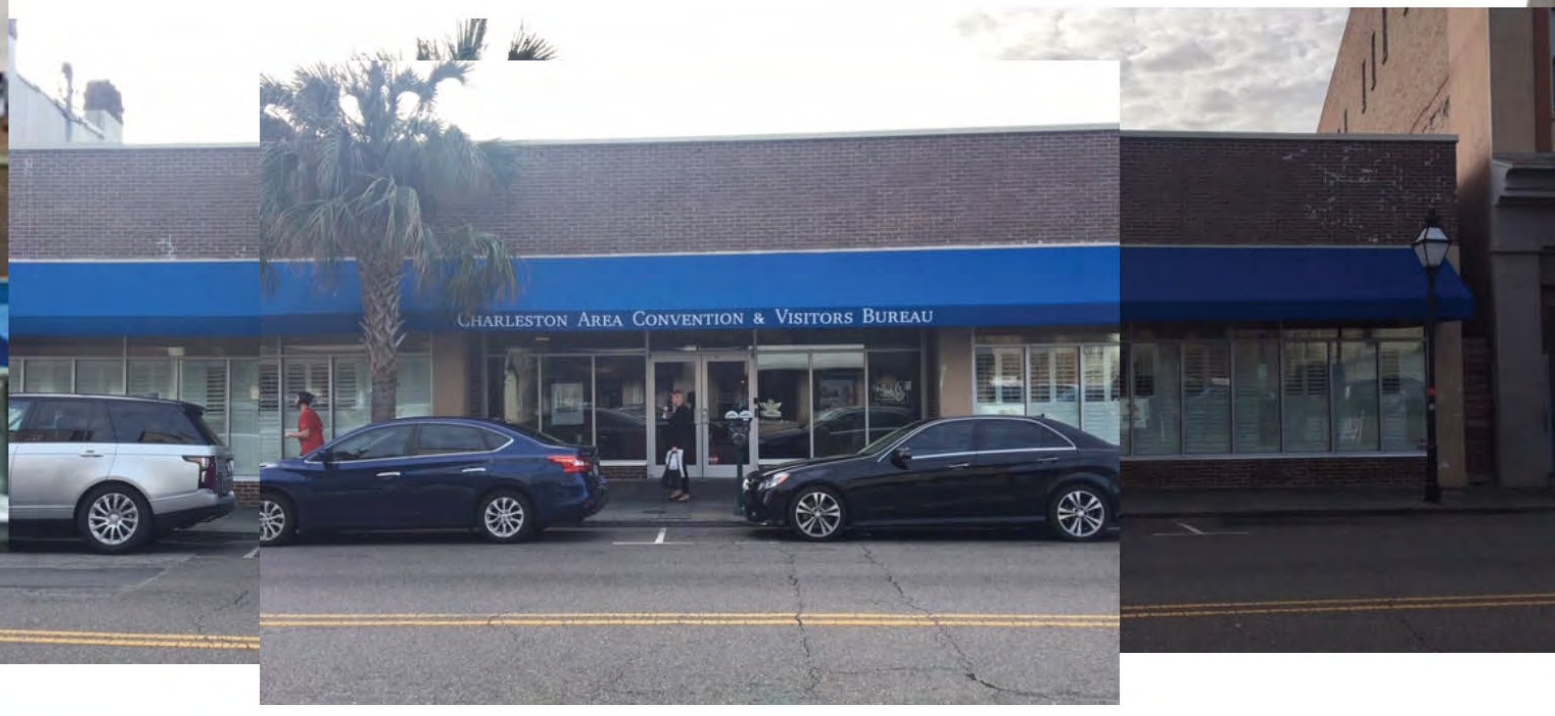
BAR 1

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**PHOTO.2**  
PHOTOGRAPHS



King Street West Elevation



King Street East Elevation

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**NEW STOREFRONT**  
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CHARLESTON SC 29403

BAR 1

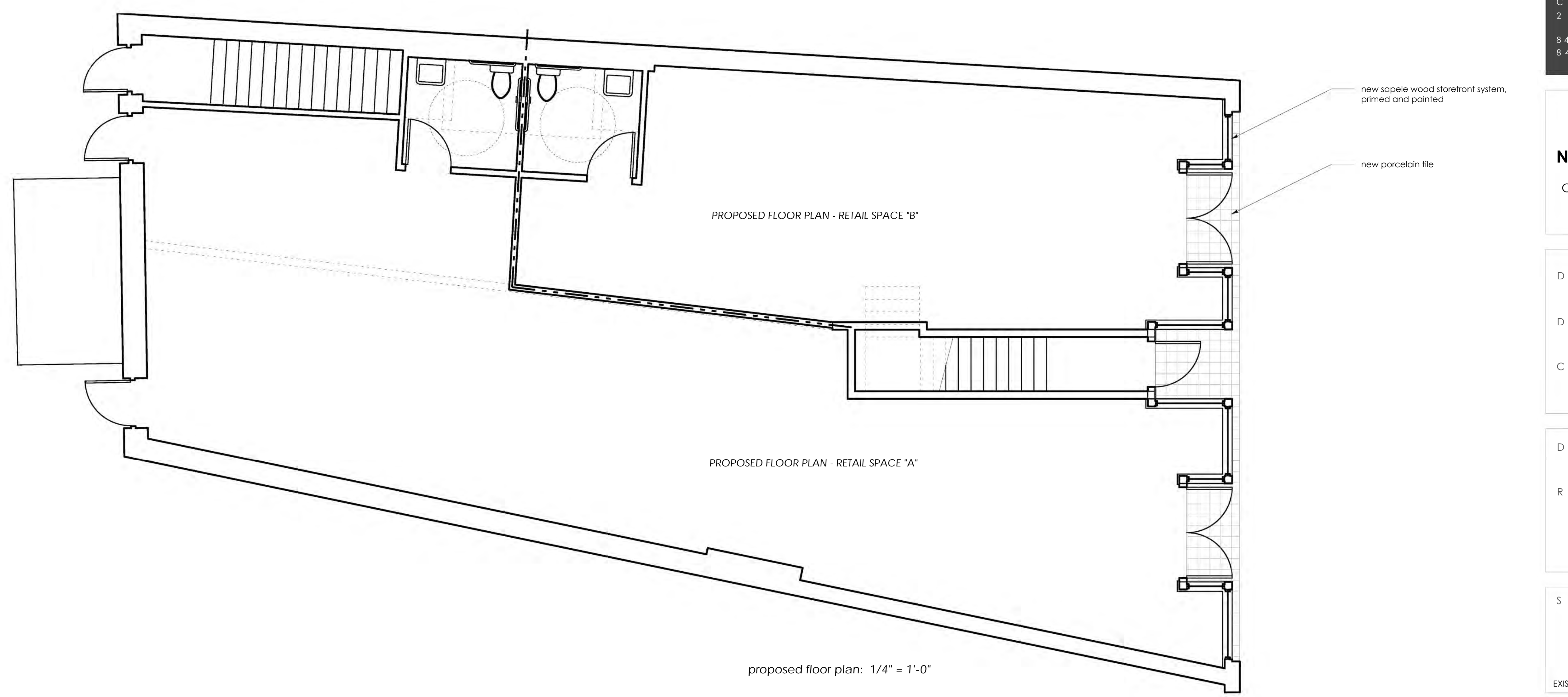
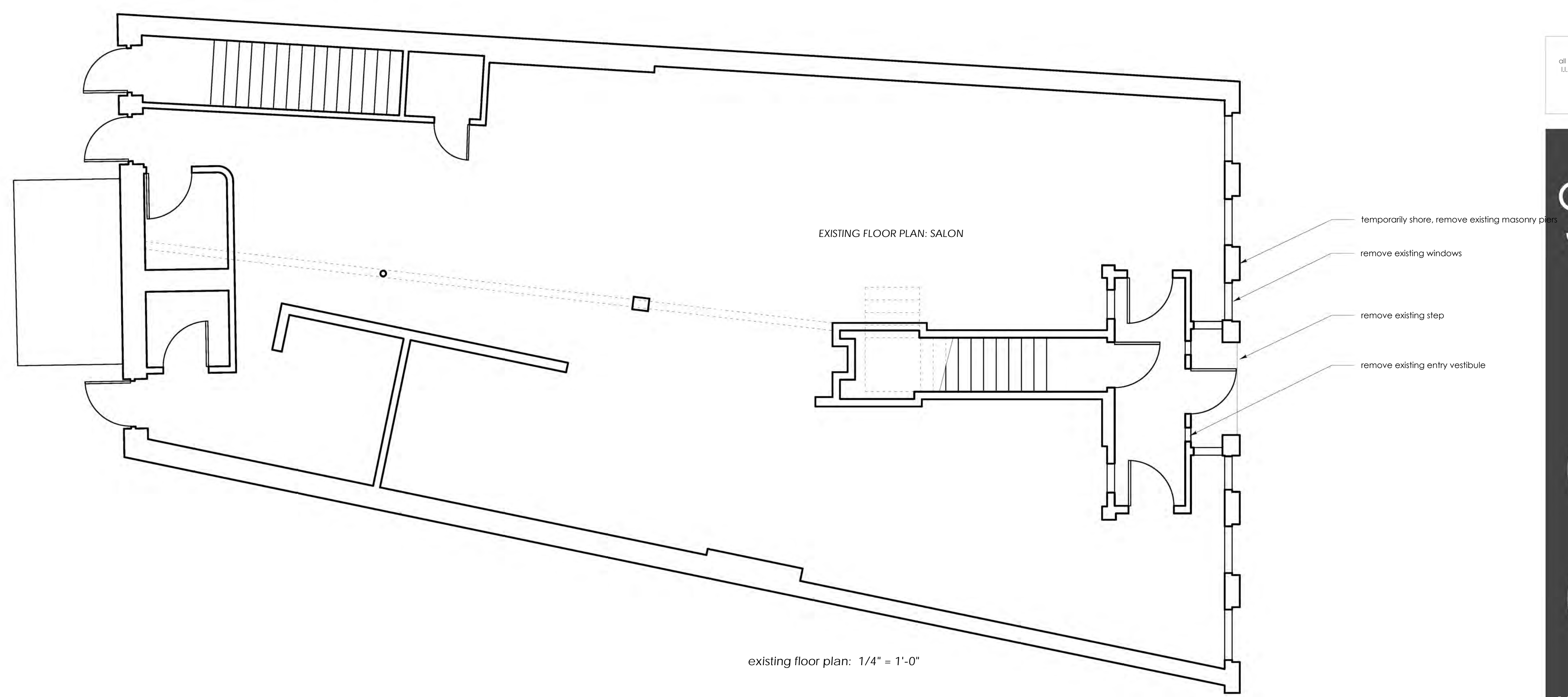
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A3.1

EXISTING/PROPOSED FLOOR PLANS





- restore existing stucco, repair cracks
- temporarily shore, remove existing piers
- remove existing windows

existing king street elevation: 3/8" = 1'-0"



- restore existing hoods, prime and paint
- restore existing stucco, repair cracks
- restore existing windows, prime and paint
- signage by tenant (stenciled or pin-mounted steel letters)
- 1/4" tempered glass, direct set
- wood transom bar
- wood door with 3/4 lite and paneled base
- 6x6 wood post with chamfered corners
- 1/4" tempered glass, direct set
- wood glass bead
- heavy wood sill
- wood paneled base

proposed king street elevation: 3/8" = 1'-0"

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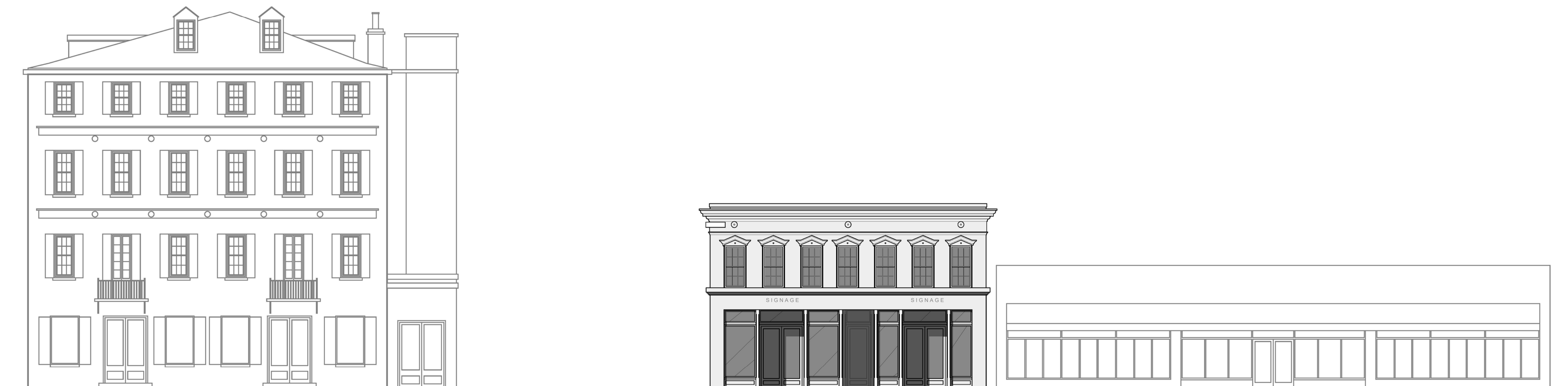
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existing king street context: 1/8" = 1'-0"



proposed king street context: 1/8" = 1'-0"

**NEW STOREFRONT**  
415 KING STREET  
CHARLESTON SC 29403

BAR 1

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A4.2

EXISTING/PROPOSED CONTEXT

145 Moultrie Street

2007



# June 2012





# August 2012



2015



2017



**MICHAEL H. HANCE, PE LLC**

STRUCTURAL DESIGN AND CONSULTING

1133 Club Terrace  
Bluffton, S.C. 29924  
Telephone: (843) 836-2148  
mhhance@comcast.net

October 9, 2019

James Meadors  
145 Moultrie Street  
Charleston, South Carolina 29412

**Subject: Structural Assessment – Roof Closure System**  
145 Moultrie Street  
Charleston, South Carolina 29412

**Mr. Meadors**

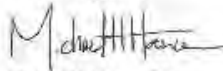
The purpose of the following letter is to provide a review of the existing roof framing and a recommendation regarding replacement of the existing roof closure system at the subject property. Per your request, a site inspection of the existing roof framing was performed. Visual observations were limited to the structural roof components in the attic area only. The existing main roof system at the subject property is constructed of a hip roof configuration that supports concrete tile roofing. Hip rafters and dormer framing extend a center ridge line and terminate at exterior walls. Modifications performed by the previous owner included the removal of ridge support and installation of intermediate knee walls in the attic space. Due to the weight of the existing concrete tile roofing and relocation of vertical support, deflection of hip rafter framing was evident. As part of renovations to the existing structure, it is our understanding the existing concrete tile roofing has been removed and a new roof closure system is to be installed.

**Roof Closure System Recommendation:**

Based on the modifications to the roof framing described above, the installation of slate or concrete tiles similar to the existing roofing is not recommended due to the heavier loads introduced by these systems. Based on the roof framing observed, the new roof closure system should be limited to copper or asphalt shingle roofing only.

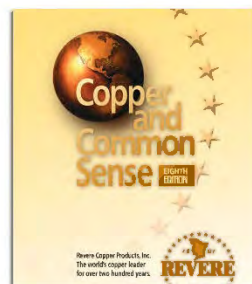
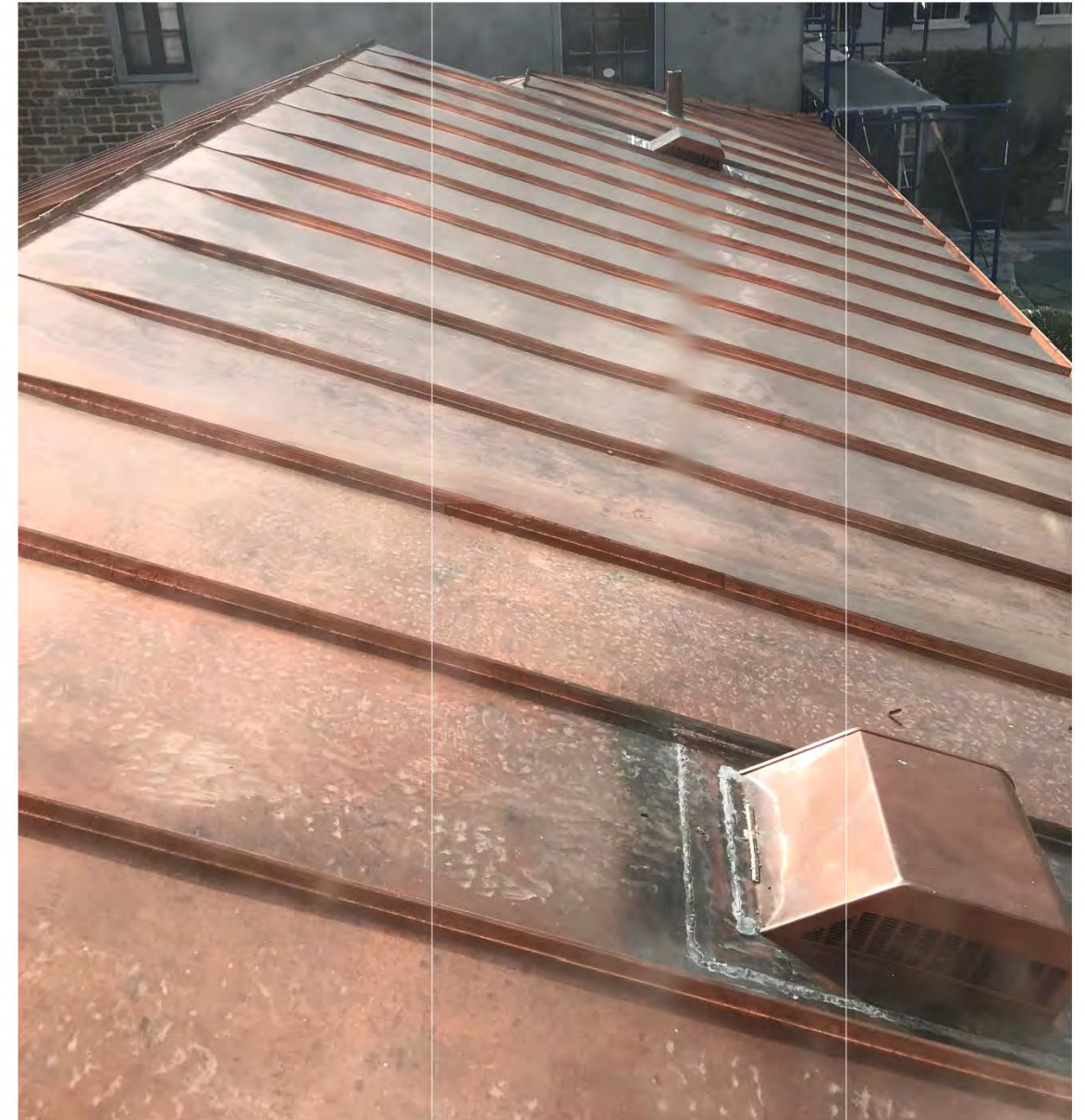
I appreciate the opportunity to provide you with this letter and if I can answer any questions or provide any additional services, please contact my office.

Respectfully yours,

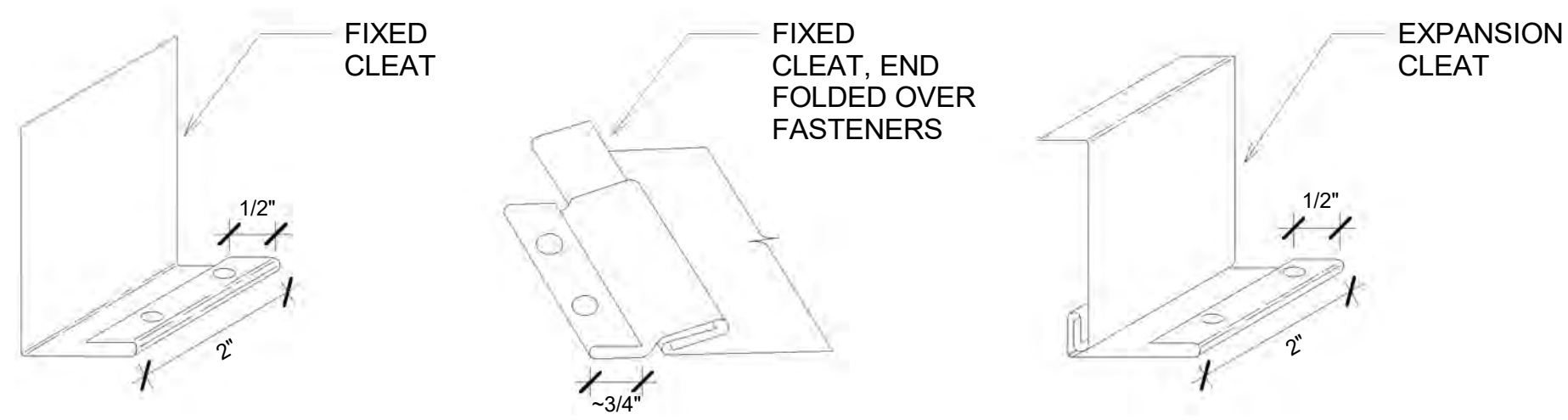


Michael H. Hance, PE  
Michael H. Hance PE LLC





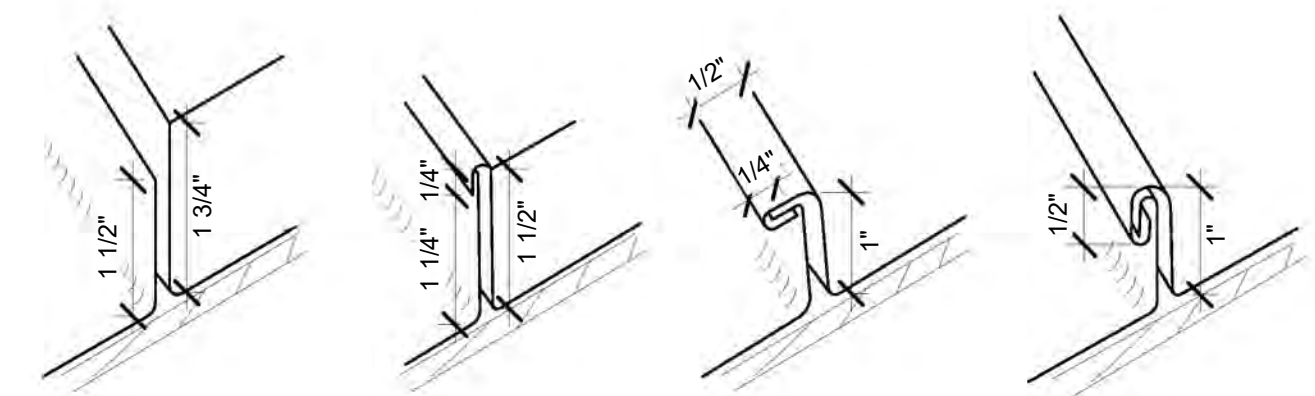
Example of standing seam copper roof that is representative of the roof proposed to be installed on 145 Moultrie Street. Roof to be hand crimped, double lock, standing seam 16 oz. copper. Roof to be installed according to Revere's Copper and Common Sense specifications.



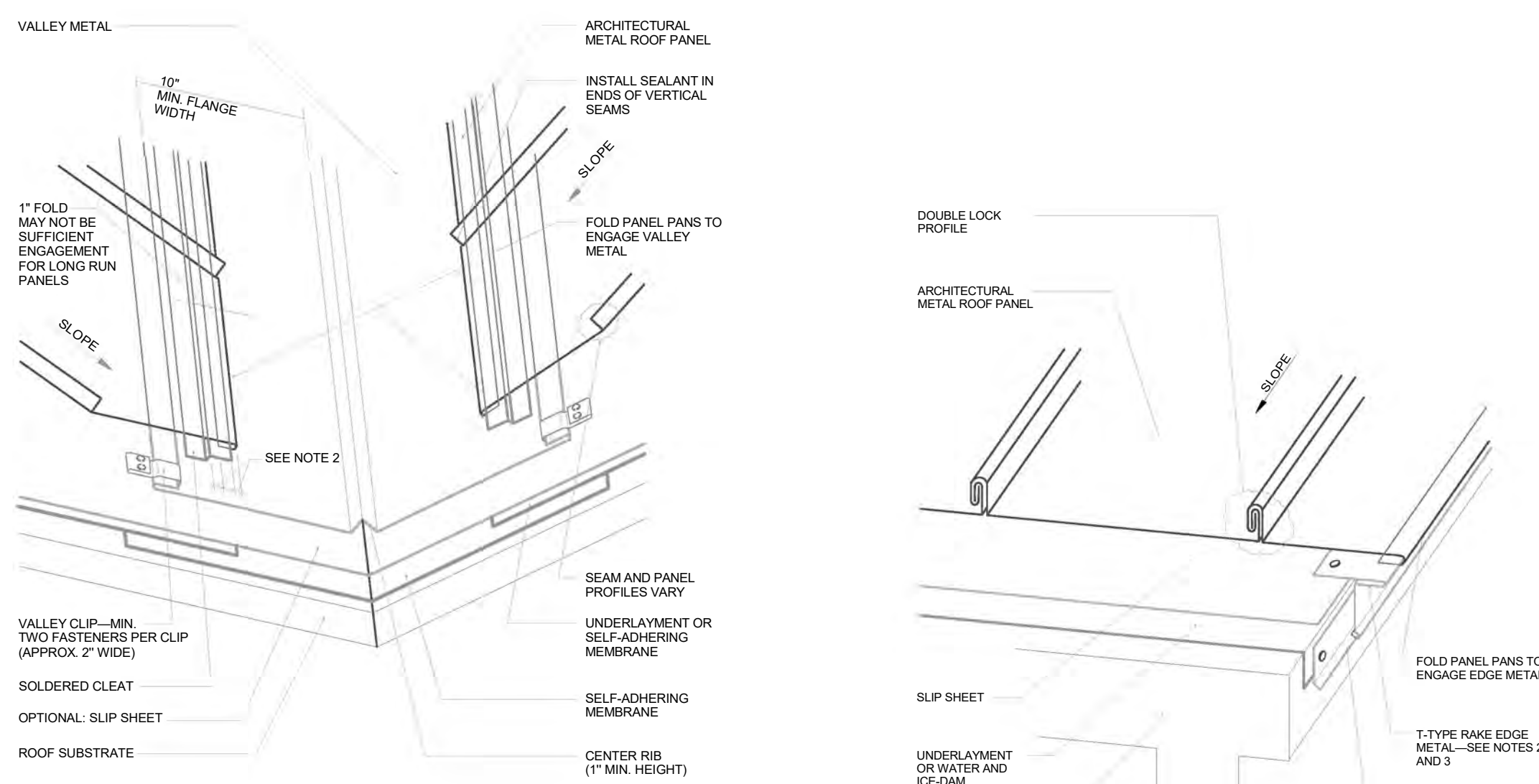
1 COPPER CLEAT TYPES AND DETAILS  
6" = 1'-0"



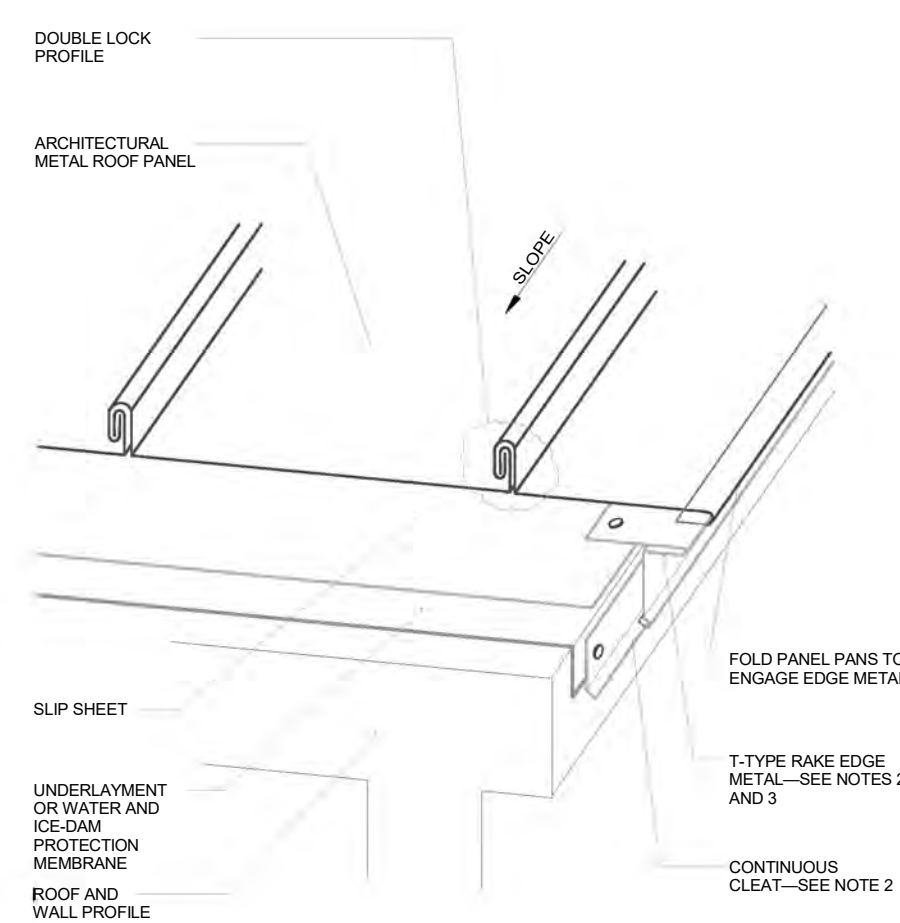
7 COPPER PAN FORM DETAIL  
1 1/2" = 1'-0"



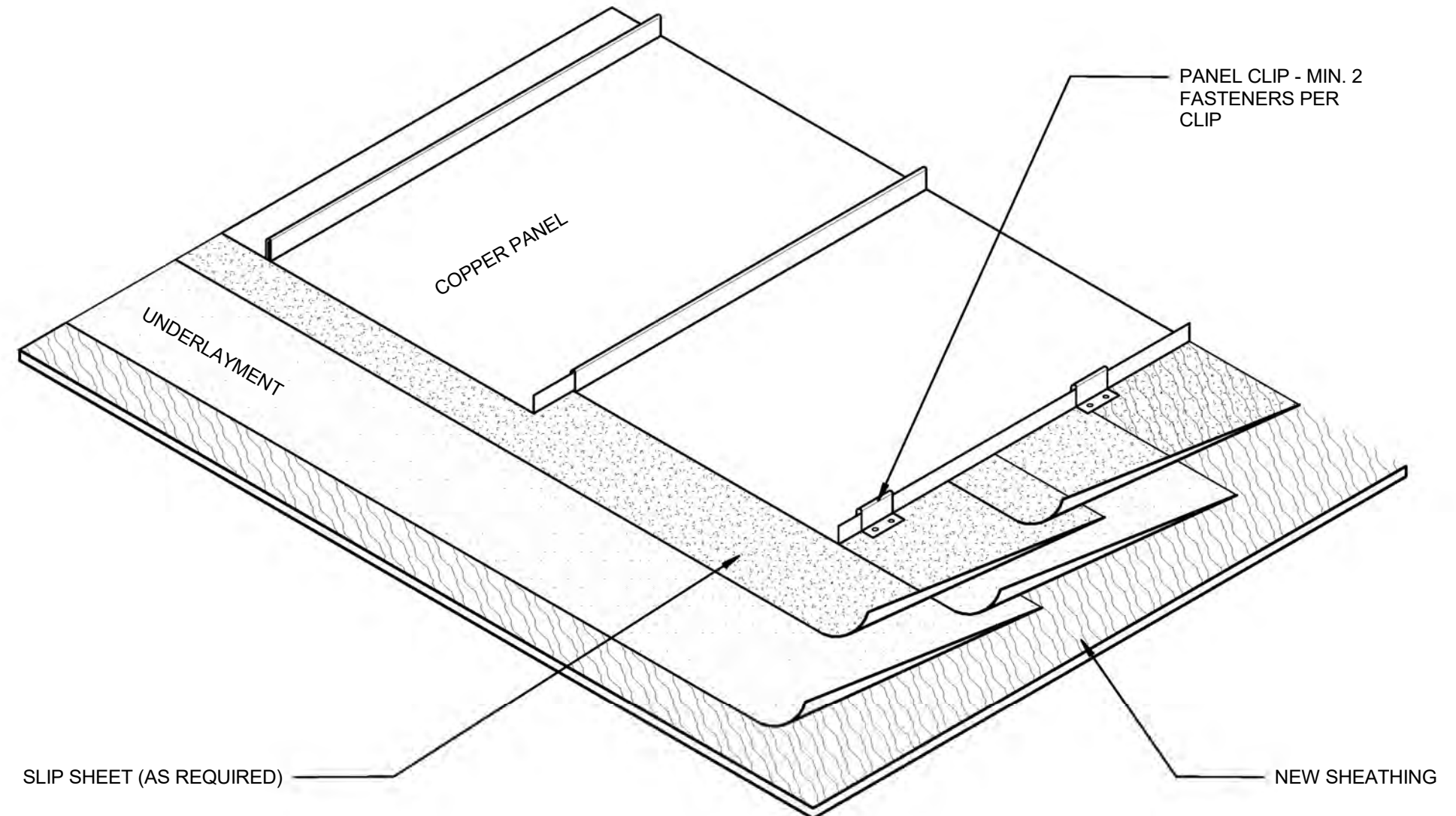
6 COPPER STANDING SEAM DETAILS  
6" = 1'-0"



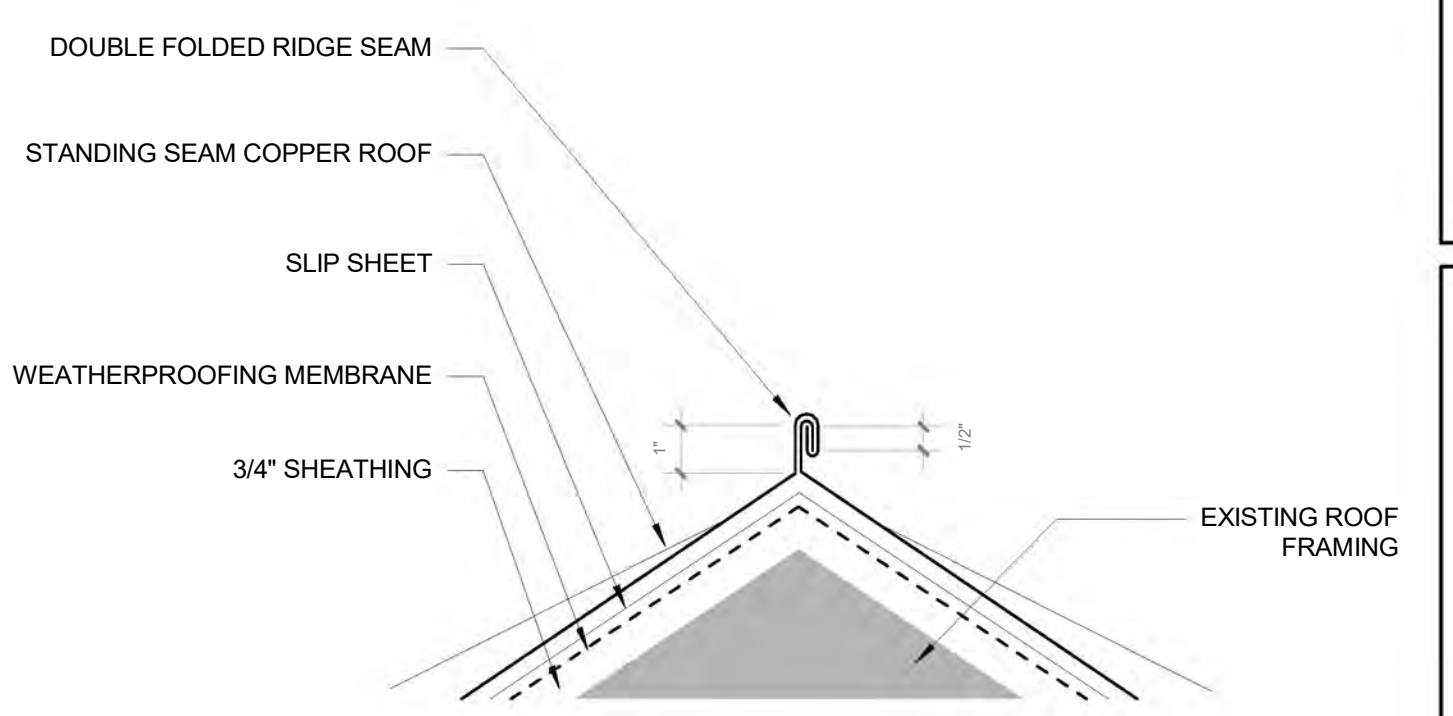
2 OPEN METAL VALLEY FOR SOLDERABLE METALS  
1 1/2" = 1'-0"



3 RAKE EDGE FLASHING  
1 1/2" = 1'-0"



4 STANDING SEAM OVER NAILABLE DECK  
1 1/2" = 1'-0"



5 FOLDED RIDGE DETAIL  
3" = 1'-0"

NOTES:  
1. SPECIFIC FASTENING REQUIREMENTS ARE NOT INDICATED AS THEY VARY FROM SYSTEM TO SYSTEM DEPENDING ON PANEL MANUFACTURER'S REQUIREMENTS, WIND ZONE AND BUILDING CODE.  
2. DIMENSIONS SHOULD ACCOMMODATE EXPECTED MOVEMENT.  
3. DIMENSIONS FOR VALLEY METAL WIDTH VARY ACCORDING TO PANEL LENGTHS AND GEOGRAPHIC CONSIDERATIONS.

NOTES:  
1. SPECIFIC FASTENING REQUIREMENTS ARE NOT INDICATED AS THEY VARY FROM SYSTEM TO SYSTEM DEPENDING ON PANEL MANUFACTURER'S REQUIREMENTS, WIND ZONE AND BUILDING CODE.  
2. REFER TO THE ARCHITECTURAL METAL FLASHING SECTION OF THE NRCA ROOFING MANUAL, ARCHITECTURAL METAL FLASHING, CONDENSATION AND AIR LEAKAGE CONTROL, AND REROOFING FOR PERIMETER EDGE METAL THICKNESS AND CLEAT RECOMMENDATIONS.

\* DIMENSIONS MAY VARY SLIGHTLY BASED ON PAN FORMER

DOUBLE LOCK

**MEADORS**  
SINCE 1984  
2811 AZALEA DRIVE ■ CHARLESTON, SC ■ 843.723.8585

STATE OF SOUTH CAROLINA  
MEADORS, INC.  
Charleston, SC 100192  
REGISTERED ARCHITECTS

**JAMES MEADORS**  
145 MOUTRIE STREET  
CHARLESTON SC 29403

Schematic Design

PROJ. 18-0171  
ISSUE DATE: 09/10/15

REVISIONS		
#	DATE	NOTES

COPPER ROOF DETAILS  
**A505**

A NEW DEPENDENCY BUILDING AT:  
**147 SPRING STREET**

**147 SPRING STREET**  
 CHARLESTON, SC

**LOCATION MAPS**

**PROJECT OWNER**

**ARCHITECT & LANDSCAPE ARCHITECT**

BYERS COLLABORATIVE  
 FOLLY BEACH, SC 29439  
 P: 843.814.8544

**SANFORD BYERS, RA, PLA**



**BYERS**  
 collaborative  
 sanford@byerscol.com

S E A L

P R O J E C T

**S H E E T I N D E X**

**ARCHITECTURE**

A-000	INDEX
A-001	EXISTING CONDITIONS PHOTOS
A-100	PROPOSED SITE PLAN
A-101	PROPOSED FLOOR PLANS
A-102	PROPOSED FLOOR PLANS
A-201	PROPOSED ELEVATIONS
A-202	PROPOSED ELEVATIONS
A-301	SITE SECTION

**STRUCTURAL**


**ELECTRICAL**


**MECHANICAL**


**SUPPLEMENTAL DOCUMENTS**


**PLUMBING**


**RELEASE HISTORY**


**A NEW DEPENDENCY BUILDING AT  
 147 SPRING STREET**

L O C A T I O N

147 SPRING STREET  
 CHARLESTON, SC

T I T L E

INDEX

S H E E T

**A-000**

D A T E P U R P O S E

01.17.20 BAR CONCEPTUAL



143 SPRING



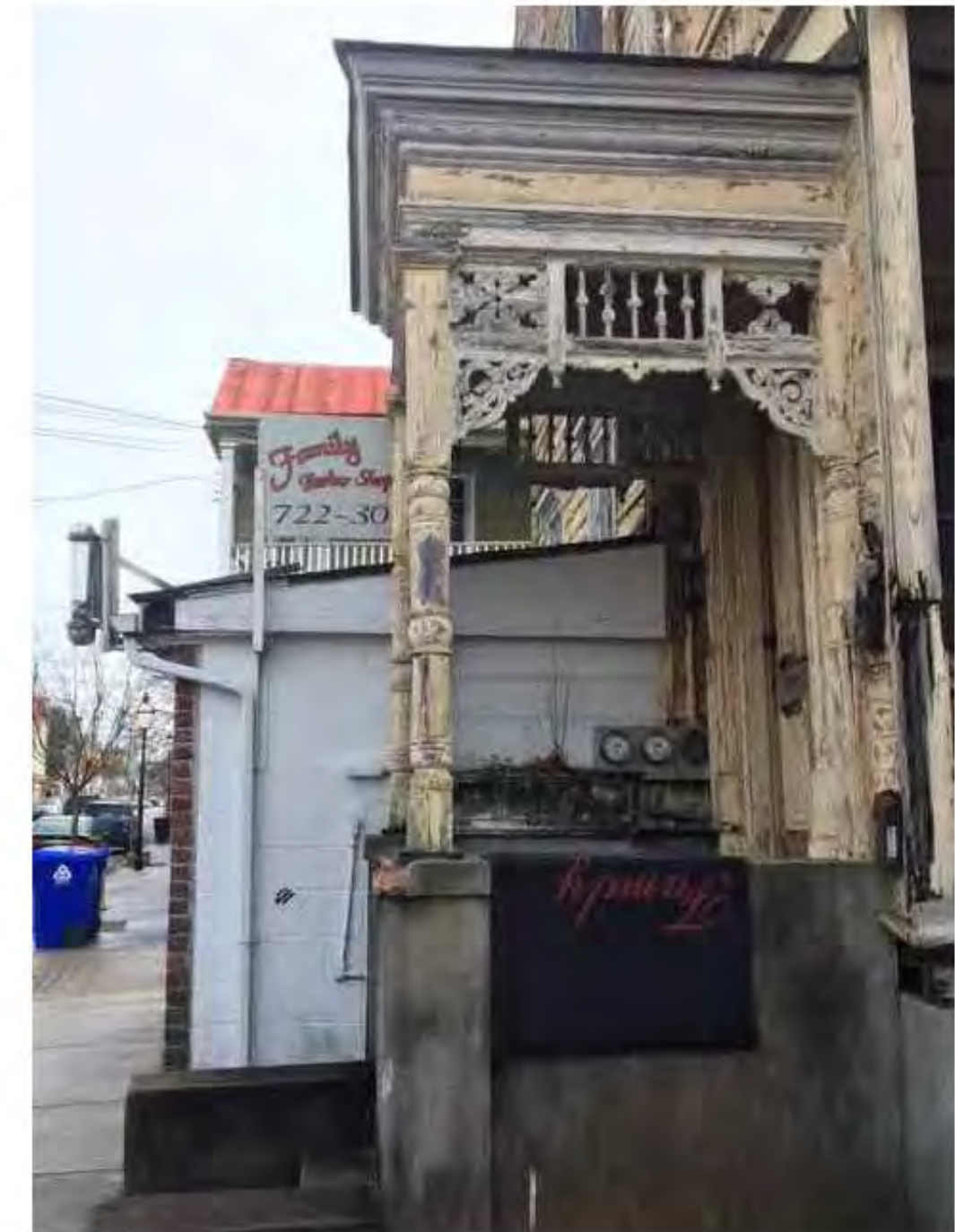
145 SPRING



147 SPRING  
FRONT LEFT



147 SPRING  
FRONT



147 SPRING  
FRONT RIGHT



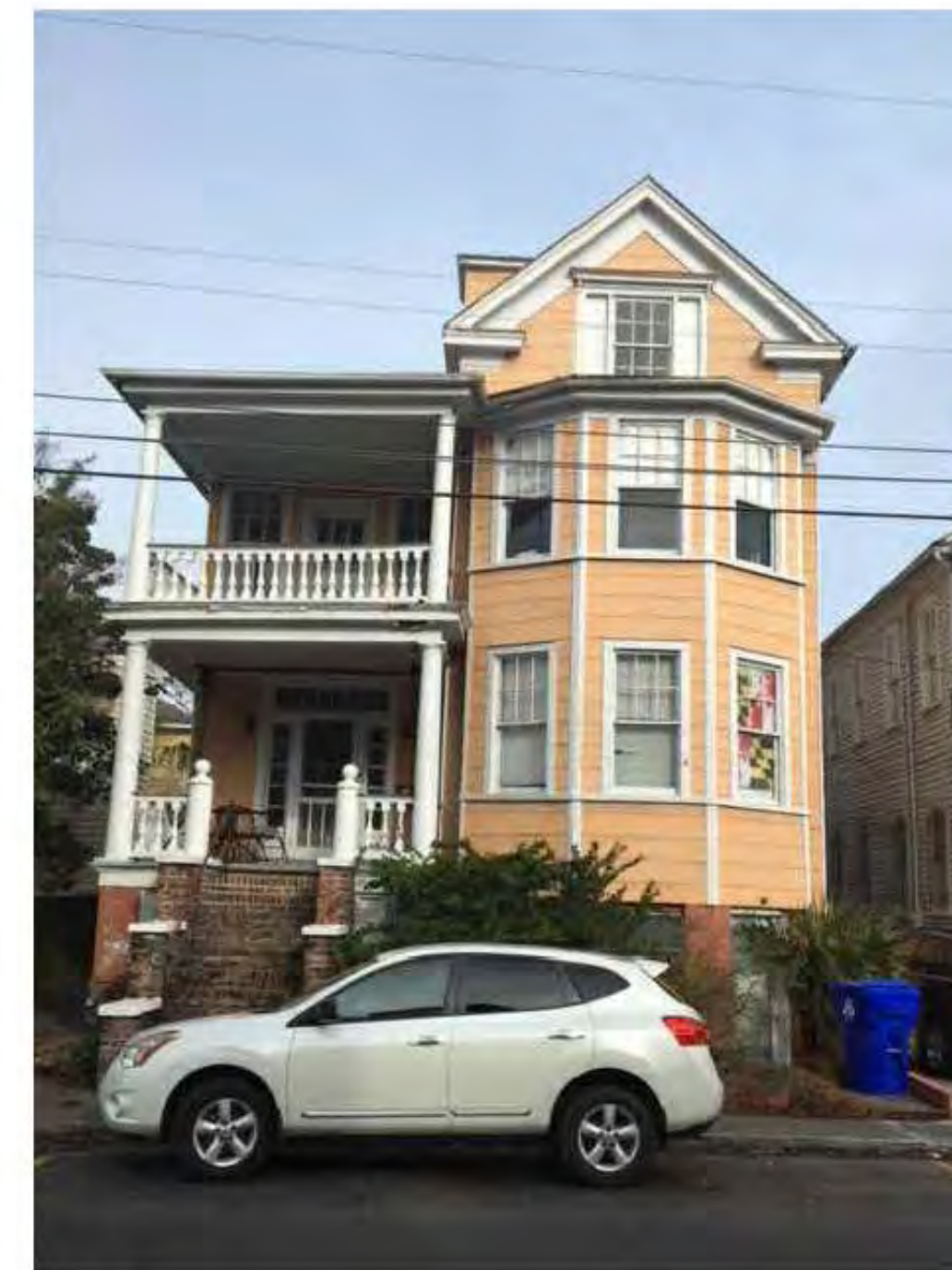
149 SPRING



151 SPRING



152 SPRING  
FRONT



150 SPRING  
FRONT



148 SPRING  
FRONT RIGHT

S E A L

P R O J E C T

A NEW DEPENDENCY BUILDING AT  
**147 SPRING STREET**

L O C A T I O N  
147 SPRING STREET  
CHARLESTON, SC

T I T L E  
EXISTING  
CONDITIONS  
PHOTOS

S H E E T

**A-001**

D A T E P U R P O S E  
01.17.20 BAR CONCEPTUAL



S E A L  
P R O J E C T

A NEW DEPENDENCY BUILDING AT  
**147 SPRING STREET**

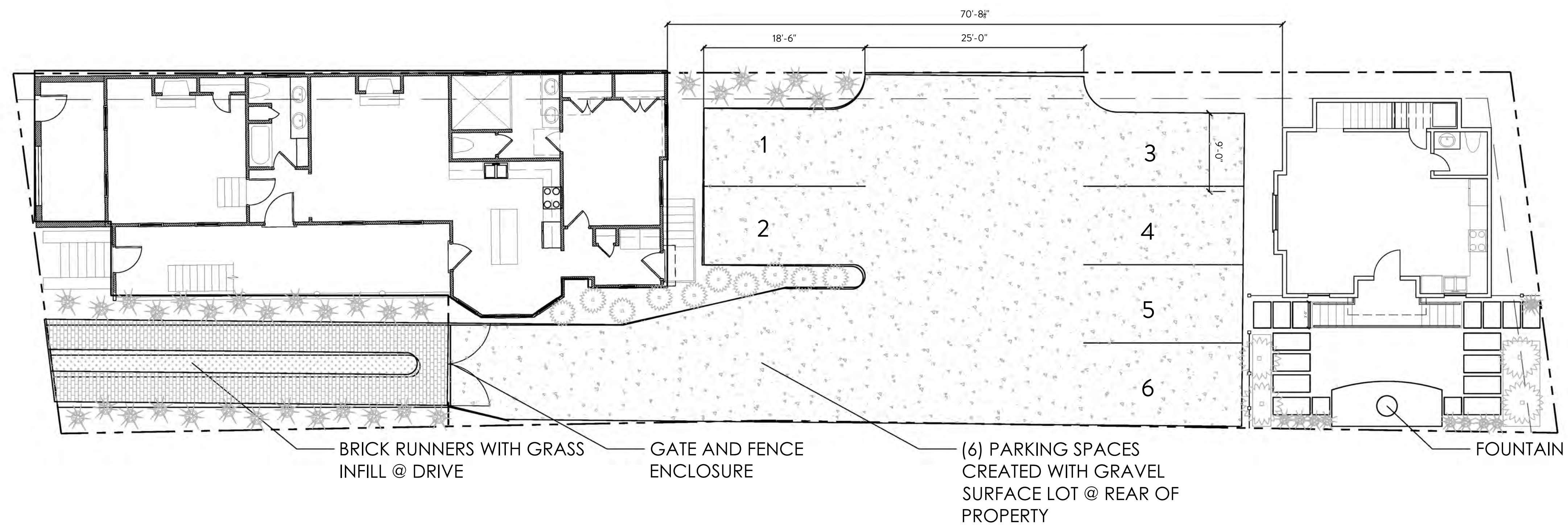
L O C A T I O N  
147 SPRING STREET  
CHARLESTON, SC

T I T L E  
PROPOSED SITE PLAN

S H E E T

**A-100**

D A T E P U R P O S E  
01.17.20 BAR CONCEPTUAL

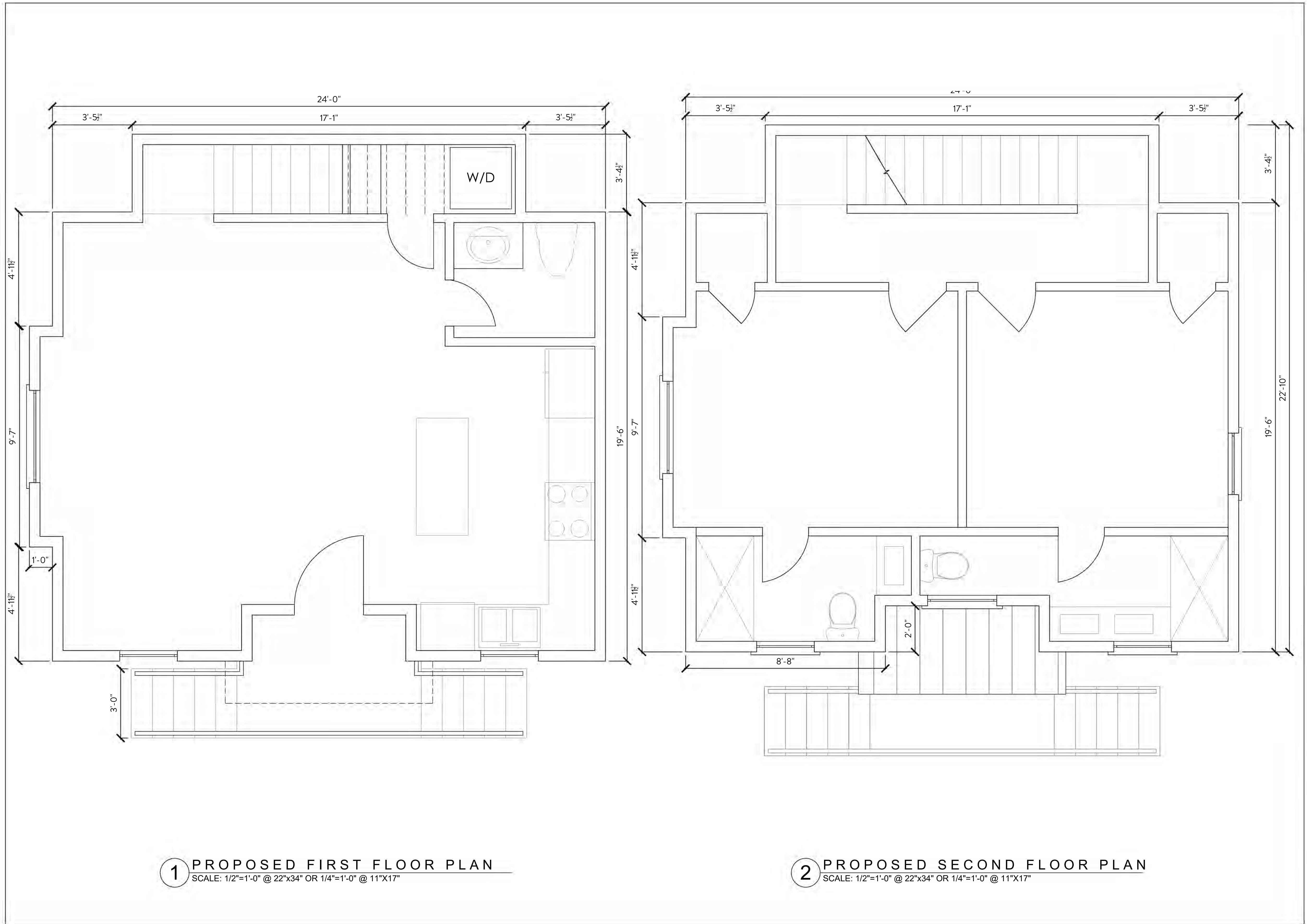


NOTE: FINAL LANDSCAPE, HARDSCAPE, AND FENCING DETAILS BY OTHERS



NORTH

**1** PROPOSED SITE PLAN  
SCALE: 1/8"=1'-0" @ 22"x34" OR 1/16"=1'-0" @ 11"x17"



**1** PROPOSED FIRST FLOOR PLAN  
 SCALE: 1/2"=1'-0" @ 22"x34" OR 1/4"=1'-0" @ 11"x17"

**2** PROPOSED SECOND FLOOR PLAN  
 SCALE: 1/2"=1'-0" @ 22"x34" OR 1/4"=1'-0" @ 11"x17"

S E A L

P R O J E C T

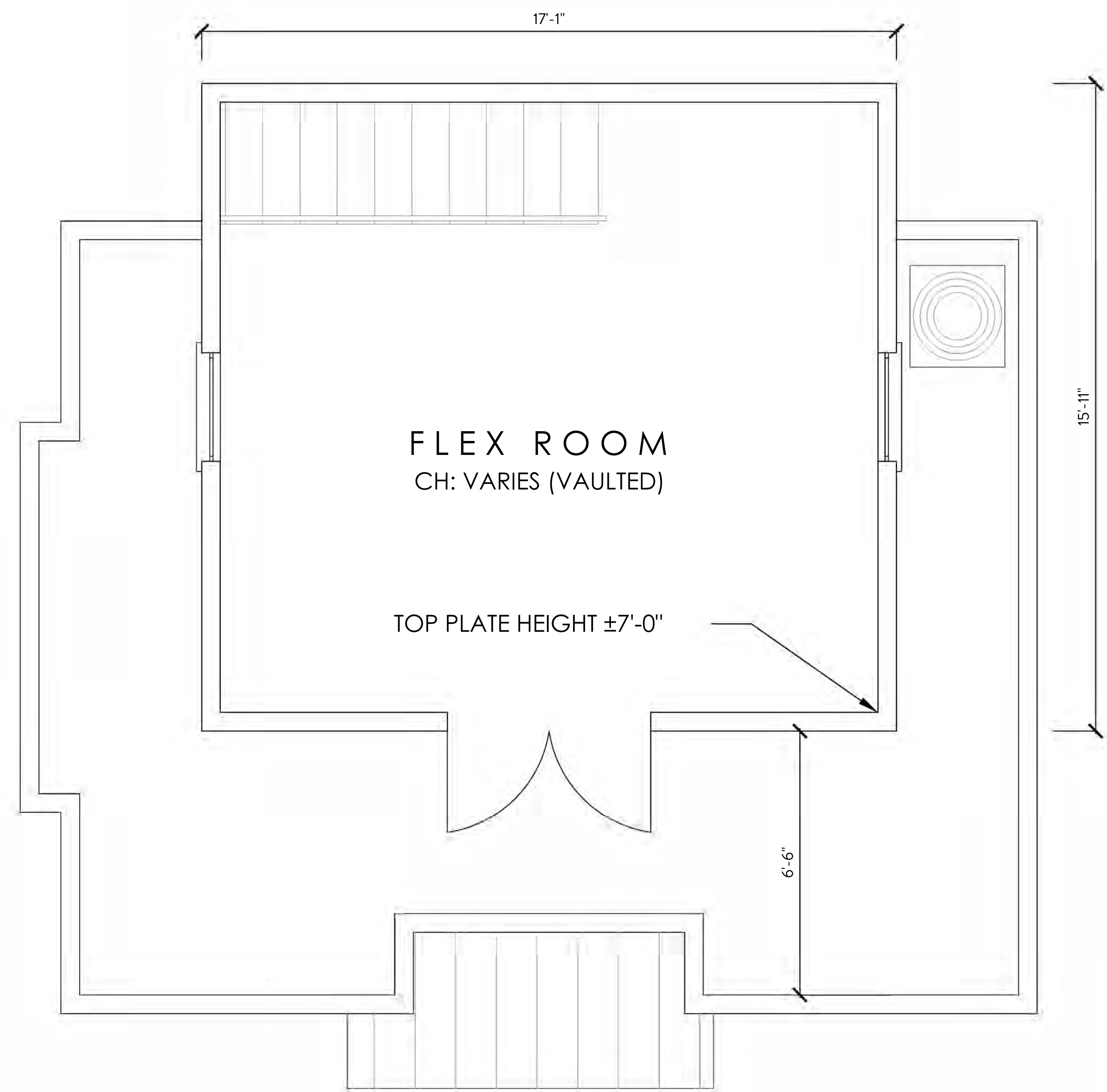
A NEW DEPENDENCY BUILDING AT  
**147 SPRING STREET**

L O C A T I O N  
 147 SPRING STREET  
 CHARLESTON, SC

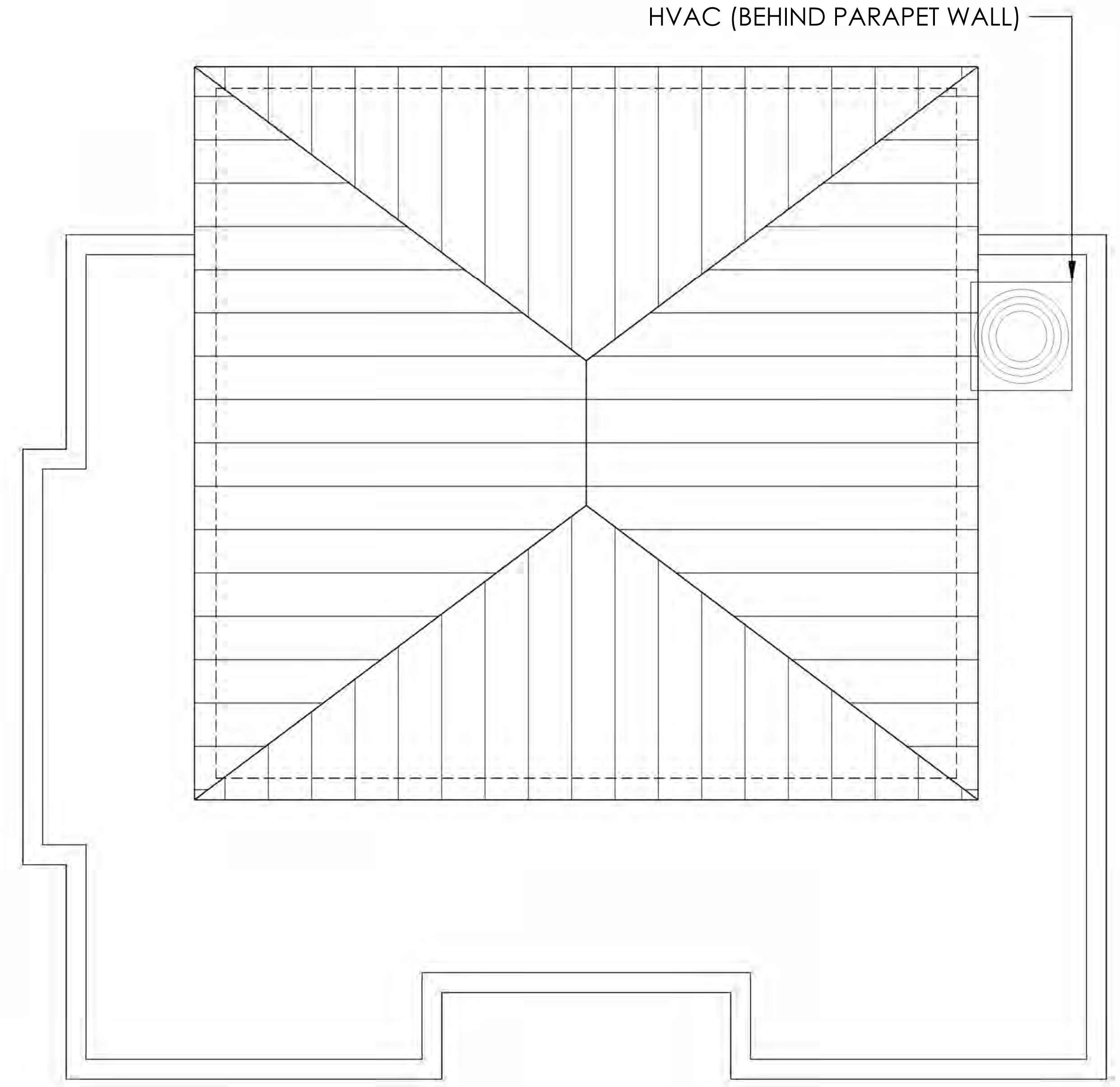
T I T L E  
 PROPOSED  
 FLOOR PLANS

S H E E T  
**A-101**

D A T E | P U R P O S E  
 01.17.20 | BAR CONCEPTUAL

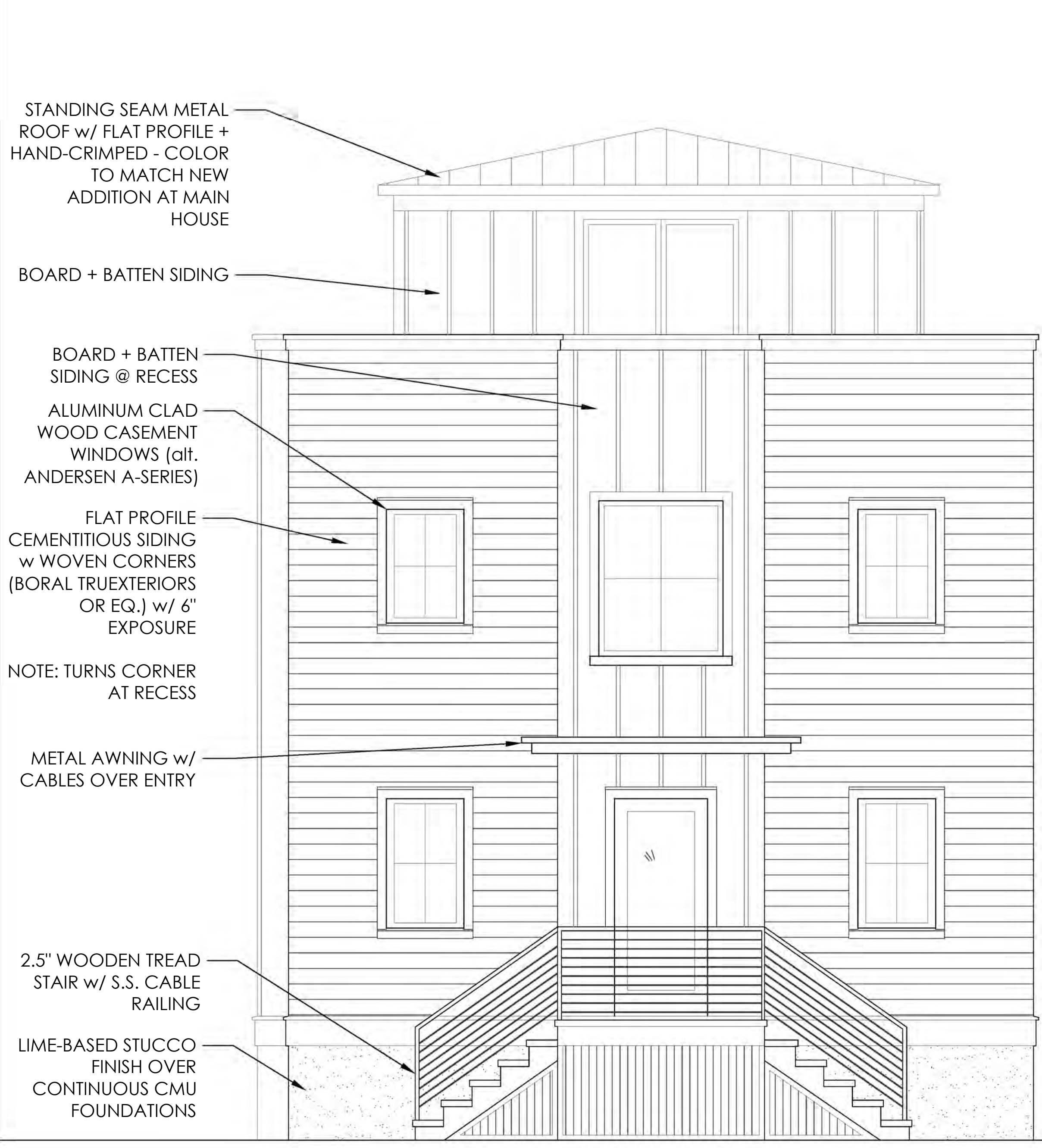


**1** PROPOSED ROOF DECK PLAN  
SCALE: 1/2"=1'-0" @ 22"x34" OR 1/4"=1'-0" @ 11"x17"

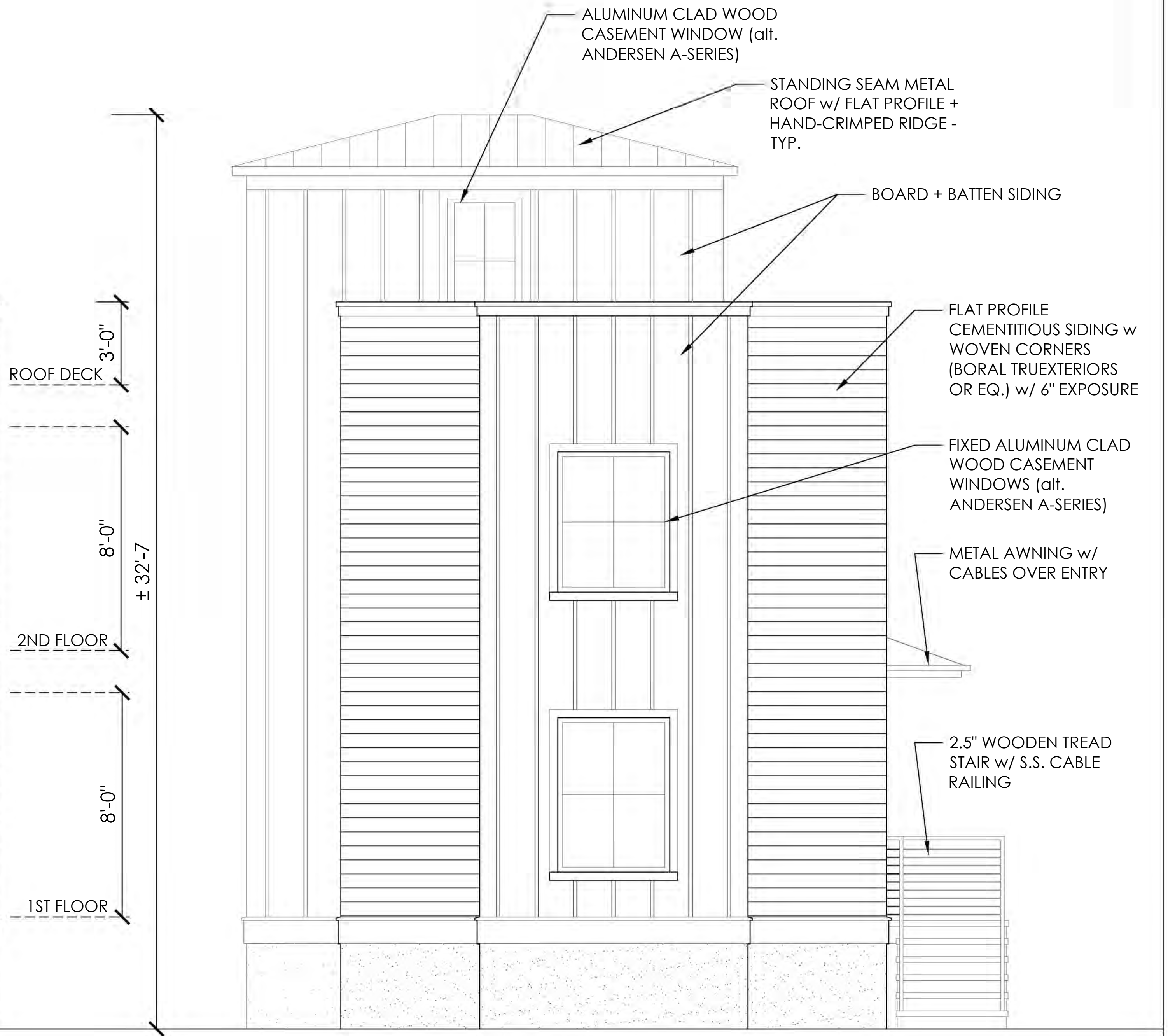


**2** PROPOSED ROOF PLAN  
SCALE: 1/2"=1'-0" @ 22"x34" OR 1/4"=1'-0" @ 11"x17"

S E A L	
PROJECT	
A NEW DEPENDENCY BUILDING AT <b>147 SPRING STREET</b>	
LOCATION 147 SPRING STREET CHARLESTON, SC	
TITLE PROPOSED FLOOR PLANS	
SHEET <b>A-102</b>	
DATE 01.17.20	PURPOSE BAR CONCEPTUAL



**1** PROPOSED WEST ELEVATION  
SCALE: 3/8"=1'-0" @ 22"x34" OR 3/16"=1'-0" @ 11"x17"



**2** PROPOSED NORTH ELEVATION  
SCALE: 3/8"=1'-0" @ 22"x34" OR 3/16"=1'-0" @ 11"x17"

S E A L	
PROJECT	
<b>A NEW DEPENDENCY BUILDING AT 147 SPRING STREET</b>	
LOCATION	
147 SPRING STREET CHARLESTON, SC	
TITLE	
<b>PROPOSED FLOOR PLANS</b>	
SHEET	
<b>A-201</b>	
DATE	PURPOSE
01.17.20	BAR CONCEPTUAL

S E A L

P R O J E C T

A NEW DEPENDENCY BUILDING AT  
**147 SPRING STREET**

L O C A T I O N

147 SPRING STREET  
CHARLESTON, SC

T I T L E

PROPOSED  
FLOOR PLANS

S H E E T

**A-202**

D A T E P U R P O S E

01.17.20 BAR CONCEPTUAL

STANDING SEAM METAL  
ROOF w/ FLAT PROFILE +  
HAND-CRIMPED - COLOR  
TO MATCH NEW ADDITION  
AT MAIN HOUSE

BOARD + BATTEN SIDING

FLAT PROFILE  
CEMENTITIOUS SIDING  
w WOVEN CORNERS  
(BORAL TRUEXTERIOS  
OR EQ.) w/ 6"  
EXPOSURE

NOTE: TURNS CORNER  
AT RECESS

2.5" WOODEN TREAD  
STAIR w/ S.S. CABLE  
RAILING

STANDING SEAM METAL  
ROOF w/ FLAT PROFILE +  
HAND-CRIMPED - COLOR  
TO MATCH NEW ADDITION  
AT MAIN HOUSE

BOARD + BATTEN SIDING

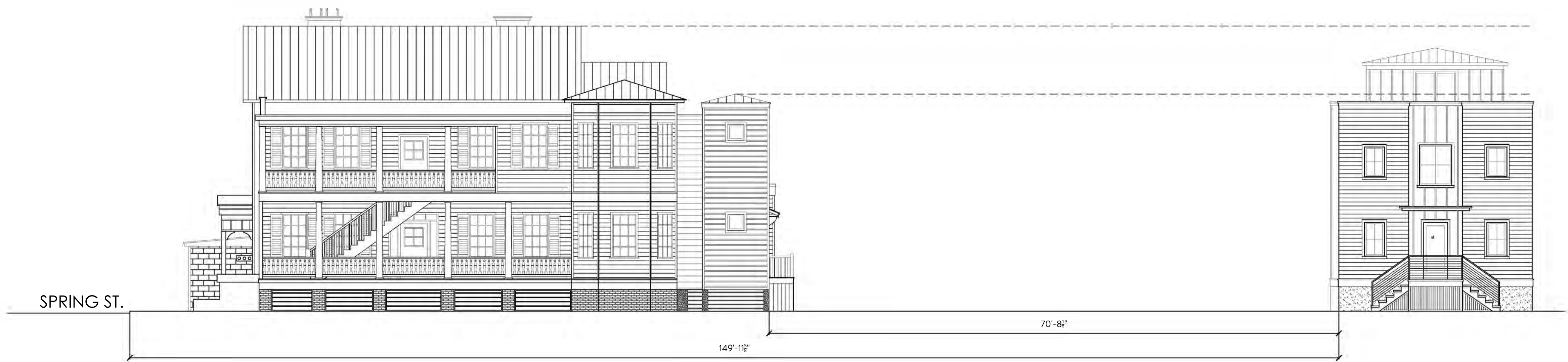
FLAT PROFILE  
CEMENTITIOUS  
SIDING w WOVEN  
CORNERS (BORAL  
TRUEXTERIOS OR  
EQ.) w/ 6" EXPOSURE

**1** PROPOSED SOUTH ELEVATION

SCALE: 3/8"=1'-0" @ 22"x34" OR 3/16"=1'-0" @ 11"x17"

**2** PROPOSED EAST ELEVATION

SCALE: 3/8"=1'-0" @ 22"x34" OR 3/16"=1'-0" @ 11"x17"



**1** PROPOSED SITE SECTION  
 SCALE: 1/8"=1'-0" @ 22"x34" OR 1/16"=1'-0" @ 11"x17"

S E A L

P R O J E C T

A NEW DEPENDENCY BUILDING AT  
**147 SPRING STREET**

L O C A T I O N

147 SPRING STREET  
 CHARLESTON, SC

T I T L E

SITE SECTION

S H E E T

**A-301**

DATE	PURPOSE
01.17.20	BAR CONCEPTUAL

# BAR PRESENTATION

FEBRUARY 13, 2020

APPROVAL FOR EXTERIOR CHANGES

54 HASELL STREET, CHARLESTON SC

54 Hasell Building History  
18<sup>th</sup> Century

**Built 1712 (George I 1714)**

Small Plantation House outside Fortified Wall Facing King Street  
Symmetrical Facades, Hipped Roof, Central Chimneys, Red Brick  
Double Hung Windows (the fashion after 1700)  
Asymmetrical Interior Floor Plan (pre Palladian)  
Raised Basement with Kitchen, Laundry  
Entered into the Hall with Fine Entertaining in Great Room Above  
Property divided in 1773 into 19 Lots



## 54 Hasell Building History 19<sup>th</sup> Century

### 1809 Major Restoration

House Oriented to Hasell Street

Added East and West Piazzas

Probably added Lime Stucco with Block Scoring

Windows were Two over Two ( photo 1898)

Front Door Remained on West Piazza

Expanded NW Parlor and BRI Above.

Updated Trim Package, FPLC Mantels

Moved Staircase to Create 4<sup>th</sup> Bedroom Access

Kitchen House built mid 1850s

## 54 Hasell Building History 20<sup>th</sup> Century

### 1941 Major Restoration

Moved Front Door to East Piazza with Entry into Stair Hall

Added East Piazza Staircase, Re-designed the Entry Doors

Re-stuccoed with Cementitious Stucco

Replaced majority of Windows, Added French Doors, Closed Window Openings

Added 3 Additional Bathrooms at Piazzas

Added HVAC

Updated FPLC Mantels

Changed Back Parlor into Kitchen

1980s Added Elevator

1989 Hugo Replaced Slate Roof with Terne

Deferred Maintenance: Spalling Brick, Water Damage

## 54 Hasell Building History 21st Century

### 2019 Began Major Restoration

Added Driveway Access

Stripped Exterior Woodwork, Repairs, Paint

Began Kitchen House Restoration

Removed Cementitious Stucco, Repair Brick Lintels, Lime Stucco/ Wash on Front Facade

Restored 9over9 Windows and Shutters

Restored Exterior Ironwork

### 2020 Restoration to Continue

Back Addition to Remove MBR bath / closet from Piazza & Kitchen from Parlor

Replace French Doors with Double Hung and Re-Open Window Openings

Update HVAC & Electrical

Remove Elevator

Repair Spalling Brick, Water Damage



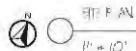
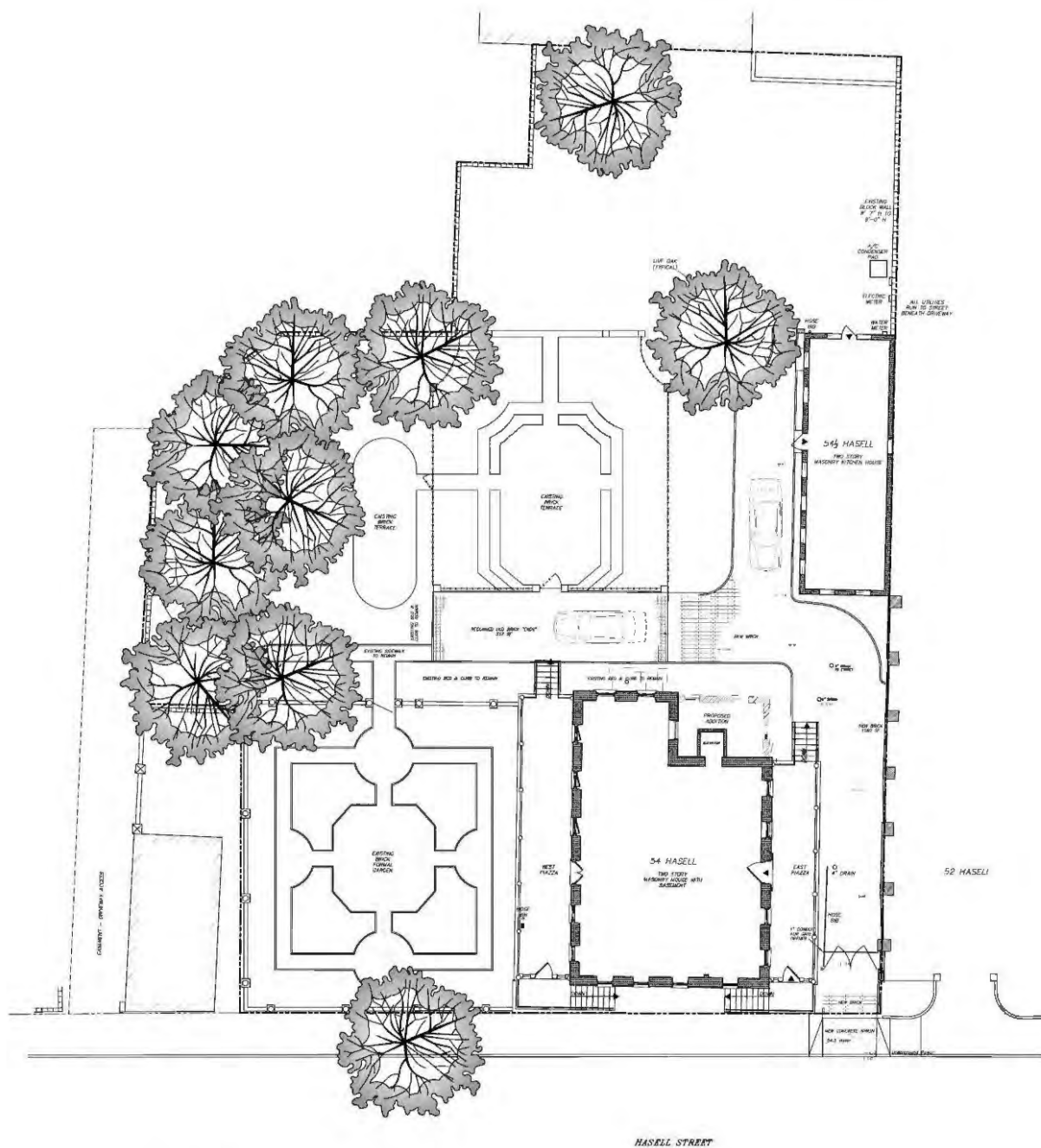
VIEW FROM 62 HASSELL



VIEW FROM 64 HASSELL



REAR VIEW FROM 64 HASSELL AT PROPOSED ADDITION



VICINITY MAP

PLAN SYMBOLS

SYMBOL	DESCRIPTION
ADT1	DECK WITH RAILING
ADT2	DECK WITH RAILING
ADT3	DECK WITH RAILING
ADT4	DECK WITH RAILING
ADT5	DECK WITH RAILING
ADT6	DECK WITH RAILING
ADT7	DECK WITH RAILING
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ADT99	DECK WITH RAILING
ADT100	DECK WITH RAILING

**CORE HOME PLACEMAKING**  
 107 Hargett Street  
 Charlotte, NC 28201  
 www.corehome.com

Project:  
 Core Home River  
 54 Hasell St  
 Charleston, SC

Sheet:  
 A002

Drawn: [Name]  
 Date: 03/2020  
 Scale: 1/8" = 1'-0"  
 Project: [Name]  
 Date: [Date]  
 Scale: [Scale]  
 Drawn: [Name]  
 Date: [Date]



VICINITY MAP

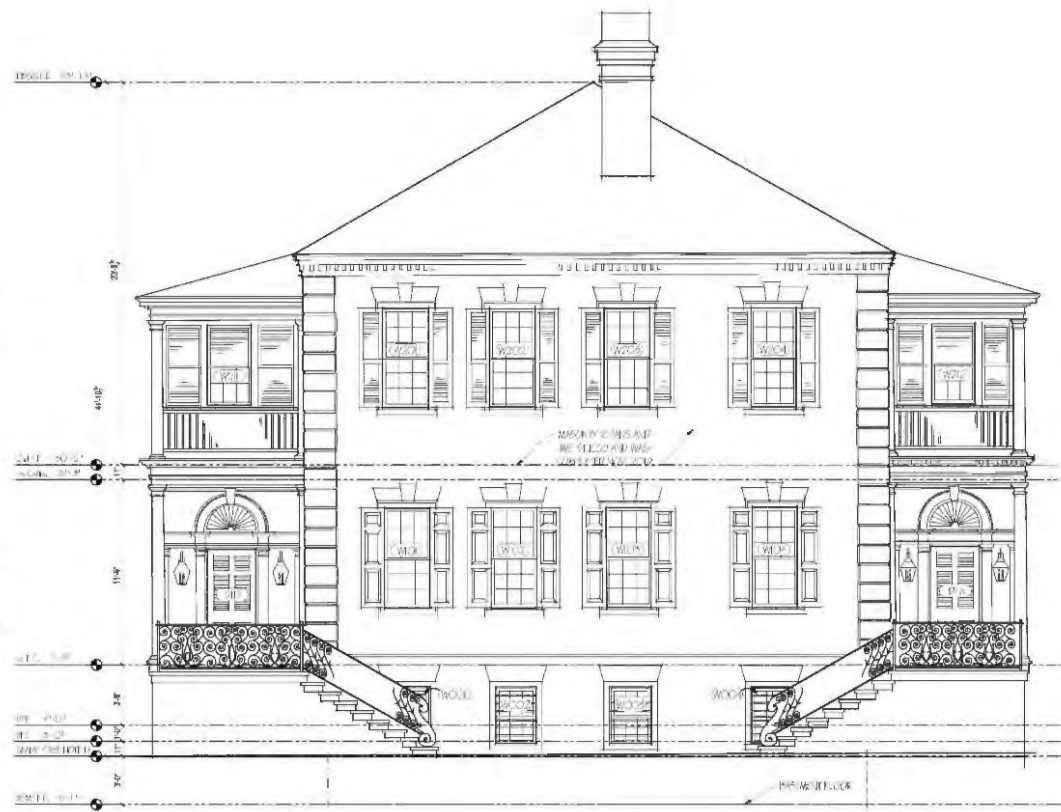
LIST OF MATERIALS

NO.	DESCRIPTION
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101	TRUSS
102	TRUSS BRACE
103	TRUSS JOIST
104	TRUSS HANGING BRACE
105	TRUSS COLLAR BRACE
106	TRUSS CHAIR BRACE
107	TRUSS KICK BRACE
108	TRUSS END BRACE
109	TRUSS GABLE BRACE
110	TRUSS GABLE END BRACE
111	TRUSS GABLE KICK BRACE
112	TRUSS GABLE CHAIR BRACE
113	TRUSS GABLE HANGING BRACE
114	TRUSS GABLE COLLAR BRACE
115	TRUSS GABLE KICK BRACE
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195	TRUSS GABLE KICK BRACE
196	TRUSS GABLE END BRACE
197	TRUSS GABLE CHAIR BRACE
198	TRUSS GABLE HANGING BRACE
199	TRUSS GABLE COLLAR BRACE
200	TRUSS GABLE KICK BRACE



EXISTING SOUTH ELEVATION NO CHANGE PROPOSED

1/4" = 1'-0"



PROPOSED SOUTH ELEVATION NO CHANGE PROPOSED

2 1/4" = 1'-0"



CORE HOME PLACEMAKING

1000 North Street  
Charleston, SC 29401  
803.799.1111  
www.corehomeplacemaking.com

Core Home River  
54 Hasell St  
Charleston, SC

A201

File Name: A201.dwg  
Plot Date: 10/11/2018  
Plot Time: 10:11:11 AM  
Project Name: Core Home River  
Drawing Name: A201.dwg  
Author: J. Smith  
Date: 10/11/2018



VICINITY MAP

KEY TO SYMBOLS

NO.	SYMBOL	DESCRIPTION
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A98	[Symbol]	EXISTING WINDOW
A99	[Symbol]	EXISTING WINDOW
A100	[Symbol]	EXISTING WINDOW



EXISTING EAST ELEVATION  
1/4" = 1'-0"



PROPOSED EAST ELEVATION  
1/4" = 1'-0"



Core Home River  
54 Hasell St  
Charleston, SC

DATE OF PROPOSED ELEVATION  
A202

Scale	AS SHOWN
Plot Size	24" x 36"
Sheet No.	100
Author	LS
Scale Date	
Scale Date	



VICINITY MAP

TABLE OF CONTENTS

NO.	REV.	DATE	DESCRIPTION
A00	01	08/21/2024	ISSUE FOR PERMITS
A01	01	08/21/2024	ISSUE FOR PERMITS
A02	01	08/21/2024	ISSUE FOR PERMITS
A03	01	08/21/2024	ISSUE FOR PERMITS
A04	01	08/21/2024	ISSUE FOR PERMITS
A05	01	08/21/2024	ISSUE FOR PERMITS
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A49	01	08/21/2024	ISSUE FOR PERMITS
A50	01	08/21/2024	ISSUE FOR PERMITS



1 EXISTING NORTH ELEVATION  
1/4" = 1'-0"



2 PROPOSED NORTH ELEVATION  
1/4" = 1'-0"

**CORE HOME PLACEMAKING**  
54 Hasell Street  
Charleston, SC 29401  
+1 843 437-0810  
www.corehome.com

Project:  
Core Home River  
54 Hasell St  
Charleston, SC

PROJECT IDENTIFICATION:  
**A203**

Scale (Plan)	ASAP 11/2024
Scale (Elev)	1/4" = 1'-0"
Scale (S)	1/8" = 1'-0"
Author	CS
Design Team	
Site Name	



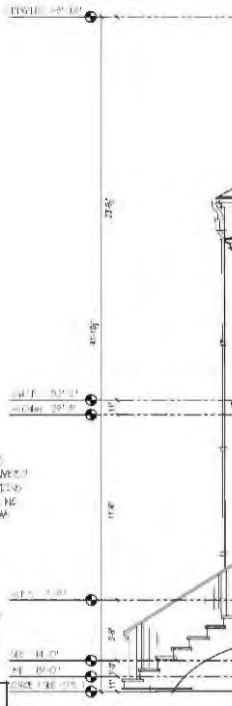
VCN Y MAP

KEY TO SYMBOLS

NO.	SYMBOL	DESCRIPTION
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A02	[Symbol]	EIFS WALL
A03	[Symbol]	EIFS WALL
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A76	[Symbol]	EIFS WALL
A77	[Symbol]	EIFS WALL
A78	[Symbol]	EIFS WALL
A79	[Symbol]	EIFS WALL
A80	[Symbol]	EIFS WALL
A81	[Symbol]	EIFS WALL
A82	[Symbol]	EIFS WALL
A83	[Symbol]	EIFS WALL
A84	[Symbol]	EIFS WALL
A85	[Symbol]	EIFS WALL
A86	[Symbol]	EIFS WALL
A87	[Symbol]	EIFS WALL
A88	[Symbol]	EIFS WALL
A89	[Symbol]	EIFS WALL
A90	[Symbol]	EIFS WALL
A91	[Symbol]	EIFS WALL
A92	[Symbol]	EIFS WALL
A93	[Symbol]	EIFS WALL
A94	[Symbol]	EIFS WALL
A95	[Symbol]	EIFS WALL
A96	[Symbol]	EIFS WALL
A97	[Symbol]	EIFS WALL
A98	[Symbol]	EIFS WALL
A99	[Symbol]	EIFS WALL
A100	[Symbol]	EIFS WALL



1 EXISTING WEST ELEVATION  
1/4" = 1'-0"



2 PROPOSED WEST ELEVATION  
1/4" = 1'-0"

NOTES:  
1. SEE EXISTING ARCHITECTURAL RECORDS.  
2. SEE EXISTING ARCHITECTURAL RECORDS.  
3. SEE EXISTING ARCHITECTURAL RECORDS.

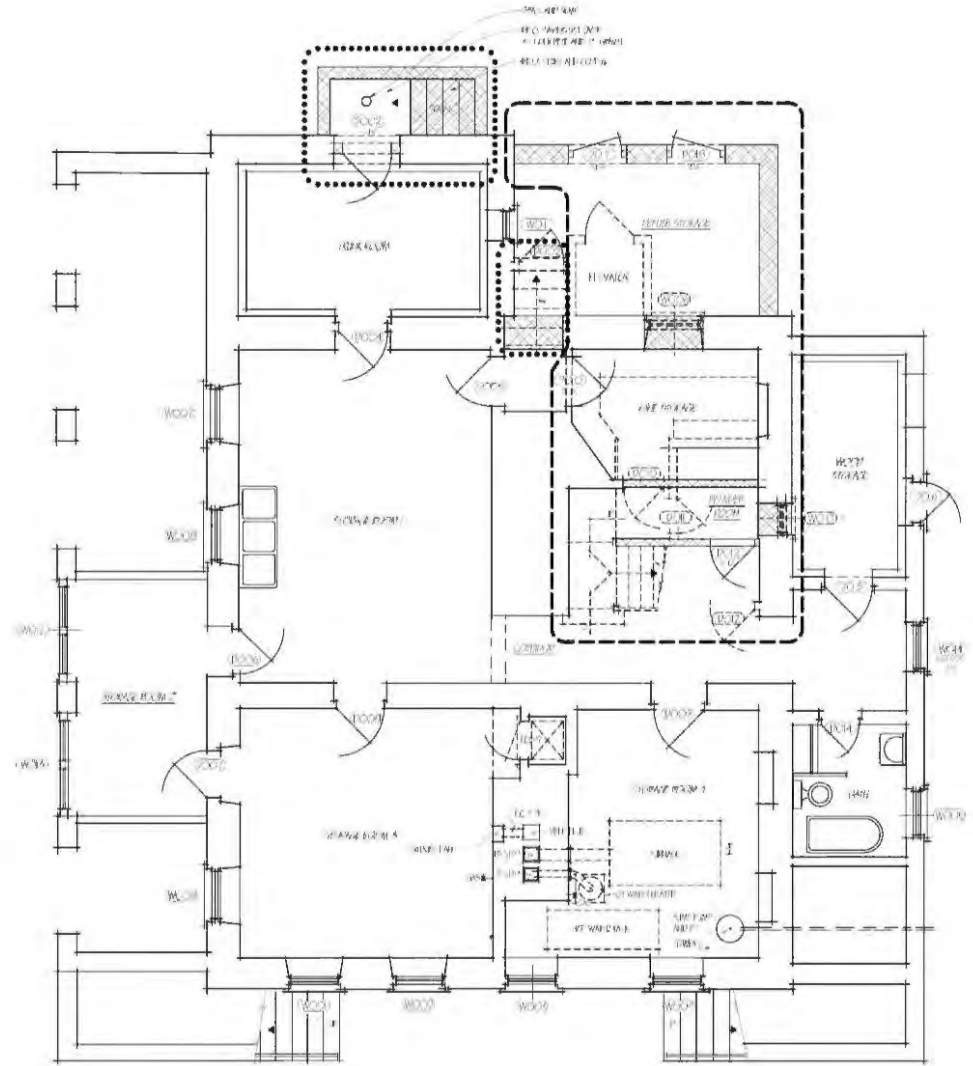


Core Home River  
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Charleston, SC

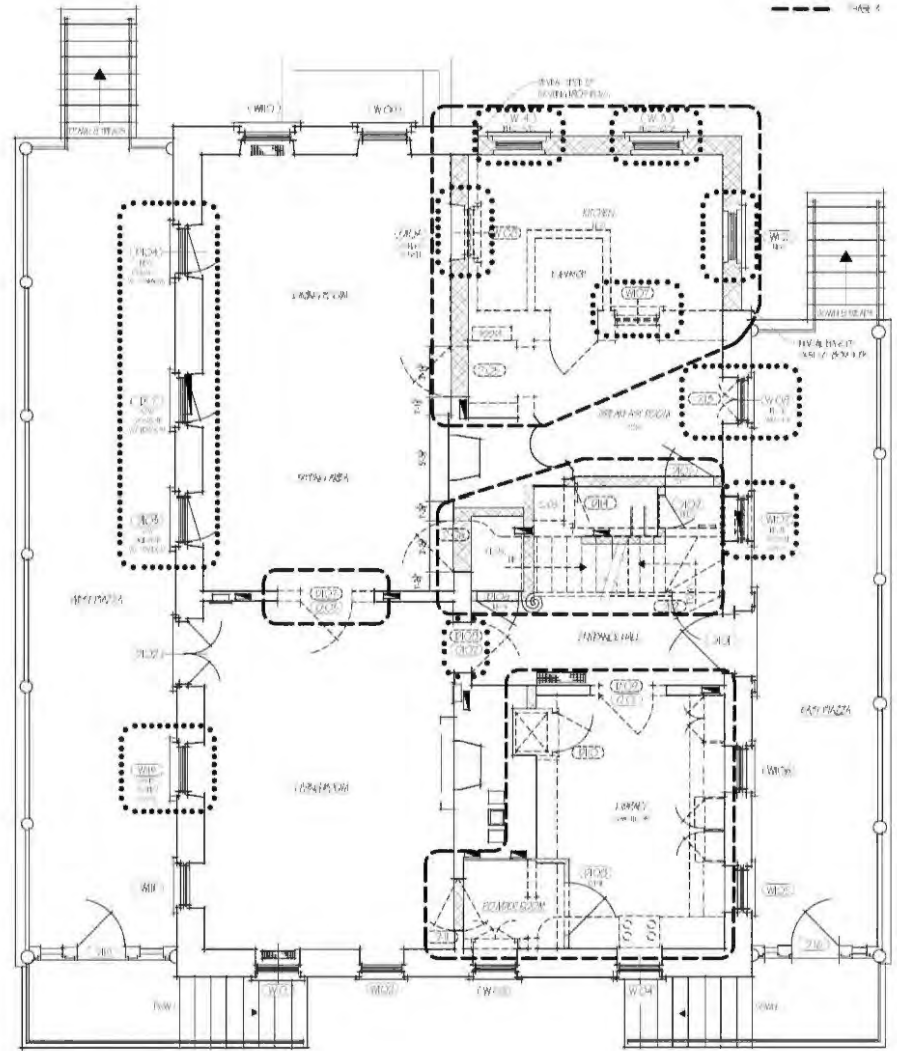
PROJECT NUMBER  
A204

Scale (Plan)	1/8" = 1'-0"
Scale (Elev)	1/4" = 1'-0"
Scale (Section)	3/8" = 1'-0"
Architect	CH
Date	10/20/2024
Drawn By	CH
Checked By	CH





1 LOWER LEVEL DEMONSTRATION PLAN  
1/4" = 1'-0"



2 FIRST FLOOR PLACEMENT PLAN  
1/4" = 1'-0"



VICINITY MAP

REVISIONS

NO.	DATE	DESCRIPTION
1	01/15/2023	ISSUE FOR PERMITS
2	01/15/2023	REVISIONS TO PERMITS
3	01/15/2023	REVISIONS TO PERMITS
4	01/15/2023	REVISIONS TO PERMITS
5	01/15/2023	REVISIONS TO PERMITS
6	01/15/2023	REVISIONS TO PERMITS
7	01/15/2023	REVISIONS TO PERMITS
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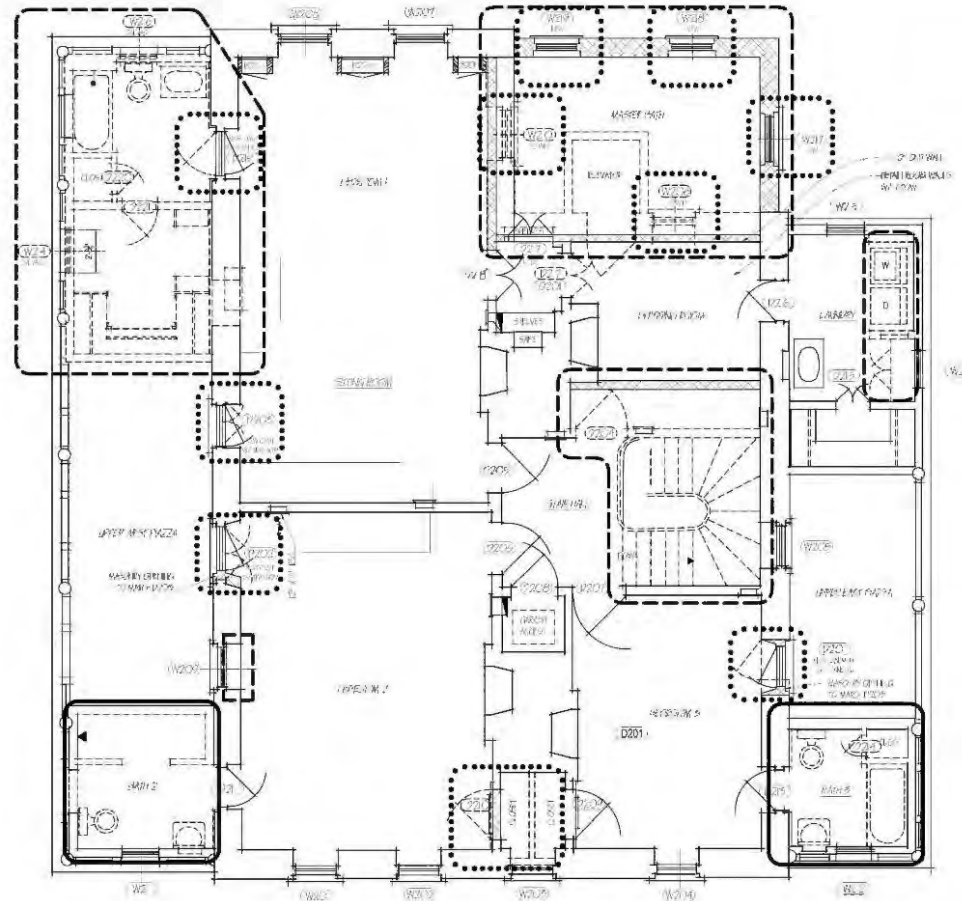
Core Home River  
54 Hasell St  
Charleston, SC

NO. 103

- DWELLER
- TENANT
- CASE 1
- CASE 2
- CASE 3



VICINITY MAP



KEY TO ROOMS

Code	Room Name
AC1	RECEPTION
AC2	OFFICE
AC3	OFFICE
AC4	OFFICE
AC5	OFFICE
AC6	OFFICE
AC7	OFFICE
AC8	OFFICE
AC9	OFFICE
AC10	OFFICE
AC11	OFFICE
AC12	OFFICE
AC13	OFFICE
AC14	OFFICE
AC15	OFFICE
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AC96	OFFICE
AC97	OFFICE
AC98	OFFICE
AC99	OFFICE
AC100	OFFICE

**CORE HOME**  
PLACEMAKING

300 MARKET STREET  
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Core Home River  
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Charleston, SC

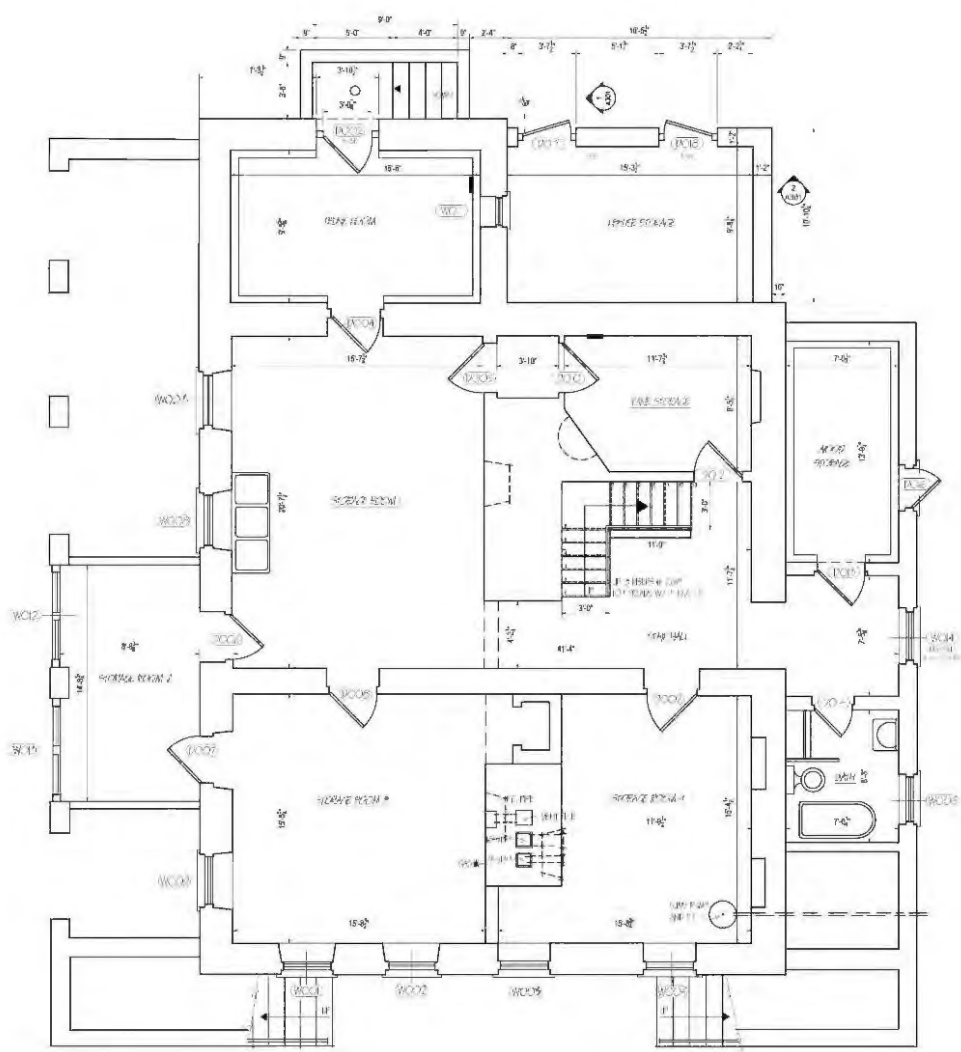
PROJECT NUMBER:  
**A104**

File No.	WSPR 10.3.20
Issue No.	Issue 1
Drawn	AKG
Approved	AKG
Date	10/10/20

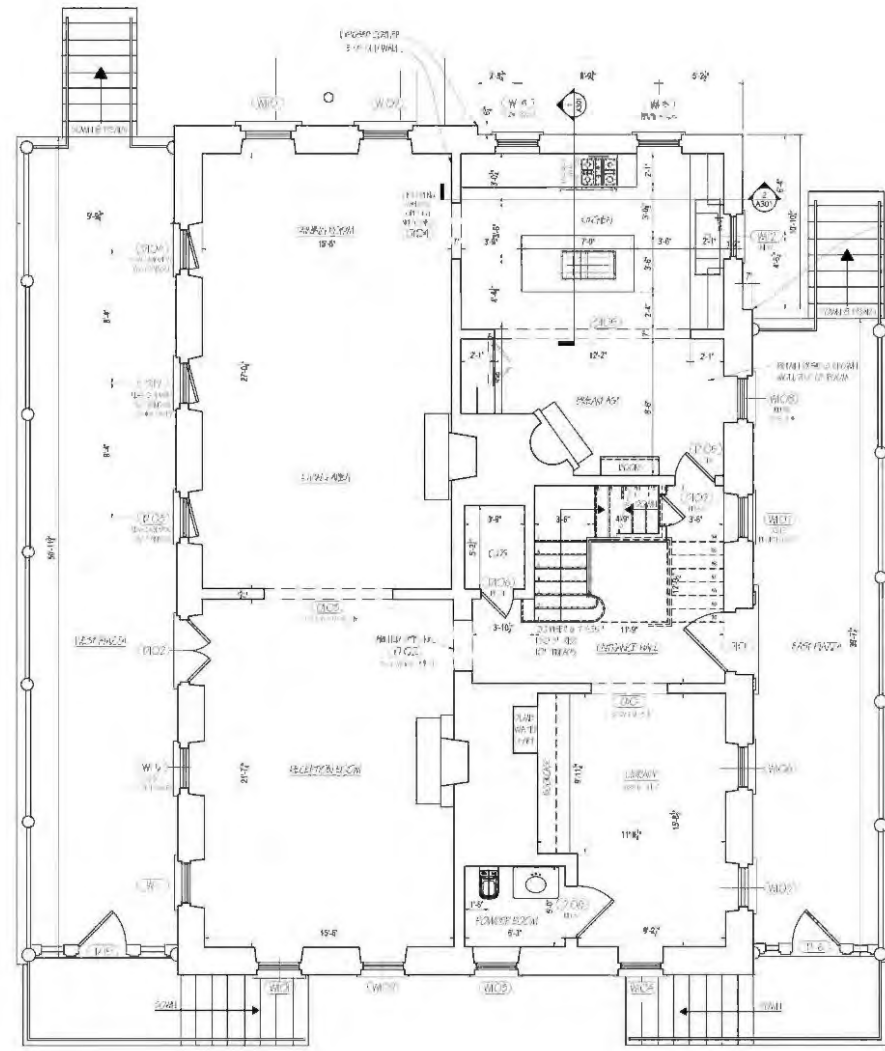
SECOND FLOOR PLAN  
1/4" = 1'-0"



VENUE MAP



PROPOSED FLOOR PLAN  
1/11/2020



PROPOSED FLOOR PLAN  
1/11/2020

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101	GENERAL NOTES
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**CORE HOME PLACEMAKING**  
 1010 MARKET STREET  
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 TEL: 843.799.1111  
 WWW.COREHOME.COM

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 Charleston, SC

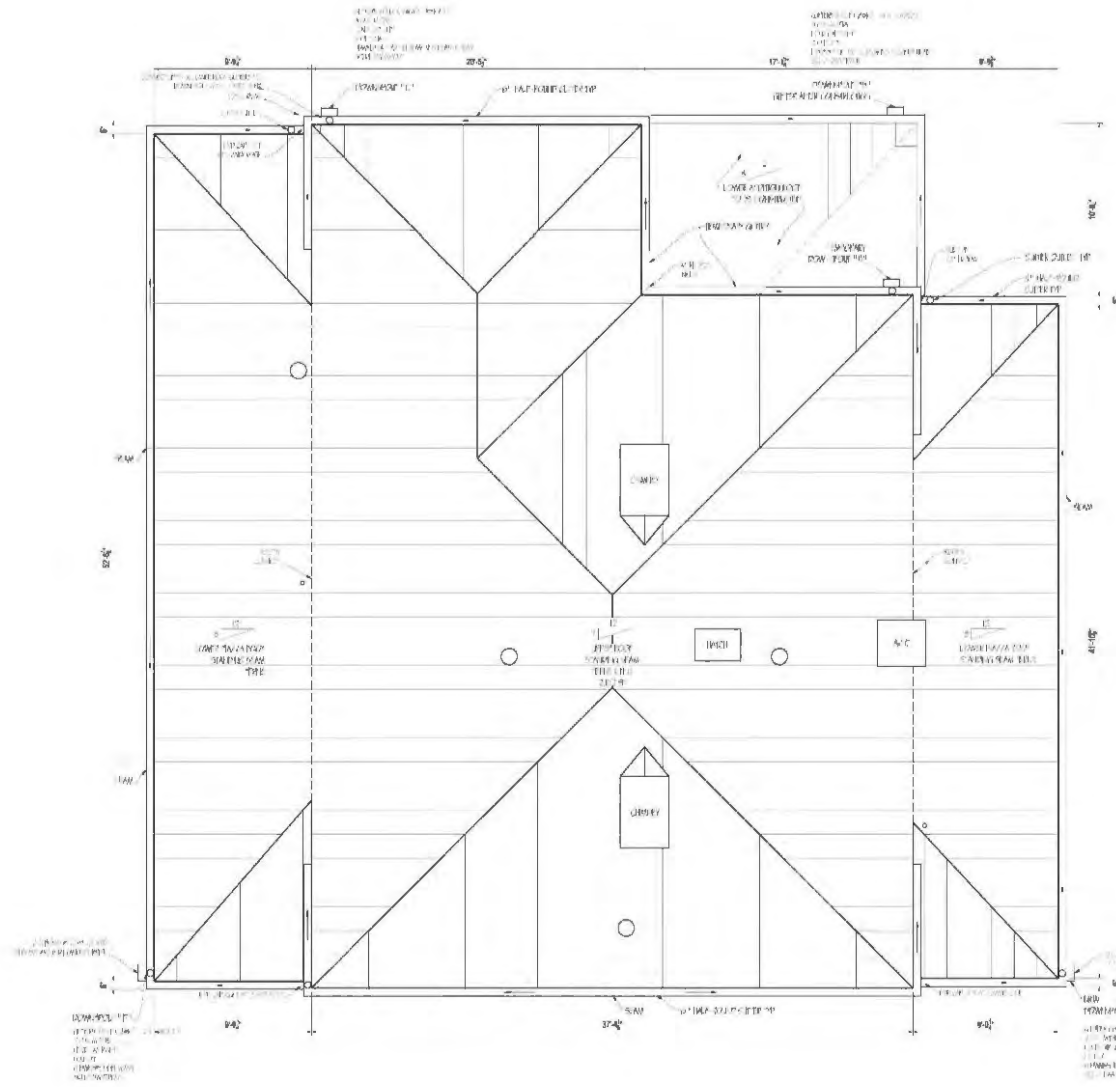
DATE: 1/11/2020  
 A105

Drawn By	WSP/1/2020
Checked By	DRW/1/2020
Scale	AS SHOWN
Author	DRW
Revision	01
Drawn Date	01/11/2020





VELOCITY MAP



ALL ROOMS

ID	NAME	AREA
AC1	CORRIDOR	10.00
AC2	STAIR	10.00
AC3	BATH	10.00
AC4	KITCHEN	10.00
AC5	DINING	10.00
AC6	LIVING	10.00
AC7	BEDROOM	10.00
AC8	BREAKFAST	10.00
AC9	PORCH	10.00
AC10	SCREENED PORCH	10.00
AC11	SCREENED PORCH	10.00
AC12	SCREENED PORCH	10.00
AC13	SCREENED PORCH	10.00
AC14	SCREENED PORCH	10.00
AC15	SCREENED PORCH	10.00
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AC99	SCREENED PORCH	10.00
AC100	SCREENED PORCH	10.00

**CORE HOME PLACEMAKING**  
 54 Hasell Street  
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 843.557.8800  
 www.corehome.com

Project  
**Core Home River**  
 54 Hasell St  
 Charleston, SC

Door Schedule  
Project 54HAS

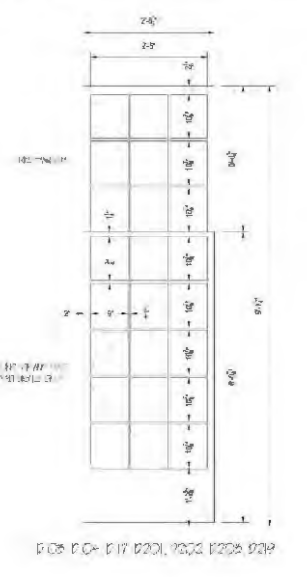
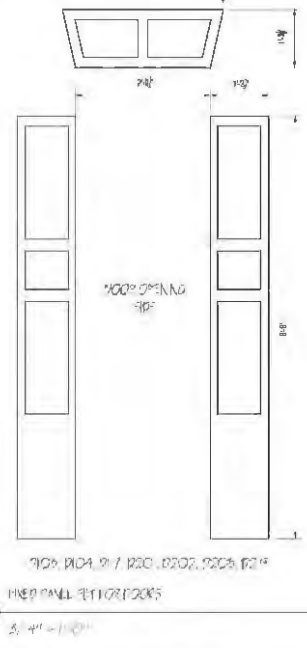
#	Tag	Type	Change Type	History	Construction Notes Phase 2/2	Owner's RFI Remarks
<b>Main House - First Floor</b>						
1	D101	Single Ext		Existing	To remain. Replace missing fillets, etc.	Upper glass panels changed to wood panels. Exterior panels raised, covered corners.
2	D102	Double Ext		1941	To remain. Strip/repaint and refurbish hardware	Jamb to be shortened to allow for new frame for new door and screen door.
3	D103	Double Ext	Single with transom	2014 New	New casement with transom. Bover15	Existing window trim & paralled jamb extended to floor. New jamb for new door and screen door.
4	D104	Double Ext	Single with transom	2014 New	New casement with transom. Bover15	Existing window trim & paralled jamb extended to floor. New jamb for new door and screen door.
5	D105	Single		Existing	Reuse for kitchen door.	Repair. Change swing, new jamb. In jamb should be panels to match mould on dining room side of door 308.
6	D106	Single		1941	Reuse for entry hall closet	New frame in existing opening. Door panels to match panels in door no. 302
7	D107	Single		Existing	Reuse for kitchen door of D105	Change swing, repair jamb to suit change of swing. Raise jamb in panels Living Room side
8	D108	Single		Existing	Reuse to Powder Room	To be repaired.
9	D109	Single		1941	Reuse to Basement	Door to have 6 panels. Hall side to need 106. Flush on palm side. Existing jamb extended to suit door.
10	D110	Single		1941	Remove and not reuse - Dumbwaiter door	Flush both sides - new frame.
11	D111	Double Acting		1941	Remove and not reuse - DR to Kitchen	To match door 106 Dining Room side. Flush on palm side.
12	D112	Single		Existing	Remove and not reuse, was curtain, to basement	To be repaired.
13	D113	Double Ext		1941	Replace D113 with NEW W106, brick up to sill	Same as door no. 103
14	D114	Single		1941	Remove and not reuse - liquor cabinet door	New frame - size taken at job
15	D115	Single Ext		1941	To remain. Front piazza shutter door	
16	D116	Single Ext		1941	To remain. Front piazza shutter door	
17	D117	Single with transom		New	New casement with transom. Bover15. Open closed inconspicuously.	
<b>Main House - Second Floor</b>						
18	D201	Double Ext	Single with transom	1941	To remain. Changed in 1980's to hidden door. Install new casement with transom.	New door & transom to fit existing opening. Provide jamb for new screen door.
19	D202	Double Ext	Single with transom	1941	Install new casement with transom. Bover15	New door & transom to fit existing opening. Provide jamb for new screen door.
20	D203	Double Ext	Single with transom	1941	Install new casement with transom. Bover15	Existing window trim & paralled jamb extended to floor. New jamb for new door and screen door.
21	D204	Double Ext		Existing	Not Used. Closing up BR door with new staircase.	To be repaired.
22	D205	Single		1941	To remain	6 panels each to match doors removed. Repair jamb to suit change of swing.
23	D206	Single		1941	To remain	6 panels each to match doors removed. Repair jamb to suit change of swing.
24	D207	Single		Existing	To remain	To be repaired.
25	D208	Single		1941	To remain	6 panels - Same size & design as door 206.
26	D209	Single		1941	To remain. Changed in 1980's to hidden door with wall trim	6 panels each to match 206 - upper panels to line with door 206 - two lower panels stoned.
27	D210	Single		1941	Not Used. Closing up closet door opening.	6 panels each to match 206 - upper panels to line with door 206 - two lower panels stoned.
28	D211	Single		1941	To remain	Wood panel fan. Bedroom side only. Existing window trim & jamb extended to the floor. New frame: 6 panels with bedroom side - flush to bedroom side.
29	D212	Double		1941	Open's toilet. Removed with 1980's bathroom reno.	Flush both sides - new frame.
30	D213	Single		1941	To remain. Changed 1980's to hidden door with wall trim	6 panels. Bedroom side. Panels to match BR side. Flush bathroom side.
31	D214	Single		1941	Not Used. Removed with Phase 1 bath renovation.	Flush both sides - new frame.
32	D215	Double		1941	To remain	Flush both sides - new frame.
33	D216	Single		1941	To remain	6 panels. Bedroom side. Panels to match BR side. Flush bathroom side.
34	D217	Double		1941	Reuse in new location	6 panels each door - repair existing jamb to suit change of swing. Panels to match door 206.
35	D218	Double		1941	To remain	6 panels each door - repair existing jamb to suit change of swing. Panels to match door 206.
36	D219	Double		1941	To remain	door to match 203 in design & size.
37	D220	Single Ext	Single with transom	1941	Remove Phase 1 MBR bath reno. Install new unit with transom	Flush both sides - new frame.
38	D221	Single		1941	Not Used. Remove Phase 2 MBR bath renovation	Flush both sides - new frame.
39	D222	Single		1941	Not Used. Remove Phase 3 MBR bath renovation	Flush both sides - new frame.
<b>Main House - Basement</b>						
40	D001	Single Ext		Existing	Not used. Removed when building driveway	
41	D002	Single Ext		Existing	Reuse in location D003	
42	D003	Double		Existing	Reuse D003 opening, removed 1980's Region cavity	
43	D004	Single		Existing	To remain	Flush both sides
44	D005	Single		Existing	To remain	Flush both sides
45	D006	Single		Existing	To remain	Flush both sides
46	D007	Single		Existing	To remain	Flush both sides
47	D008	Single		Existing	To remain	Flush both sides
48	D009	Single		Existing	To remain	Flush both sides
49	D010	Single		Existing	Reuse in new location	Flush both sides
50	D011	Single		Existing	Not used. Removed powder room.	
51	D012	Single		Existing	Reuse in new location	Flush both sides
52	D013	Single		Existing	To remain	Flush both sides
53	D014	Single		Existing	To remain	Flush both sides
54	D015	Single		Existing	To remain. Dumbwaiter door.	
55	D016	Single Ext		Existing	To remain	
56	D017	Single Ext		New	Garbage storage under house	
57	D018	Single Ext		New	Garbage storage under house	

Door Hardware Schedule  
Project 54HAS

Item	Qty	Item	Mfg.	Model	Finish	Notes
<b>Main House - First Floor</b>						
1	1	Sash Lock	Phelps	LRF 18	ORB	
2	2	Casement Fastener	Phelps	CF222	ORB	Specify right or left hand
3	3	Strike Plates	Phelps	CF55/CF85	ORB	Surface strike or rim strike
4	4	37" Interlocking	Kilian	DS7 DOR	ORB	Architectural Bronze with 320
5	5	Threshold 3 5/8" H	Kilian	DS7 DOR	ORB	Spring Bronze Hook Strip
6	6	Hinges				3 per door
7	7	Floor Surface Bolt				
<b>Main House - Second Floor</b>						
1	1	Sash Lock	Phelps	LRF 18	ORB	
2	2	Casement Fastener	Phelps	CF222	ORB	Specify right or left hand
3	3	Strike Plates	Phelps	CF55/CF85	ORB	Surface strike or rim strike
4	4	37" Interlocking	Kilian	DS7 DOR	ORB	Architectural Bronze with 320
5	5	Threshold 3 5/8" H	Kilian	DS7 DOR	ORB	Spring Bronze Hook Strip
6	6	Hinges				3 per door
7	7	Floor Surface Bolt				

Opening Schedule  
Project 54HAS

#	Tag	Dimensions	Notes
<b>Main House - First Floor</b>			
1	O101	6'9" W x 9'3.5" H	Casing to match D103 (see A404)
2	O102	3'2" W x 9'3.5" H	Casing to match D103 (see A404); follow arch of masonry; panel to match D103
3	O103	6'0" W x 9'3.5" H	Casing to match D103 (see A404)
4	O104	Existing opening	Retain casing on DR side; casing to match in kitchen.
5	O105	12'-2" W x 9'3.5" H	Casing to match D103 (see A404)
<b>Main House - Second Floor</b>			
6	O201	Existing opening	Fill holes left by door removal.



54 HAS

Item	Tag	Notes
1	O101	Existing opening
2	O102	Existing opening
3	O103	Existing opening
4	O104	Existing opening
5	O105	Existing opening
6	O201	Existing opening

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 Charleston, SC 29401  
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Core Home River  
 54 Hasell St  
 Charleston, SC

REVISED  
**A401**

Rev	Date	By	Check
1	10/20/20	JAN	JAN
2	10/20/20	JAN	JAN
3	10/20/20	JAN	JAN
4	10/20/20	JAN	JAN
5	10/20/20	JAN	JAN

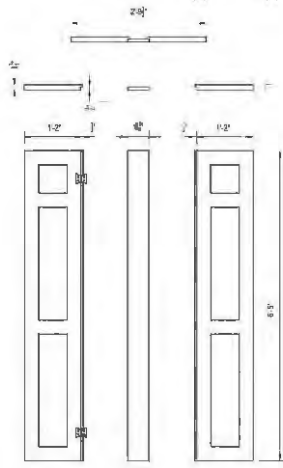
Window Schedule  
Project 54HAS - Main House

#	Tag	Type	History	Construction Notes Phase 1	Construction Notes Phase 2/3	Since 1941 Remarks
<b>Main House - First Floor</b>						
1	W201	OH 60x9	Existing	Refurbish, fixed upper sash	---	Existing frames repaired.
2	W202	OH 60x9	Existing	Refurbish, fixed upper sash	---	Existing frames repaired.
3	W103	OH 60x9	Existing	Refurbish, fixed upper sash	---	Existing frames repaired.
4	W104	OH 60x9	Existing	Refurbish, fixed upper sash	---	Existing frames repaired.
5	W205	OH 60x9	Existing	Refurbish, fixed upper sash	---	Existing frames repaired.
6	W206	OH 60x9	Existing	Refurbish, fixed upper sash	---	Existing frames repaired.
7	W207	OH 60x9	Existing	---	Refurbish, reuse at D113	Existing frames repaired.
8	W208	OH 60x9	Existing	---	Refurbish, reuse at new opening	Existing frames repaired.
9	W209	OH 60x9	Existing	Refurbish, fixed upper sash	---	Existing frames repaired.
10	W110	OH 60x9	Existing	Refurbish, fixed upper sash	---	Existing frames repaired.
11	W111	OH 60x9	Existing	Refurbish, fixed upper sash	---	Existing frames repaired.
12	W112	OH 60x9	New	---	Fixed upper sash; WAIT PHASE 3 (see A402/2)	
13	W113	OH 60x9	Existing	---	Reuse W210; WAIT PHASE 3	
14	W114	OH 60x9	Existing	---	Reuse W206; WAIT PHASE 3	
18	W115	OH 60x9	New	---	New opening at living room; fixed upper sash (see A402/2)	
<b>Main House - Second Floor</b>						
19	W201	OH 60x9	Existing	Refurbish, fixed upper sash	---	
20	W202	OH 60x9	Existing	Refurbish, fixed upper sash	---	
21	W203	OH 60x9	Existing	Refurbish, fixed upper sash	---	
22	W204	OH 60x9	Existing	Refurbish, fixed upper sash	---	
23	W205	OH 60x9	Existing	Refurbish, fixed upper sash	---	
---	W206	OH 60x9	Existing	---	Refurbish, reuse at W134; fixed upper sash; WAIT PHASE 3	
24	W207	OH 60x9	Existing	Refurbish, fixed upper sash	---	
25	W208	OH 60x9	Existing	Refurbish, fixed upper sash	---	
26	W209	OH 60x9	Existing	Refurbish, fixed upper sash	---	
---	W210	OH 60x9	1941	---	Refurbish, reuse at W113; fixed upper sash; WAIT PHASE 3	
27	W211	OH 60x6	1941	Refurbish, fixed upper sash	---	Window frame part of porch. Blind frame.
28	W212	OH 60x6	1941	Refurbish, fixed upper sash	---	Window frame part of porch. Blind frame.
29	W213	OH 60x6	1941	Refurbish, fixed upper sash	---	Window frame part of porch. Blind frame.
---	W214	OH 60x6	1941	---	Not Used	Window frame part of porch. Blind frame.
30	W215	OH 60x4	1941	Refurbish, fixed upper sash	---	Window frame part of porch. Blind frame.
---	W216	OH 60x4	1941	---	Not Used	Window frame part of porch. Blind frame.
31	W217	OH 60x9	New	---	Match Existing; fixed upper sash; WAIT PHASE 3 (see A402/2)	
32	W218	OH 60x9	New	---	Match Existing; fixed upper sash; WAIT PHASE 3 (see A402/2)	
33	W219	OH 60x9	New	---	Match Existing; fixed upper sash; WAIT PHASE 3 (see A402/2)	
<b>Main House - Basement</b>						
34	W001	OH 60x6	1941	---	---	
35	W002	OH 60x6	1941	---	---	
36	W003	OH 60x6	1941	---	---	
37	W004	OH 60x6	1941	---	---	
38	W005	OH 60x6	1941	---	---	
39	W006	OH 60x6	1941	---	Fill or keep?	
40	W007	OH 60x6	1941	---	---	
41	W008	OH 60x6	1941	---	---	
42	W009	OH 60x6	1941	---	---	
43	W010	OH 60x6	1941	---	Fill or keep?	
44	W011	OH 60x6	1941	---	Fill or keep?	
45	W012	OH 60x6	1941	---	---	
46	W013	OH 60x6	1941	---	---	
47	W014	OH 60x6	New	Replaced D901	---	

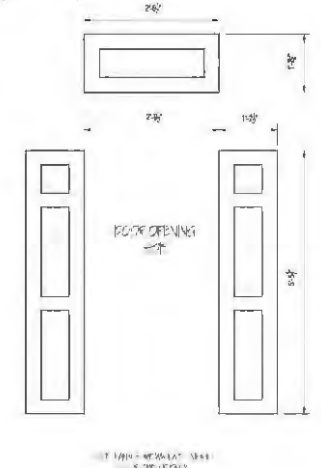
Window Hardware Schedule  
Project 54HAS

Tag	Set No.	Item	Mfg.	Model	Finish	Notes
<b>Main House - First Floor</b>						
W112, W115	1	Sash Lock	Phelps	LK18	ORB	
	2	Hook Sash Lift - Large	Phelps	LF25	ORB	2 per window
<b>Main House - Second Floor</b>						
W117, W118, W119	1	Sash Lock	Phelps	LK18	ORB	
	2	Hook Sash Lift - Large	Phelps	LF25	ORB	2 per window

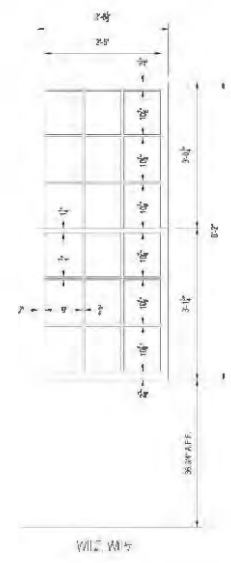
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A402/2/3



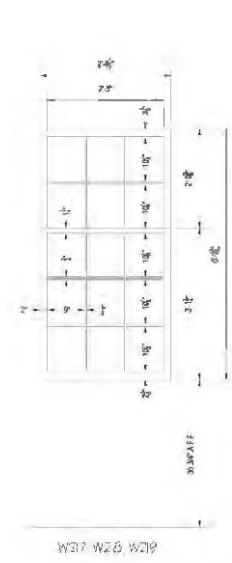
170  
SHUTTER SET - ELEVATION AND PLAN VIEW  
3' 4" x 1'-0"



172  
FINISH PANEL SET - 8 over 9 WINDOW  
3' 4" x 1'-0"



2  
NEW 8 over 9 WINDOW ELEVATION  
3' 4" x 1'-0"



3  
NEW 8 over 9 WINDOW ELEVATION  
3' 4" x 1'-0"



VICINITY MAP

TABLES / LEGEND

SYMBOL	DESCRIPTION
W201	WINDOW
W202	WINDOW
W203	WINDOW
W204	WINDOW
W205	WINDOW
W206	WINDOW
W207	WINDOW
W208	WINDOW
W209	WINDOW
W210	WINDOW
W211	WINDOW
W212	WINDOW
W213	WINDOW
W214	WINDOW
W215	WINDOW
W216	WINDOW
W217	WINDOW
W218	WINDOW
W219	WINDOW
W001	WINDOW
W002	WINDOW
W003	WINDOW
W004	WINDOW
W005	WINDOW
W006	WINDOW
W007	WINDOW
W008	WINDOW
W009	WINDOW
W010	WINDOW
W011	WINDOW
W012	WINDOW
W013	WINDOW
W014	WINDOW

**CORE HOME PLACEMAKING**  
 54 Hasell Street, Charleston, SC 29401  
 803.733.8811  
 www.corehome.com

Core Home River  
54 Hasell St  
Charleston, SC

APPENDIX  
A402

# Project Phase

BAR CONCEPTUAL - 02-13-2020



BAR	COVER
A00	SITE PLAN
A01	FIRST & SECOND FLOOR PLANS
A02	THIRD FLOOR PLAN
A03	ELEVATIONS
A04	ELEVATIONS
A05	ELEVATIONS
A06	STREETSCAPE & EXISTING PHOTOS

## JASMINE HOUSE INN

64 HASELL ST, CHARLESTON, SC 29401

Architect:

**Goff•DAntonio Associates**

34 Radcliffe Street  
 Charleston, SC 29403  
 fax 843.577.9754  
 ph 843.577.2163  
 www.goffdantonio.com

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 Planning

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 843.577.2163  
 www.goffdantonio.com

**JASMINE HOUSE INN**

64 HASELL ST, CHARLESTON, SC 29401

REV.	DESCRIPTION	DATE

**PRELIMINARY  
 NOT FOR  
 CONSTRUCTION**

SHEET TITLE  
**COVER**

DRAWN BY: YM	PROJ. COOR.: TG
-----------------	--------------------

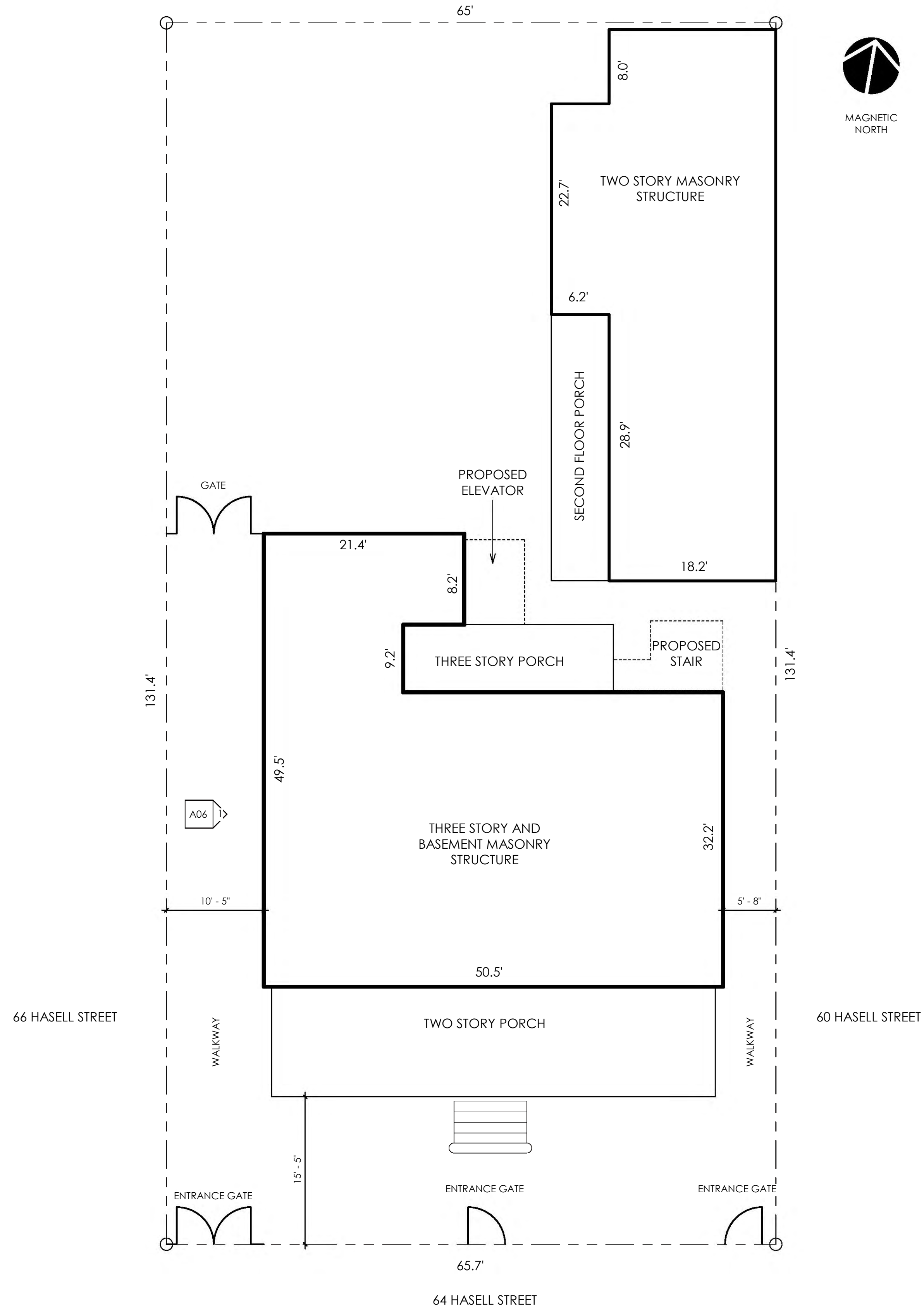
PROJ. NUMBER: 18029.00

ISSUE DATE: FEBRUARY 13, 2020

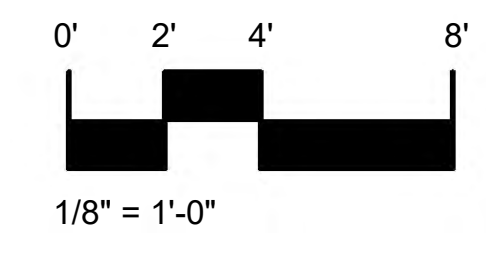
DRAWING

**A00**





1 BAR - SITE PLAN  
SCALE: 1/8" = 1'-0"



LEGEND	

**JASMINE HOUSE INN**

64 HASELL ST, CHARLESTON, SC 29401

Goff-D'Antonio Associates

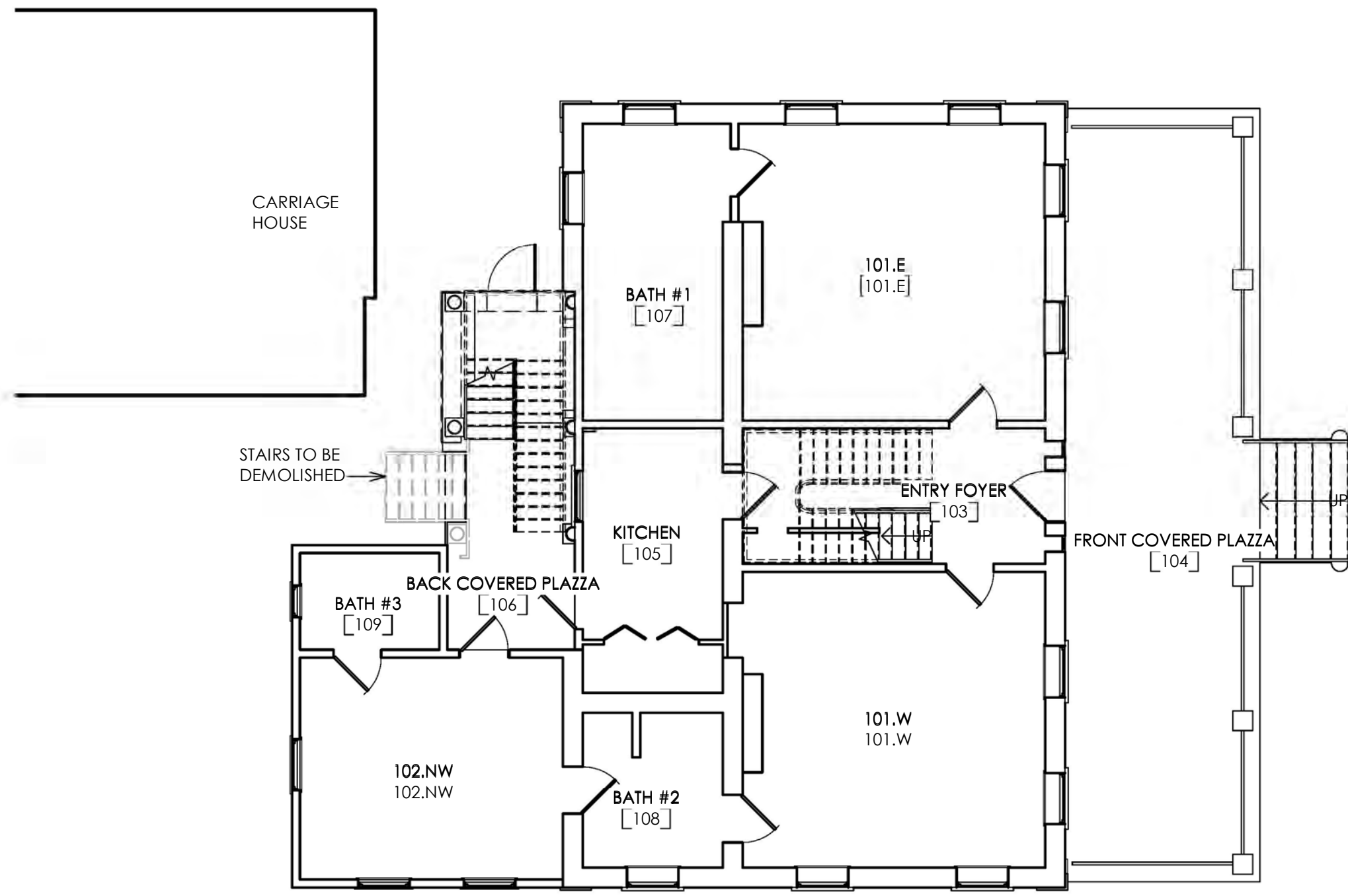
Architecture  
Interiors  
Planning

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Charleston, SC 29403  
FAX 843.577.9154  
843.577.2163  
www.goffdantonio.com

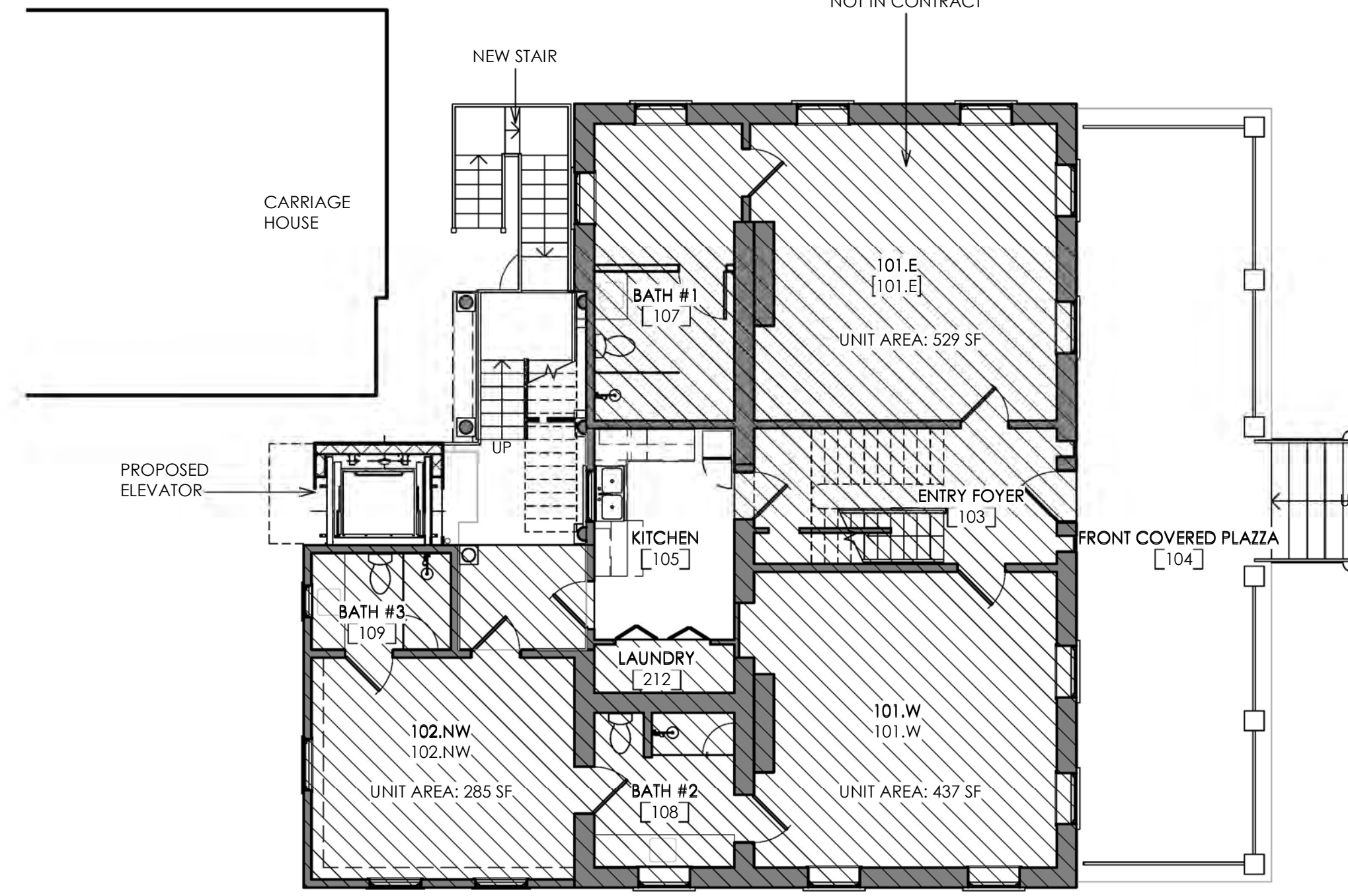
GENERAL NOTES		
REV.	DESCRIPTION	DATE

PRELIMINARY  
NOT FOR  
CONSTRUCTION

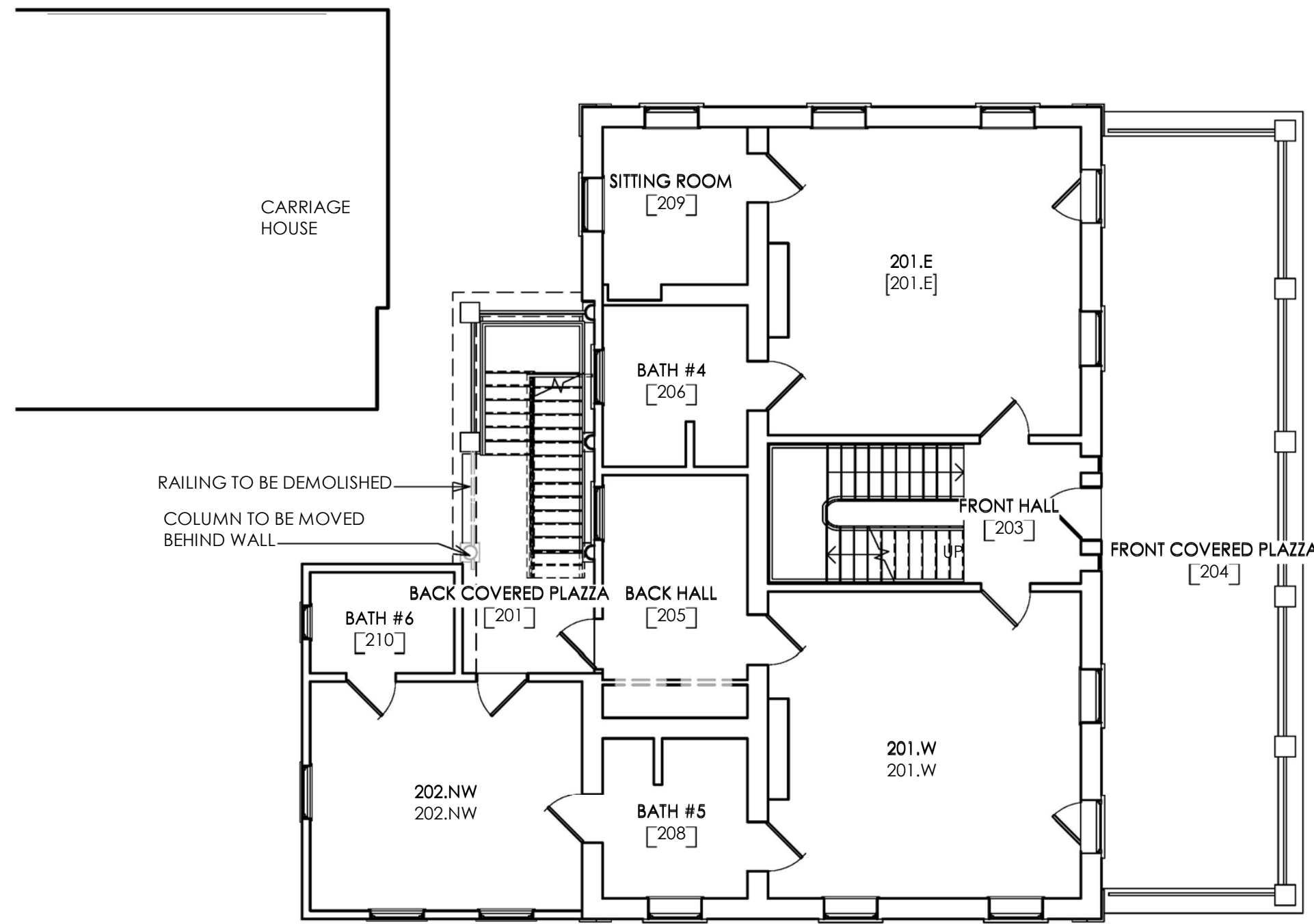
KEY PLAN	
SHEET TITLE SITE PLAN	
DRAWN BY: Author	PROJ. COOR.: Checker
PROJECT NUMBER: 18029.00	
ISSUE DATE: FEBRUARY 13, 2020	
DRAWING <b>A01</b>	



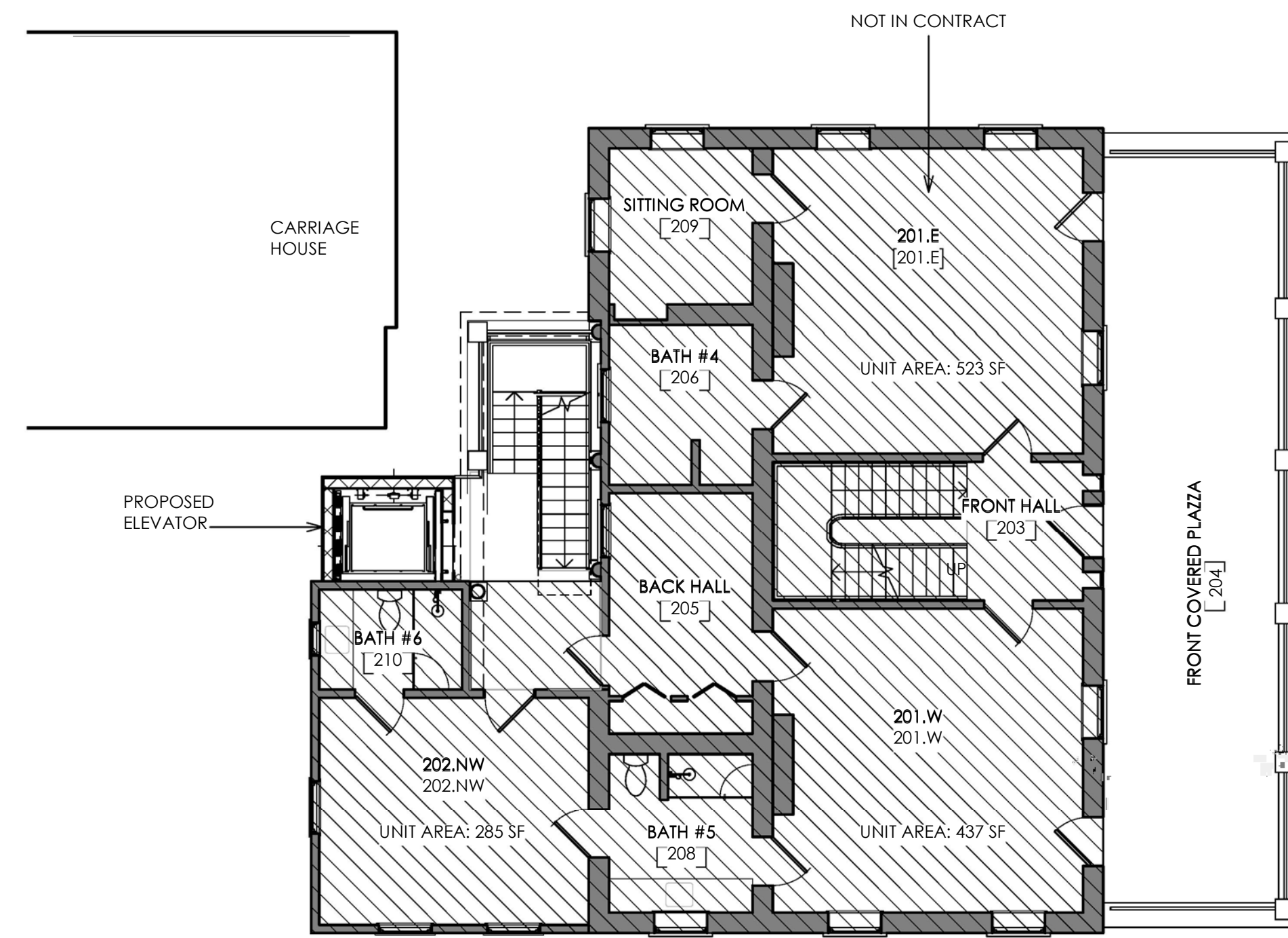
1 BAR - FIRST FLOOR PLAN - EXISTING  
SCALE: 1/8" = 1'-0"



2 FIRST FLOOR PROPOSED PLAN  
SCALE: 1/8" = 1'-0"



3 BAR - SECOND FLOOR PLAN - EXISTING  
SCALE: 1/8" = 1'-0"



4 SECOND FLOOR PROPOSED PLAN  
SCALE: 1/8" = 1'-0"

LEGEND

Goff + D'Antonio Associates  
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Interiors  
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843.577.9154  
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**JASMINE HOUSE INN**  
64 HASELL ST, CHARLESTON, SC 29401

GENERAL NOTES

REV.	DESCRIPTION	DATE

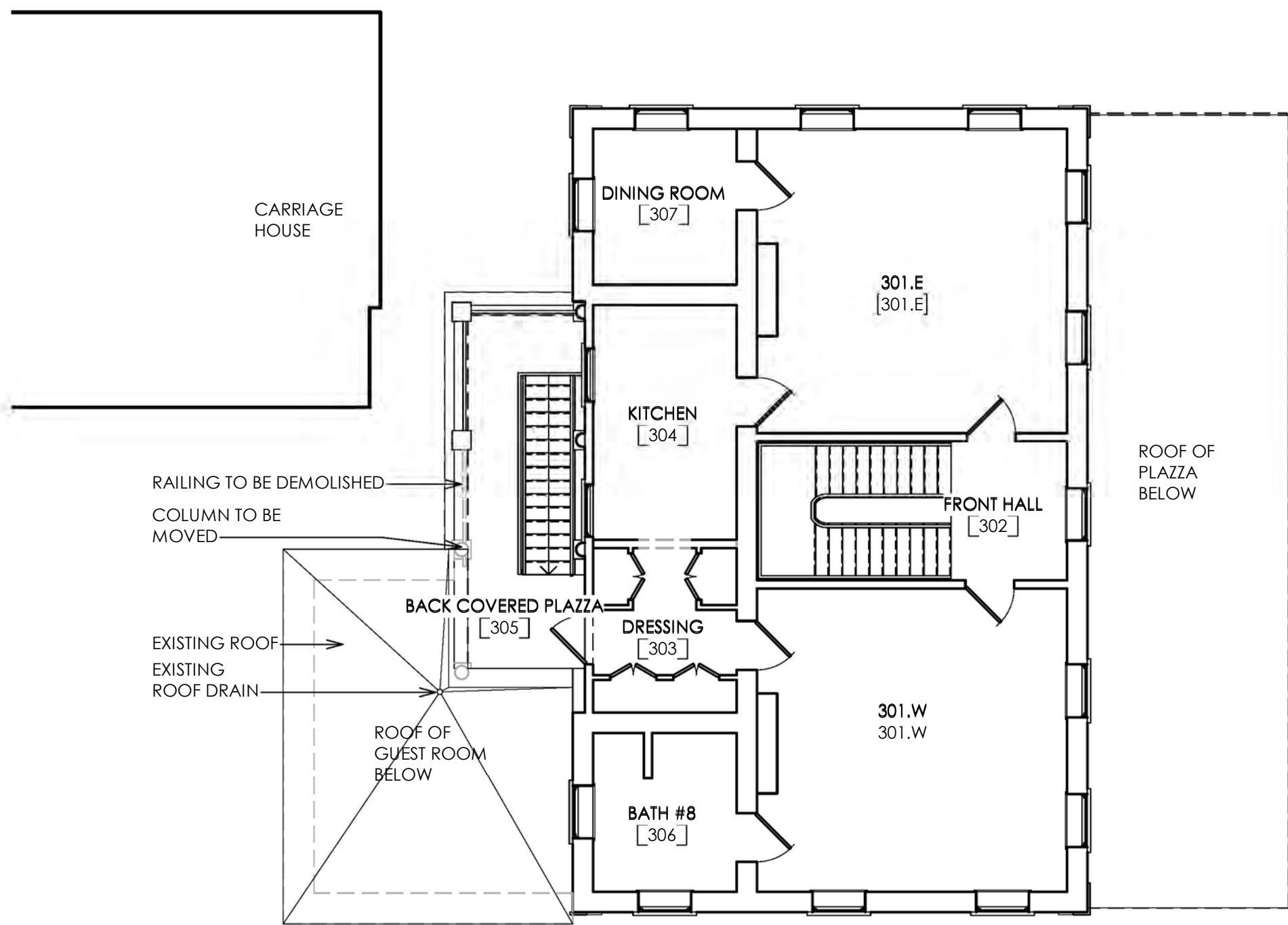
KEY PLAN

SHEET TITLE  
FIRST & SECOND FLOOR PLANS

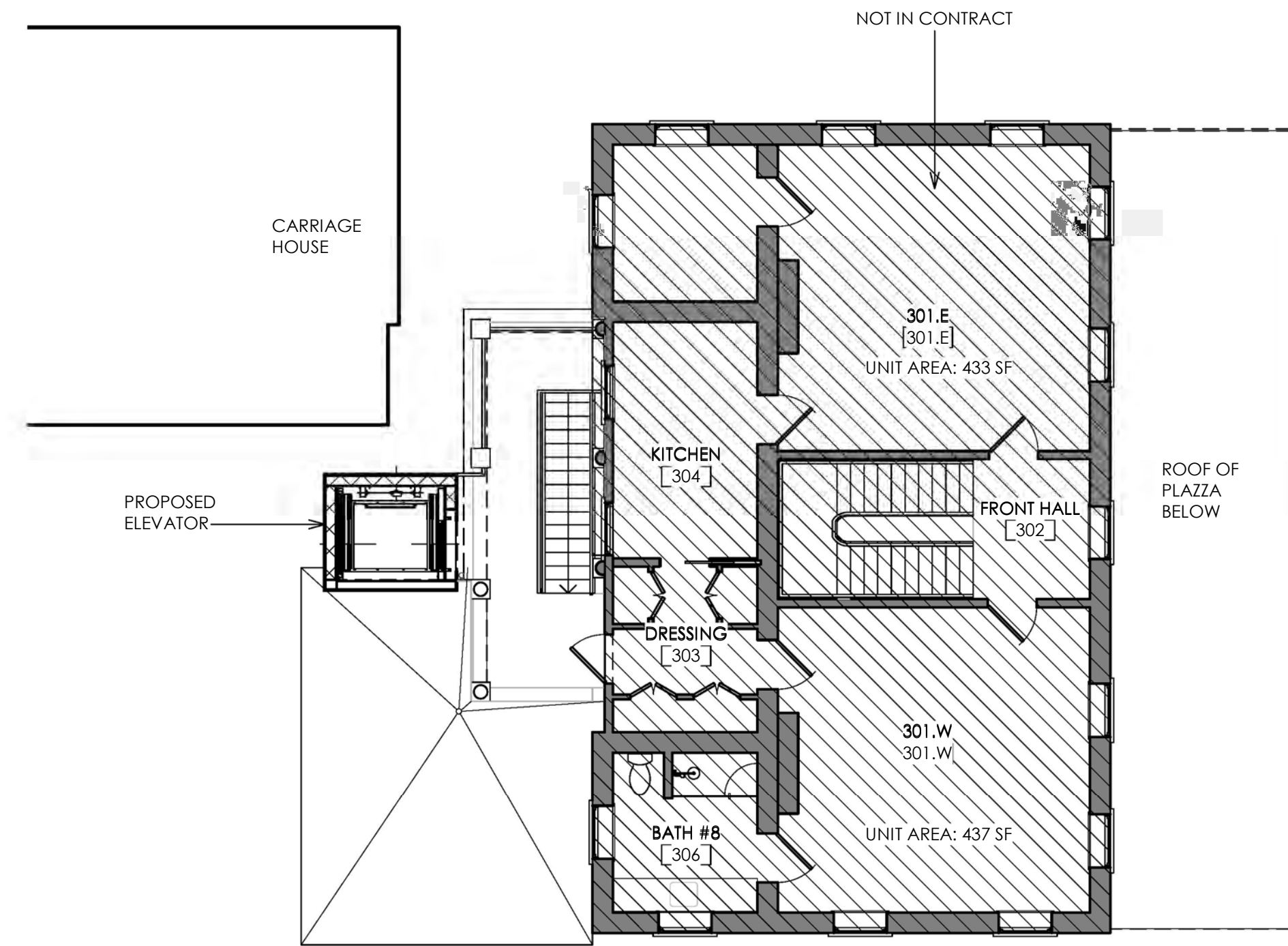
DRAWN BY: Author	PROJ. COOR.: Checker
PROJECT NUMBER: 18029.00	
ISSUE DATE: FEBRUARY 13, 2020	
DRAWING	

**A02**

PRELIMINARY  
NOT FOR  
CONSTRUCTION



1 BAR - THIRD FLOOR PLAN - EXISTING  
SCALE: 1/8" = 1'-0"



2 BAR - THIRD FLOOR PLAN - PROPOSED  
SCALE: 1/8" = 1'-0"

LEGEND

Goff-D'Antonio Associates

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Interiors  
Planning

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FAX 843.577.9154  
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JASMINE HOUSE INN

64 HASELL ST, CHARLESTON, SC 29401

GENERAL NOTES

REV.	DESCRIPTION	DATE

PRELIMINARY  
NOT FOR  
CONSTRUCTION

KEY PLAN

SHEET TITLE  
THIRD FLOOR PLAN

DRAWN BY: Author	PROJ. COOR.: Checker
PROJECT NUMBER: 18029.00	
ISSUE DATE: FEBRUARY 13, 2020	
DRAWING	

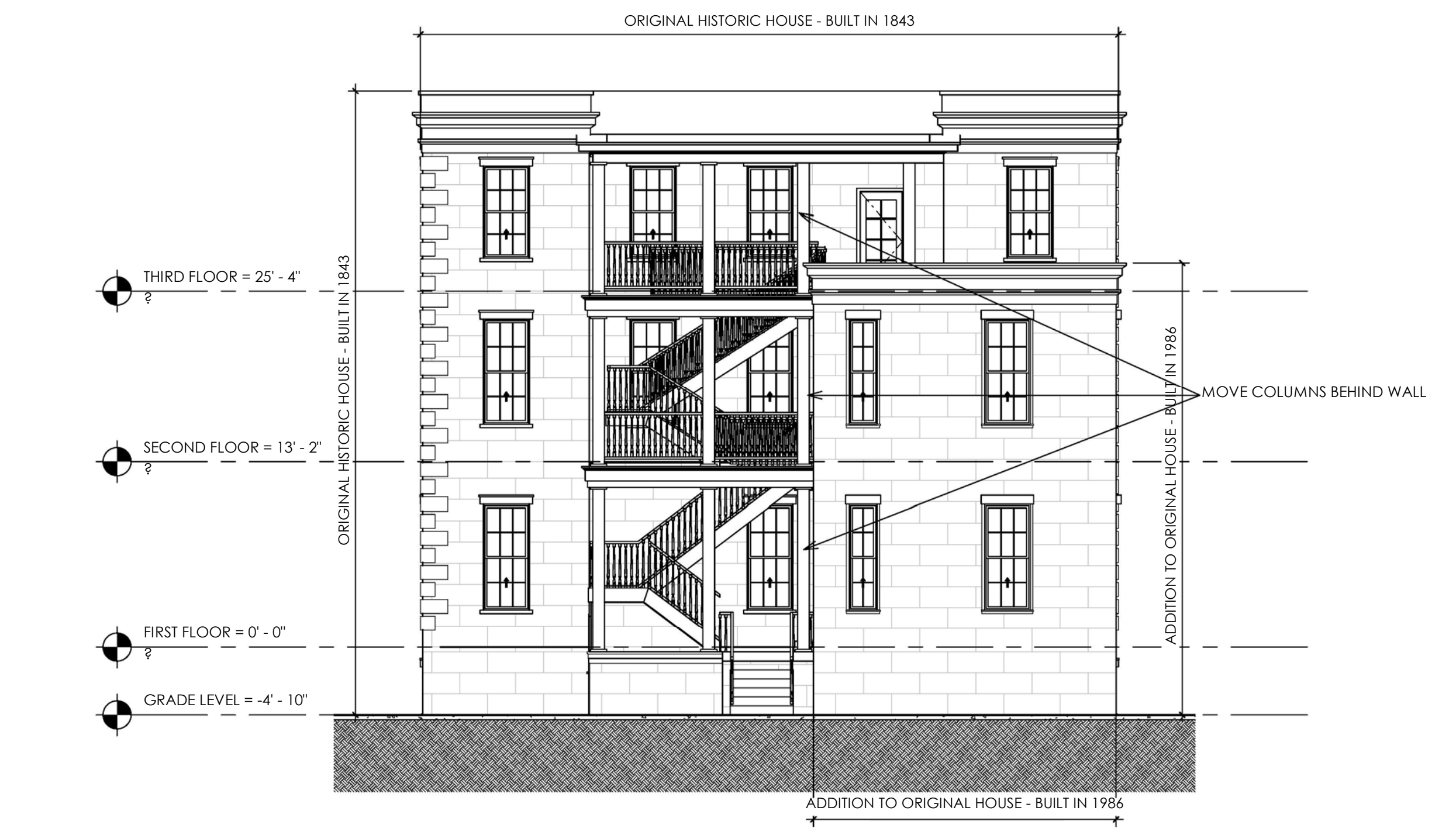
A03



1 EAST ELEVATION - EXISTING  
SCALE: 1/8" = 1'-0"



2 EAST ELEVATION - PROPOSED  
SCALE: 1/8" = 1'-0"



3 NORTH ELEVATION - EXISTING  
SCALE: 1/8" = 1'-0"



4 NORTH ELEVATION - PROPOSED  
SCALE: 1/8" = 1'-0"

LEGEND

---

GENERAL NOTES

REV.	DESCRIPTION	DATE

KEY PLAN

Goff•DAntonio Associates

Architecture  
Interiors  
Planning

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843.577.2163  
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**JASMINE HOUSE INN**

64 HASELL ST, CHARLESTON, SC 29401

PRELIMINARY  
NOT FOR  
CONSTRUCTION

SHEET TITLE  
ELEVATIONS

DRAWN BY: Author	PROJ. COOR.: Checker
PROJECT NUMBER: 18029.00	
ISSUE DATE: FEBRUARY 13, 2020	
DRAWING	

**A04**

NOTE:  
SOUTH ELEVATION REMAINS UNCHANGED



1 SOUTH ELEVATION EXISTING  
SCALE: 1/8" = 1'-0"

NOTE:  
SOUTH ELEVATION REMAINS UNCHANGED



2 SOUTH ELEVATION EXISTING  
SCALE: 1/8" = 1'-0"

LEGEND

Goff•DAntonio Associates  
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Interiors  
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Charleston, SC 29403  
FAX 843.577.9154  
www.goffdantonio.com

JASMINE HOUSE INN  
64 HASELL ST, CHARLESTON, SC 29401

GENERAL NOTES

REV.	DESCRIPTION	DATE

PRELIMINARY  
NOT FOR  
CONSTRUCTION

KEY PLAN

SHEET TITLE  
ELEVATIONS

DRAWN BY: Author  
PROJ. COOR.: Checker  
PROJECT NUMBER: 18029.00  
ISSUE DATE: FEBRUARY 13, 2020  
DRAWING

A05

ADDITION TO ORIGINAL HOUSE - BUILT IN 1986 ORIGINAL HISTORIC HOUSE - BUILT IN 1843

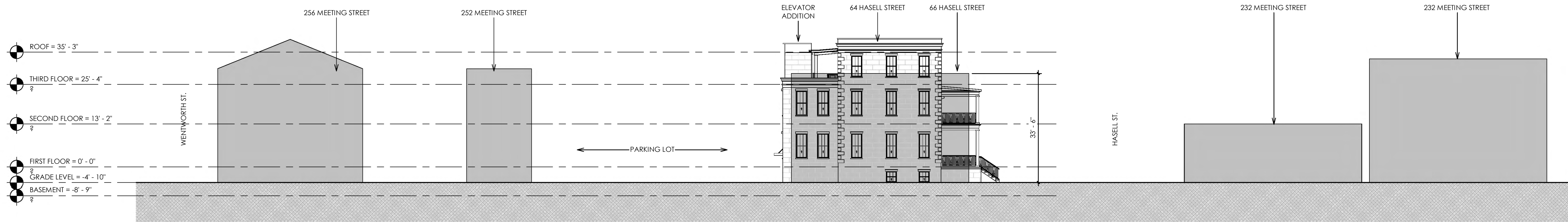


3 WEST ELEVATION - EXISTING  
SCALE: 1/8" = 1'-0"

ADDITION TO ORIGINAL HOUSE - BUILT IN 1986 ORIGINAL HISTORIC HOUSE - BUILT IN 1843



4 WEST ELEVATION - PROPOSED  
SCALE: 1/8" = 1'-0"



- ROOF = 35' - 3"
- THIRD FLOOR = 25' - 4"
- SECOND FLOOR = 13' - 2"
- FIRST FLOOR = 0' - 0"
- GRADE LEVEL = -4' - 10"
- BASEMENT = -8' - 9"

① WEST STREETScape - VIEW FROM MEETING STREET  
SCALE: 1/16" = 1'-0"



Goff-D'Antonio Associates

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Interiors  
Planning

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Charleston, SC 29403  
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843.577.2163  
www.goffdantonio.com

JASMINE HOUSE INN

64 HASELL ST, CHARLESTON, SC 29401

REV.	DESCRIPTION	DATE

PRELIMINARY  
NOT FOR  
CONSTRUCTION

SHEET TITLE  
STREETScape &  
EXISTING PHOTOS

DRAWN BY: Author  
PROJ. COOR.: Checker

PROJECT NUMBER: 18029.00

ISSUE DATE: FEBRUARY 13, 2020

DRAWING

A06

# 19 WEST STREET



## INDEX OF DRAWINGS

- A1 COVER/ NOTES
- C1 EXSITING SURVEY
- A2 EXISTING PHOTOS
- A3 EXISTING PHOTOS
- A4 SITE
- A5 PLANS
- A6 NORTH ELEVATION (FRONT)
- A7 WEST ELEVATION (SIDE)
- A8 DETAILS
- A9 DETAILS

## GENERAL NOTES

THE REPRODUCTION OF THESE DRAWINGS MAY HAVE CHANGED THE SIZE AND SCALE OF THEM AS ORIGINALLY DRAWN. OWNER AND ARCHITECT ASSUME NO RESPONSIBILITY FOR THE USE OF INCORRECT SCALE.

NEW WINDOWS TO BE VICTOR BUILT HISTORIC SERIES WOOD WINDOWS WITH HIDDEN BALANCE SYSTEM.

ALL WORK SHALL CONFORM TO THE SOUTH CAROLINA BUILDING CODE, THE RULES AND REGULATIONS OF ALL GOVERNING BODIES.

CONTRACTOR SHALL VERIFY EXISTING CONDITIONS BEFORE PROCEEDING WITH THE WORK AND SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES OR CONFLICT.

CONTRACTOR SHALL PROVIDE PROPER SHORING AND BRACING OF EXISTING STRUCTURE BEFORE DEMOLITION BEGINS. SHORING AND BRACING SHALL REMAIN UNTIL STRUCTURAL REPLACEMENTS ARE IN PLACE.

6. NOT USED

7. CONTRACTOR SHALL VERIFY DOOR, WINDOW, AND ROOM FINISH SCHEDULES WITH ARCHITECT BEFORE ORDERING MATERIALS AND/OR PROCEEDING WITH THIS WORK.

8. UNLESS OTHERWISE INDICATED, ALL MATERIALS, DETAILS, AND FINISHES SHALL MATCH EXISTING.

9. DIMENSIONS ARE FINISH TO FINISH, UNLESS OTHERWISE NOTED.

10. HVAC, ELECTRICAL, AND PLUMBING WORK WILL BE PROCURED BY THE OWNER FROM THE CONTRACTOR ON A DESIGN/BUILD BASIS. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THIS WORK AND FOR CONFORMING SUCH WORK TO THE ARCHITECTURAL REQUIREMENTS. ALL WORK TO CONFORM WITH ALL APPLICABLE CODES. THE ARCHITECT WILL SPECIFY THE DESIGN CRITERIA AND ASSIST THE CONTRACTOR WITH COORDINATING THIS WORK WITH THE ARCHITECTURAL DESIGN.

Project:

**McMANUS  
RESIDENCE**  
*HOME IMPROVEMENTS*

19 WEST STREET  
CHARLESTON, SC 29401

ISSUE: DATE:  
ZONING &  
BAR REVIEW 01.15.2020

Stamp



Architect:

**BotaArch, LLC**

1693 Sulgrave Rd  
Charleston, SC 29414

Office: 843.207.4749  
Cell: 401.595.7364

BOTAARCH.COM

Title and Sheet:

**COVER/  
NOTES**

**A1**

ARCHITECT:

**BotaArch, LLC**

1693 SULGRAVE RD  
CHARLESTON, SC 29414

O: 843.207.4749

C: 401.595.7364

BOTAARCH.COM

CONTRACTOR:

**DWELL  
CONSTRUCTION**

PO. BOX 528  
JOHNS ISLAND 29457

CONTACT:

O: 843.822.1308

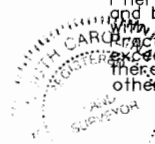
**SURVEY NOTES**

1. Reference Tax Map Number 457-08-02-091
2. Reference Plat Book G605 Page 863
3. Property Owner: Gerald McManus & Kevin McManus
4. Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, ownership title evidence, or any other facts that an accurate and current title search may disclose.
6. These lots have been checked against area FEMA maps and to the best of this surveyor's knowledge, said lot is located in Flood Zone AE(13'). Ref. Map No. 45019C0518 J dated 11-17-2004  
It is the responsibility of the owner and/or builder to verify the flood zone with the governing municipality prior to design and construction.
7. TOTAL AREA: 0.035 Acre 1522 Sq. Ft.

**BOUNDARY SURVEY  
19 WEST STREET  
LOCATED  
CITY OF CHARLESTON  
CHARLESTON COUNTY, SOUTH CAROLINA**

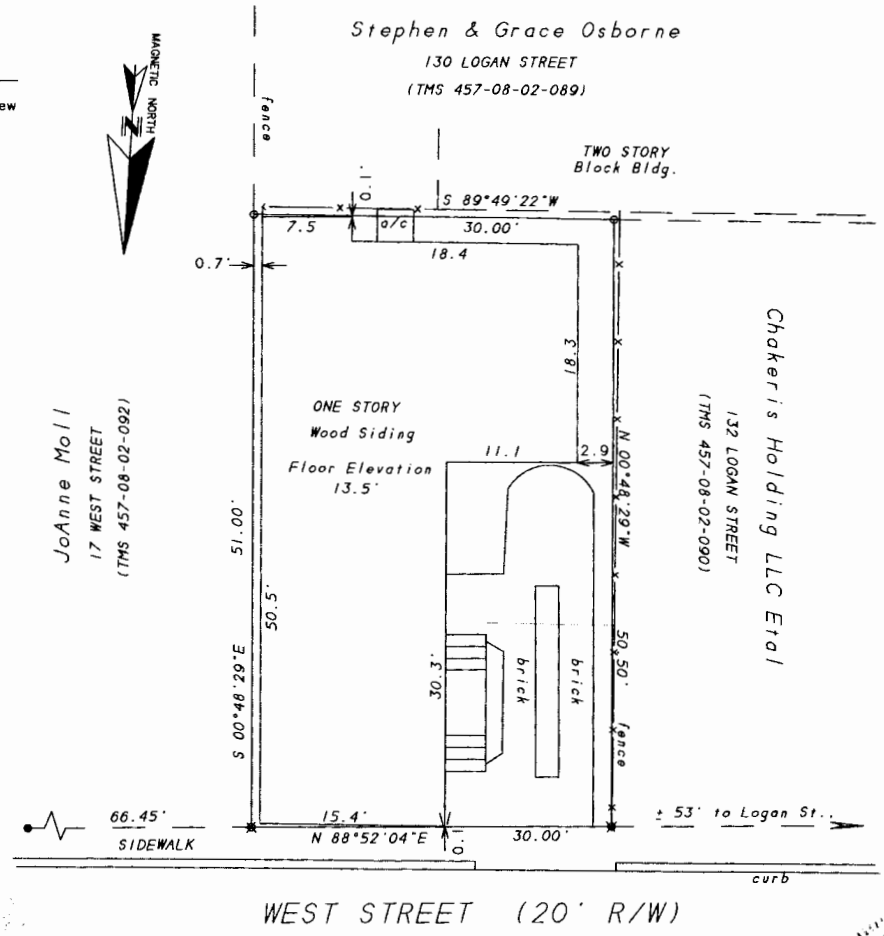
**SURVEYOR'S STATEMENT**

I hereby state that to the best of my knowledge, information, and belief, the survey shown hereon was made in accordance with the requirements of the Minimum Standards Manual for the Practice of Land Surveying in South Carolina, and meets or exceeds the requirements for a Class A survey as specified therein also there are no visible encroachments or projections other than shown.



By: *[Signature]*  
James G. Perington, P.L.S. No. 10291  
Date: 1/3/20

- LEGEND**
- o 5/8" Iron Rod New
  - ▼ Chiseled "X"



2065 SAVANNAH HIGHWAY  
SUITE 2  
CHARLESTON, SC 29407  
PHONE (843) 571-5191  
EMAIL: Palmettois@bellsouth.net

PREPARED EXCLUSIVELY FOR: Kevin McManus  
SITE LOCATION: 19 West Street  
Charleston, SC

			1
FIELD SURVEY DATE: 26 December 2019	FIELD SURVEY BY: DG/MCD	CLIENT PROJECT NO.:	OF
DRAWING DATE: 3 January 2020	DRAWN BY: JGP	4523	1
DRAWING FILE NO.:			
4523.DWG			



Project:  
**McMANUS  
RESIDENCE**  
HOME IMPROVEMENTS  
19 WEST STREET  
CHARLESTON, SC 29401

ISSUE:                      DATE:  
ZONING &  
BAR REVIEW              01.15.2020

Stamp



Architect:

**BotaArch, LLC**  
1693 Sulgrave Rd  
Charleston, SC 29414  
Office: 843.207.4749  
Cell: 401.595.7364  
BOTAARCH.COM

Title and Sheet:

**EXISTING  
PHOTOS**

**A2**



**1** EXISTING NE CORNER



**2** EXISTING NW CORNER



1 EXISTING LIGHT FIXTURE



2 EXISTING REAR EL



3 EXISTING RAILING

Project:  
**McMANUS  
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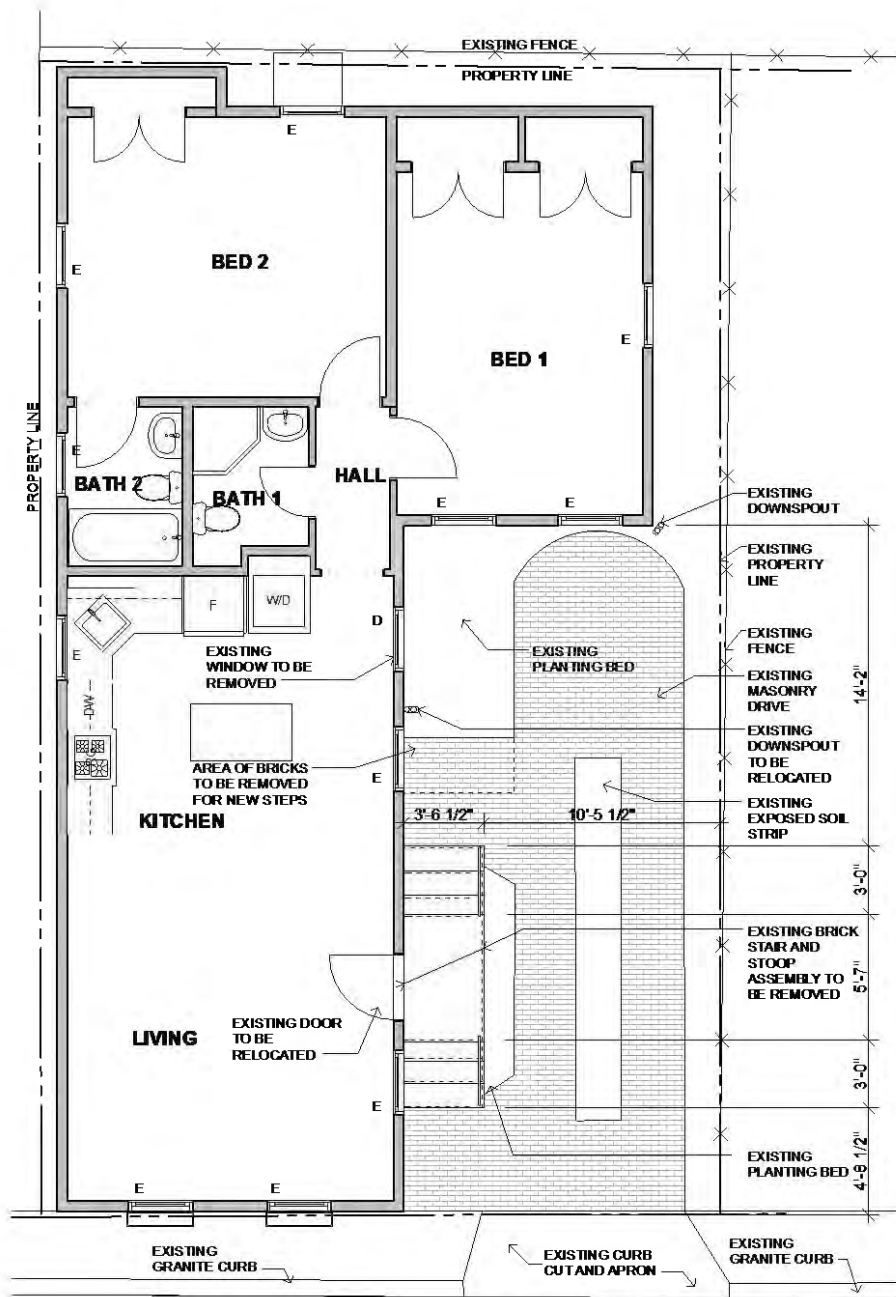
Architect:

**BotaArch, LLC**  
 1693 Sulgrave Rd  
 Charleston, SC 29414  
 Office: 843.207.4749  
 Cell: 401.595.7364  
 BOTAARCH.COM

Title and Sheet:

**EXISTING  
 PHOTOS**

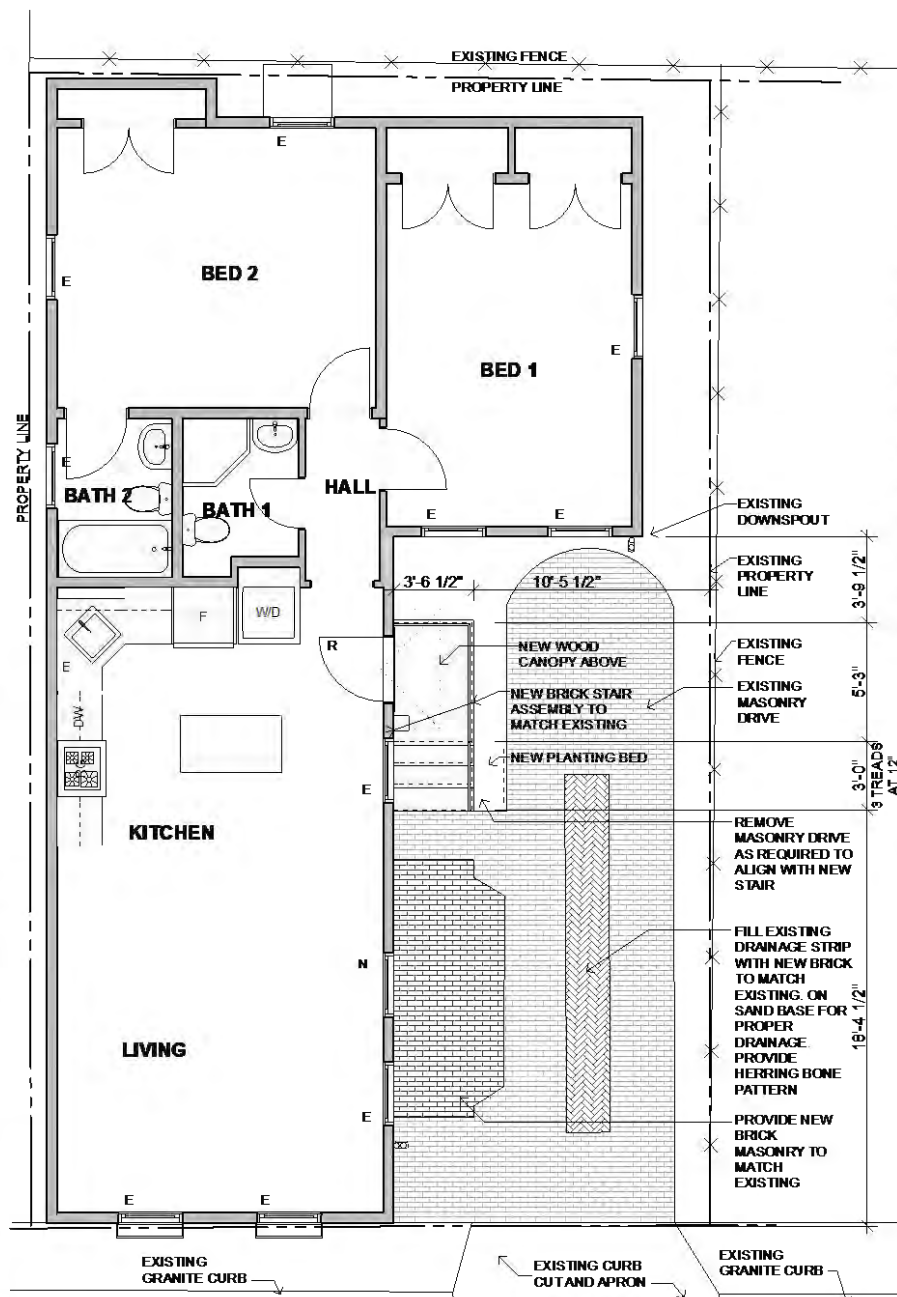
**A3**



1

**SITE PLAN - EXISTING**

SCALE: 3/16" = 1'-0"



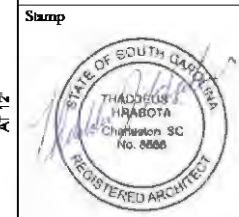
2

**SITE PLAN - PROPOSED**

SCALE: 3/16" = 1'-0"

Project:  
**McMANUS RESIDENCE**  
 HOME IMPROVEMENTS  
 19 WEST STREET  
 CHARLESTON, SC 29401

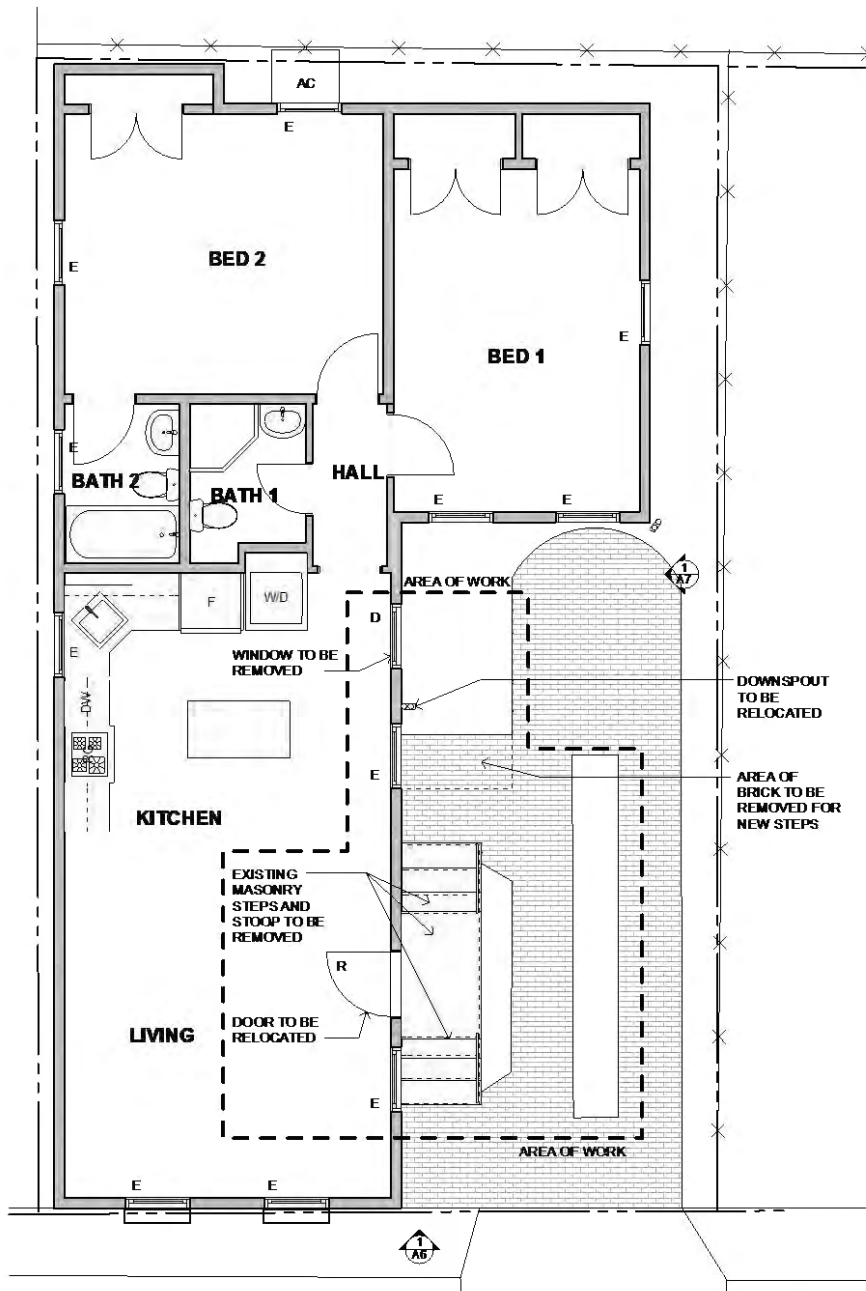
ISSUE: DATE:  
 ZONING & BAR REVIEW 01.15.2020



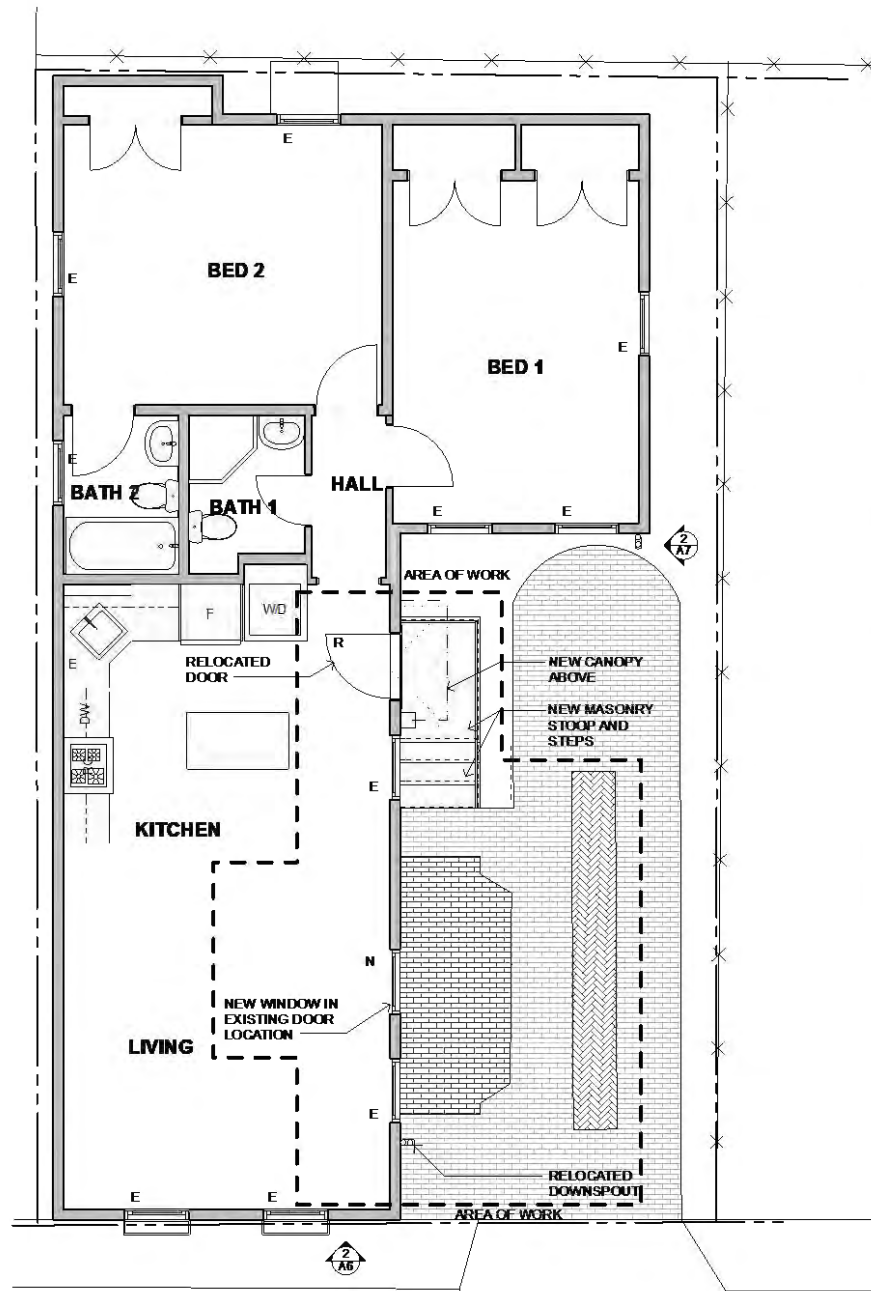
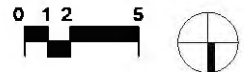
Architect:  
**BotaArch, LLC**  
 1693 Sulgrave Rd  
 Charleston, SC 29414  
 Office: 843.207.4749  
 Cell: 401.595.7364  
 BOTAARCH.COM

Title and Sheet:  
**SITE**

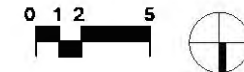
**A4**



**1** FIRST FLOOR - EXISTING  
SCALE: 3/16" = 1'-0"



**3** FIRST FLOOR - PROPOSED  
SCALE: 3/16" = 1'-0"



Project:  
**McMANUS RESIDENCE**  
HOME IMPROVEMENTS  
19 WEST STREET  
CHARLESTON, SC 29401

ISSUE: DATE:  
ZONING & BAR REVIEW 01.15.2020



Architect:  
**BotaArch, LLC**  
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Office: 843.207.4749  
Cell: 401.595.7364  
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Title and Sheet:  
**PLANS**  
**A5**



**1** NORTH ELEVATION - EXISTING (FRONT) SCALE: 1/4" = 1'-0"



**2** NORTH ELEVATION - PROPOSED (FRONT) SCALE: 1/4" = 1'-0"

Project:  
**McMANUS RESIDENCE**  
 HOME IMPROVEMENTS  
 19 WEST STREET  
 CHARLESTON, SC 29401

ISSUE: DATE:  
 ZONING & BAR REVIEW 01.15.2020

Stamp

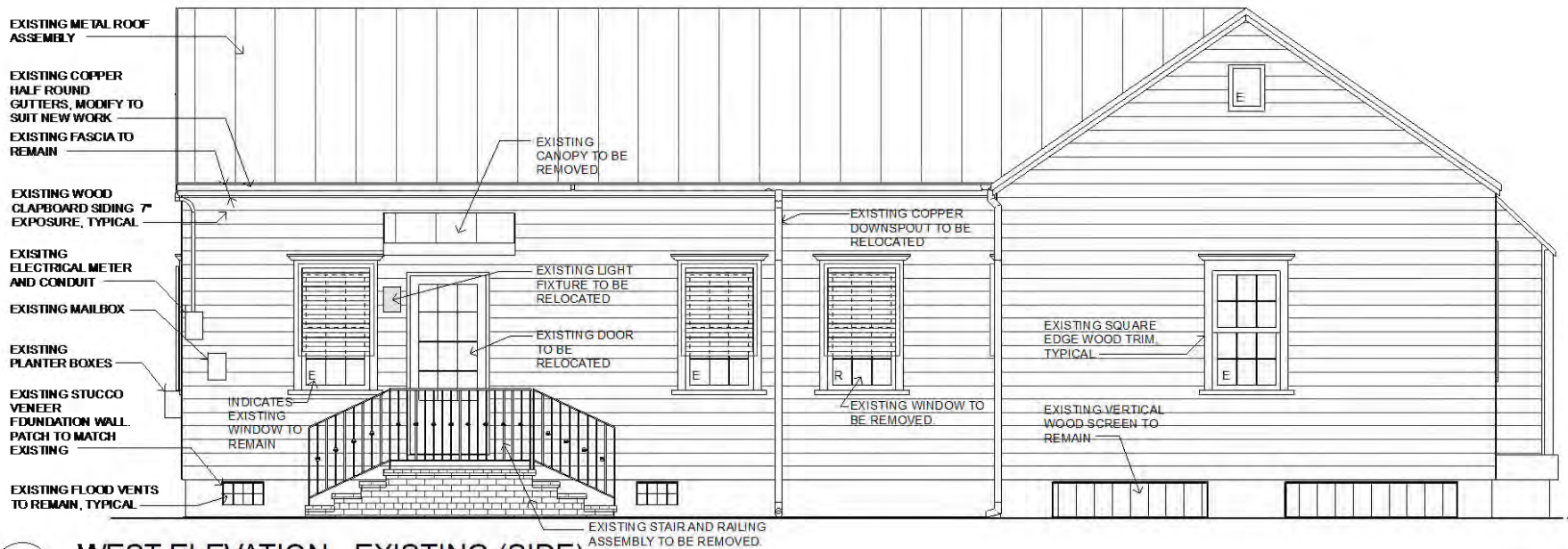


Architect:

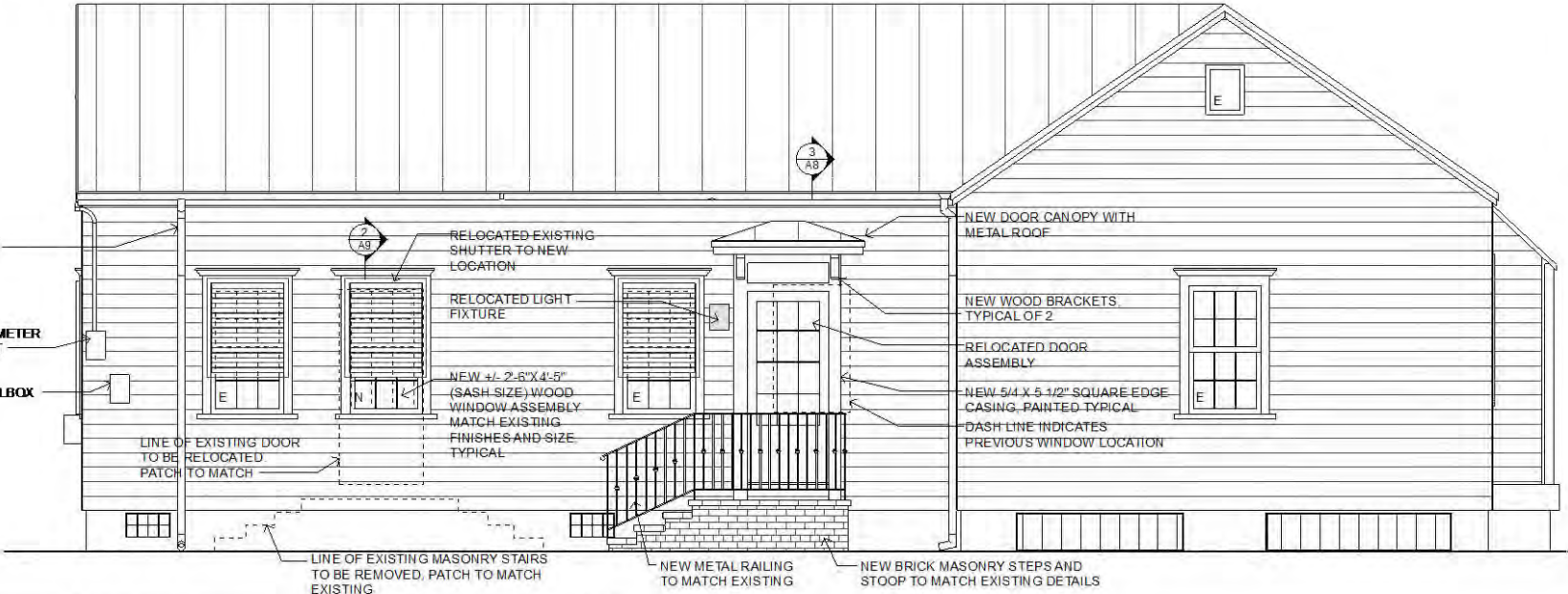
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Title and Sheet:

**NORTH ELEVATION (FRONT)**  
**A6**



**1 WEST ELEVATION - EXISTING (SIDE)**  
SCALE: 1/4" = 1'-0"



**2 WEST ELEVATION - PROPOSED**  
SCALE: 1/4" = 1'-0"



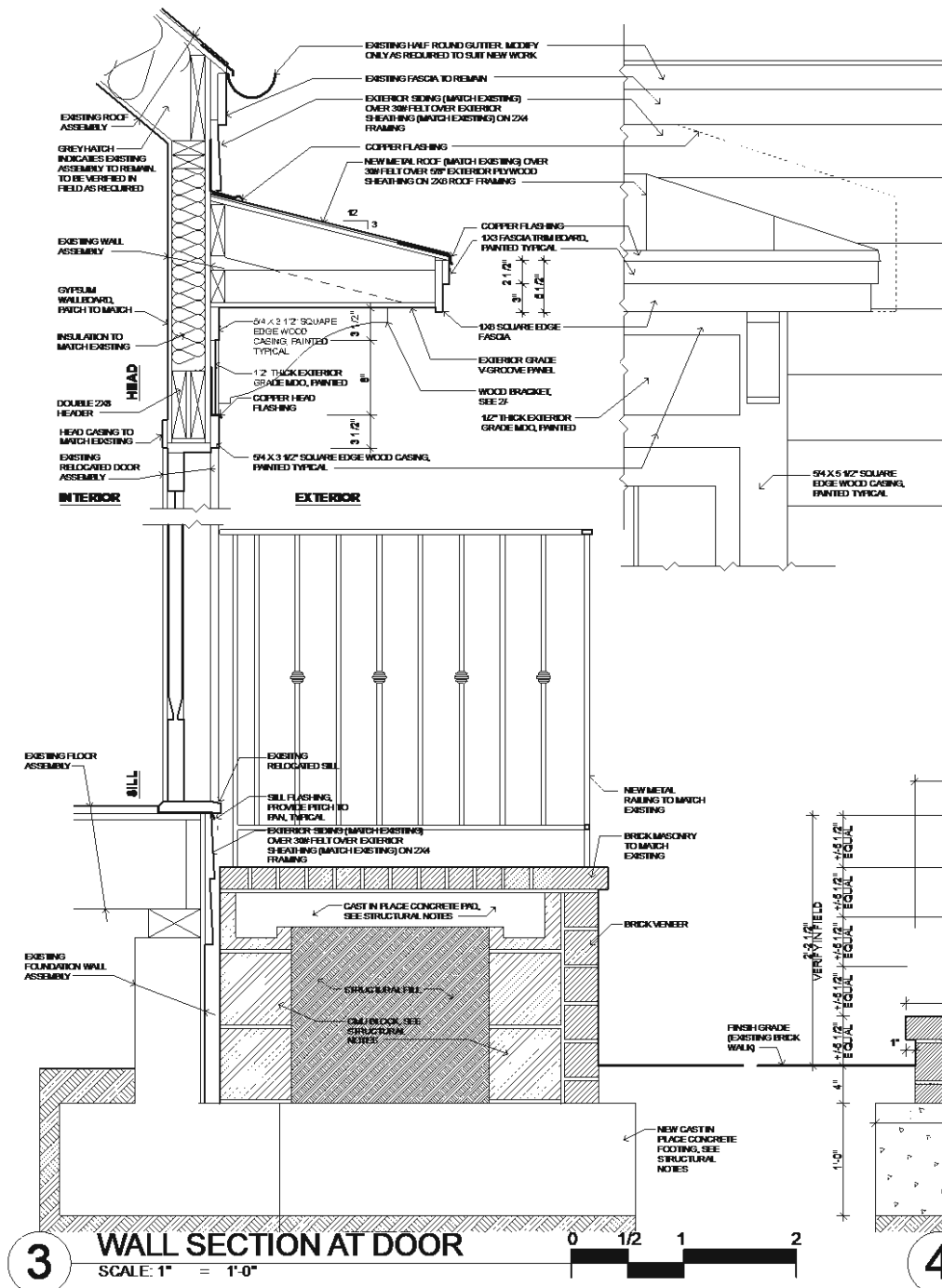
Project:  
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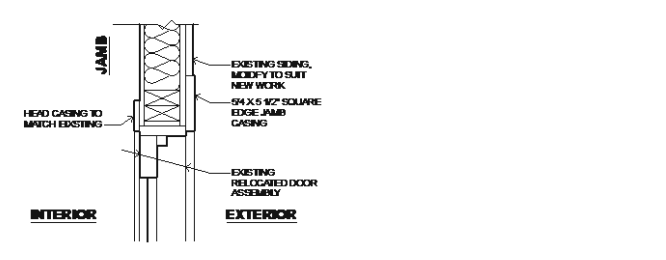


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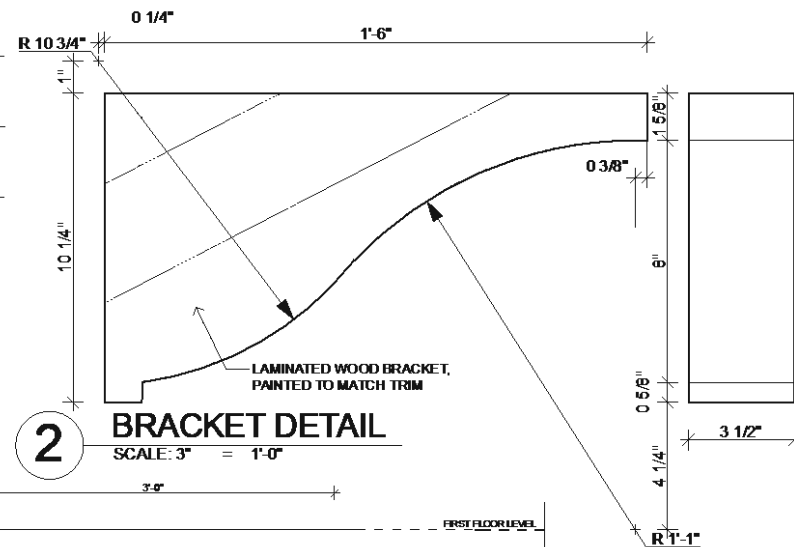
Title and Sheet:  
**WEST ELEVATION (SIDE)**  
**A7**



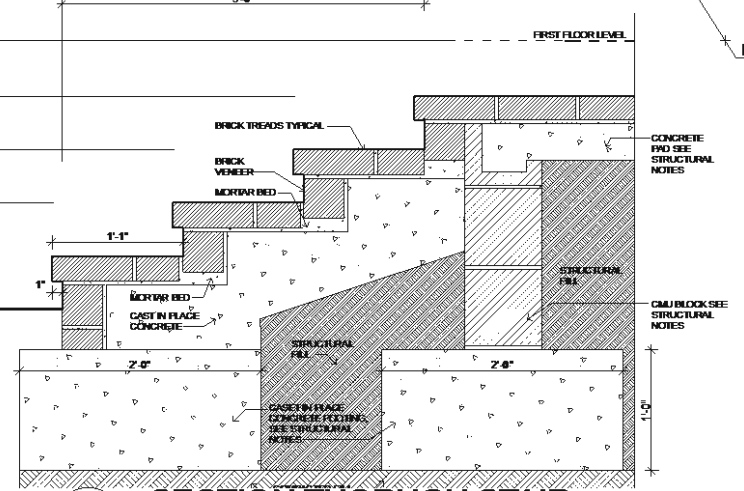
**3 WALL SECTION AT DOOR**  
SCALE: 1" = 1'-0"



**1 WALL SECTION AT DOOR**  
SCALE: 1" = 1'-0"



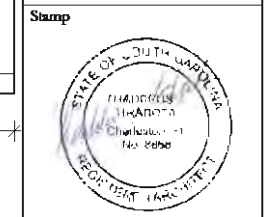
**2 BRACKET DETAIL**  
SCALE: 3" = 1'-0"



**4 SECTION THROUGH STAIR**  
SCALE: 1" = 1'-0"

Project:  
**McMANUS RESIDENCE**  
HOME IMPROVEMENTS  
19 WEST STREET  
CHARLESTON, SC 29401

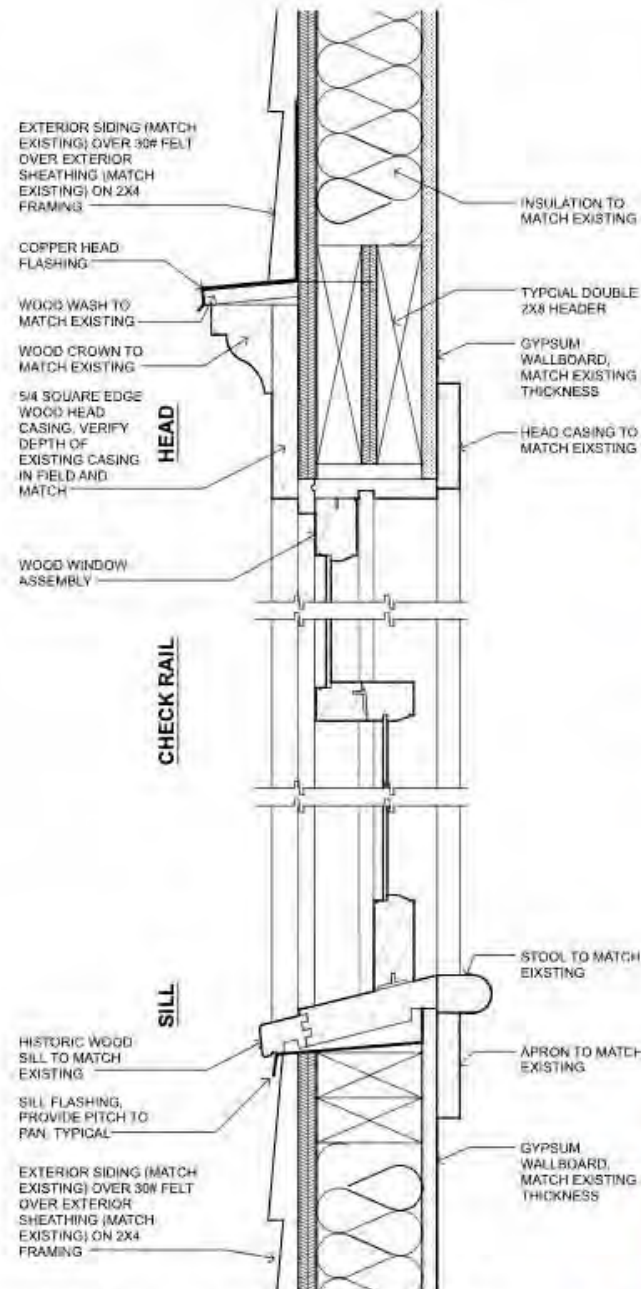
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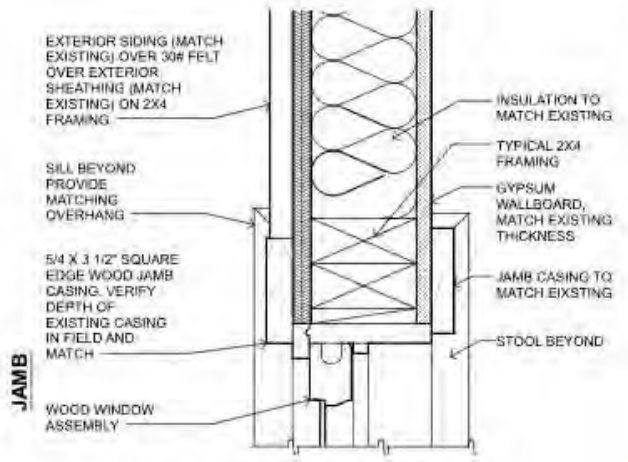
Architect:  
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Title and Sheet:  
**DETAILS**

**A8**



**2 WINDOW SECTION DETAIL**  
SCALE: 3" = 1'-0"



**1 WINDOW JAMB DETAIL**  
SCALE: 3" = 1'-0"

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- 7/16" BARS BETWEEN GLASS
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Title and Sheet:  
**DETAILS**

**A9**