



City of Charleston

BOARD OF ARCHITECTURAL REVIEW - LARGE

January 8, 2020

4:30 PM

DEPARTMENT OF PLANNING, PRESERVATION & SUSTAINABILITY

www.charleston-sc.gov/bar

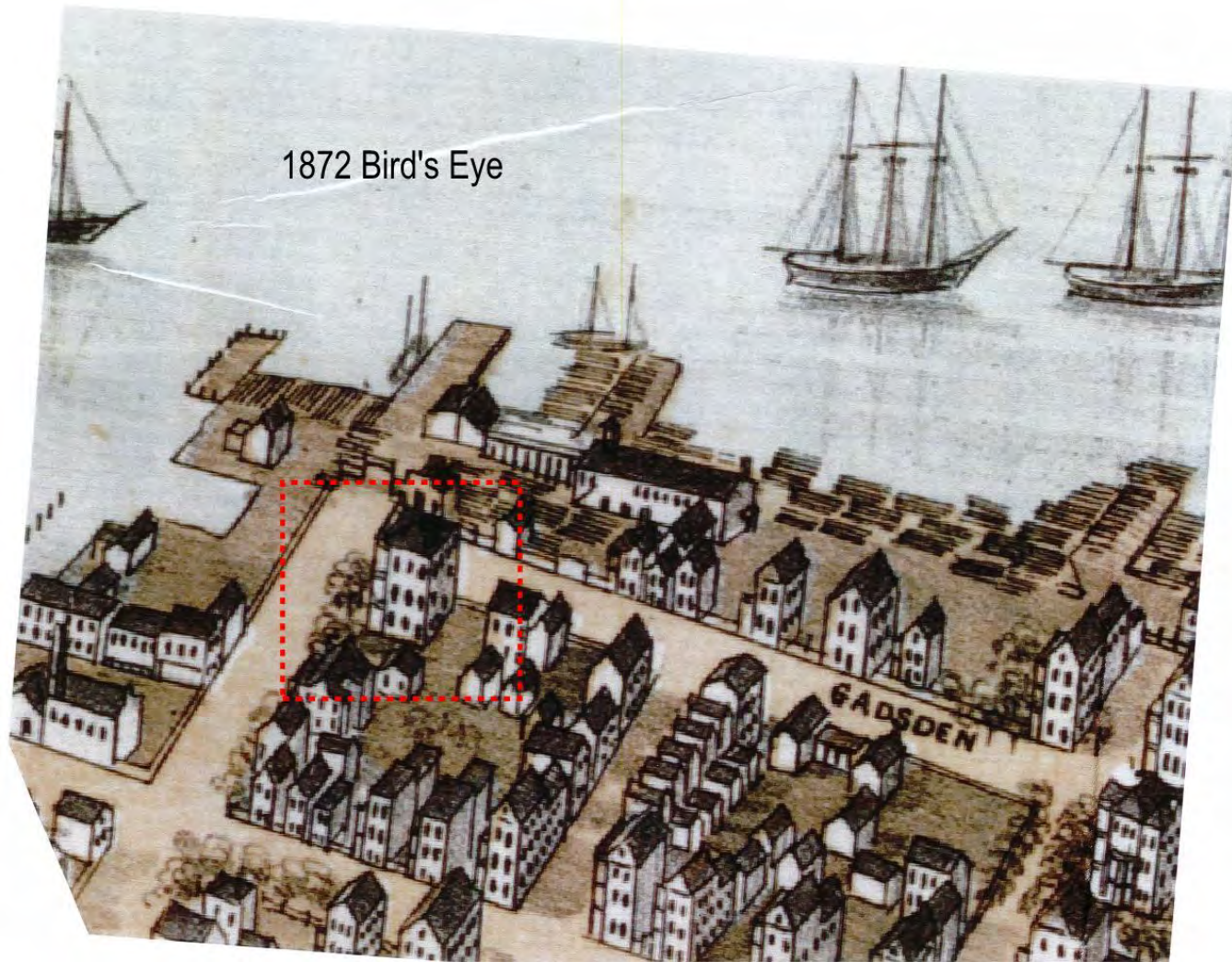
Agenda Item #1

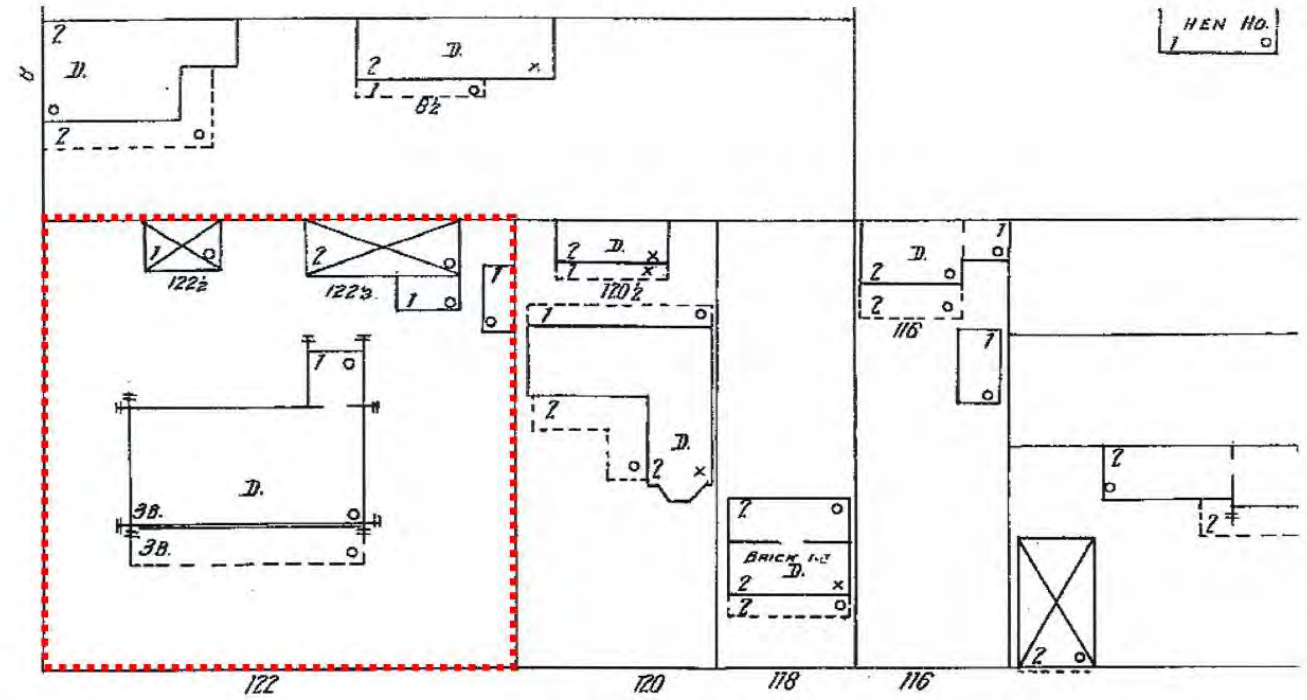
4-6 GADSDEN STREET
TMS #459-03-03-001

Request conceptual approval for new construction of four townhouses.

(Harleston Village) / Height District: 3 / Old and Historic District

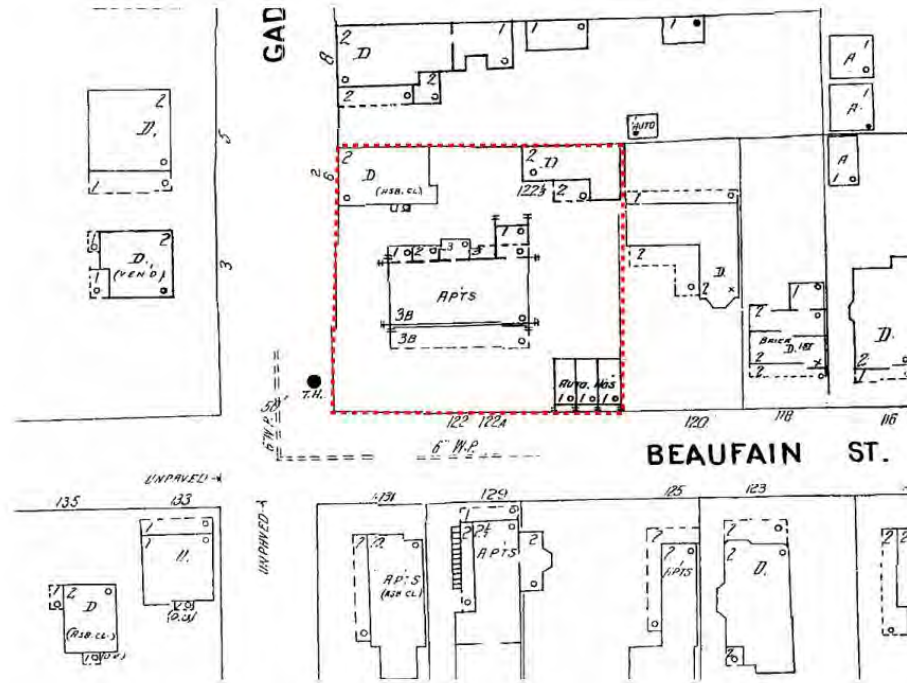
1872 Bird's Eye





BEAUFAIN ST. W.

1902 Sanborn



1944 Sanborn







Site from Beaufain Street (looking north)



Site from Beaufain Street (looking north)

4-6 Gadsden Street - 01/08/2020 Meeting Date



Site from Gadsden Street (looking east)



Site from Gadsden Street (looking east)

4-6 Gadsden Street - 01/08/2020 Meeting Date



Site Interior - 4 Gadsden St.



Site Interior - 4 and 6 Gadsden St.

4-6 Gadsden Street - 01/08/2020 Meeting Date



6 Gadsden Street - Front



6 Gadsden Street - Side

4-6 Gadsden Street - 01/08/2020 Meeting Date



8 Gadsden Street



10 Gadsden Street

4-6 Gadsden Street - 01/08/2020 Meeting Date



3 Gadsden Street



5 Gadsden Street

4-6 Gadsden Street - 01/08/2020 Meeting Date



126 Beaufain Street (from Gadsden)



126 Beaufain Street

4-6 Gadsden Street - 01/08/2020 Meeting Date



128 Beaufain Street



126 1/2 Beaufain Street

4-6 Gadsden Street - 01/08/2020 Meeting Date



120 Beaufain Street



118 Beaufain Street

4-6 Gadsden Street - 01/08/2020 Meeting Date



116 Beaufain Street



114 Beaufain Street

4-6 Gadsden Street - 01/08/2020 Meeting Date



125 / 127 Beaufain Street



129 / 131 Beaufain Street

4-6 Gadsden Street - 01/08/2020 Meeting Date



- GENERAL NOTES**
- 1 ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 - 2 ALL MATERIALS AND FINISHES TO BE SPECIFIED BY THE ARCHITECT.
 - 3 ALL WORK SHALL BE DONE ACCORDING TO THE LATEST EDITIONS OF THE BUILDING CODES AND STANDARDS.
 - 4 THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY UPON DISCOVERY.
 - 5 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
 - 6 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN.
 - 7 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING CURBS, SIDEWALKS, AND DRIVEWAYS.
 - 8 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING LANDSCAPE AND PLANTINGS.
 - 9 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING FOUNDATIONS AND STRUCTURES.
 - 10 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN.
 - 11 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING CURBS, SIDEWALKS, AND DRIVEWAYS.
 - 12 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING LANDSCAPE AND PLANTINGS.
 - 13 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING FOUNDATIONS AND STRUCTURES.
 - 14 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN.
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 - 16 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING LANDSCAPE AND PLANTINGS.
 - 17 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING FOUNDATIONS AND STRUCTURES.
 - 18 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN.
 - 19 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING CURBS, SIDEWALKS, AND DRIVEWAYS.
 - 20 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING LANDSCAPE AND PLANTINGS.

PROJECT LOCATION

VICINITY MAP

CONTRACTOR
 BENNETT HOFFORD CONSTRUCTION
 Historic Rice Mill Building
 17 Lockwood Drive, 4th Floor
 Charleston, South Carolina 29401
 Phone: (843) 722-8169
 Fax: (843) 577-2061

ARCHITECT
 EVANS & SCHMIDT ARCHITECTS
 284 Meeting Street
 Charleston, SC 29401
 Phone: (843) 723-5495
 Fax: (843) 723-5706

STRUCTURAL ENGINEERS
 HENRY N. SHEPPARD II, M.E., P.E.
 2417 Prinslie View Road
 Charleston, South Carolina
 Phone: (843) 509-9190

CIVIL ENGINEERS
 HLA INC.
 28 Lashbach Drive, Building A
 Charleston, SC 29407
 Phone: (843) 763-1166
 Fax: (843) 763-1909

LANDSCAPE ARCHITECTS
 WERTIMER + CLINE LANDSCAPE ARCHITECTS
 171 Church Street, Suite 350
 Charleston, SC 29401
 Phone: (843) 577-3360

SITE INFORMATION
 FULL SHEET NUMBER: 84303.0007
 SCALE: AS SHOWN
 DATE: 01/17/16

APPROVALS
 ALL WORKS SHALL BE APPROVED BY THE CITY OF CHARLESTON.

- DRAWING LIST**
- ARCHITECTURAL DRAWINGS**
- A0.0 TITLE SHEET
 - A0.1 EXTERIOR PERSPECTIVES
 - A0.2 EXTERIOR PERSPECTIVES
 - C1.0 EXISTING SITE PLAN
 - C1.1 PROPOSED SITE PLAN
 - A1.0 GROUND FLOOR PLAN
 - A1.1 MAIN LEVEL PLAN
 - A1.2 SECOND FLOOR PLAN
 - A1.3 ROOF DECK
 - A1.4 ROOF PLAN
 - A2.0A BEAUFAIN STREETSCAPES
 - A2.0B GADSDEN STREETSCAPES
 - A2.1 SOUTH ELEVATION
 - A2.2 NORTH ELEVATION
 - A2.3 EAST ELEVATION
 - A2.4 WEST ELEVATION
 - A2.5 BUILDING SECTIONS



EVANS & SCHMIDT ARCHITECTS
 284 MEETING STREET, CHARLESTON, SC 29401

46 GADSDEN STREET
 CHARLESTON, SOUTH CAROLINA



NOT FOR CONSTRUCTION

PROJECT NO.: 84303
 DATE: 01-17-16
 DRAWN BY: EAS
 CHECKED BY: EAS

TITLE SHEET
A0.0



1 SOUTHEAST PERSPECTIVE

2 SOUTHWEST PERSPECTIVE



EVANS & SCHMIDT ARCHITECTS
 354 MEETING STREET, CHARLESTON, S.C. (843) 733-2668

4-6 GADSDEN STREET
 CHARLESTON, SOUTH CAROLINA



DATE:	
CONCEPTUAL DATE DATED:	

PROJECT NO.	18-014
DATE:	12-18-2019
SHOWSET:	047
DESIGNED BY:	COL/ML

EXTERIOR PERSPECTIVES
A0.1

NOT FOR CONST.

©2019 E&S ARCHITECTS



1 NORTHWEST PERSPECTIVE

2 NORTHEAST PERSPECTIVE

© 2019 EVANS & SCHMIDT ARCHITECTS



EVANS & SCHMIDT ARCHITECTS
 354 MEETING STREET, CHARLESTON, S.C. (843) 733-6668

4-6 GADSDEN STREET
 CHARLESTON, SOUTH CAROLINA



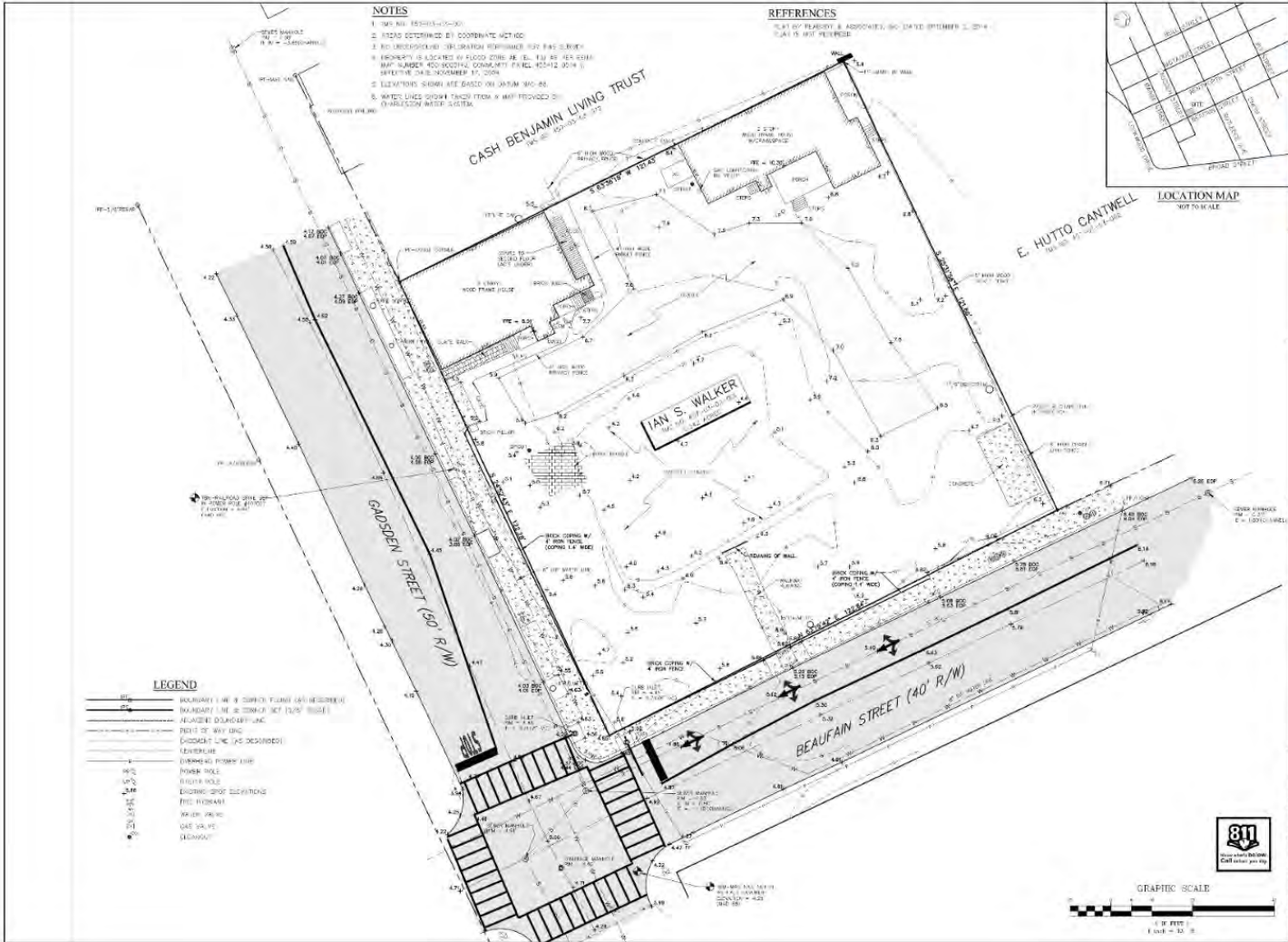
DATE:
 CONCEPTUAL RISE DATED:

PROJECT NO.: 18-014
 DATE: 12-19-2019
 DRAWN BY: EAF
 CHECKED BY: COL/TM

EXTERIOR PERSPECTIVES

A0.2

NOT FOR CONST.



- NOTES**
1. THIS PLAN REFERS TO 19130.00.
 2. POINTS DETERMINED BY COORDINATE METHOD.
 3. NO UNDERGROUND UTILITIES OR RECORDS WERE FOUND FOR THIS SITE.
 4. PROPERTY IS LOCATED IN BLOCK 2700 OF E.L. 141 80' 40" CORNER MAP NUMBER 450 RECORDS, COUNTY OF KILGORE, TEXAS, 19130.00.
 5. ELEVATIONS SHOWN ARE BASED ON DATUM NAD 83.
 6. METRIC LINES SHOWN TAKE FROM A MAP PROVIDED BY CHARLESTON METRIC SYSTEM.

REFERENCES

1. 19130.00 REVISIONS & APPROVALS, DATE 07/28/2014
 2. 141 IS NOT REFERRED



HLA
THE SITE EXPERTS

LANDSCAPE ARCHITECTURE
CIVIL ENGINEERING
2481 LANTANA DR., CHARLESTON, SC 29405
TEL: 803.733.2800
WWW.HLAONLINE.COM

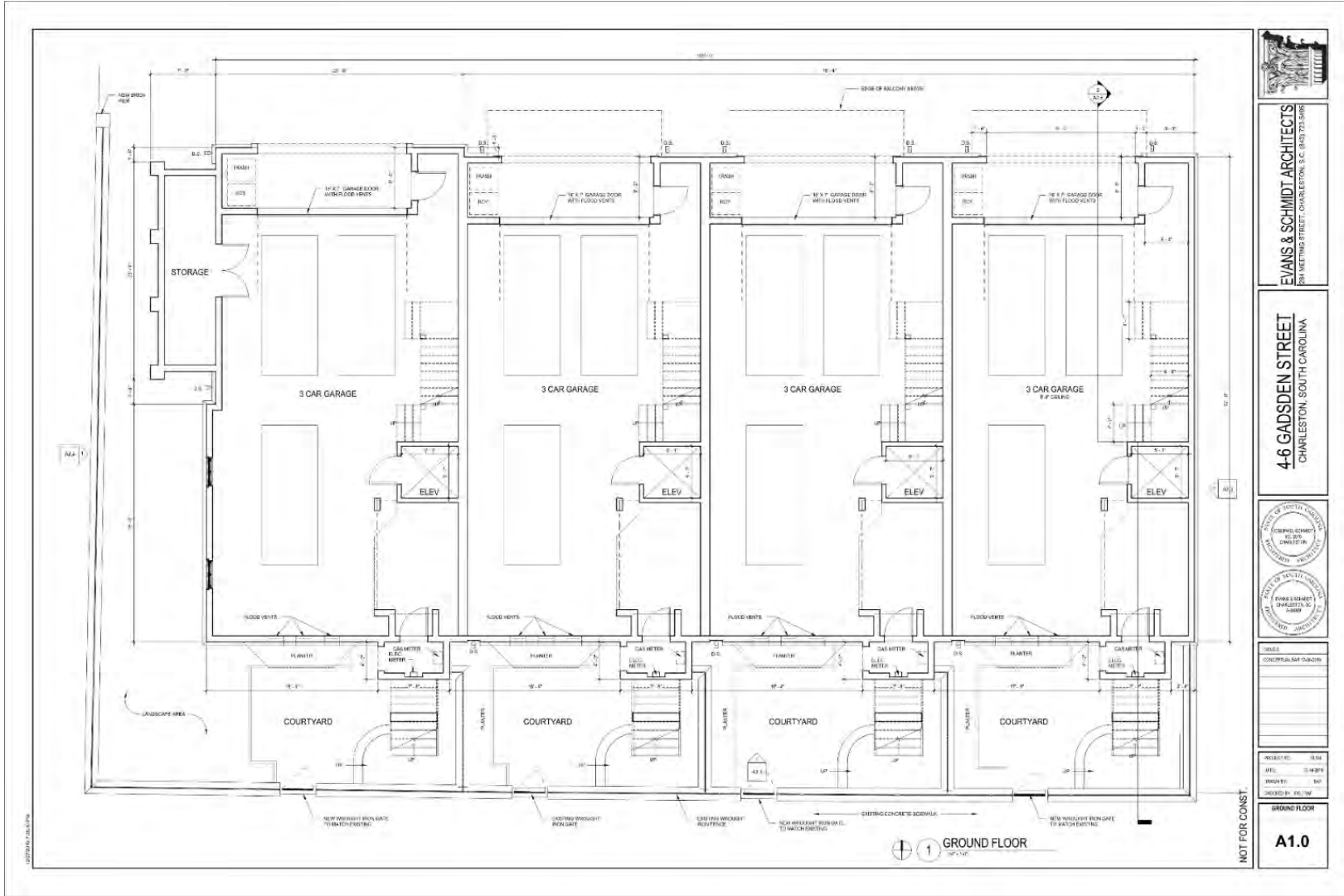


EXISTING CONDITIONS

4 GADSDEN STREET
CITY OF CHARLESTON
CHARLESTON COUNTY, SC

PROJECT	19130.00
DATE	10/17/13
SCALE	
DRAWN BY	ATB
CHECKED BY	KBS
DATE	
REVISIONS	
SHEET	C1.0





EVANS & SCHMIDT ARCHITECTS
 284 METTING STREET, CHARLESTON, S.C. (843) 733-5988

4-6 GADSDEN STREET
 CHARLESTON, SOUTH CAROLINA

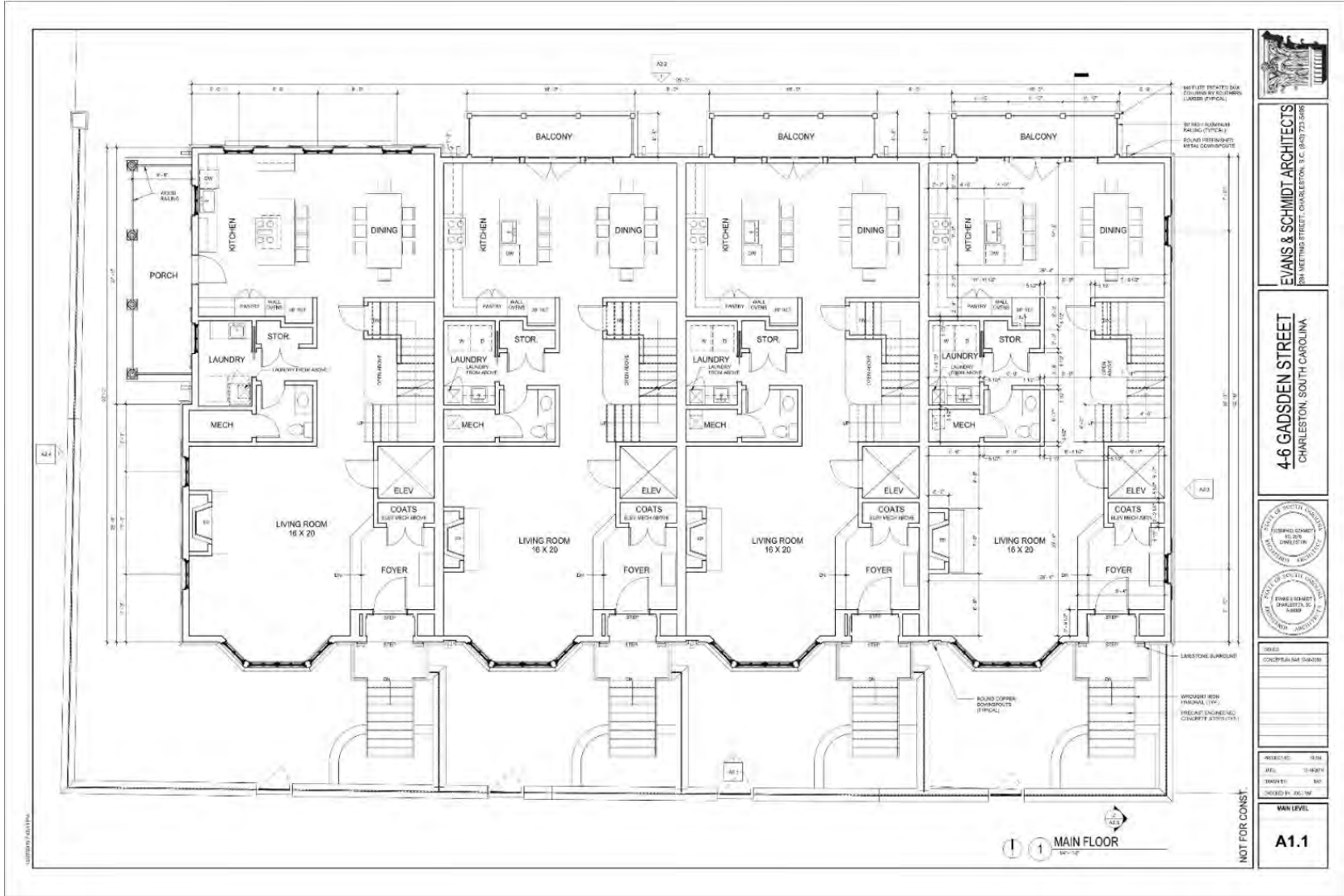


SCALE	
CONSTRUCTION	

PROJECT NO.: 2424
 DATE: 04-2019
 DRAWN BY: EAM
 CHECKED BY: JAL/TM

GROUND FLOOR
A1.0

NOT FOR CONSTRUCTION



EVANS & SCHMIDT ARCHITECTS
 284 METTINGS STREET, CHARLESTON, S.C. (843) 733-2888

4-6 GADSDEN STREET
 CHARLESTON, SOUTH CAROLINA



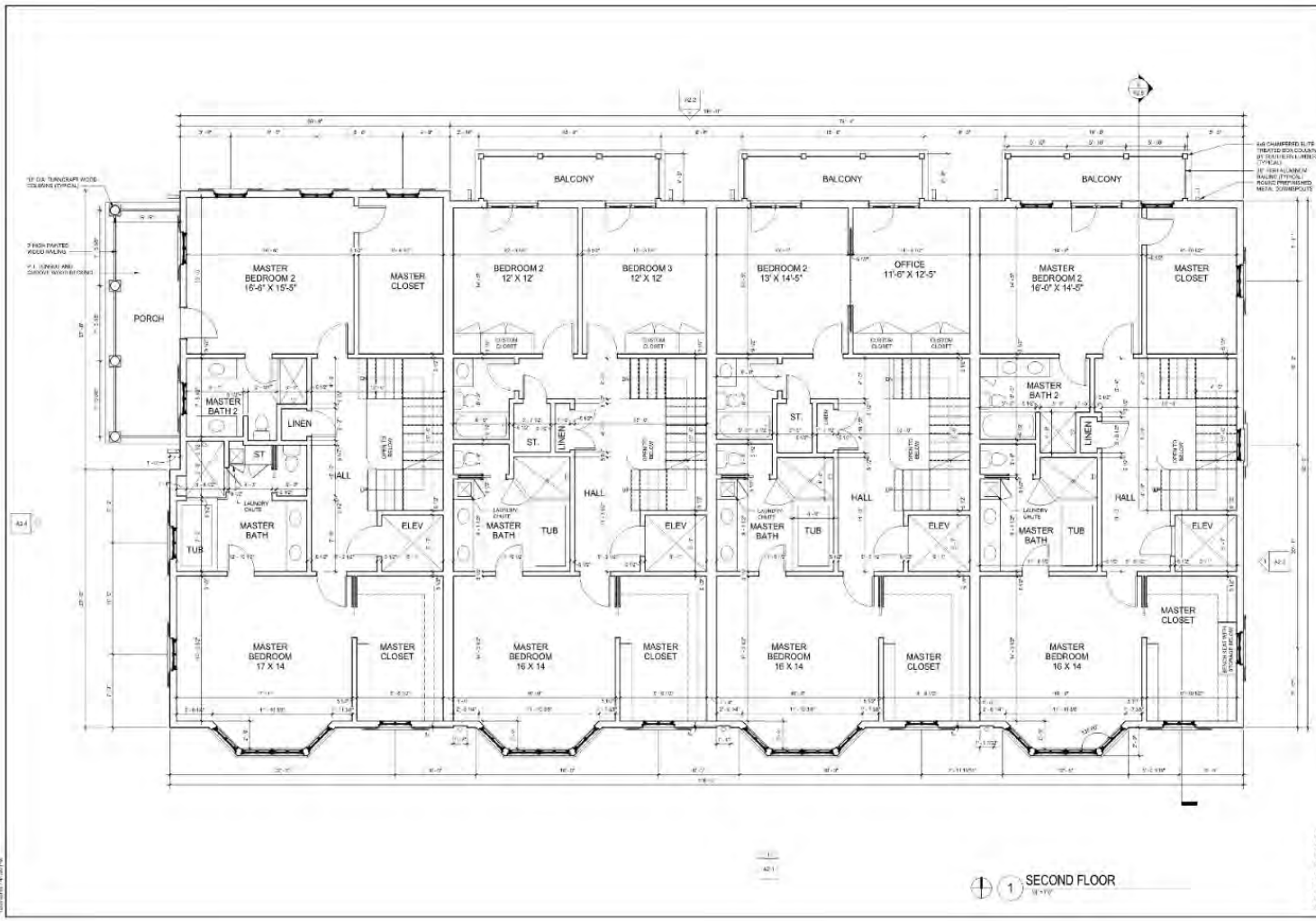
DATE	
CONCEPTUAL DESIGN	

PROJECT NO.	15-114
DATE	12-18-2014
PROJECT	101
DESIGNED BY	DAVID W.

MAIN LEVEL
A1.1

NOT FOR CONSTRUCTION

1 1 MAIN FLOOR



EVANS & SCHMIDT ARCHITECTS
 804 VICTIMS STREET, CHARLESTON, SC 29403-2288

4-6 GADSDEN STREET
 CHARLESTON, SOUTH CAROLINA



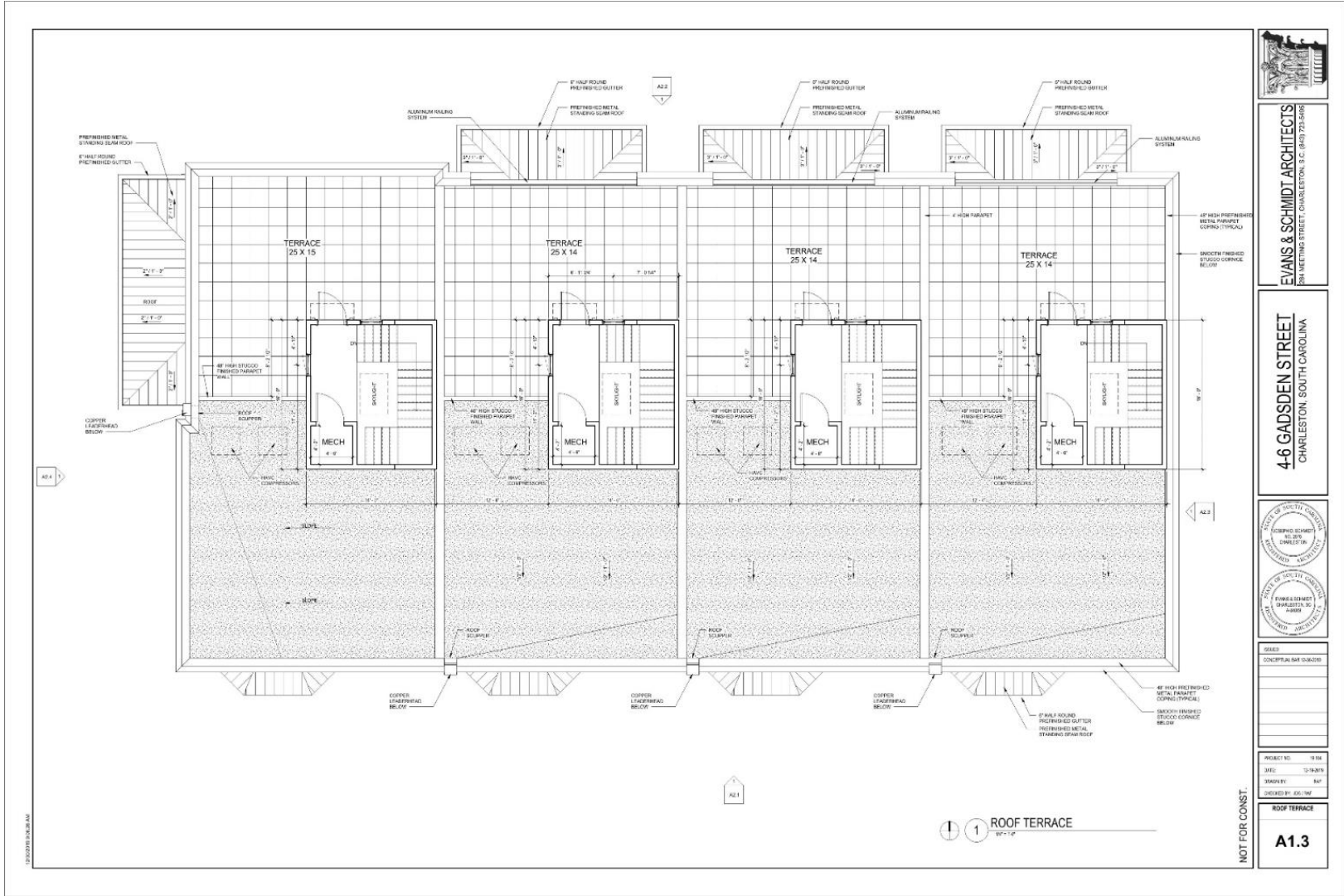
CONCEPTUAL NAME GADSDEN

PROJECT NO.: 0319
 DATE: 04-2019
 DRAWN BY: JAC
 CHECKED BY: JAC

SECOND FLOOR
A1.2

NOT FOR CONST.

1 SECOND FLOOR
 18'-1 1/2"



EVANS & SCHMIDT ARCHITECTS
 324 METTING STREET, CHARLESTON, S.C. (843) 733-6668

4-6 GADSDEN STREET
 CHARLESTON, SOUTH CAROLINA

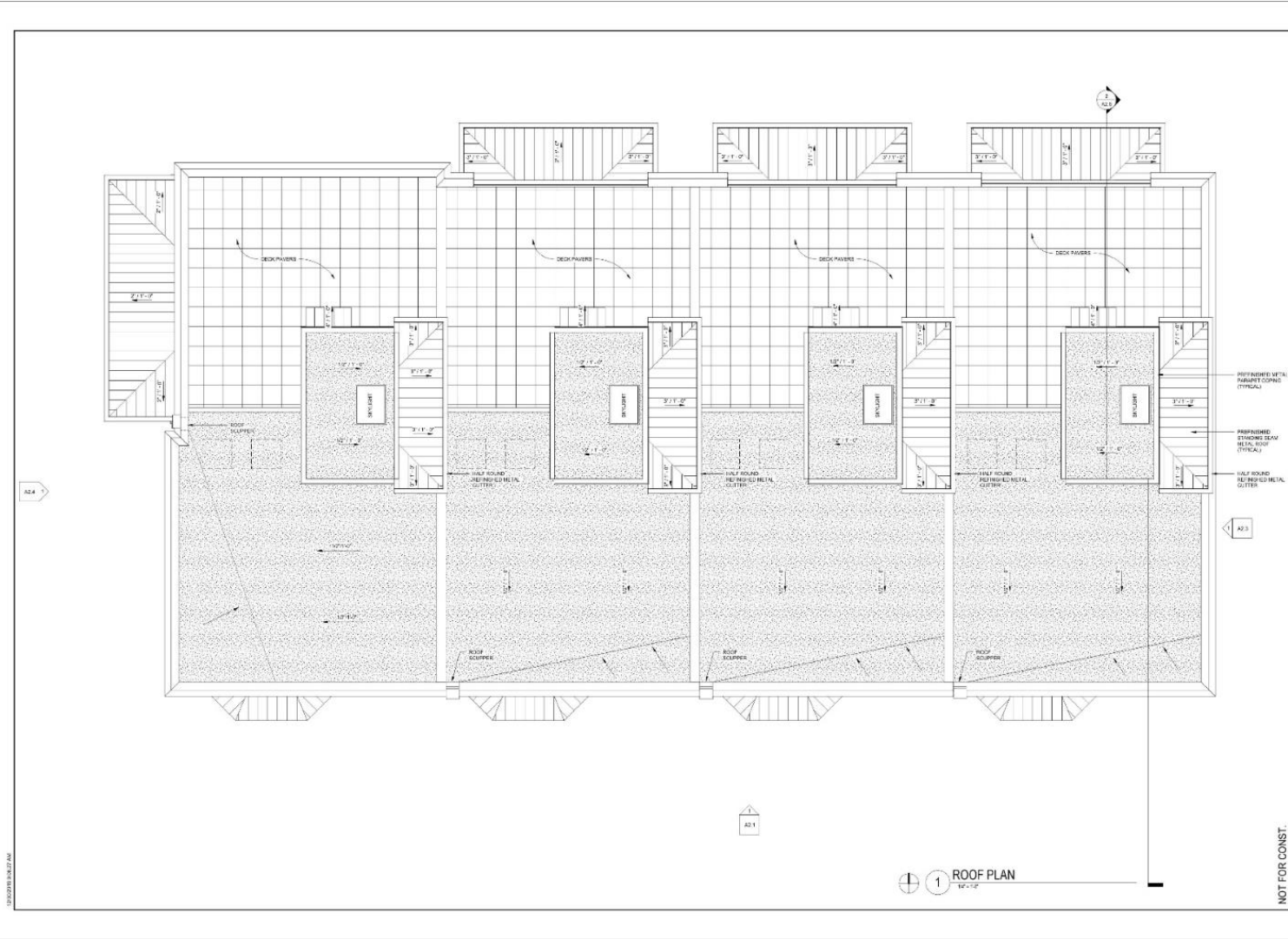


DATE: _____
 CONCEPTUAL SHEET DATED: _____

PROJECT NO.: 18-104
 DATE: 03-18-2019
 DRAWN BY: EAF
 CHECKED BY: GJM/ML

ROOF TERRACE
A1.3

NOT FOR CONST.



EVANS & SCHMIDT ARCHITECTS
 354 MEETING STREET, CHARLESTON, S.C. (843) 733-2668

4-6 GADSDEN STREET
 CHARLESTON, SOUTH CAROLINA



DATE:
 CONCEPTUAL DATE DATED:

PROJECT NO.: 18-014
 DATE: 12-18-2019
 DRAWN BY: EAF
 CHECKED BY: GJM/ML

ROOF PLAN
A1.4

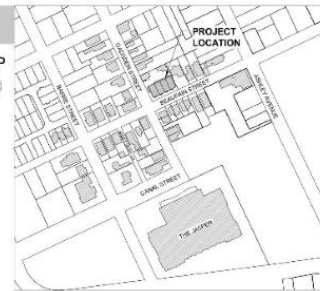
NOT FOR CONST.

12/18/2019 10:47 AM



BEAUFAIN STREET ELEVATIONS

AREA MAP

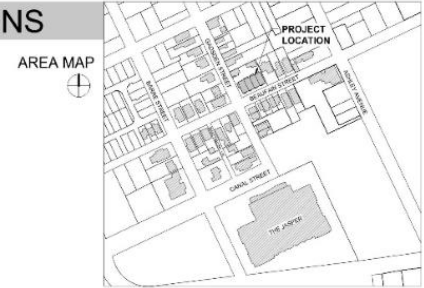


4-6 GADSDEN STREET
CHARLESTON, SOUTH CAROLINA

A2.0A



GADSDEN STREET ELEVATIONS



4-6 GADSDEN STREET
 CHARLESTON, SOUTH CAROLINA

A2.0B



EVANS & SCHMIDT ARCHITECTS
 354 MEETING STREET, CHARLESTON, S.C. (843) 733-2668

4-6 GADSDEN STREET
 CHARLESTON, SOUTH CAROLINA



OWNER	
CONCEPTUAL DATE SUBMITTED	

PROJECT NO.	18-014
DATE	12-18-2018
SHOWSET BY	EAJ
DESIGNED BY	EAJ/MS

SOUTH ELEVATION
A2.1

NOT FOR CONSTRUCTION

© 2018 EVANS & SCHMIDT ARCHITECTS



1 PROPOSED NORTH ELEVATION



EVANS & SCHMIDT ARCHITECTS
 254 MEETING STREET, CHARLESTON, S.C. (843) 733-2668

4-6 GADSDEN STREET
 CHARLESTON, SOUTH CAROLINA



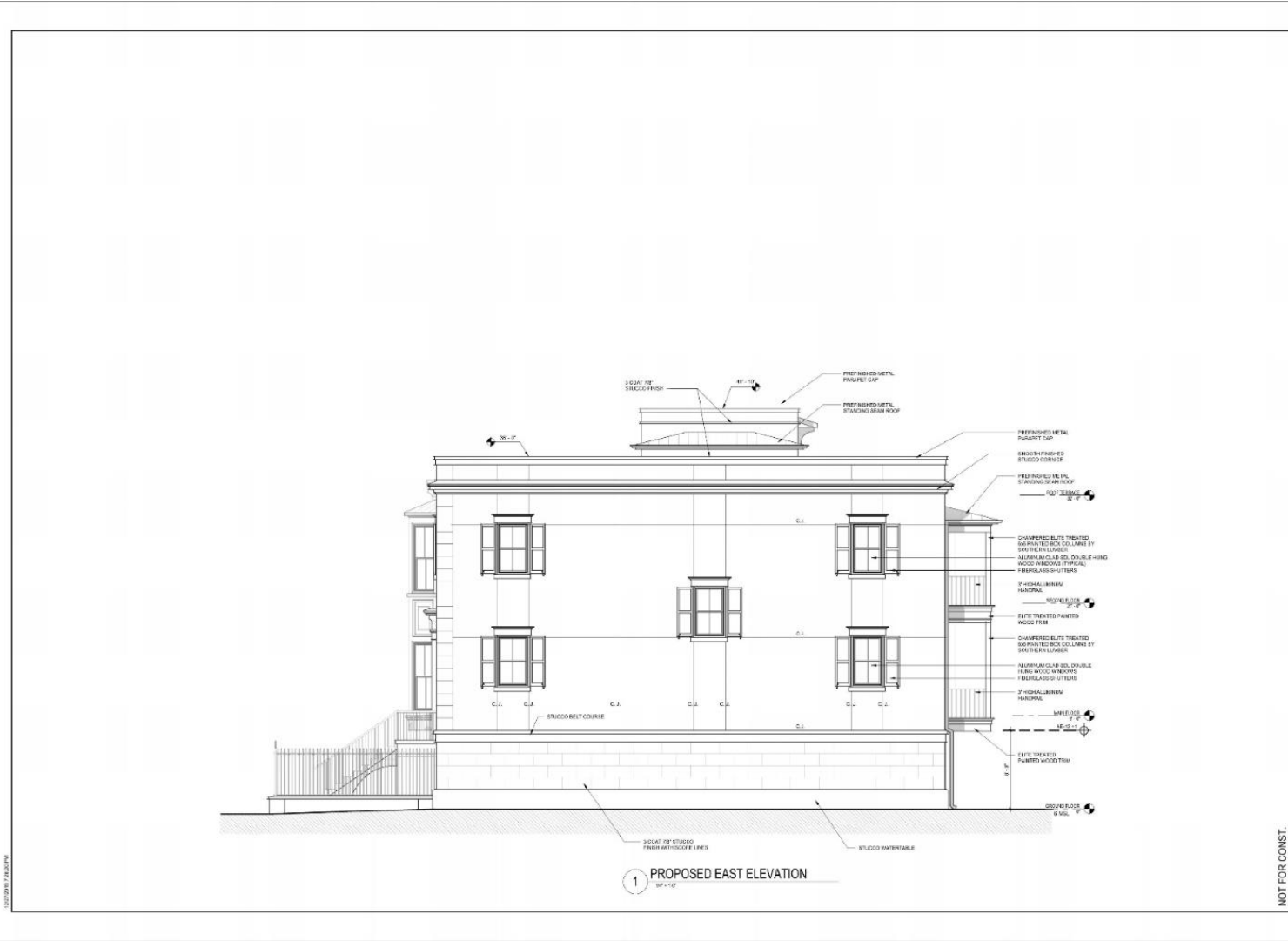
SCALE
 CONCEPTUAL RISE SHOWN

PROJECT NO. 18-114
 DATE: 12-18-2019
 DRAWN BY: EOL/104
 CHECKED BY: EOL/104

NORTH ELEVATION

A2.2

NOT FOR CONSTRUCTION



EVANS & SCHMIDT ARCHITECTS
 2514 MEETING STREET, CHARLESTON, S.C. (843) 733-2668

4-6 GADSDEN STREET
 CHARLESTON, SOUTH CAROLINA



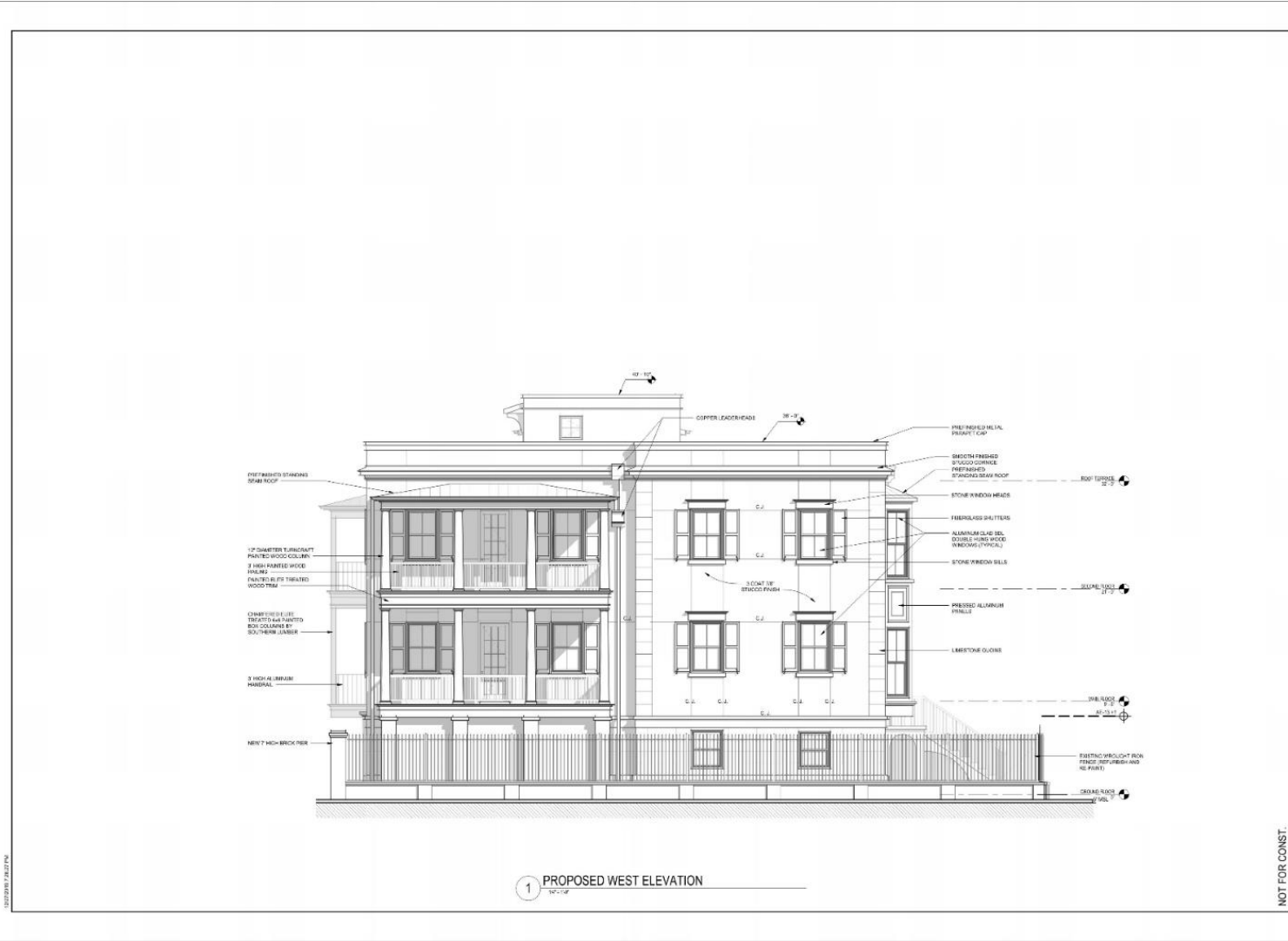
DATE: _____
 CONCEPTUAL S&P SKETCHES

PROJECT NO.: 18-014
 DATE: 12-18-2019
 DRAWN BY: EAF
 CHECKED BY: EAF/MS

EAST ELEVATION
A2.3

NOT FOR CONST.

12/18/2019 10:00 AM

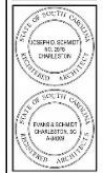


1 PROPOSED WEST ELEVATION
10'-1" W



EVANS & SCHMIDT ARCHITECTS
504 MEETING STREET, CHARLESTON, S.C. (803) 733-2668

4-6 GADSDEN STREET
CHARLESTON, SOUTH CAROLINA

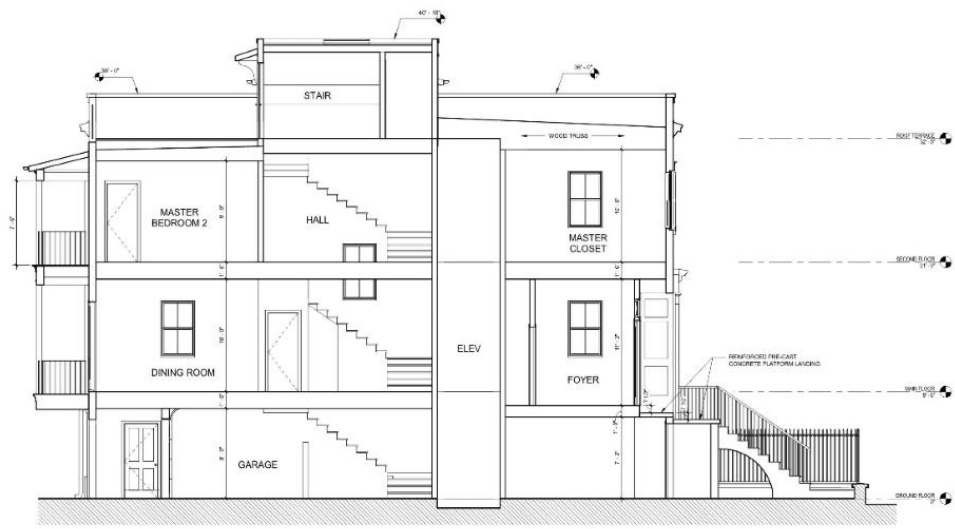


DATE	CONCEPTUAL S&P DRAFTS

PROJECT NO.	18-114
DATE	12-18-2018
SHOWSET	04
DRAWN BY	COL/16

WEST ELEVATION
A2.4

NOT FOR CONST.



2 TRANSVERSE BUILDING SECTION
1/4" = 1'-0"

12/20/2019 10:27 AM



EVANS & SCHMIDT ARCHITECTS
504 MEETING STREET, CHARLESTON, S.C. (843) 733-2668

4-6 GADSDEN STREET
CHARLESTON, SOUTH CAROLINA



NO. 0000
CONCEPTUAL S&P DRAWING

PROJECT NO. 18-016
DATE: 12-19-2019
DRAWN BY: EAF
CHECKED BY: EAF/MS

BUILDING SECTION
A2.5

NOT FOR CONST.

Agenda Item #2

334 KING STREET
TMS # 457-04-02-008

Request final approval for revisions to façade design of
previously approved design.

(None) / Height District: 3 & 6 / Old and Historic District



PREVIOUS DESIGN

Approved for Permit



PROPOSED DESIGN REVISION

BAR REQUEST SUMMARY

The applicant is seeking approval of a revised King Street facade design for the new building at 334 King Street. The previous design had received Final Details to Staff approval on 7/16/2019 and had been approved for a building permit. The design revisions proposed are limited to the King Street facade and include the following changes:

1. The 2nd and 3rd floor Juliet balconies are replaced with double-hung windows.
2. The metal railings are being removed.
3. The size of the openings have been reduced to be more similar to the scale of the window openings found on King Street.
4. The limestone joint spacing has been revised to have larger pieces of stone.
5. The depth of the openings and the pilaster detailing remains the same.
6. There are no changes at the ground floor or at the top cornice.

These changes are a direct result of conversations with the National Park Service in regards to Historic Tax Credits. The National Park Service felt that the previous King Street Facade was not appropriate for King Street and the neighboring building at 332 King Street. The design and owner team has worked with NPS on the proposed revisions which all feel are in better harmony with the architecture on King Street.

Submission Date: December 30, 2019
Meeting Date: January 8, 2020

BAR COVER SHEET | **BAR-000**

334 KING STREET
DECEMBER 30, 2019



DRAWING LIST

SECTION 1 - DRAWINGS THAT HAVE BEEN REVISED

BAR-000	COVER SHEET
BAR-001	TABLE OF CONTENTS
BAR-201	WEST ELEVATION COMPARISON
BAR-211	STREETSCAPE ELEVATIONS
BAR-401	WEST SECTION PERSPECTIVE - NEW
BAR-401B	WEST SECTION PERSPECTIVE - PREVIOUS
BAR-401C	SECTION PERSPECTIVE - COMPARISON
A-310	WEST WALL SECTION 1
A-338	LIMESTONE JAMB DETAILS
A-339	LIMESTONE HEADER AND SILL DETAILS

SECTION 2 - REFERENCE DRAWINGS

A-101	GROUND FLOOR PLAN
A102	SECOND FLOOR PLAN
A-103	THIRD FLOOR PLAN
A-201	EXTERIOR ELEVATIONS - WEST
A-202	EXTERIOR ELEVATIONS - SOUTH
A-203	EXTERIOR ELEVATIONS - EAST
A-204	EXTERIOR ELEVATIONS - NORTH



PROPOSED DESIGN

336 KING
(NOT INCLUDED)

334 KING

332 KING
(SEPARATE SUBMITTAL)

SUMMARY OF CHANGES

The design revisions proposed are limited to the King Street facade and include the following changes:

1. The 2nd and 3rd floor Juliet balconies are being changed to double-hung windows.
2. The metal railings are being removed.
3. The size of the openings have been reduced to be more similar to the scale of the historic window openings found on King Street.
4. The limestone joint spacing has been revised to have larger pieces of stone.
5. The depth of the openings and the pilaster detailing remains the same.
6. There are no changes at the ground floor or at the top cornice.



PREVIOUS DESIGN - FINAL DETAILS TO STAFF APPROVED

336 KING
(NOT INCLUDED)

334 KING

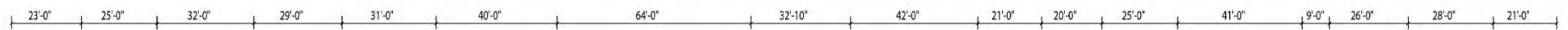
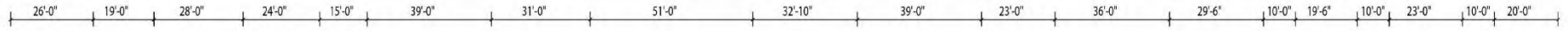
332 KING
(SEPARATE SUBMITTAL)

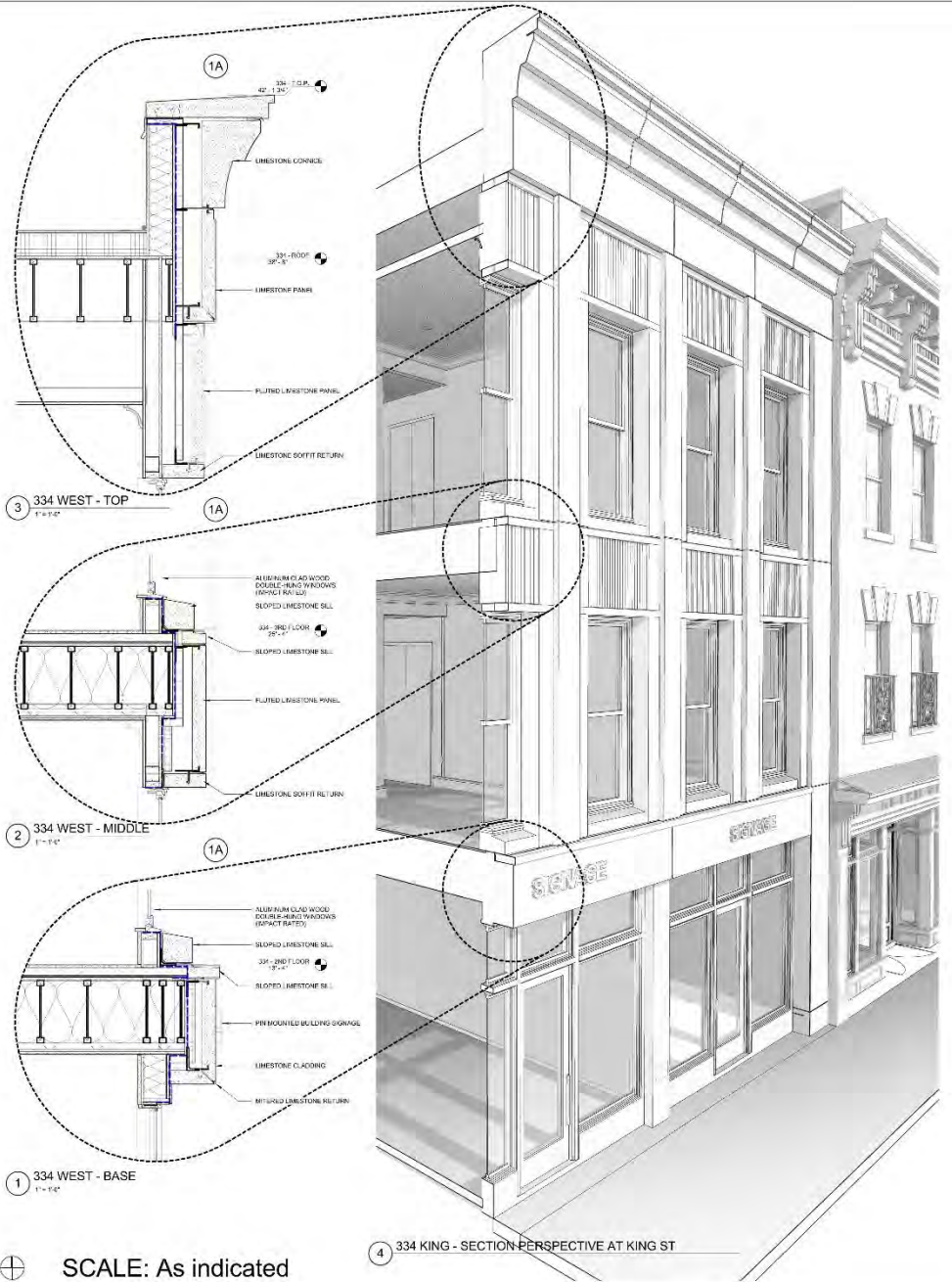
WEST ELEVATION | **334 KING**
BAR-201

SCALE - 3/16" = 1'

334 KING STREET
DECEMBER 30, 2019







3 334 WEST - TOP
1'-10"

2 334 WEST - MIDDLE
1'-10"

1 334 WEST - BASE
1'-10"

4 334 KING - SECTION PERSPECTIVE AT KING ST

SCALE: As indicated



5 334 KING - ENLARGED ELEVATION AT KING ST
1'-7"

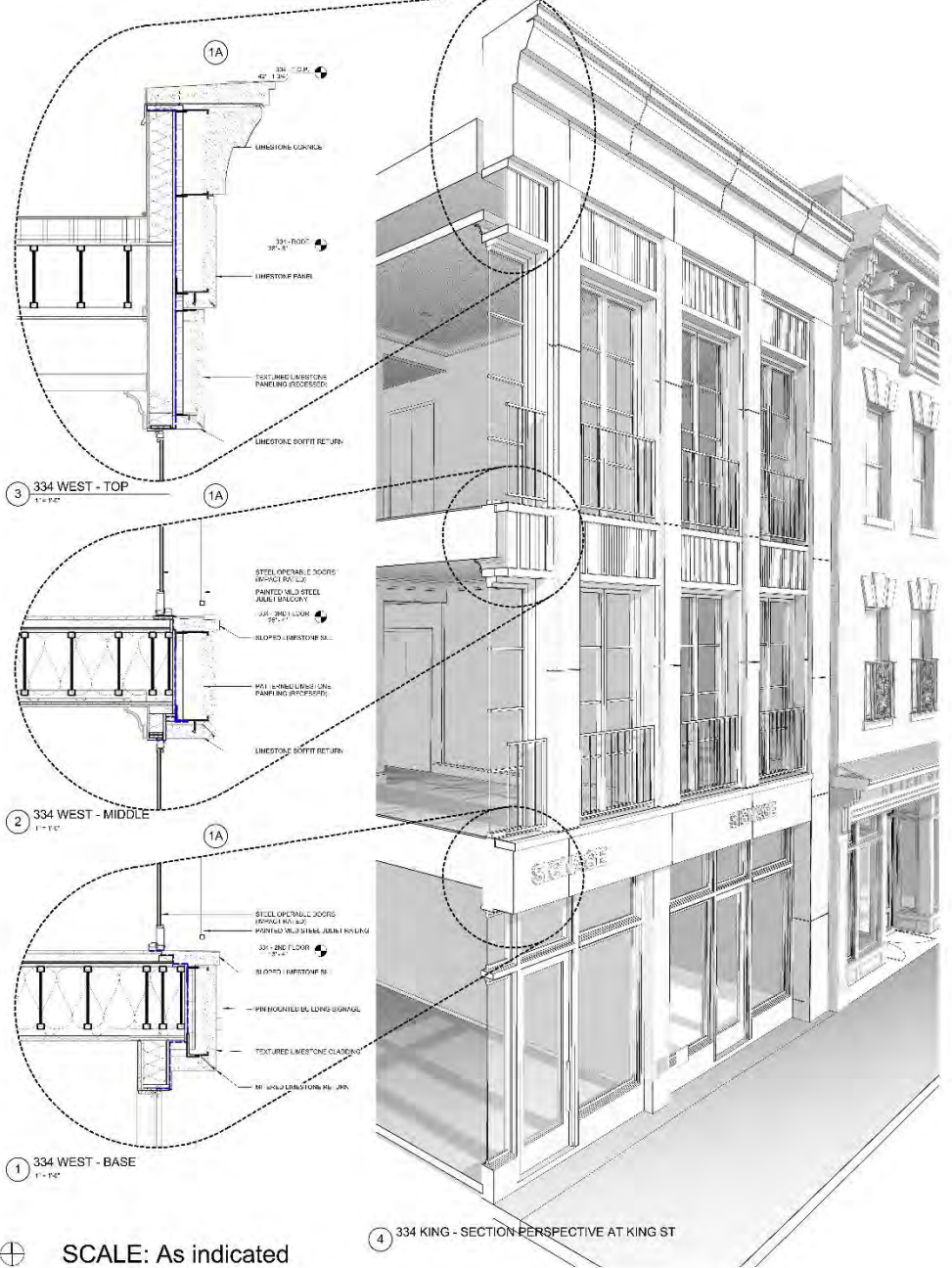
KING STREET ELEVATION

WEST SECTION PERSPECTIVE

334 KING
BAR-401

334 KING STREET
DECEMBER 30, 2019





SCALE: As indicated

4 334 KING - SECTION PERSPECTIVE AT KING ST

3 334 WEST - TOP

2 334 WEST - MIDDLE

1 334 WEST - BASE



5 334 KING - ENLARGED ELEVATION AT KING ST

KING STREET ELEVATION

WEST SECTION PERSPECTIVE

334 KING
BAR-401B



PREVIOUS DESIGN



PROPOSED DESIGN

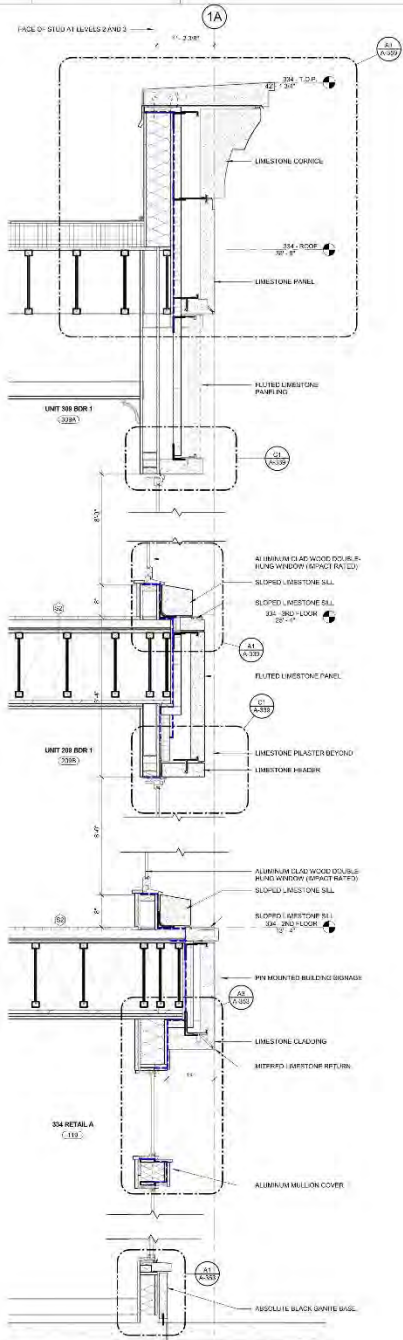
SECTION PERSPECTIVE COMPARISON **BAR-401C**

334 KING STREET
DECEMBER 30, 2019

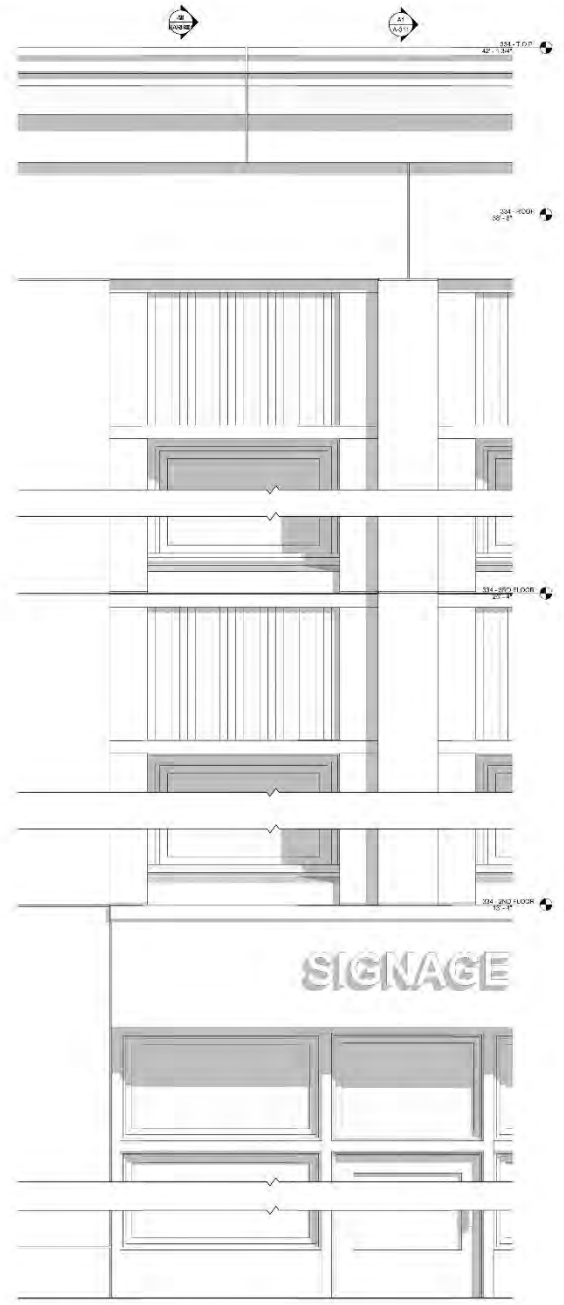
METHOD



332 KING BAR RE-SUBMISSION ARCHITECTURAL AND GEOMETRIC 2017.14
1/22/2019 10:29 AM



A1 334 WEST WALL SECTION 1
1" = 1/2"



B1 334 - WEST ELEVATION 1
1" = 1/2"

332 KING INVESTORS, LLC

METHOD

334 KING STREET



335 1/2 KING STREET
CHARLESTON, SOUTH CAROLINA 29401
TEL. 843.574.4444 FAX 843.724.4188
WWW.LS3P.COM

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REVISIONS:

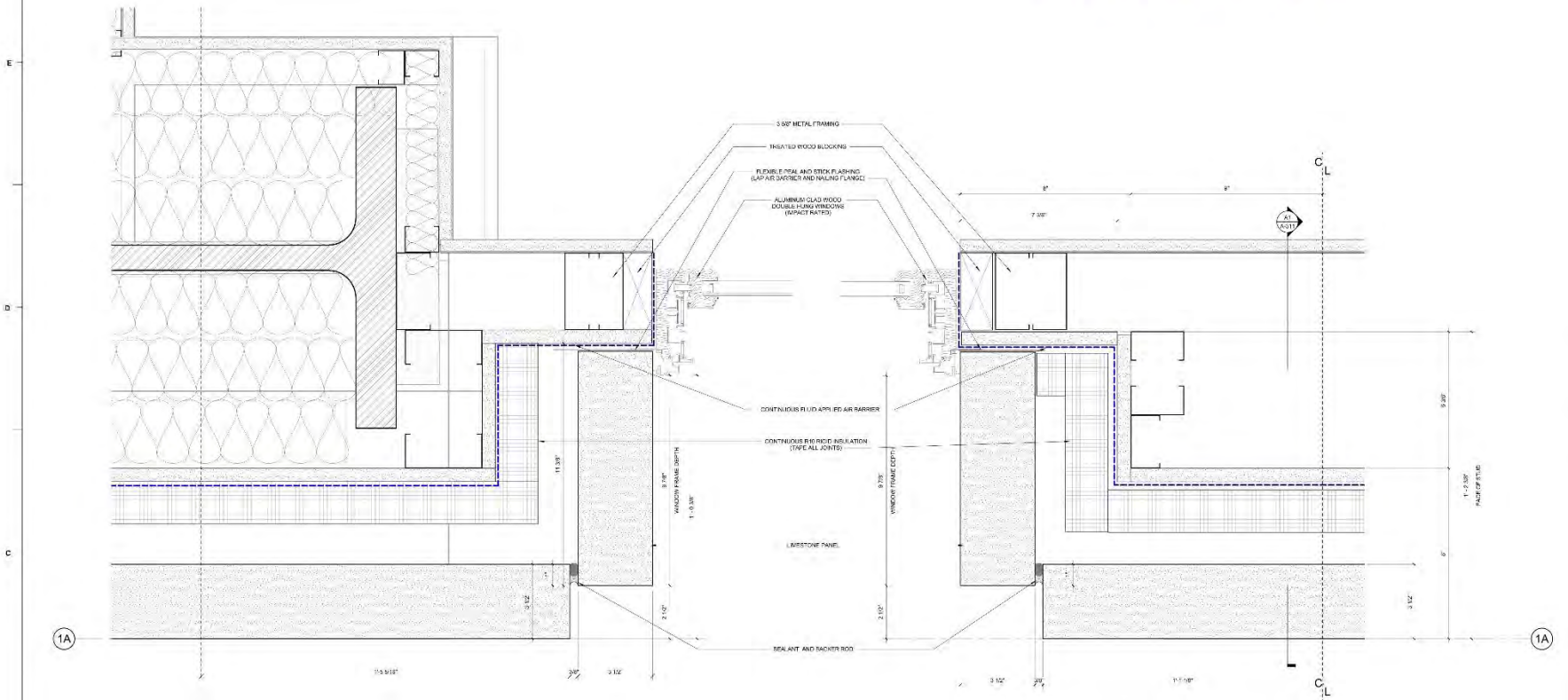
No.	Description	Date
1	Issue for RFP	12/28/18

PROJECT: 1120-173219
DATE: DECEMBER 26, 2019
DRAWN BY: Author
CHECKED BY: Checker

334 - WEST WALL SECTION 1

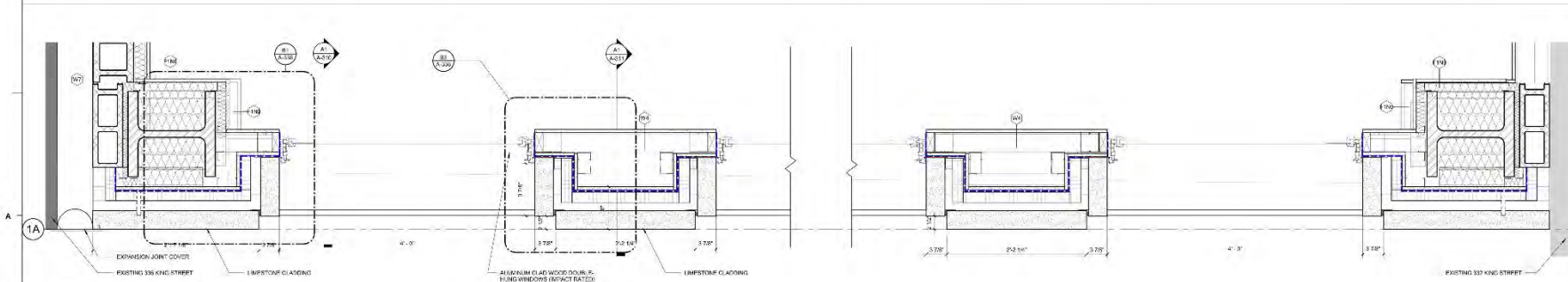
A-310

REVISED JAMB DETAILS



B1 ENLARGED 2ND FLOOR CORNER
8'-1 1/4"

B3 ENLARGED 2ND FLOOR JAMB
8'-1 1/4"



A1 334 ENLARGED FACADE PLAN 2ND FLOOR
1'-1/2" @ 1/32"

332 KING INVESTORS, LLC
METHOD

334 KING STREET



255 1/2 KING STREET
CHARLESTON, SOUTH CAROLINA 29401
TEL. 843.27.4444 FAX 843.722.4789
WWW.LS3P.COM

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REVISIONS:

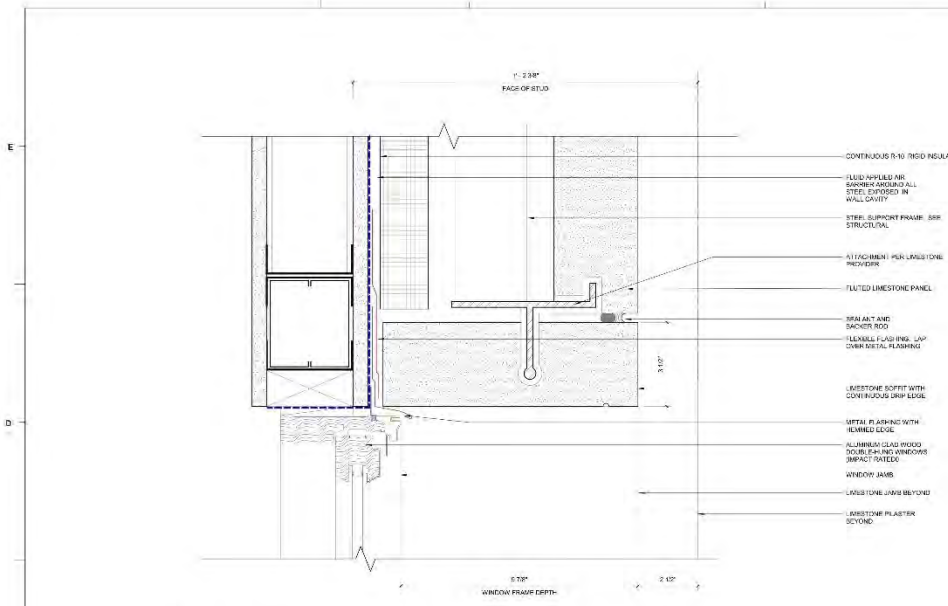
No.	Description	Date
1	02/28/2018	JMB

PROJECT: 1120-17216
DATE: DECEMBER 30, 2019
DRAWN BY: BA
CHECKED BY: SR

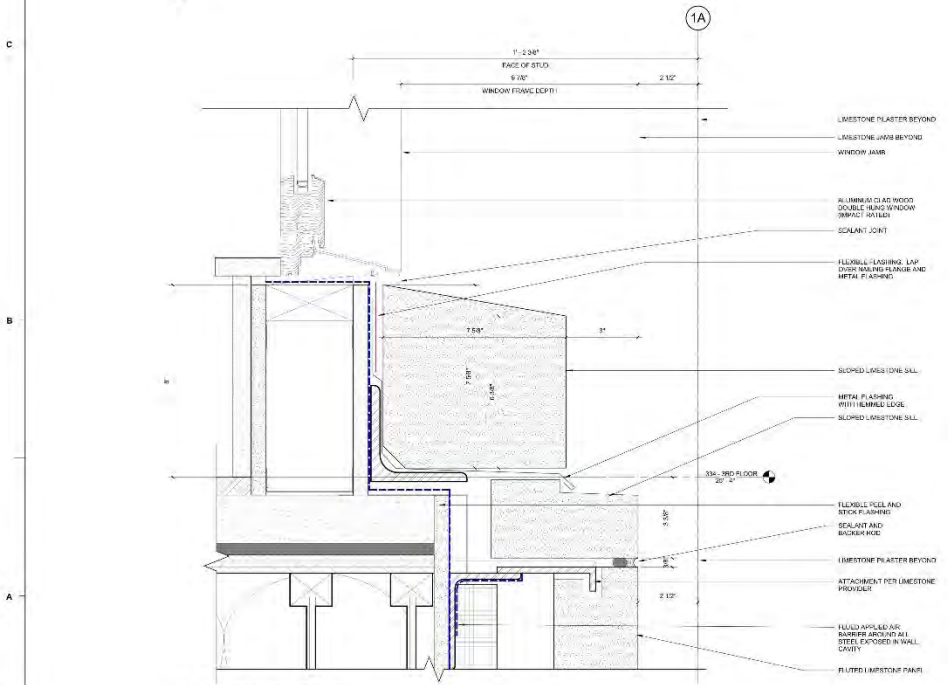
LIMESTONE JAMB DETAILS

A-338

REVISED HEAD AND SILL DETAILS



C1 LIMESTONE HEAD DETAIL
at 1/8"



A1 LIMESTONE SILL DETAIL
at 1/8"

332 KING BAR RE-SUBMISSION ARCHITECTURAL AND GEOMETRIC 2017.14
 12/20/2019 4:24:41 AM

332 KING INVESTORS, LLC

METHOD

334 KING STREET



255 1/2 KING STREET
 CHARLESTON, SOUTH CAROLINA 29401
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REVISIONS

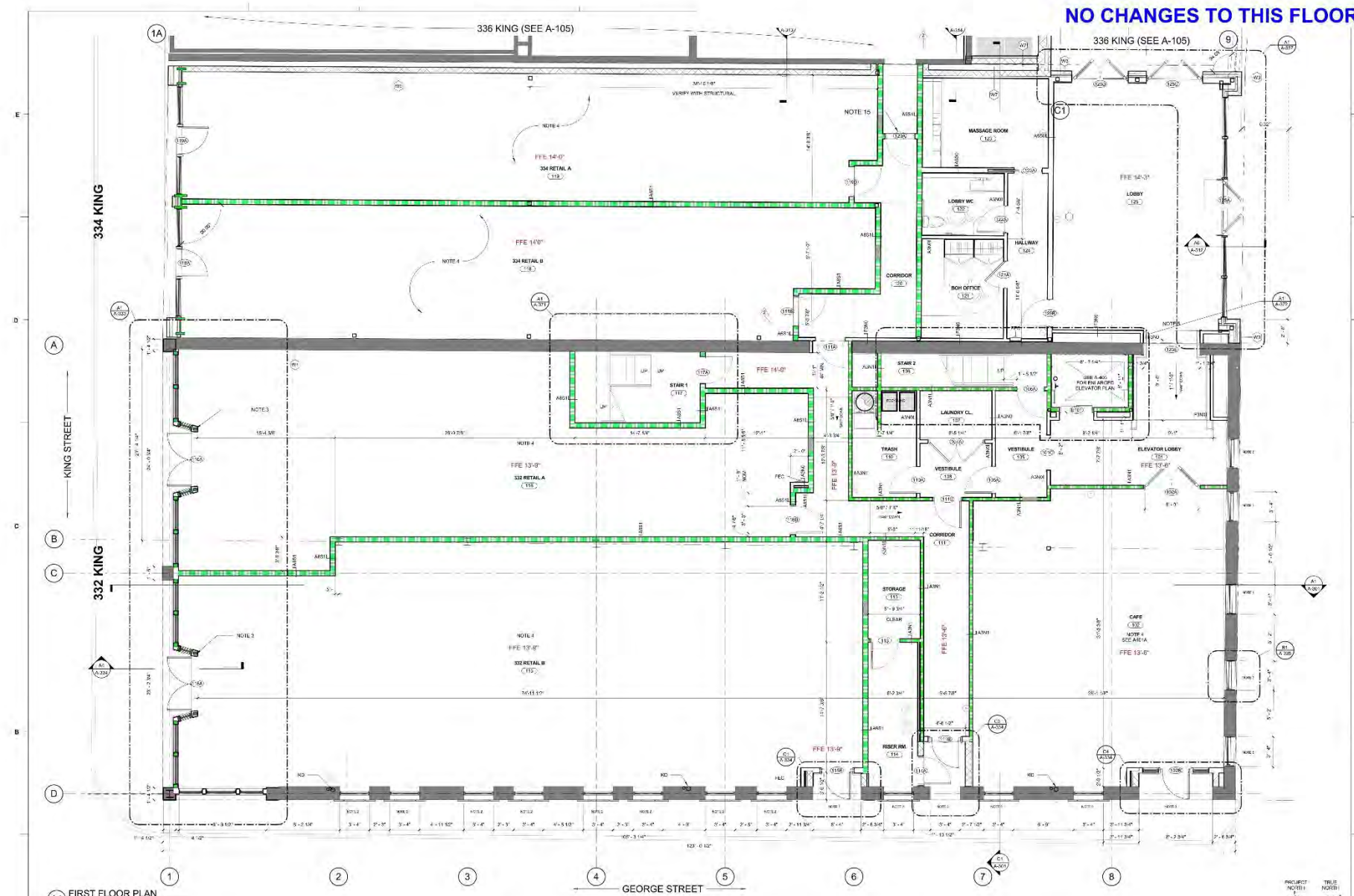
No.	Description	Date

PROJECT: 112017219
 DATE: DECEMBER 30, 2019
 DRAWN BY: BA
 CHECKED BY: SR

LIMESTONE HEADER AND SILL DETAILS

A-339

NO CHANGES TO THIS FLOOR



332 KING
INVESTORS, LLC

METHOD

334 KING STREET



335 1/2 KING STREET
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REVISIONS:

No.	Description	Date
1	Revised	10/28/2016
2	Construction Set Issues	10/28/2016

PROJECT: 115213216
DATE: DECEMBER 30, 2019
DRAWN BY: JD
CHECKED BY: SR

332-334 KING -
FIRST FLOOR PLAN

A-101

- FLOOR PLAN NOTES**
1. RESTORE HISTORIC WINDOWS
 2. INSTALL NEW WOOD WINDOW TO MATCH EXISTING
 3. INSTALL NEW GLASS AND WOOD STOREFRONT
 4. EXTERIOR SPACES MAY NOT BE LINED WITH BRICKS AND FLIES BY THE TIME FRAME
 5. CURVED WIRE SHUTTERS AT EXTERIOR SIDE
 6. REPAIR EXTERIOR BRICKWORK
 7. REPAIR WOOD PANELING WITH CALLUM BRICK ON INTERIOR SIDE
 8. REPAIR EXTERIOR BRICKWORK
 9. EXISTING STORM ROOF OF 32 KING TO BE REMOVED. EXISTING ROOF CORE TO BE RECONSTRUCTED WITH CONCRETE, NEW ROOF DECK TO INCLUDE PVC WATERPROOFING, INSULATION AND NEW PLASTER ROOF
 10. ROOF OF NEW ADDITION TO MATCH EXTERIOR OF EXISTING 332 KING ROOF
 11. PLASTER REPAIRS SEELANDSCAPE

- GENERAL NOTES**
1. WELD STEEL FRAMING
 2. WOOD JOIST FINISH PAINTING
 3. EXISTING DOORS TO BE REPAIRED. FULL OPENING WITH FIRE RATED STUD WALLS OF EXISTING WALL
 4. NEW EXTERIOR DOOR
 5. EXISTING INTERIOR DOORS TO BE REPAIRED WITH LAMINATE FINISHES
 6. NEW EXTERIOR DOOR
 7. EXISTING INTERIOR DOORS TO BE REPAIRED WITH LAMINATE FINISHES
 8. EXISTING INTERIOR DOORS TO BE REPAIRED WITH LAMINATE FINISHES
 9. EXISTING INTERIOR DOORS TO BE REPAIRED WITH LAMINATE FINISHES
 10. EXISTING INTERIOR DOORS TO BE REPAIRED WITH LAMINATE FINISHES
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 18. EXISTING INTERIOR DOORS TO BE REPAIRED WITH LAMINATE FINISHES
 19. EXISTING INTERIOR DOORS TO BE REPAIRED WITH LAMINATE FINISHES
 20. EXISTING INTERIOR DOORS TO BE REPAIRED WITH LAMINATE FINISHES

- EXTERIOR DIMENSIONS AT VARIOUS VERTICALS TO FACE OF MASONRY**
- A. EXTERIOR DIMENSIONS AT VARIOUS VERTICALS TO FACE OF MASONRY
 - B. EXTERIOR DIMENSIONS AT VARIOUS VERTICALS TO FACE OF MASONRY
 - C. EXTERIOR DIMENSIONS AT VARIOUS VERTICALS TO FACE OF MASONRY
 - D. EXTERIOR DIMENSIONS AT VARIOUS VERTICALS TO FACE OF MASONRY
 - E. EXTERIOR DIMENSIONS AT VARIOUS VERTICALS TO FACE OF MASONRY
 - F. EXTERIOR DIMENSIONS AT VARIOUS VERTICALS TO FACE OF MASONRY
 - G. EXTERIOR DIMENSIONS AT VARIOUS VERTICALS TO FACE OF MASONRY
 - H. EXTERIOR DIMENSIONS AT VARIOUS VERTICALS TO FACE OF MASONRY
 - I. EXTERIOR DIMENSIONS AT VARIOUS VERTICALS TO FACE OF MASONRY
 - J. EXTERIOR DIMENSIONS AT VARIOUS VERTICALS TO FACE OF MASONRY
 - K. EXTERIOR DIMENSIONS AT VARIOUS VERTICALS TO FACE OF MASONRY
 - L. EXTERIOR DIMENSIONS AT VARIOUS VERTICALS TO FACE OF MASONRY
 - M. EXTERIOR DIMENSIONS AT VARIOUS VERTICALS TO FACE OF MASONRY
 - N. EXTERIOR DIMENSIONS AT VARIOUS VERTICALS TO FACE OF MASONRY
 - O. EXTERIOR DIMENSIONS AT VARIOUS VERTICALS TO FACE OF MASONRY
 - P. EXTERIOR DIMENSIONS AT VARIOUS VERTICALS TO FACE OF MASONRY
 - Q. EXTERIOR DIMENSIONS AT VARIOUS VERTICALS TO FACE OF MASONRY
 - R. EXTERIOR DIMENSIONS AT VARIOUS VERTICALS TO FACE OF MASONRY
 - S. EXTERIOR DIMENSIONS AT VARIOUS VERTICALS TO FACE OF MASONRY
 - T. EXTERIOR DIMENSIONS AT VARIOUS VERTICALS TO FACE OF MASONRY
 - U. EXTERIOR DIMENSIONS AT VARIOUS VERTICALS TO FACE OF MASONRY
 - V. EXTERIOR DIMENSIONS AT VARIOUS VERTICALS TO FACE OF MASONRY
 - W. EXTERIOR DIMENSIONS AT VARIOUS VERTICALS TO FACE OF MASONRY
 - X. EXTERIOR DIMENSIONS AT VARIOUS VERTICALS TO FACE OF MASONRY
 - Y. EXTERIOR DIMENSIONS AT VARIOUS VERTICALS TO FACE OF MASONRY
 - Z. EXTERIOR DIMENSIONS AT VARIOUS VERTICALS TO FACE OF MASONRY

PARTITION LEGEND

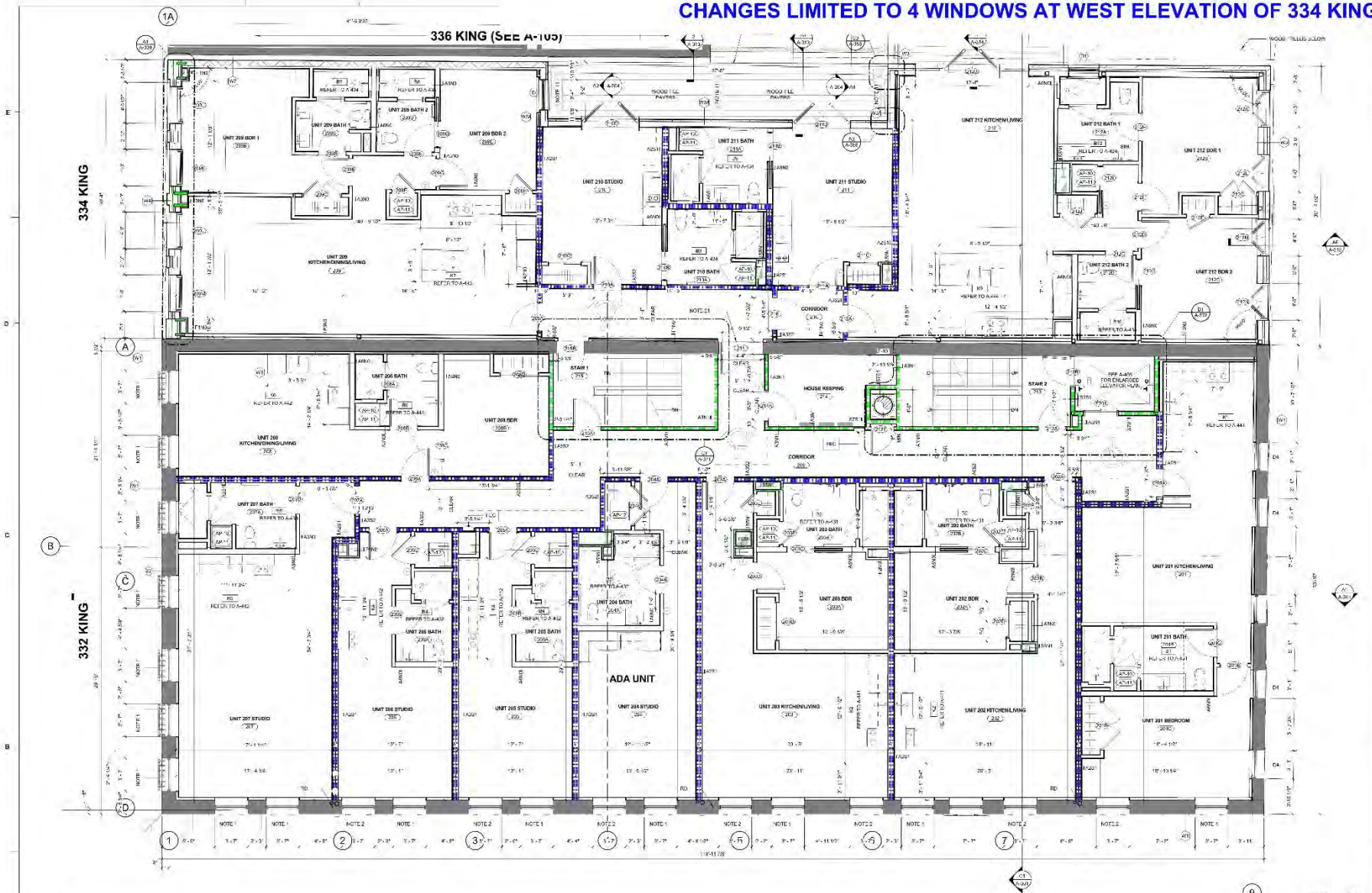
- 1. ALL INTERIOR METAL STUD PARTITIONS TO BE TYPE AWR 1/2" O.G.
- 2. NON-RATED PARTITION TO CEILING
- 3. NON-RATED PARTITION TO DECK
- 4. 1/2" IR. RATED PARTITION TO CEILING
- 5. 1/2" IR. RATED PARTITION TO DECK
- 6. 1-HR. RATED PARTITION TO CEILING
- 7. 1-HR. RATED PARTITION TO DECK

NOTE: SEE SECT A-101 FOR CONSTRUCTION OF PARTITION TYPES

- PARTITION NOTES**
1. ALL TYPE A AND B PARTITIONS SHALL BE 1/2" TYPE A OR B PARTITIONS
 2. ALL TYPE A AND B PARTITIONS SHALL BE 1/2" TYPE A OR B PARTITIONS
 3. ALL TYPE A AND B PARTITIONS SHALL BE 1/2" TYPE A OR B PARTITIONS
 4. ALL TYPE A AND B PARTITIONS SHALL BE 1/2" TYPE A OR B PARTITIONS
 5. ALL TYPE A AND B PARTITIONS SHALL BE 1/2" TYPE A OR B PARTITIONS
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 15. ALL TYPE A AND B PARTITIONS SHALL BE 1/2" TYPE A OR B PARTITIONS
 16. ALL TYPE A AND B PARTITIONS SHALL BE 1/2" TYPE A OR B PARTITIONS
 17. ALL TYPE A AND B PARTITIONS SHALL BE 1/2" TYPE A OR B PARTITIONS
 18. ALL TYPE A AND B PARTITIONS SHALL BE 1/2" TYPE A OR B PARTITIONS
 19. ALL TYPE A AND B PARTITIONS SHALL BE 1/2" TYPE A OR B PARTITIONS
 20. ALL TYPE A AND B PARTITIONS SHALL BE 1/2" TYPE A OR B PARTITIONS

- REFER TO ARCHITECTURAL DRAWINGS, INC. FOR ASSISTANCE VOLUMES**
1. REFER TO ARCHITECTURAL DRAWINGS, INC. FOR ASSISTANCE VOLUMES
 2. REFER TO ARCHITECTURAL DRAWINGS, INC. FOR ASSISTANCE VOLUMES
 3. REFER TO ARCHITECTURAL DRAWINGS, INC. FOR ASSISTANCE VOLUMES
 4. REFER TO ARCHITECTURAL DRAWINGS, INC. FOR ASSISTANCE VOLUMES
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 19. REFER TO ARCHITECTURAL DRAWINGS, INC. FOR ASSISTANCE VOLUMES
 20. REFER TO ARCHITECTURAL DRAWINGS, INC. FOR ASSISTANCE VOLUMES

CHANGES LIMITED TO 4 WINDOWS AT WEST ELEVATION OF 334 KING



SECOND FLOOR PLAN

FLOOR PLAN NOTES

1. REFLECT TO MATCH PARTITIONS
2. REFLECT TO MATCH PARTITIONS
3. REFLECT TO MATCH PARTITIONS
4. REFLECT TO MATCH PARTITIONS
5. REFLECT TO MATCH PARTITIONS
6. REFLECT TO MATCH PARTITIONS
7. REFLECT TO MATCH PARTITIONS
8. REFLECT TO MATCH PARTITIONS
9. REFLECT TO MATCH PARTITIONS
10. REFLECT TO MATCH PARTITIONS
11. REFLECT TO MATCH PARTITIONS

GENERAL NOTES

1. REFLECT TO MATCH PARTITIONS
2. REFLECT TO MATCH PARTITIONS
3. REFLECT TO MATCH PARTITIONS
4. REFLECT TO MATCH PARTITIONS
5. REFLECT TO MATCH PARTITIONS
6. REFLECT TO MATCH PARTITIONS
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8. REFLECT TO MATCH PARTITIONS
9. REFLECT TO MATCH PARTITIONS
10. REFLECT TO MATCH PARTITIONS
11. REFLECT TO MATCH PARTITIONS

PARTITION LEGEND

- 1. REFLECT TO MATCH PARTITIONS
- 2. REFLECT TO MATCH PARTITIONS
- 3. REFLECT TO MATCH PARTITIONS
- 4. REFLECT TO MATCH PARTITIONS
- 5. REFLECT TO MATCH PARTITIONS
- 6. REFLECT TO MATCH PARTITIONS
- 7. REFLECT TO MATCH PARTITIONS
- 8. REFLECT TO MATCH PARTITIONS
- 9. REFLECT TO MATCH PARTITIONS
- 10. REFLECT TO MATCH PARTITIONS
- 11. REFLECT TO MATCH PARTITIONS

PARTITION NOTES

1. REFLECT TO MATCH PARTITIONS
2. REFLECT TO MATCH PARTITIONS
3. REFLECT TO MATCH PARTITIONS
4. REFLECT TO MATCH PARTITIONS
5. REFLECT TO MATCH PARTITIONS
6. REFLECT TO MATCH PARTITIONS
7. REFLECT TO MATCH PARTITIONS
8. REFLECT TO MATCH PARTITIONS
9. REFLECT TO MATCH PARTITIONS
10. REFLECT TO MATCH PARTITIONS
11. REFLECT TO MATCH PARTITIONS

332 KING INVESTORS, LLC

METHOD

334 KING STREET



332 KING STREET
CHARLESTON, SOUTH CAROLINA 29401
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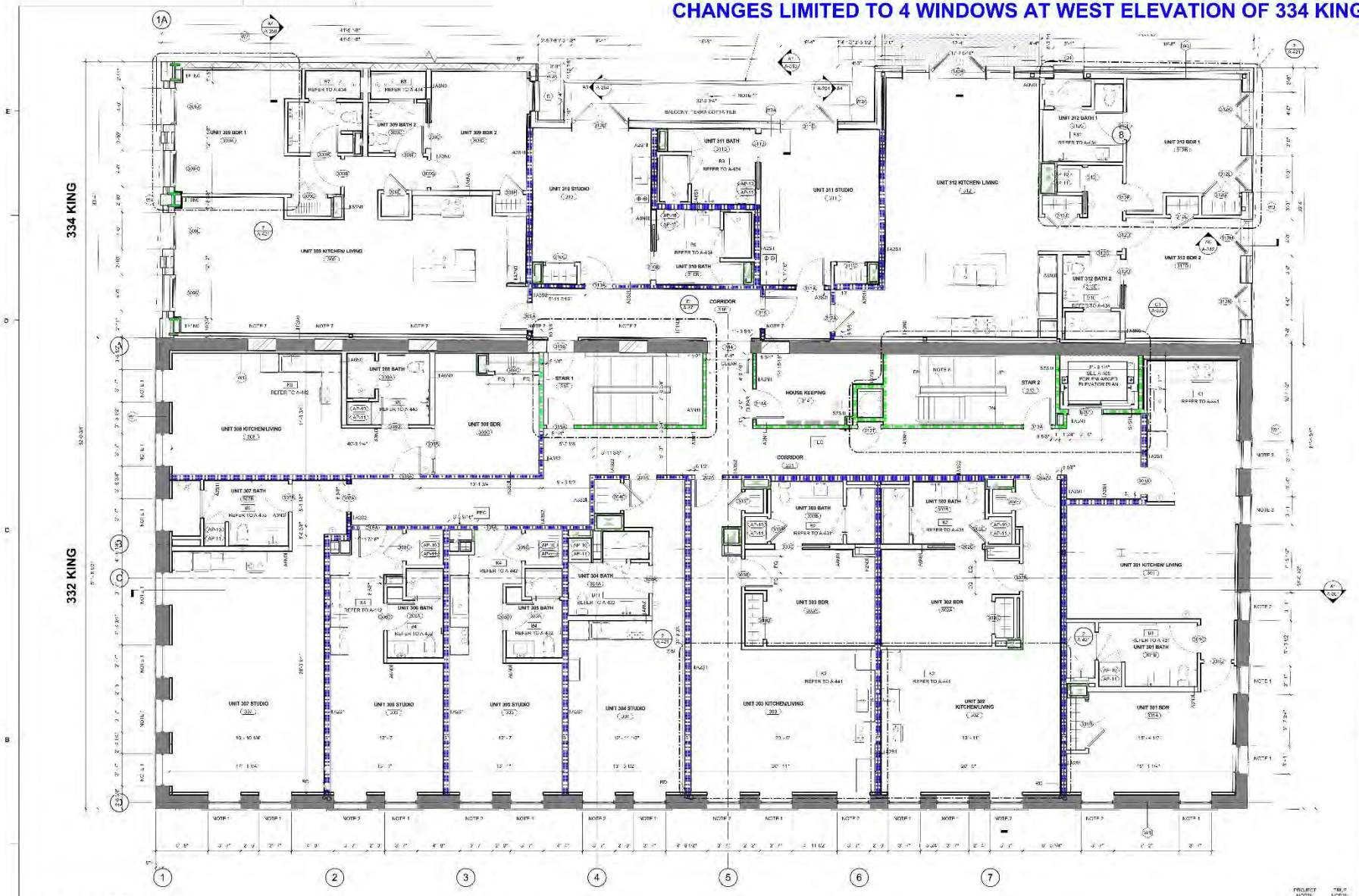
NO.	DATE	BY
1	11/27/2018	JDS
2	12/06/2018	JDS

PROJECT: 115212216
DATE: DECEMBER 30, 2019
DRAWN BY: JDS
CHECKED BY: SR

332-334 KING - SECOND FLOOR PLAN

A-102

CHANGES LIMITED TO 4 WINDOWS AT WEST ELEVATION OF 334 KING



3RD FLOOR PLAN
SEE A-103

FLOOR PLAN NOTES	
1. RESTRICT HISTORIC WINDOWS	12. WELD STEEL RAILINGS
2. RESTRICT NEW WINDOW TRACKS TO MATCH EXISTING	13. SOCIAL CLUB: FINISH FLOORING
3. RESTRICT NEW GLAZING AND WINDOW STOPPING	14. FINISH FLOOR TO MATCH EXISTING. ALL SPRINKLING WITH 1/2" RATED PARTITION
4. TERMINATE SPRINKLER AND FIRE EXTINGUISHER IN TYPICAL FINISHES AND FLOORING	15. FINISH FLOOR TO MATCH EXISTING
5. FINISH FLOOR TO MATCH EXISTING	16. NEW PARTITION WALLS TO MATCH EXISTING
6. FINISH FLOOR TO MATCH EXISTING	17. NEW PARTITION WALLS TO MATCH EXISTING
7. FINISH FLOOR TO MATCH EXISTING	18. NEW PARTITION WALLS TO MATCH EXISTING
8. FINISH FLOOR TO MATCH EXISTING	19. NEW PARTITION WALLS TO MATCH EXISTING
9. FINISH FLOOR TO MATCH EXISTING	20. NEW PARTITION WALLS TO MATCH EXISTING
10. FINISH FLOOR TO MATCH EXISTING	21. NEW PARTITION WALLS TO MATCH EXISTING
11. FINISH FLOOR TO MATCH EXISTING	22. NEW PARTITION WALLS TO MATCH EXISTING

GENERAL NOTES	
1. EXTERIOR DIMENSIONS AT BALCONY VENTERS ARE TO FACE OF MASONRY	1. ALL 1/2" BRONZE FINISH 1/2" LIP FOR HANDS TO MATCH EXISTING
2. EXTERIOR DIMENSIONS AT BALCONY VENTERS ARE TO FACE OF MASONRY	2. NON-SOLID PARTITION TO CEILING
3. EXTERIOR DIMENSIONS AT BALCONY VENTERS ARE TO FACE OF MASONRY	3. NON-SOLID PARTITION TO CEILING
4. EXTERIOR DIMENSIONS AT BALCONY VENTERS ARE TO FACE OF MASONRY	4. 1/2" RATED PARTITION TO CEILING
5. EXTERIOR DIMENSIONS AT BALCONY VENTERS ARE TO FACE OF MASONRY	5. 1/2" RATED PARTITION TO CEILING
6. EXTERIOR DIMENSIONS AT BALCONY VENTERS ARE TO FACE OF MASONRY	6. 1/2" RATED PARTITION TO CEILING
7. EXTERIOR DIMENSIONS AT BALCONY VENTERS ARE TO FACE OF MASONRY	7. 1/2" RATED PARTITION TO CEILING
8. EXTERIOR DIMENSIONS AT BALCONY VENTERS ARE TO FACE OF MASONRY	8. 1/2" RATED PARTITION TO CEILING
9. EXTERIOR DIMENSIONS AT BALCONY VENTERS ARE TO FACE OF MASONRY	9. 1/2" RATED PARTITION TO CEILING
10. EXTERIOR DIMENSIONS AT BALCONY VENTERS ARE TO FACE OF MASONRY	10. 1/2" RATED PARTITION TO CEILING
11. EXTERIOR DIMENSIONS AT BALCONY VENTERS ARE TO FACE OF MASONRY	11. 1/2" RATED PARTITION TO CEILING
12. EXTERIOR DIMENSIONS AT BALCONY VENTERS ARE TO FACE OF MASONRY	12. 1/2" RATED PARTITION TO CEILING
13. EXTERIOR DIMENSIONS AT BALCONY VENTERS ARE TO FACE OF MASONRY	13. 1/2" RATED PARTITION TO CEILING
14. EXTERIOR DIMENSIONS AT BALCONY VENTERS ARE TO FACE OF MASONRY	14. 1/2" RATED PARTITION TO CEILING
15. EXTERIOR DIMENSIONS AT BALCONY VENTERS ARE TO FACE OF MASONRY	15. 1/2" RATED PARTITION TO CEILING
16. EXTERIOR DIMENSIONS AT BALCONY VENTERS ARE TO FACE OF MASONRY	16. 1/2" RATED PARTITION TO CEILING
17. EXTERIOR DIMENSIONS AT BALCONY VENTERS ARE TO FACE OF MASONRY	17. 1/2" RATED PARTITION TO CEILING
18. EXTERIOR DIMENSIONS AT BALCONY VENTERS ARE TO FACE OF MASONRY	18. 1/2" RATED PARTITION TO CEILING
19. EXTERIOR DIMENSIONS AT BALCONY VENTERS ARE TO FACE OF MASONRY	19. 1/2" RATED PARTITION TO CEILING
20. EXTERIOR DIMENSIONS AT BALCONY VENTERS ARE TO FACE OF MASONRY	20. 1/2" RATED PARTITION TO CEILING
21. EXTERIOR DIMENSIONS AT BALCONY VENTERS ARE TO FACE OF MASONRY	21. 1/2" RATED PARTITION TO CEILING
22. EXTERIOR DIMENSIONS AT BALCONY VENTERS ARE TO FACE OF MASONRY	22. 1/2" RATED PARTITION TO CEILING

PARTITION LEGEND	
	1/2" BRONZE FINISH 1/2" LIP FOR HANDS TO MATCH EXISTING
	NON-SOLID PARTITION TO CEILING
	NON-SOLID PARTITION TO DECK
	1/2" RATED PARTITION TO CEILING
	1/2" RATED PARTITION TO DECK
	1/2" RATED PARTITION TO CEILING
	1/2" RATED PARTITION TO DECK

PARTITION NOTES	
A. ALL 1/2" BRONZE FINISH 1/2" LIP FOR HANDS TO MATCH EXISTING	D. REFER TO EXISTING TYPE LAB CONTRACTORS FOR FINISHES TO MATCH EXISTING
B. REFER TO EXISTING TYPE LAB CONTRACTORS FOR FINISHES TO MATCH EXISTING	E. REFER TO EXISTING TYPE LAB CONTRACTORS FOR FINISHES TO MATCH EXISTING
C. REFER TO EXISTING TYPE LAB CONTRACTORS FOR FINISHES TO MATCH EXISTING	F. REFER TO EXISTING TYPE LAB CONTRACTORS FOR FINISHES TO MATCH EXISTING
D. REFER TO EXISTING TYPE LAB CONTRACTORS FOR FINISHES TO MATCH EXISTING	G. REFER TO EXISTING TYPE LAB CONTRACTORS FOR FINISHES TO MATCH EXISTING
E. REFER TO EXISTING TYPE LAB CONTRACTORS FOR FINISHES TO MATCH EXISTING	H. REFER TO EXISTING TYPE LAB CONTRACTORS FOR FINISHES TO MATCH EXISTING
F. REFER TO EXISTING TYPE LAB CONTRACTORS FOR FINISHES TO MATCH EXISTING	I. REFER TO EXISTING TYPE LAB CONTRACTORS FOR FINISHES TO MATCH EXISTING
G. REFER TO EXISTING TYPE LAB CONTRACTORS FOR FINISHES TO MATCH EXISTING	J. REFER TO EXISTING TYPE LAB CONTRACTORS FOR FINISHES TO MATCH EXISTING
H. REFER TO EXISTING TYPE LAB CONTRACTORS FOR FINISHES TO MATCH EXISTING	K. REFER TO EXISTING TYPE LAB CONTRACTORS FOR FINISHES TO MATCH EXISTING
I. REFER TO EXISTING TYPE LAB CONTRACTORS FOR FINISHES TO MATCH EXISTING	L. REFER TO EXISTING TYPE LAB CONTRACTORS FOR FINISHES TO MATCH EXISTING
J. REFER TO EXISTING TYPE LAB CONTRACTORS FOR FINISHES TO MATCH EXISTING	M. REFER TO EXISTING TYPE LAB CONTRACTORS FOR FINISHES TO MATCH EXISTING
K. REFER TO EXISTING TYPE LAB CONTRACTORS FOR FINISHES TO MATCH EXISTING	N. REFER TO EXISTING TYPE LAB CONTRACTORS FOR FINISHES TO MATCH EXISTING
L. REFER TO EXISTING TYPE LAB CONTRACTORS FOR FINISHES TO MATCH EXISTING	O. REFER TO EXISTING TYPE LAB CONTRACTORS FOR FINISHES TO MATCH EXISTING
M. REFER TO EXISTING TYPE LAB CONTRACTORS FOR FINISHES TO MATCH EXISTING	P. REFER TO EXISTING TYPE LAB CONTRACTORS FOR FINISHES TO MATCH EXISTING
N. REFER TO EXISTING TYPE LAB CONTRACTORS FOR FINISHES TO MATCH EXISTING	Q. REFER TO EXISTING TYPE LAB CONTRACTORS FOR FINISHES TO MATCH EXISTING
O. REFER TO EXISTING TYPE LAB CONTRACTORS FOR FINISHES TO MATCH EXISTING	R. REFER TO EXISTING TYPE LAB CONTRACTORS FOR FINISHES TO MATCH EXISTING
P. REFER TO EXISTING TYPE LAB CONTRACTORS FOR FINISHES TO MATCH EXISTING	S. REFER TO EXISTING TYPE LAB CONTRACTORS FOR FINISHES TO MATCH EXISTING
Q. REFER TO EXISTING TYPE LAB CONTRACTORS FOR FINISHES TO MATCH EXISTING	T. REFER TO EXISTING TYPE LAB CONTRACTORS FOR FINISHES TO MATCH EXISTING
R. REFER TO EXISTING TYPE LAB CONTRACTORS FOR FINISHES TO MATCH EXISTING	U. REFER TO EXISTING TYPE LAB CONTRACTORS FOR FINISHES TO MATCH EXISTING
S. REFER TO EXISTING TYPE LAB CONTRACTORS FOR FINISHES TO MATCH EXISTING	V. REFER TO EXISTING TYPE LAB CONTRACTORS FOR FINISHES TO MATCH EXISTING
T. REFER TO EXISTING TYPE LAB CONTRACTORS FOR FINISHES TO MATCH EXISTING	W. REFER TO EXISTING TYPE LAB CONTRACTORS FOR FINISHES TO MATCH EXISTING
U. REFER TO EXISTING TYPE LAB CONTRACTORS FOR FINISHES TO MATCH EXISTING	X. REFER TO EXISTING TYPE LAB CONTRACTORS FOR FINISHES TO MATCH EXISTING
V. REFER TO EXISTING TYPE LAB CONTRACTORS FOR FINISHES TO MATCH EXISTING	Y. REFER TO EXISTING TYPE LAB CONTRACTORS FOR FINISHES TO MATCH EXISTING
W. REFER TO EXISTING TYPE LAB CONTRACTORS FOR FINISHES TO MATCH EXISTING	Z. REFER TO EXISTING TYPE LAB CONTRACTORS FOR FINISHES TO MATCH EXISTING

REVISIONS		
NO.	DATE	BY
1	12/03/2019	JCS
2	12/03/2019	JCS

332 KING INVESTORS, LLC

METHOD

334 KING STREET

MA

LS3P

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 CHARLESTON, SOUTH CAROLINA 29401
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PROJECT: 115213216
 DATE: DECEMBER 30, 2019
 DRAWN BY: JC
 CHECKED BY: SR

332-334 KING - THIRD FLOOR PLAN

A-103

CHANGES LIMITED TO 4 WINDOWS AT WEST ELEVATION OF 334 KING



1. REMOVE HISTORIC WINDOW.
2. INSTALL NEW WOOD WINDOW TO MATCH EXISTING. GLAZING IS TO BE CRUSHED PINE GLAZES WITH 1/4\"/>
- 3. INSTALL NEW GLASS AND WOOD STOREFRONT.
- 4. INSTALL NEW ALUMINUM REVERSE CHANNEL RAINWATER LETTERS.
- 5. CONTRACTOR TO TEST EXTERIOR WALLS BELOW ON SOUVRENS OR OTHER NONCORROSIVE MEDIA, AND PROVIDE TEST OF EXISTING STUCCO PATCH AND REPAIR TO CLIENT. REPAIRS TO BE MADE IN AREA OF STUCCO DAMAGE BETWEEN AND SOUTH FACADE. RAINWATER LETTERS AND SOUTH FACADE OF 334 KING.
- 6. INSTALL NEW DOWNSPOUTS WITH 1/4\"/>
- 7. INSTALL NEW FLAT SEAM METAL ROOF AT CORNER.
- 8. INSTALL ALUMINUM COPING AT EXISTING PARAPET.
- 9. INSTALL NEW CLIME AND ALUMINUM STOREFRONT.
- 10. EXISTING TRAILING TO BE SCRAPED AND REPAIRED.
- 11. CONTRACTOR TO EVALUATE EAST FACADE OF 332 KING THROUGH NON-DISRUPTIVE MEANS TO DETERMINE WHETHER REPAIRS ARE NECESSARY. BRICK IS TO BE REPLACED WHERE IT IS DAMAGED OR FRAGILE WITH SALVAGED BRICK WHERE POSSIBLE.
- 12. INSTALL NEW BRICK SOLUBER COURSE HEADERS AT ALL NEW WINDOWS ON EAST FACADE OF 332 KING. BRICK TO BE MATCHED TO EXISTING WORK OR THE PART WALL BRICK. USE SALVAGED BRICK, IF POSSIBLE.
- 13. CONTRACTOR TO EVALUATE BRICK THROUGHOUT OF 332 KING USING NON-DISRUPTIVE METHODS TO DETERMINE WHETHER REPAIRS ARE NECESSARY AT EXPOSED PORTIONS AND PORTIONS AT BUILDING INTERIOR. BRICK TO BE REPLACED WHERE IT IS DAMAGED OR FRAGILE OR DETERMINED TO BE STRUCTURALLY INADEQUATE.
- 14. USE 8\"/>
- 15. NEW BRICK COURSE TO MATCH EXISTING.
- 16. INSTALL NEW STUCCO AT SOUTH SIDE OF 334 KING'S ROOF. WIDTH IS ADJUST TO MATCH EXISTING WORK.
- 17. INSTALL NEW WOOD RAFT WINDOW WITH BLACK PAINT GLAZING TO MATCH HISTORIC WINDOW. ALSO TO EXISTING WINDOW FRAME ABOVE.
- 18. TOP OF RAFT CORNER AT 34\"/>
- 19. FULL EXTERIOR CORNER. FINISH WITH BLACK PAINT AND STUCCO TO MATCH.
- 20. FPC SEE PLUMBING INCLUDE FPC BACK. STAINLESS STEEL LETTERS WITH BLACK BACKGROUND AND STAINLESS STEEL BORDER. 1\"/>
- 21. FPC SEE TO MATCH FPC LOCATION ON GROUND STREET. STAINLESS STEEL LETTERS WITH BLACK BACKGROUND AND STAINLESS STEEL BORDER. INSTALL 1\"/>
- 22. 2\"/>
- 23. PLUMBING LINE ONLY. WALLS PERPENDICULAR TO FACE. ALSO HORIZONTAL JOINTS WITH 3\"/>
- 24. IS SALVAGED AND IS PINK BRICK FOR PORTION 8\"/>

DEMOLITION AND EXISTING ELEVATION NOTES

- NOTE: SEE A-201 THROUGH A-204 FOR ELEVATION DEMO DRAWINGS**
- D01 REMOVE EXISTING GAS AND METAL STOREFRONT SYSTEM
 - D02 REMOVE EXISTING SIGNAGE ON FACADE AND SALVAGE
 - D03 REMOVE 1/4\"/>
 - D04 REMOVE EXISTING MASONRY AT HISTORIC OPENING. REPAIR CORNER FOR NEW WINDOW.
 - D05 REMOVE BRICK AND PREPARE FOR NEW OPENING. SALVAGE BRICK USE ALL BRICK FOR POSSIBLE REUSE. UTILIZE SALVAGED BRICK TO PATCH BRICK AT JOINTS FOR SETBACK. REMOVE NEW RAFT WINDOW TO EXISTING WORKING.
 - D06 SALVAGE BRICK AND REUSE BRICK IN PATCH AND IF MATCHES OTHERS
 - D07 REMOVE EXISTING PLASTER AND RAFT WALL
 - D08 REMOVE EXISTING UT WALL
 - D09 ADD NEW 7'-0\"/>
 - D10 REMOVE EXISTING WINDOW. PREPARE OPENING FOR NEW CONNECTION TO 334 KING STREET
 - D11 REMOVE EXISTING WINDOW. PREPARE OPENING TO BE RAISED
 - D12 REMOVE ALL EXISTING PLASTER, LATH, LATHING, SKILLING AND EXTERIOR FINISH MATERIALS FROM EXPOSED FACE OF EXTERIOR WALLS TO EXPOSED BRICK. REPOINT WHERE NECESSARY
 - D13 REMOVE EXISTING MECHANICAL UNITS AND PLATFORM
 - D14 REMOVE EXISTING ROOF WITH EXISTING
 - D15 EXISTING RAFT BRICK AND STUCCO TO BE REPAIRED
 - D16 REMOVE EXISTING COLUMN WALLS AND REPLACE WITH FPC SQUARE PIPE
 - D17 REPLACE DAMAGED FACED AND TRIM ISSUE AND REPAIR
 - D18 REMOVE EXISTING WOOD FLOOR FRAMING
 - D19 EXISTING HEADERS TO BE REMOVED IN PREPARATION FOR NEW WINDOW OPENING. PATCH WALL WITH BRICK AND STUCCO
 - D20 EXISTING STRUCTURE AT 334 KING TO BE COMPLETELY DEMOLISHED
 - D21 REMOVE EXISTING WINDOW AND PREPARE FOR NEW WINDOW OPENING
 - D22 REMOVE EXISTING WOOD FENCE AT 334 KING
 - D23 REMOVE EXISTING METAL ROOF AT CORNER AND PREPARE FOR NEW ROOF
 - D24 REMOVE PORTION OF EXISTING NORTH WALL @ 334 KING BY 30\"/>
 - D25 REMOVE PORTION OF EXISTING WALL FOR NEW 3/4\"/>
 - D26 ADD NEW 7'-0\"/>

332 KING INVESTORS, LLC

METHOD

334 KING STREET

MA

LS3P

255 1/2 KING STREET
CHARLOTTE, SOUTH CAROLINA 28201
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REVISIONS

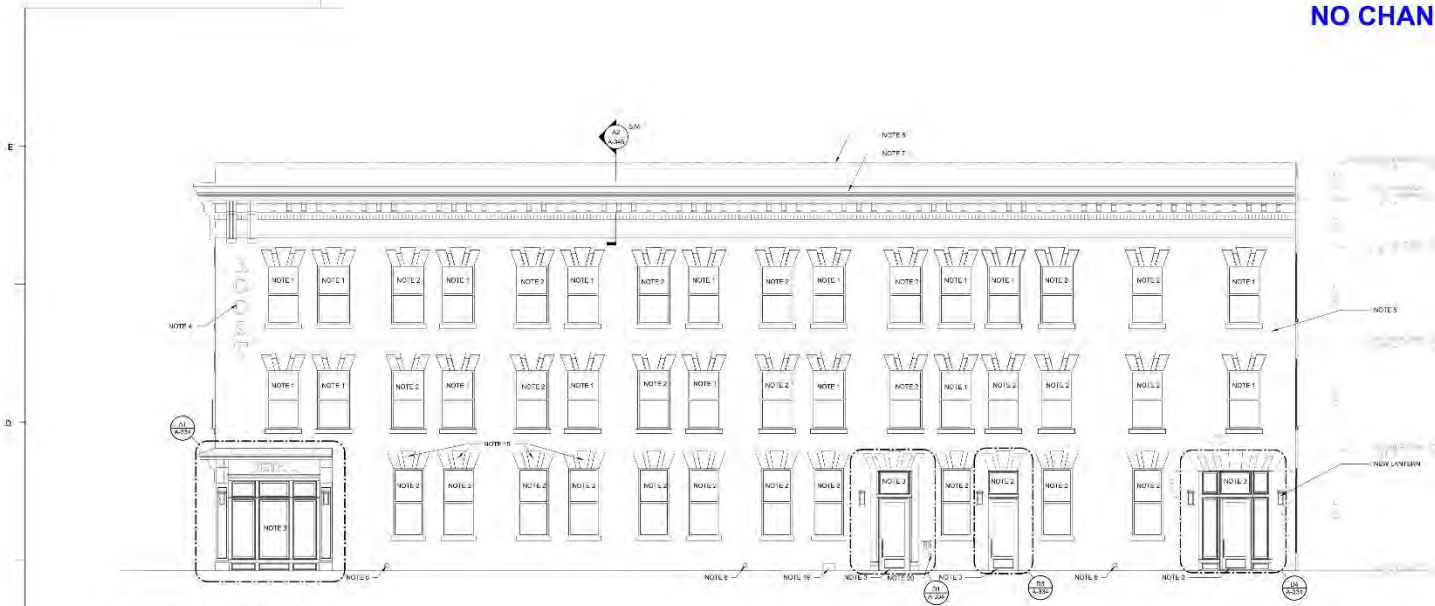
No.	Description	Date
1	Coordinate Set Issues	10/10/2016

PROJECT: 1152-17319
DATE: DECEMBER 30, 2019
DRAWN BY: JD
CHECKED BY: SR

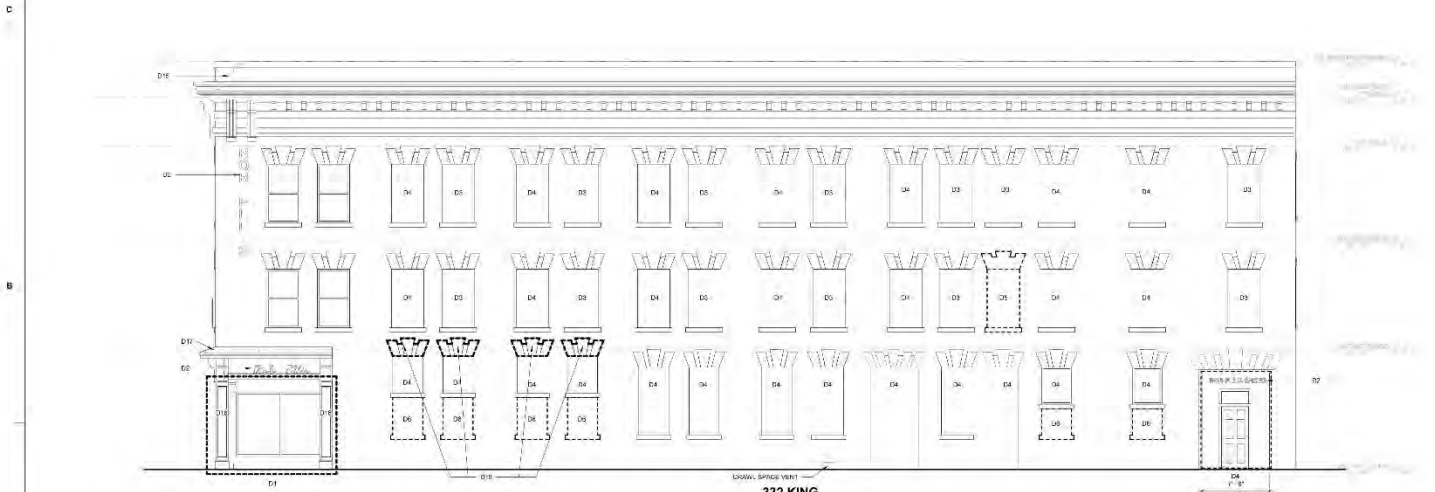
EXTERIOR ELEVATIONS - WEST

A-201

NO CHANGES



C1 NEW-SOUTH ELEVATION
332 - 331'



A1 *EXISTING SOUTH ELEVATION
332 - 331'

- ### NEW ELEVATION NOTES
1. RESTORE HISTORIC WINDOW.
 2. INSTALL NEW WOOD WINDOW TO MATCH EXISTING. GLAZING IS TO BE ANGLE GANT GLASS WITH AN ANGLE LOW LE FINISH. TO MATCH HISTORIC WINDOW GLAZING, APPLY FLAMEB RESIN-BLENDED PUTTY TO PERFORM JOINT THROUGH WINDOW FRAME TO METAL TAIL.
 3. INSTALL NEW FLAME RESIN-BLENDED PUTTY THROUGH EXISTING WINDOW.
 4. CONSTRUCTION TO TEST EXISTING WALL THROUGH FOUNDATION FOR OTHER NON-STRUCTURAL DEFECTS AND REPAIRS TO BE MADE TO EXISTING STRUCTURE.
 5. REPAIR STUCCO WHERE NECESSARY. ANY NEW STUCCO SHOULD MATCH EXISTING STUCCO SYSTEM WHICH INCLUDES WINDOW PROFILES AT THE WEST AND SOUTH FACADES. RESTANT CHIMNEY WEST AND SOUTH FACADES OF 332 KING.
 6. INSTALL NEW OVER-LINE SCAPING THROUGH TO TRUSS/ROOF DRAINAGE ON THE ROOF.
 7. INSTALL NEW FLAT SEAM METAL ROOF AT CORNER.
 8. INSTALL ALUMINUM COPING AT EXISTING PARAPET.
 9. INSTALL NEW BRICK PARAPET AS SHOWN.
 10. PERFORM ALL WORK TO BE IN ACCORDANCE WITH THE CONTRACT.
 11. CONTRACTOR TO EVALUATE EXISTING FACADES OF 332 KING THROUGH WORK.
 12. BRICK TO MATCH EXISTING EXTERIOR BRICK. WHERE THE EXISTING BRICK IS TO BE REPLACED WHERE IT IS CHIPPED OR MISSING WITH SALVAGED BRICK WHERE POSSIBLE.
 13. INSTALL NEW BRICK 3/8" OVER EXISTING BRICK AT ALL NEW WINDOWS ON EAST SIDE OF FACADE TO MATCH EXISTING LOOK OF THE EAST WALL BRICK. USE SALVAGED BRICK, IF POSSIBLE.
 14. SOAK BRICK TO SATURATE. NOTIFY ARCHITECT OF 332 KING USING NON-DESTRUCTIVE METHODS TO DETERMINE WHERE REPAIRING IS NECESSARY AT SPONGE PORTING AND PORTING AT GUTTER INTERIOR. BRICK TO BE REPLACED WHERE IT IS CHIPPED OR MISSING ON ALL FACADES.
 15. GUTTER TO BE REPLACED WITH NEW GUTTER.
 16. NEW STUCCO TO MATCH EXISTING.
 17. INSTALL NEW GLAZING AT SOUTH EDGE OF 332 KING ROOF WHERE 7' x 4' x 1/2" STUCCO TO MATCH EXISTING LOOK OF THE ROOF AND TO MATCH EXISTING BRICK. MATCH EXISTING BRICK TO MATCH HISTORIC APPEARANCE. ALSO TO EXISTING WINDOW FRAME.
 18. TOP OF NEW CORNICE AT 332 KING TO ALIGN WITH TOP OF CORNICE AT 333 KING.
 19. FULL FINISHING DRAW. BRICK VENT THROUGH BRICK AND STUCCO TO MATCH.
 20. FDC SEE "FINISHING INCLUDE FDC BOLD, STAINLESS STEEL LETTERS WITH BLACK BACKGROUND AND STAINLESS STEEL BORDER. TO MATCH EXISTING EXTERIOR LETTERS WITH BLACK BACKGROUND AND STAINLESS STEEL BORDER.
 21. FDC SIGN TO MATCH EXISTING EXTERIOR LETTERS WITH BLACK BACKGROUND AND STAINLESS STEEL BORDER. INSTALL 1/2" BOLD AT PERMANENT OR STUCCO BOLD AND INSTALL CORNICE JUMPER PER THE SECTION MARK PLACE WITH ASSOCIATED DIMENSIONS.
 22. CORNER STUCCO TO MATCH EXISTING.
 23. RETURN EXISTING FACADE DETAILS ON A/F. ALIGN HORIZONTAL JOINTS WITH EXISTING FACADE.
 24. REPAIR AND CLEAN BRICK FOR POSSIBLE REUSE.

DEMOLITION AND EXISTING ELEVATION NOTES

- NOTE: SEE A-21 THROUGH A-26 FOR ELEVATION DEMO DRAWINGS
- D1 REMOVE EXISTING GLASS AND METAL STOREFRONT SYSTEM
 - D2 REMOVE EXISTING SIGNAGE ON FACADE AND SALVAGE
 - D3 REMOVE ALL WOOD FROM EXISTING WINDOW OPENING. RESTORE EXISTING WINDOW.
 - D4 REMOVE EXISTING MASONRY AT HISTORIC CHIMNEY. PREPARE OPENING FOR NEW WINDOW.
 - D5 REMOVE BRICK AND REPAIR TO NEW EXTERIOR. SALVAGE AND USE ALL BRICK, TO THE EXTENT POSSIBLE. REMOVE SALVAGED BRICK TO RE-USE BRICK AT JAMBS TO RESTORE. INSTALL NEW BRICK AND SET TO EXISTING SYSTEM.
 - D6 SALVAGE BRICK AND REUSE AS IS. IN PLACE AND IN PLACE ON PLACE.
 - D7 REMOVE EXISTING ELEVATORS AND PART WALL
 - D8 REMOVE EXISTING STAIR
 - D9 ADD NEW 7'-0" x 8'-0" OPENING IN EXISTING MASONRY WALL AND SUPPORTING LANTERN PER STRUCTURAL DRAWINGS
 - D10 REMOVE EXISTING WINDOW. PREPARE OPENING FOR NEW CONNECTION TO 334 KING STREET.
 - D11 REMOVE EXISTING WINDOW. PREPARE OPENING TO BE INFILLED.
 - D12 REMOVE ALL EXTERIOR PLASTER, LATH, FINISHES, SHEETINGS AND EXTERIOR MATERIALS FROM NORTH FACE OF EXTERIOR WALLS. USE FAN DISPOSED AS DEBRIS. REPORT TO US, NECESSARY.
 - D13 REMOVE EXISTING MASONRY. WITH APPROXIMATE
 - D14 REMOVE EXISTING ROOF IN ITS ENTIRETY.
 - D15 EXISTING PARAPET BRICK AND STUCCO TO BE REPAIRED.
 - D16 REMOVE EXISTING COILY WRAPS AND RETAIN WITH PTD. REMOVE THEM.
 - D17 REPLACE DAMAGED TYPING AND TRIM. PERMANENT SUPPLY.
 - D18 REMOVE EXISTING WOOD FLOOR FRAMING.
 - D19 EXISTING HEADERS TO BE REMOVED IN PREPARATION FOR NEW WINDOW OPENING. PATCH WALL WITH FDC AND STUCCO.
 - D20 EXISTING STRUCTURE AT 334 KING TO BE COMPLETELY DEMOLISHED.
 - D21 REMOVE EXISTING WINDOW AND PREPARE FOR NEW WINDOW OPENING.
 - D22 REMOVE EXISTING WOODEN FENCE AT 332 KING.
 - D23 REMOVE EXISTING METAL ROOF AT CORNER AND PREPARE FOR NEW ROOF.
 - D24 REMOVE PORTION OF EXISTING NORTH WALL @ 332 KING AT TO PREPARE FOR NEW DRUM WALL.
 - D25 REMOVE PORTION OF EXISTING WALL FOR NEW 5'-0" x 7'-0" EMERGENCY COREDOOR.
 - D26 APPROX 45' x 9' x 8' 1/2" OPENING IN EXISTING MASONRY WALL AND SUPPORTING LANTERN PER STRUCTURAL DRAWINGS.

332 KING INVESTORS, LLC

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REVISIONS

NO.	DESCRIPTION	DATE
1	Construction Set Release	12/26/2016

PROJECT: 1152-173216
DATE: DECEMBER 26, 2016
DRAWN BY: JD
CHECKED BY: SR

EXTERIOR ELEVATIONS - SOUTH

A-202

NO CHANGES

NEW ELEVATION NOTES

1. REMOVE THE 2" x 4" WINDO
2. INSTALL 2" x 4" WINDO TO MATCH FOURTH. (2) 4" x 8" (6) TO BE EACH 1" x 4" x 8" GLASS WITH 1" x 4" x 8" ALUMINUM. TO MATCH EXISTING WINDOW GLAZING.
3. 1" x 4" x 8" ALUMINUM. TO MATCH EXISTING WINDOW GLAZING.
4. INSTALL NEW GLASS AND WOOD STOREFRONT.
5. 1" x 4" x 8" ALUMINUM. TO MATCH EXISTING WINDOW GLAZING.
6. 1" x 4" x 8" ALUMINUM. TO MATCH EXISTING WINDOW GLAZING.
7. 1" x 4" x 8" ALUMINUM. TO MATCH EXISTING WINDOW GLAZING.
8. 1" x 4" x 8" ALUMINUM. TO MATCH EXISTING WINDOW GLAZING.
9. 1" x 4" x 8" ALUMINUM. TO MATCH EXISTING WINDOW GLAZING.
10. 1" x 4" x 8" ALUMINUM. TO MATCH EXISTING WINDOW GLAZING.
11. 1" x 4" x 8" ALUMINUM. TO MATCH EXISTING WINDOW GLAZING.
12. 1" x 4" x 8" ALUMINUM. TO MATCH EXISTING WINDOW GLAZING.
13. 1" x 4" x 8" ALUMINUM. TO MATCH EXISTING WINDOW GLAZING.
14. 1" x 4" x 8" ALUMINUM. TO MATCH EXISTING WINDOW GLAZING.
15. 1" x 4" x 8" ALUMINUM. TO MATCH EXISTING WINDOW GLAZING.
16. 1" x 4" x 8" ALUMINUM. TO MATCH EXISTING WINDOW GLAZING.
17. 1" x 4" x 8" ALUMINUM. TO MATCH EXISTING WINDOW GLAZING.
18. 1" x 4" x 8" ALUMINUM. TO MATCH EXISTING WINDOW GLAZING.
19. 1" x 4" x 8" ALUMINUM. TO MATCH EXISTING WINDOW GLAZING.
20. 1" x 4" x 8" ALUMINUM. TO MATCH EXISTING WINDOW GLAZING.
21. 1" x 4" x 8" ALUMINUM. TO MATCH EXISTING WINDOW GLAZING.
22. 1" x 4" x 8" ALUMINUM. TO MATCH EXISTING WINDOW GLAZING.
23. 1" x 4" x 8" ALUMINUM. TO MATCH EXISTING WINDOW GLAZING.
24. 1" x 4" x 8" ALUMINUM. TO MATCH EXISTING WINDOW GLAZING.

332 KING INVESTORS, LLC
METHOD

334 KING STREET

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DEMOLITION AND EXISTING ELEVATION NOTES

- NOTE: SEE A-201 THROUGH A-204 FOR ELEVATION DEMO DRAWINGS.
01. REMOVE EXISTING GLASS AND METAL STOREFRONT SYSTEM.
 02. REMOVE BRICKWORK SURROUNDING EXISTING WINDOW OPENING.
 03. REMOVE PLUMBING FROM EXISTING WINDOW OPENING. RESTORE EXISTING WINDOW.
 04. REMOVE EXISTING MASONRY AT HISTORIC OPENING. PREPARE OPENING FOR NEW WINDOW.
 05. REMOVE BRICK IN PREPARATION FOR NEW OPENING. SALVAGE AND CLEAN ALL BRICK FOR POSSIBLE REUSE. USE RECYCLED SALVAGE BRICK TO REPAIR MASONRY AT HISTORIC OPENING. REPAIR MUST BE DONE TO MATCH EXISTING BRICK.
 06. SALVAGE BRICK AND REUSE SILL IF INTACT AND IT MATCHES OTHERS.
 07. REMOVE EXISTING 1" x 4" x 8" SHAPED RAFTERS.
 08. REMOVE EXISTING STAIRS.
 09. ADD NEW 2" x 4" x 8" WOOD OPENING EXISTING MASONRY WALL. ADD SUPPORTING 2" x 4" x 8" STRUCTURAL BRACING.
 10. REMOVE EXISTING WINDOW. PREPARE OPENING FOR NEW WINDOW TO BE 2" x 4" x 8" WINDOW.
 11. REMOVE EXISTING WINDOW. PREPARE OPENING TO BE 1" x 4" x 8" WINDOW.
 12. REMOVE ALL EXISTING MASONRY AT HISTORIC OPENING. EXISTING MASONRY TO BE DEMOLISHED. EXPOSED STRUCTURE TO BE RECONSTRUCTED.
 13. REMOVE EXISTING MASONRY. BRICK AND PLASTER.
 14. REMOVE EXISTING ROOF IN ITS ENTIRETY.
 15. REMOVE PARAPET BRICK AND STUDIOS TO BE REPAIRED.
 16. REMOVE EXISTING COLUMN WITH PLASTER TO BE REPAIRED TO MATCH EXISTING.
 17. REPLACE DAMAGED MASONRY AND TRIM FRAME AND TOPS.
 18. REMOVE EXISTING WOOD FLOOR FINISHES.
 19. EXISTING FLOORING TO BE REPAIRED IN PREPARATION FOR NEW WINDOW OPENING. FINISH FLOOR WITH BRICK AND SALVAGE.
 20. EXISTING STRUCTURE AT 334 KING TO BE COMPLETELY DEMOLISHED.
 21. REMOVE EXISTING WINDOWS AND PREPARE FOR NEW WINDOW OPENING.
 22. REMOVE EXISTING WOODEN FINISHES AT 332 KING.
 23. REMOVE EXISTING METAL ROOF AT CORNER AND PREPARE FOR NEW ROOF.
 24. REMOVE PORTION OF EXISTING NORTH WALL @ 332 KING AT TO PREPARE FOR NEW WALL.
 25. REMOVE PORTION OF EXISTING WALL FOR NEW 2" x 4" x 8" EMERGENCY FORCE-RESISTANT WALL.
 26. ALL BRICK AND 1" x 4" x 8" WOOD IN EXISTING MASONRY WALLS AND PLASTER TO BE REPAIRED TO MATCH EXISTING.

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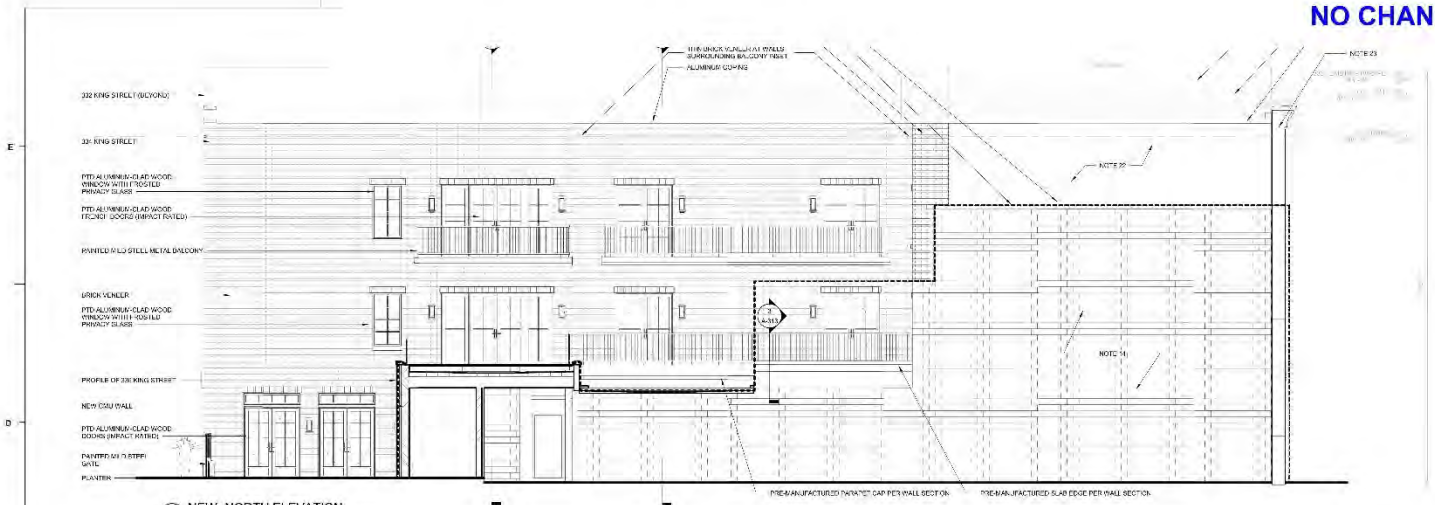
REVISIONS:

NO.	DESCRIPTION	DATE
1	FOR PRELIMINARY PERMITS	11/14/2016

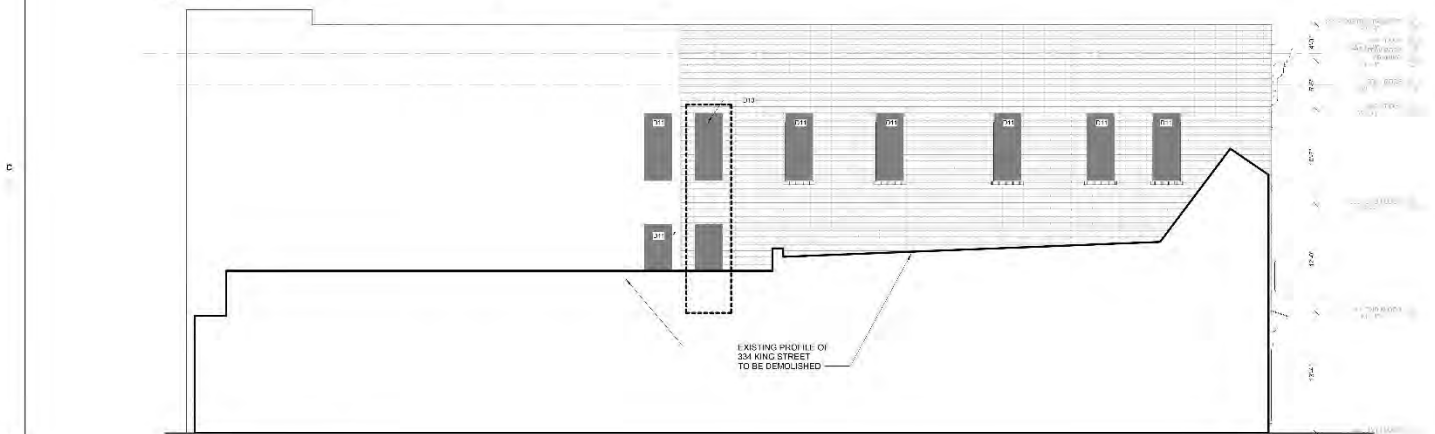
PROJECT: 1152173216
DATE: DECEMBER 30, 2019
DRAWN BY: JC
CHECKED BY: SR

EXTERIOR ELEVATIONS - NORTH

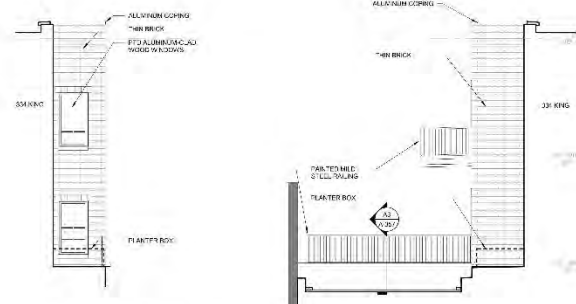
A-204



C1 NEW NORTH ELEVATION
318' x 14'



B1 EXISTING NORTH ELEVATION
318' x 14'



A3 HIDDEN ELEV. - BALCONY INSET 1
318' x 14'

A4 HIDDEN ELEV. - BALCONY INSET 2
318' x 14'

Agenda Item #3

529 KING STREET
TMS # 4601-12-02-081

Request final approval for new construction of mixed-use building to include retail and hotel.

(Cannon-Elliottborough) / Height District: 4 / Old and Historic District



FINAL BAR SUBMISSION

SUBMISSION DATE: DECEMBER 30, 2019
MEETING DATE: JANUARY 8, 2020

COVER SHEET | **BAR-00**

529 KING STREET

12.20.2019

METHOD





PREVIOUS DESIGN - PRELIMINARY BAR



CURRENT DESIGN - FINAL BAR

FINAL BAR SUMMARY

Following the Preliminary BAR meeting, the only perceivable design revisions made were to the penthouse level. The roof level was lowered 12" and the canopy was altered to wrap the southwest corner. These changes make the penthouse design more consistent with the design at Conceptual BAR as seen on BAR06. In addition, all other city staff comments have been addressed. City staff comments are notated on the 'BAR' sheets with blue notes. The drawing set concludes with the working drawings which are the 'A' sheets.

DRAWING LIST

BAR SHEETS

SHEET NO.	SYMBOL	DESCRIPTION
BAR-01	COVER SHEET	COVER SHEET
BAR-02	EXHIBIT	EXHIBIT
BAR-03	PROPOSED CORNER	PROPOSED CORNER - SOUTH-EAST PERSPECTIVE
BAR-04	TYPE NOTATION	TYPE NOTATION
BAR-05	COMPARISON - SOUTH-EAST PERSPECTIVE	COMPARISON - SOUTH-EAST PERSPECTIVE
BAR-06	COMPARISON - ONE FLOOR PLAN	COMPARISON - ONE FLOOR PLAN
BAR-07	COMPARISON - THREE FLOOR PLAN	COMPARISON - THREE FLOOR PLAN
BAR-08	COMPARISON - SITE - LOOK PLAN	COMPARISON - SITE - LOOK PLAN
BAR-09	COMPARISON - WEST ELEVATION	COMPARISON - WEST ELEVATION
BAR-10	COMPARISON - WEST ELEVATION	COMPARISON - WEST ELEVATION
BAR-11	COMPARISON - NORTH ELEVATION	COMPARISON - NORTH ELEVATION
BAR-12	COMPARISON - SOUTH ELEVATION	COMPARISON - SOUTH ELEVATION
BAR-13	ANALYSIS - PENTHOUSE ELEVATIONS	ANALYSIS - PENTHOUSE ELEVATIONS
BAR-14	COMPARISON - SOUTH-EAST PERSPECTIVE	COMPARISON - SOUTH-EAST PERSPECTIVE
BAR-15	TYPE NOTATION	TYPE NOTATION
BAR-16	TYPE NOTATION	TYPE NOTATION
BAR-17	TYPE NOTATION	TYPE NOTATION
BAR-18	TYPE NOTATION	TYPE NOTATION
BAR-19	TYPE NOTATION	TYPE NOTATION
BAR-20	TYPE NOTATION	TYPE NOTATION
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BAR-42	TYPE NOTATION	TYPE NOTATION
BAR-43	TYPE NOTATION	TYPE NOTATION
BAR-44	TYPE NOTATION	TYPE NOTATION
BAR-45	TYPE NOTATION	TYPE NOTATION
BAR-46	TYPE NOTATION	TYPE NOTATION

ARCHITECTURAL WORKING DRAWINGS

A-01	ARCHITECTURAL SITE PLAN
A-02	CONSTRUCTION SHEET
A-03	EXISTING FLOOR PLAN
A-04	PROPOSED FLOOR PLAN
A-05	ROOF FLOOR PLAN
A-06	FOURTH FLOOR PLAN
A-07	FIFTH FLOOR PLAN
A-08	ROOF PLAN
A-09	BLINDING ELEVATION
A-10	ROOF PLAN
A-11	ROOF PLAN
A-12	ROOF PLAN
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A-95	ROOF PLAN
A-96	ROOF PLAN
A-97	ROOF PLAN
A-98	ROOF PLAN
A-99	ROOF PLAN
A-100	ROOF PLAN



529 KING STREET
529 King Street OZ, LLC
METHOD



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REVISIONS:

NO.	DESCRIPTION	DATE
1	ISSUE 01/11/18	JSD

PROJECT: 118319418
DATE: 12.26.2018
DRAWN BY: Author
CHECKED BY: Check

SUMMARY

BAR-01

E
D
C
B
A



PREVIOUS DESIGN - CONCEPTUAL BAR



PREVIOUS DESIGN - PRELIMINARY BAR



CURRENT DESIGN - FINAL BAR



529 KING STREET

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REVISIONS:

No.	Description	Date

PROJECT: 1183-118428
DATE: 12.20.2018
DRAWN BY: Author
CHECKED BY: Checker

PROGRESS
COMPARISON -
SOUTHEAST
PERSPECTIVE

BAR-02

529 King Street OZ, LLC
12/20/2018 8:47:33 AM

E



PHOTO 1



PHOTO 2



PHOTO 3



PHOTO 4



King Street

D

C

B



PHOTO 1



PHOTO 2



PHOTO 3



PHOTO 4



PHOTO 5



Driveway/St. Philip

A

BAR-03-2019-04-17 11:33 AM

1

2

3

4

5

6



529 KING STREET

529 King Street OZ, LLC
METHOD



205 110 KING STREET
CHARLESTON, SOUTH CAROLINA 29401
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WWW.LS3P.COM

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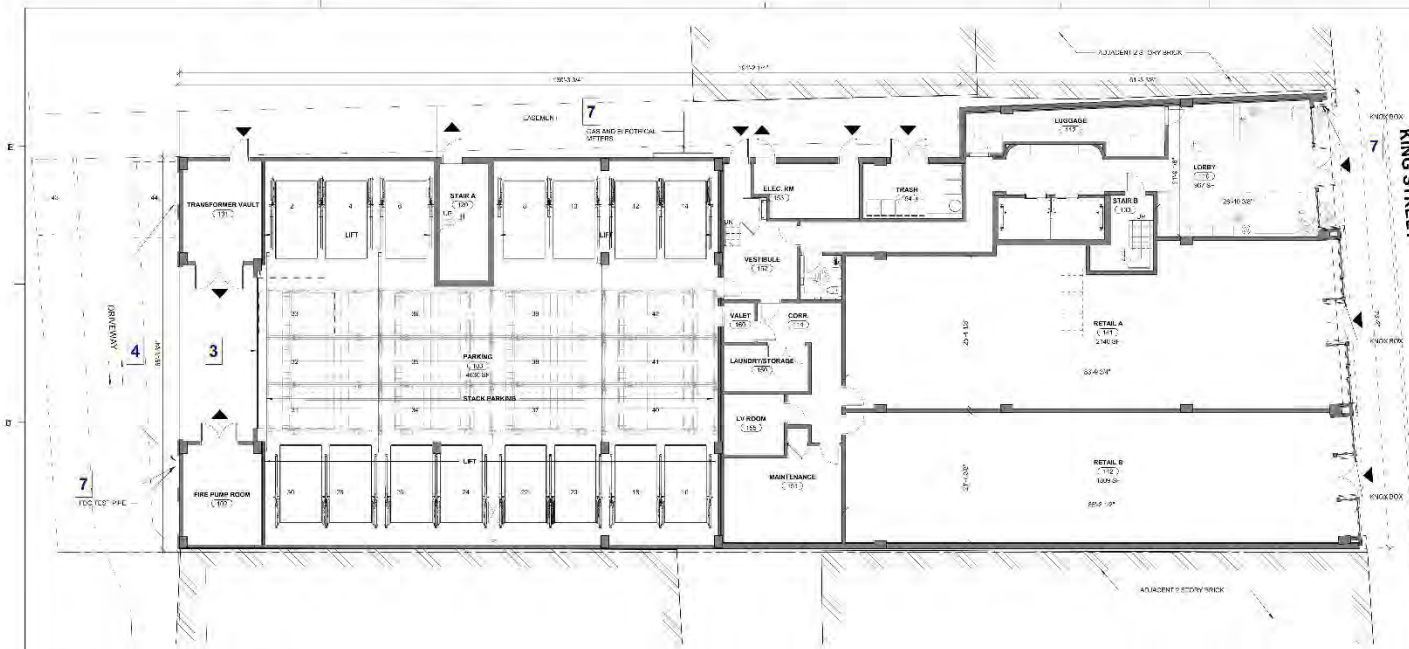
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PROJECT: 1103-11040
DATE: 12.26.2019
DRAWN BY: Author
CHECKED BY: Checker

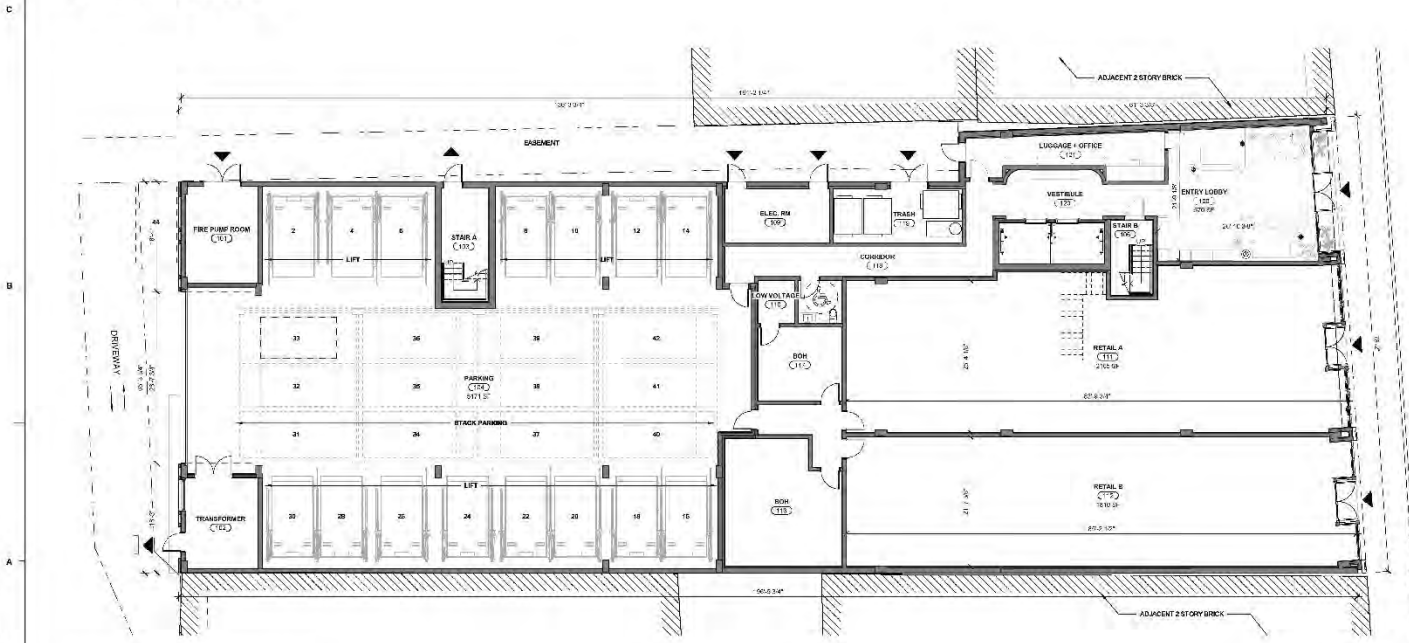
SITE PHOTOS

BAR-03

FINAL BAR



CURRENT DESIGN - FINAL BAR



PREVIOUS DESIGN - PRELIMINARY BAR

PRELIMINARY BAR COMMENTS

Board comment:

A. Reduce the visibility of the penthouse from King Street. - Response: The penthouse roof has been reduced by 1'. The canopy now extends around the corner to minimize the perception of the penthouse mass.

Staff Comments:

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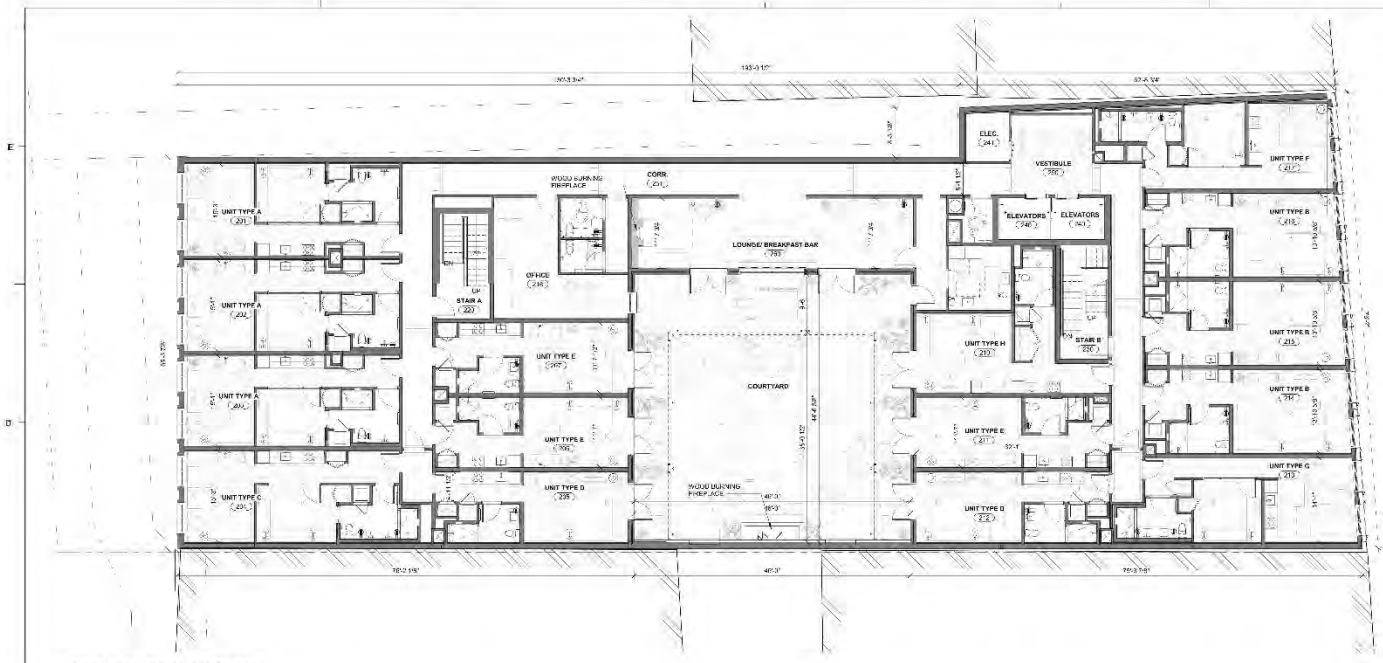
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REVISIONS:
NO. 00028931 JSD

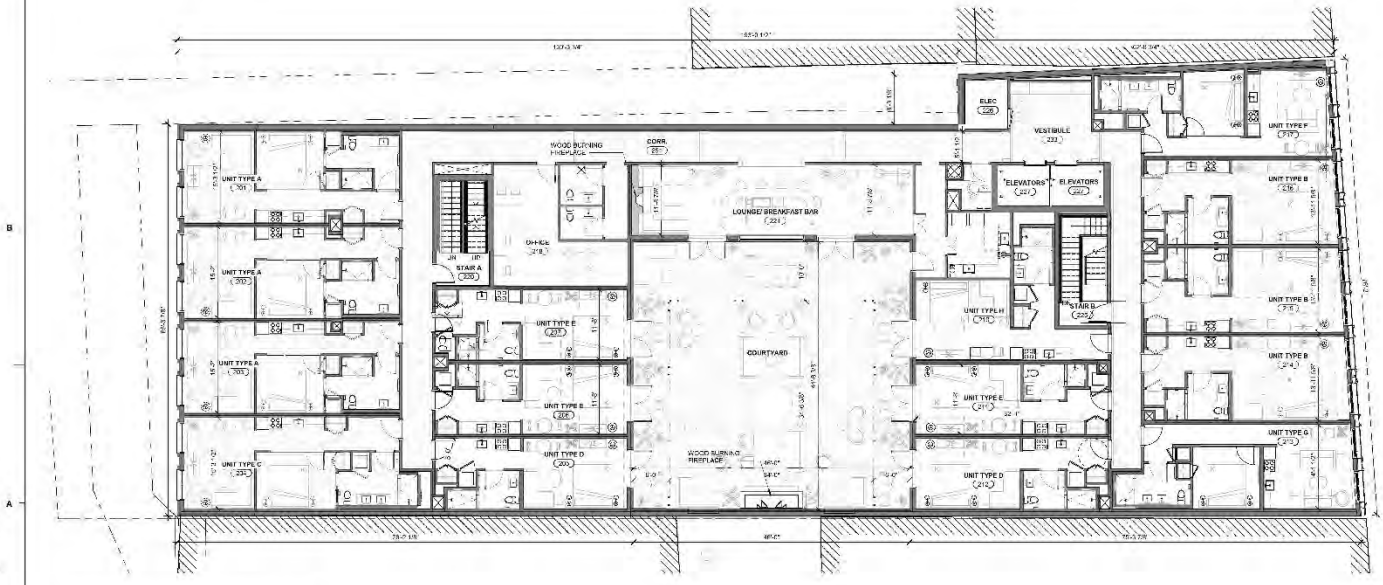
PROJECT: 1101191478
DATE: 12.20.2016
DRAWN BY: Author
CHECKED BY: Chandra

COMPARISON -
GROUND FLOOR
PLAN

BAR-11



CURRENT DESIGN - FINAL BAR



PREVIOUS DESIGN - PRELIMINARY BAR

PRELIMINARY BAR COMMENTS

Board comment:

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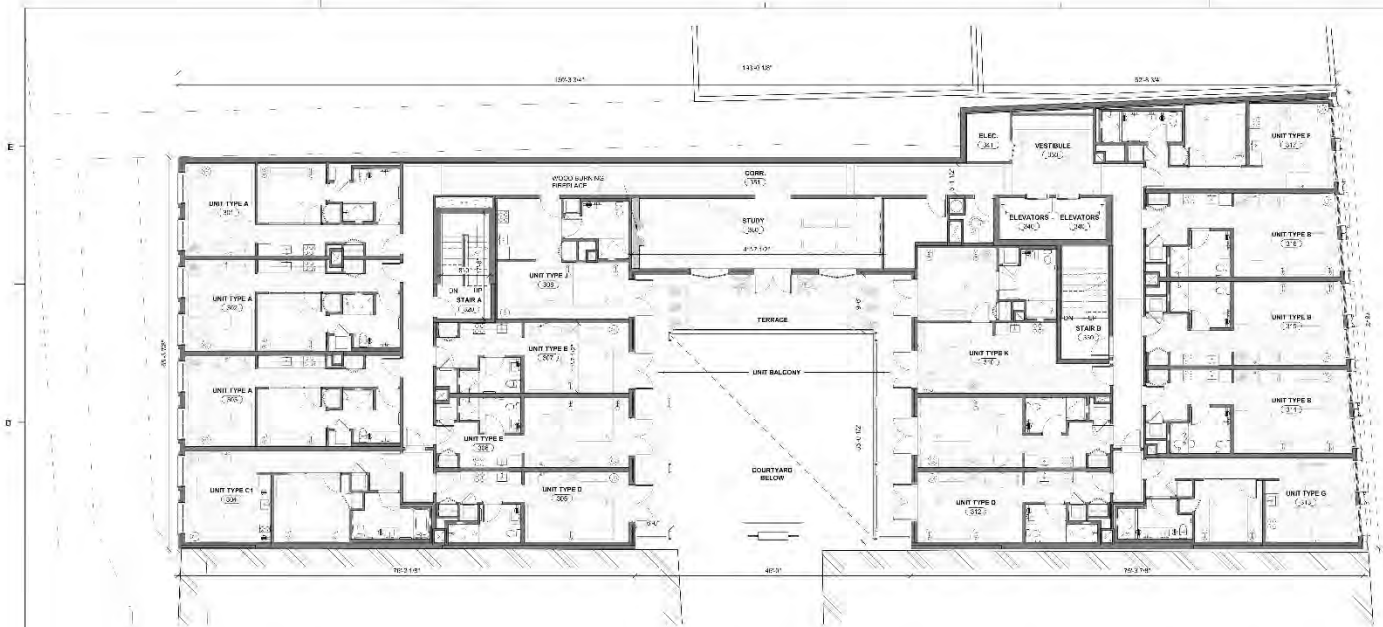
REVISIONS:
NO. DESCRIPTION JSD

PROJECT: 116115478
DATE: 12.28.2016
DRAWN BY: Author
CHECKED BY: Chaska

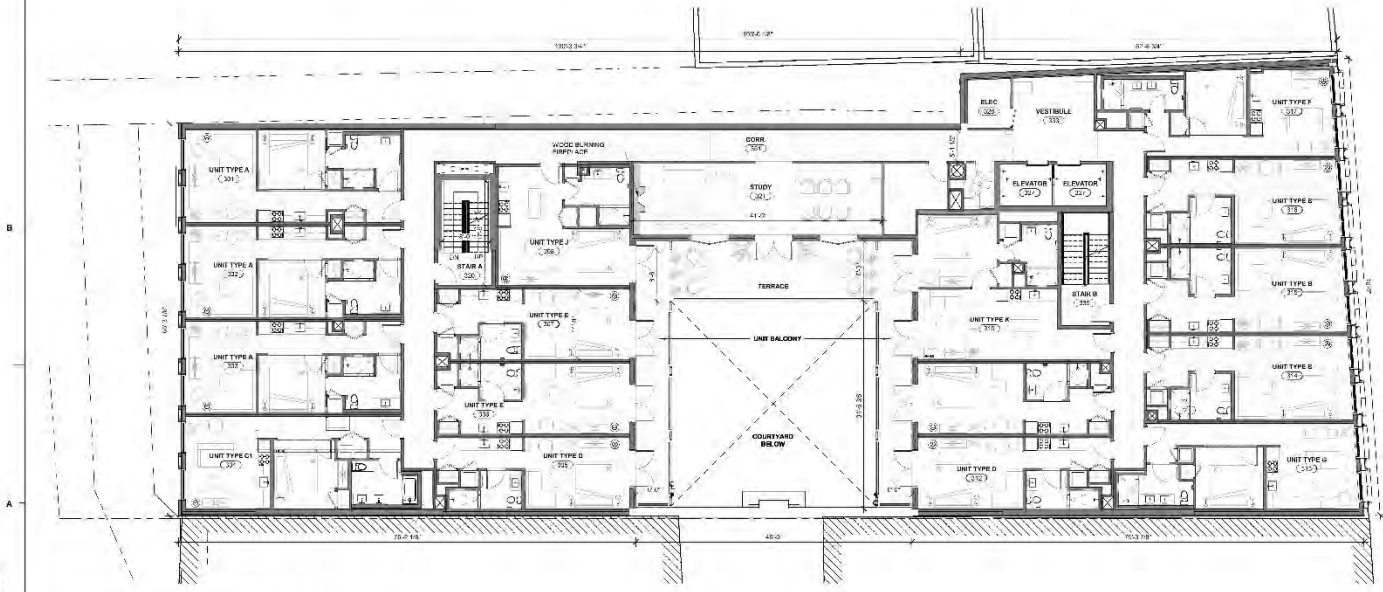
**COMPARISON -
2ND FLOOR PLAN**

BAR-12

529 KING STREET ARCHITECTURAL 2ND FLOOR PLAN_2016.rvt
 12/28/2016 12:58:15 PM



BAR-3RD FLOOR PLAN
CURRENT DESIGN - FINAL BAR



PREVIOUS DESIGN - PRELIMINARY BAR

PRELIMINARY BAR COMMENTS

Board comment:

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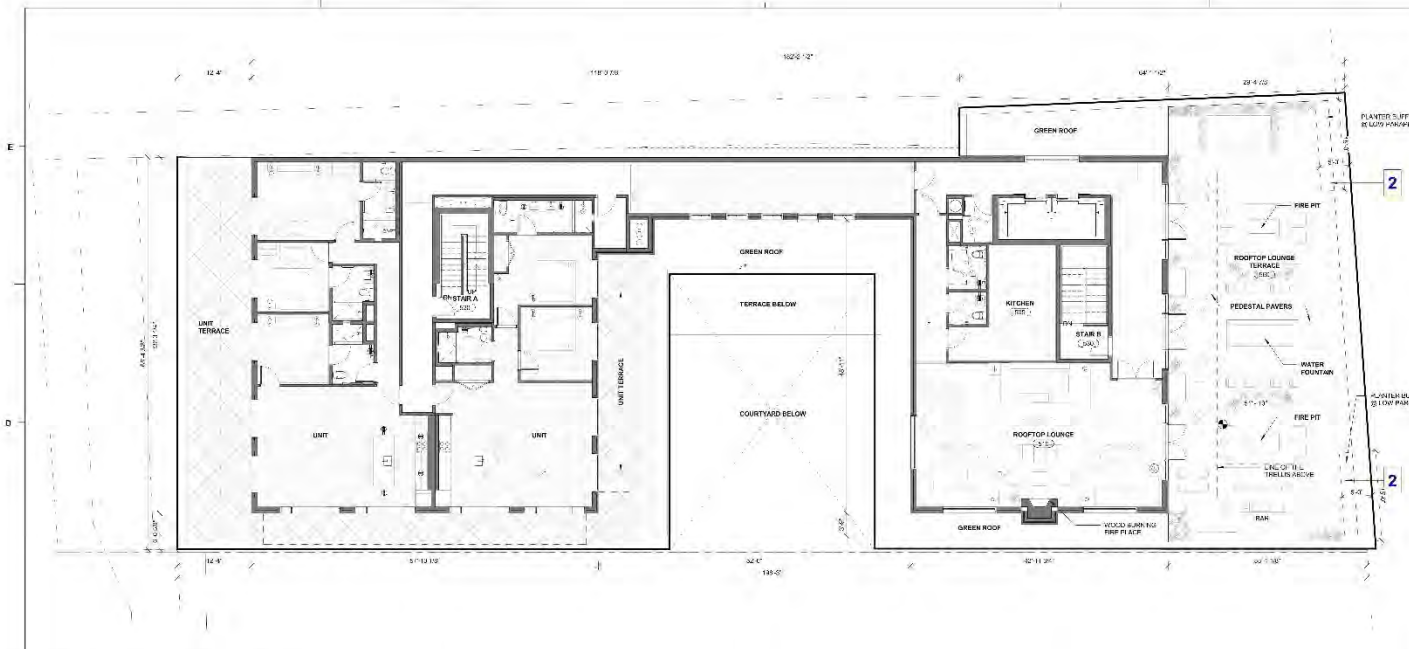
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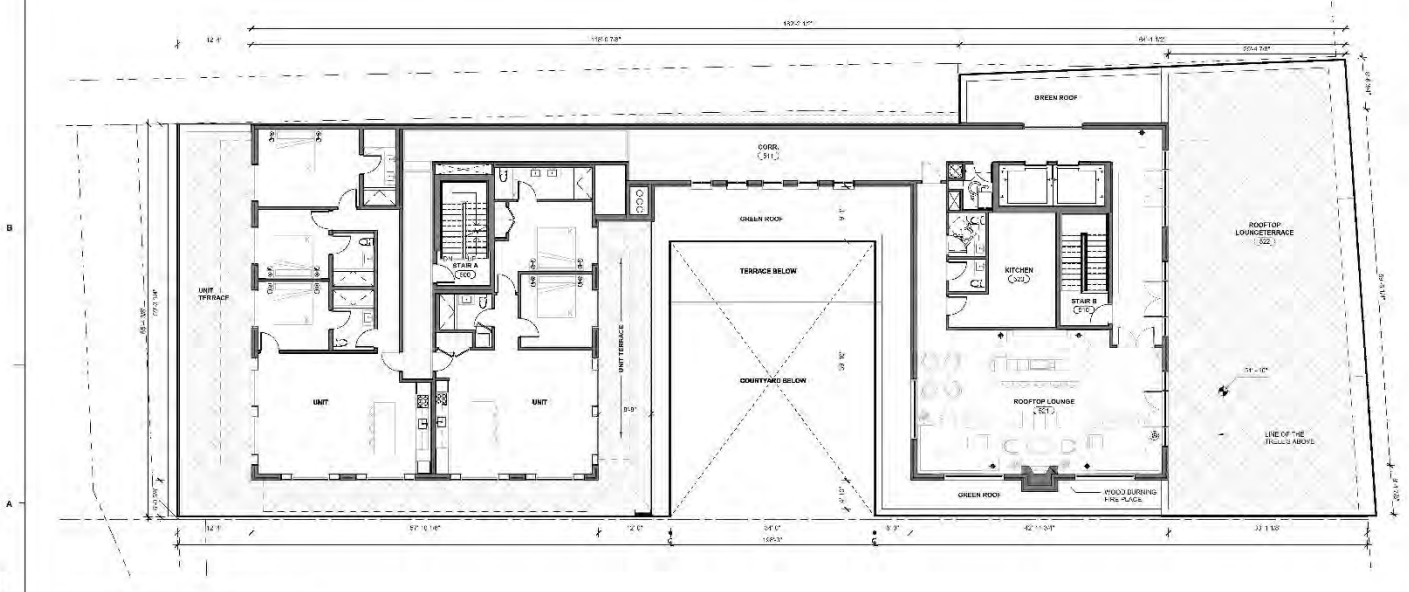
PROJECT: 110119103
DATE: 12.28.2016
DRAWN BY: Author
CHECKED BY: Chicksa

COMPARISON -
3RD & 4TH FLOOR
PLAN

BAR-13



CURRENT DESIGN - FINAL BAR



PREVIOUS DESIGN - PRELIMINARY BAR

PRELIMINARY BAR COMMENTS

Board comment:

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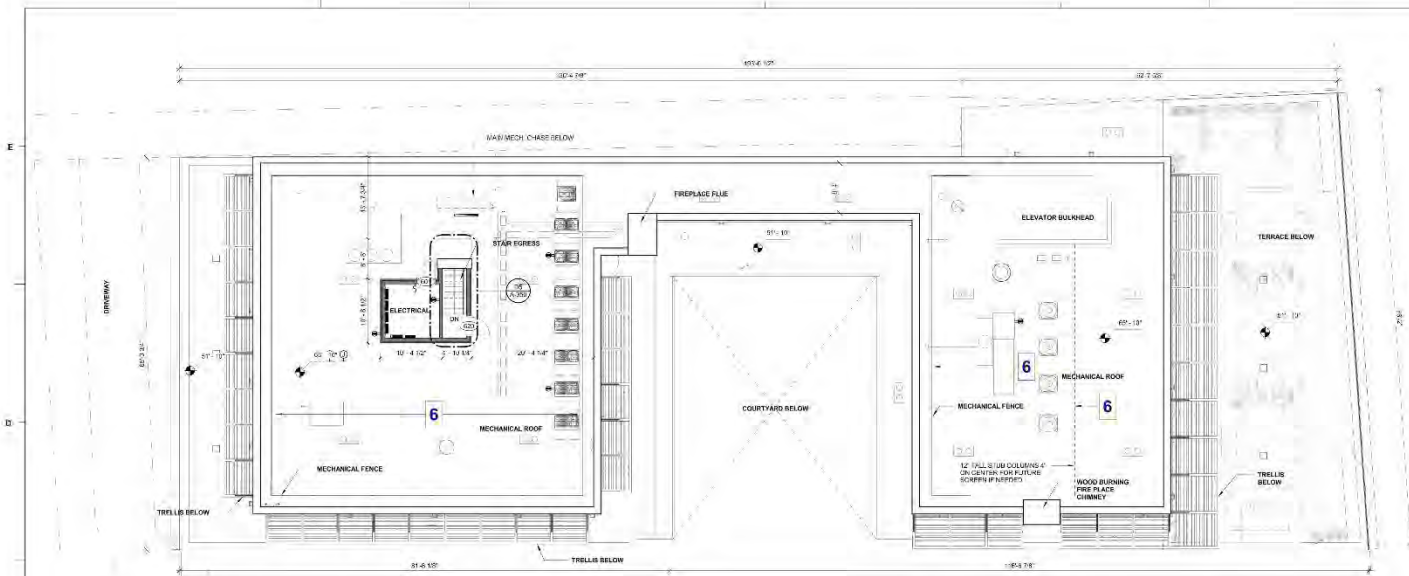
REVISIONS:

NO.	DESCRIPTION	DATE
1	ISSUE 03/31	JSD

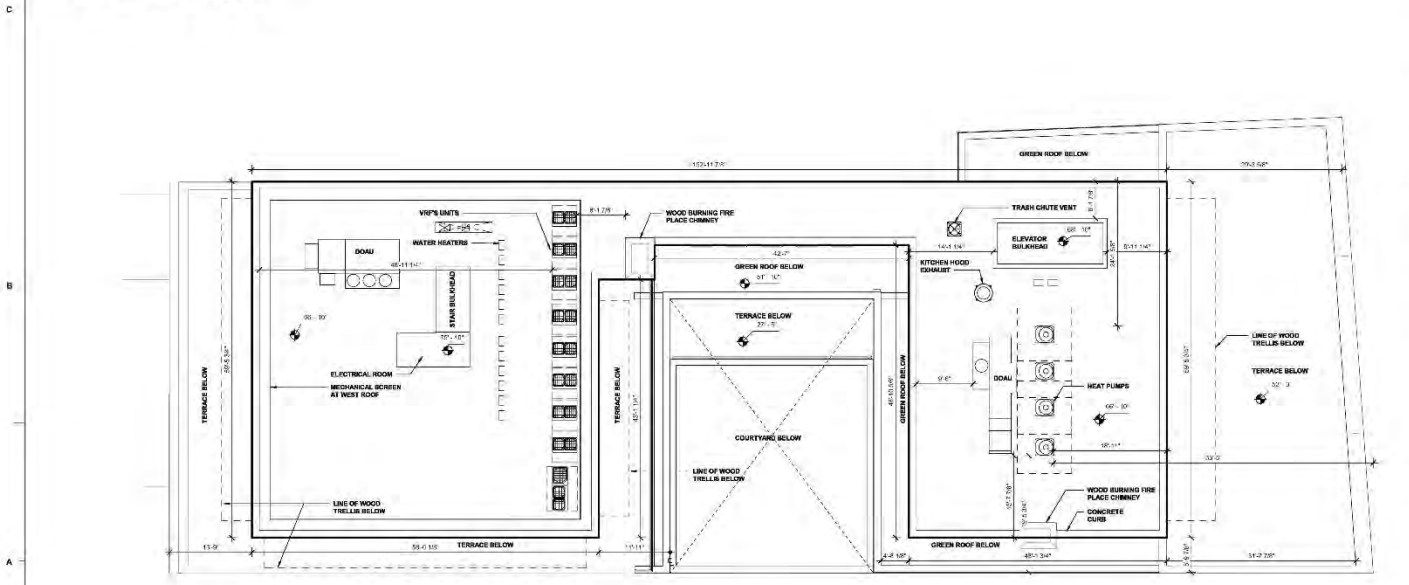
PROJECT: 1101119103
DATE: 12/28/2018
DRAWN BY: Author
CHECKED BY: Chandra

COMPARISON -
5TH FLOOR PLAN

BAR-15



BAR ROOF FLOOR PLAN
CURRENT DESIGN - FINAL BAR



PREVIOUS DESIGN - PRELIMINARY BAR

PRELIMINARY BAR COMMENTS

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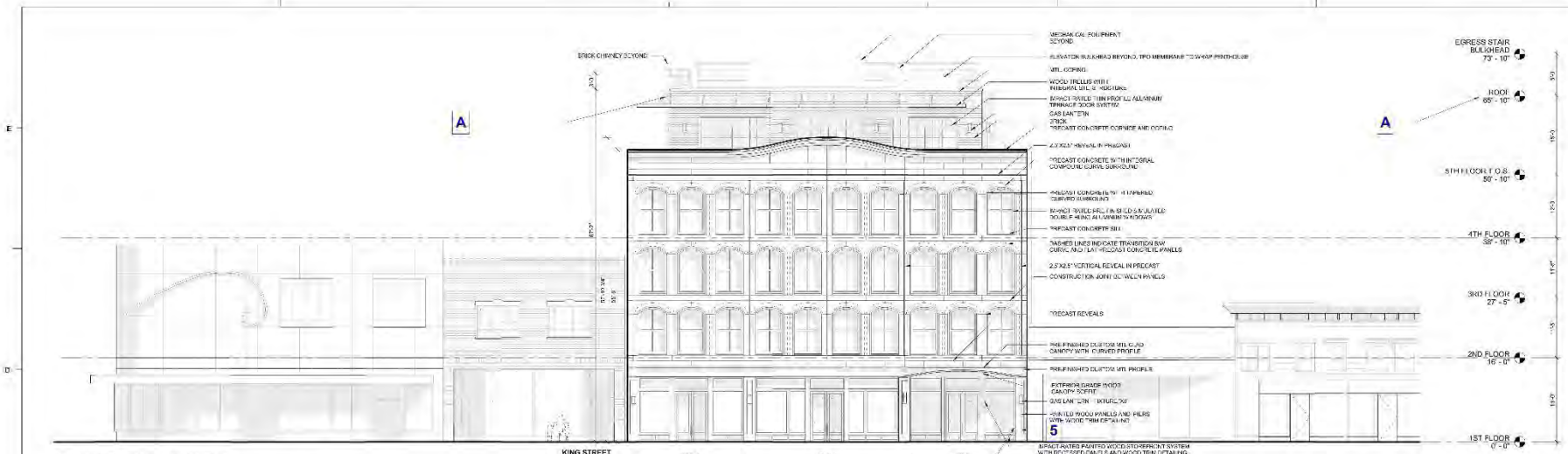
NO.	DESCRIPTION	DATE
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PROJECT: 1105119430
DATE: 12.20.2015
DRAWN BY: Asher
CHECKED BY: Chris

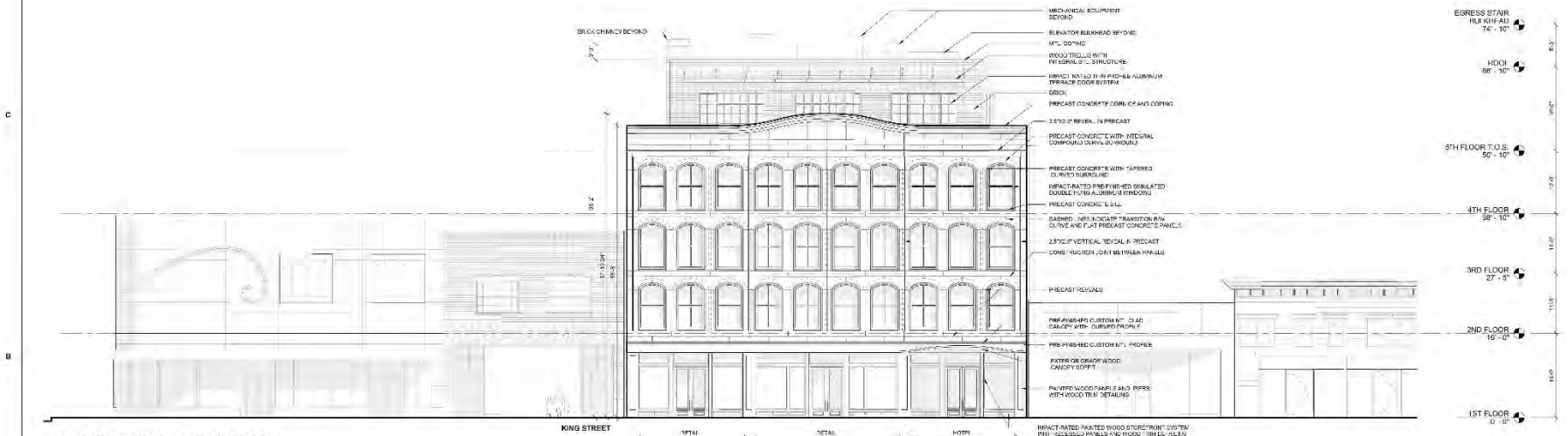
COMPARISON -
ROOF PLAN

BAR-16

529 KING STREET ARCHITECT, 255 King Street, 2015.01
 12/20/2015 11:28 AM



CURRENT DESIGN - FINAL BAR



PREVIOUS DESIGN - PRELIMINARY BAR

PRELIMINARY BAR COMMENTS

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NO.	DESCRIPTION	DATE
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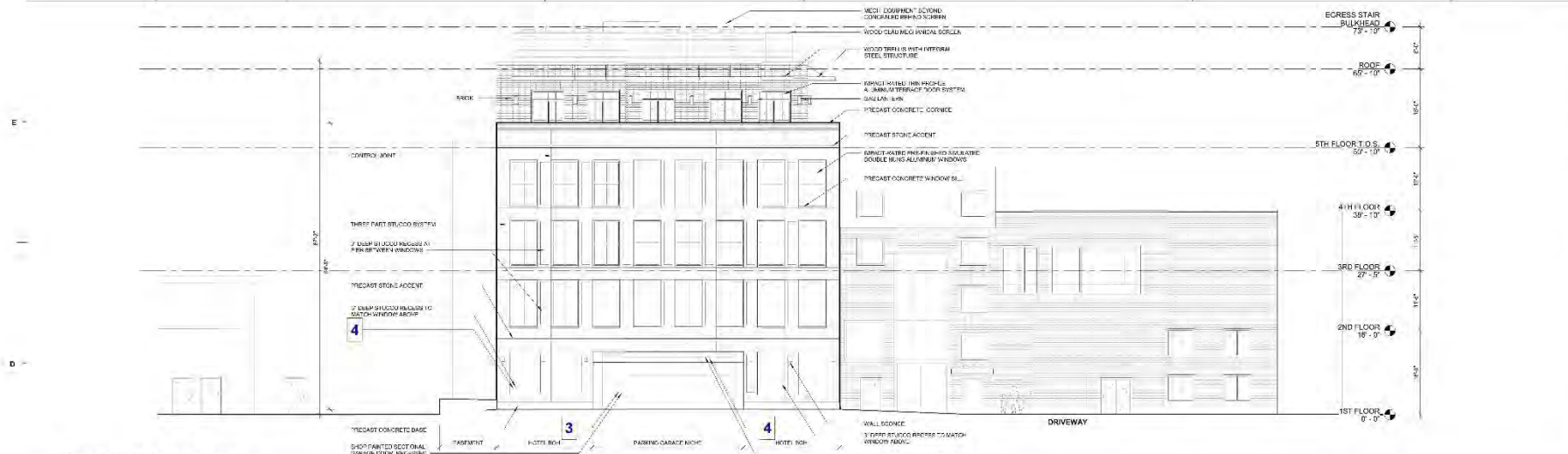
PROJECT: 116115160
DATE: 12/20/2015
DRAWN BY: Author
CHECKED BY: Chris

COMPARISON - EAST ELEVATION

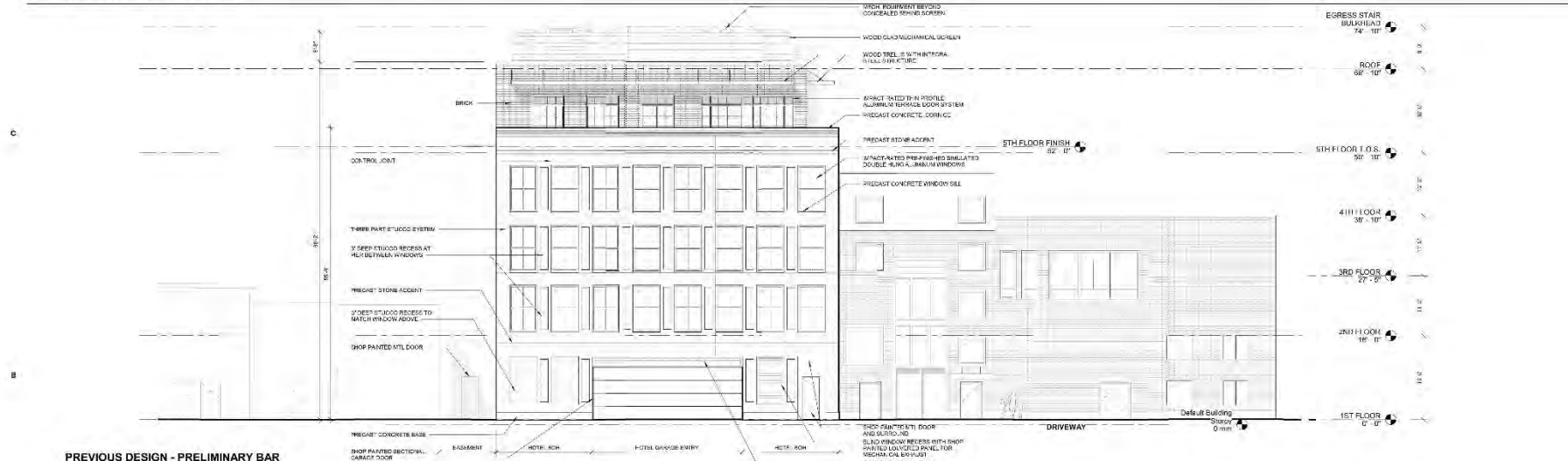
BAR-21

FINAL BAR

BAR-21-2016-12-20-11:53:17 AM



CURRENT DESIGN - FINAL BAR



PREVIOUS DESIGN - PRELIMINARY BAR

PRELIMINARY BAR COMMENTS

Board comment:

A. Reduce the visibility of the penthouse from King Street. - **Response:** The penthouse roof has been reduced by 1'. The canopy now extends around the corner to minimize the perception of the penthouse mass.

Staff Comments:

- This continues to be an elegant project that will be a nice addition to King St. and welcome replacement of the existing building. - **Response:** Noted
- Staff feels that the rooftop terrace should be held further back (at least 6'-0") from the edge of the building out of respect for King St. - **Response:** Planter boxes have been added at the north-east and south east corner of the roof terrace to provide a 5' buffer.

- Relocate the garage door to the E. wall of the Transformer/Fire Pump Room to create a vestibule for the garage. Extend exterior wall finishes into the vestibule, provide a finished ceiling and appropriate lighting. - **Response:** The garage door has been relocated as suggested. The exterior wall finishes have been extended into the vestibule as suggested and a finished stucco ceiling with lighting has been provided.
- Staff feels the recesses in first floor of rear elevation should be eliminated and a louver added to the north of the garage entry for balance. Also, move the louver above the garage door with the garage door into the vestibule noted above. - **Response:** The louvers and doors have been removed from the western facade. We believe that the recesses add texture and are a successful way of dealing with a blank facade
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- Screen the mechanical equipment at the E. roof as well as the W. roof - **Response:** We do not believe that the mechanical at the east roof will need screening due to the site angles. However, provisions have been made in the roof to account for future screening if it is determined to be a need during construction.
- Show the location of the gas meter and any and all penetrations (mechanical or otherwise) through the exterior walls at the next review. - **Response:** Fortunately, the gas and electrical meters are located on the north facade which is not visible from the public R.O.W. There is a FDC and Knox Box which are noted on the plans adjacent to the hotel entrance.
- Note on BAR-203 for the terrace door at the 5th level should be noted as a window. - **Response:** This has been corrected
- The stucco over frame looks like EIFS. It should be 3/4" thick minimum if on lath over rigid insulation. - **Response:** This project does not utilize EIFS. Rigid insulation is used however a true 3-part stucco system on lath will be used.
- Break metal trim (if any is proposed) should be eliminated throughout as this material is rarely installed satisfactorily. - **Response:** There will be no break metal trim on the project.

- Otherwise, details are elegantly developed (ex. concealed Intel detail on 6/A322). - **Noted**
- Provide information on lighting including location, type and quantity etc. - **Response:** Exterior building lighting can be found on the elevations A200's and the ground floor reflected ceiling plan A121
- Submit signage package separately for staff review. - **Response:** Signage package will be submitted at a later date.
- Provide a sample of the garage door. - **Response:** A cut sheet has been provided for the garage door.
- Mock up sample panel Drawings are to be submitted separately with a site plan showing a location on site in a naturally well lighted area where it may remain throughout construction. - **Response:** Mockup panel drawings will be submitted separately at a later date.

BAR-22 (REV) 12/22/2011
 12/22/2011 12:52:11 PM
 BAR-22 (REV) 12/22/2011 12:52:11 PM


 529 KING STREET
 529 King Street OZ, LLC
 METHOD


 265 1/2 KING STREET
 CHARLESTON, SOUTH CAROLINA 29401
 TEL: 843.211.4444 FAX: 843.722.4789
 WWW.LS3P.COM

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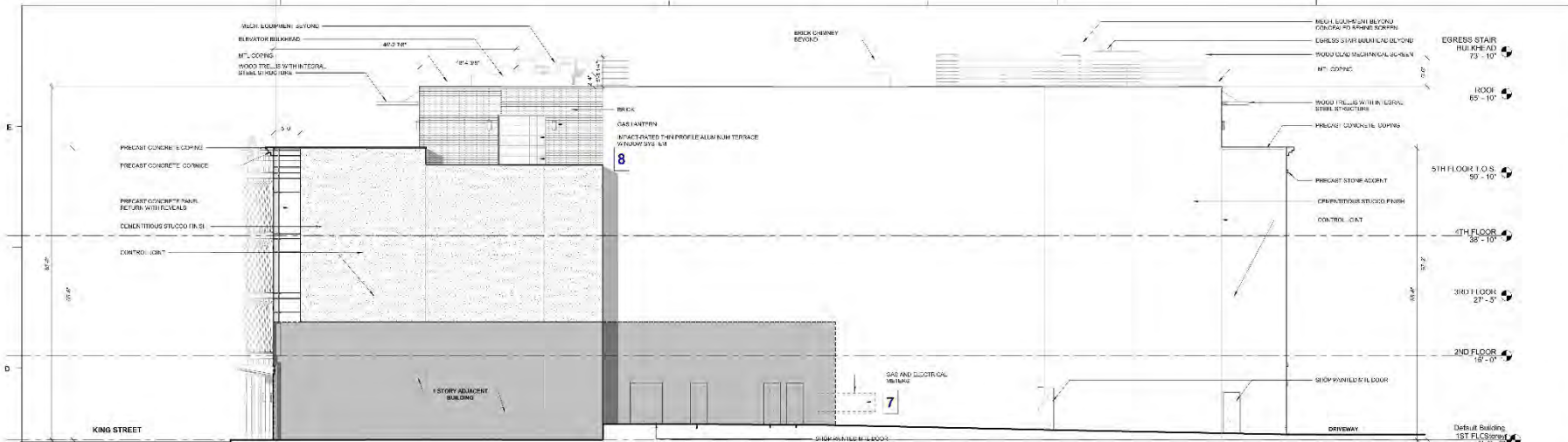
REVISIONS:

No.	DESCRIPTION	DATE
1	ISSUED FOR	12/22/2011

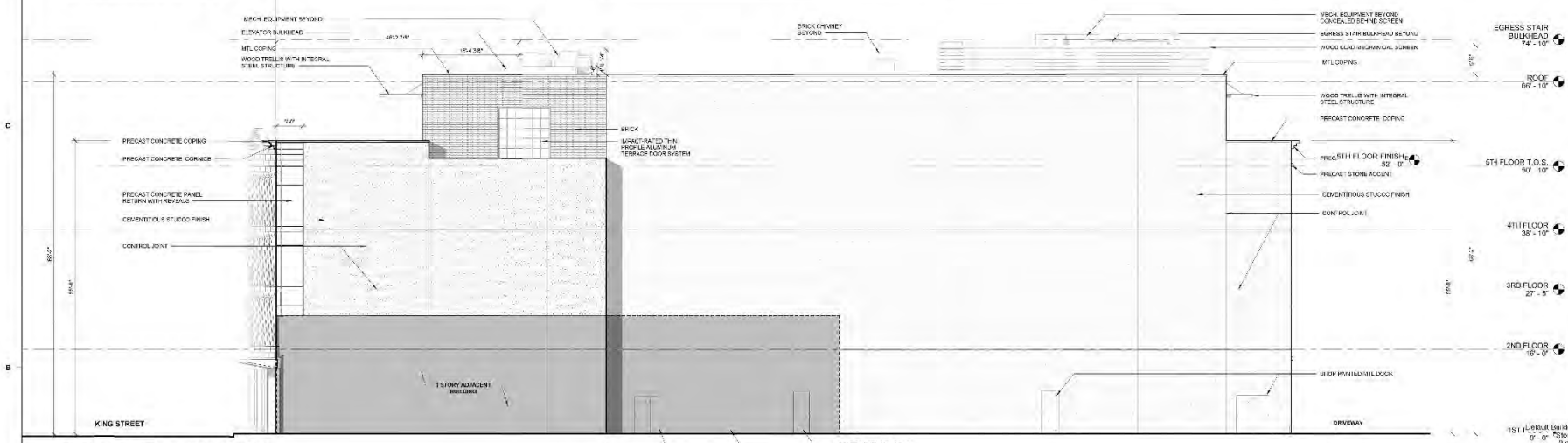
PROJECT: 1102-111420
 DATE: 12.22.2011
 DRAWN BY: Author
 CHECKED BY: CMC/ML

COMPARISON - WEST ELEVATION

BAR-22



CURRENT DESIGN - FINAL BAR



PREVIOUS DESIGN - PRELIMINARY BAR

PRELIMINARY BAR COMMENTS

Board comment:

A. Reduce the visibility of the penthouse from King Street. - **Response:** The penthouse roof has been reduced by 1'. The canopy now extends around the corner to minimize the perception of the penthouse mass.

Staff Comments:

- This continues to be an elegant project that will be a nice addition to King St. and welcome replacement of the existing building. - **Response:** Noted
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BAR-203-23 King Method, 12/21/2019
 12/23/2019 12:07:27 PM

MA
 5045 Ash Avenue
 www.ma.com

529 KING STREET

529 King Street OZ, LLC
METHOD

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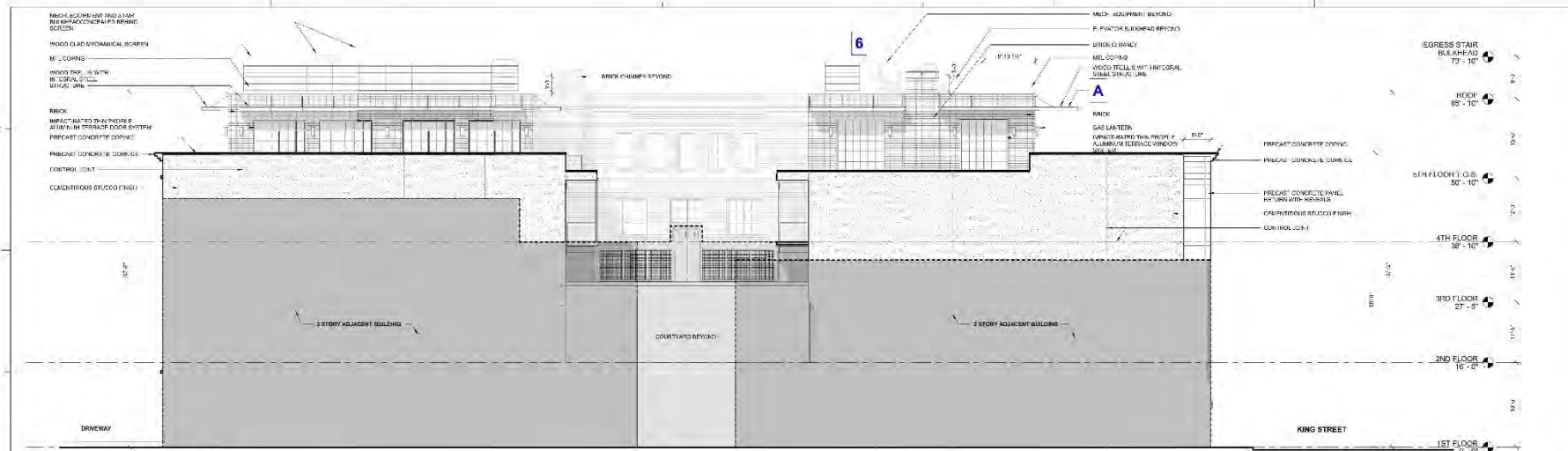
REVISIONS:

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	12/21/2019

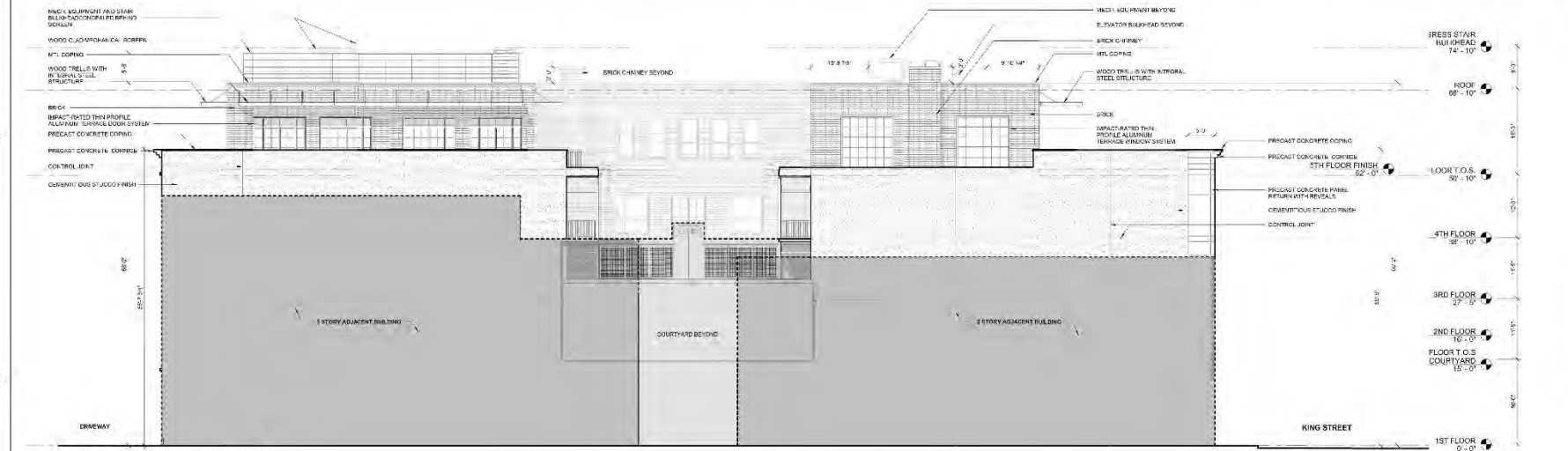
PROJECT: 1101156408
 DATE: 12/20/2019
 DRAWN BY: Author
 CHECKED BY: Checker

COMPARISON - NORTH ELEVATION

BAR-23



CURRENT DESIGN - FINAL BAR



PREVIOUS DESIGN - PRELIMINARY BAR

PRELIMINARY BAR COMMENTS

Board comment:

A. Reduce the visibility of the penthouse from King Street. - **Response: The penthouse roof has been reduced by 1'. The canopy now extends around the corner to minimize the perception of the penthouse mass.**

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 VISIONS & IDEAS
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529 KING STREET

529 King Street OZ, LLC
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REVISIONS:

NO.	DESCRIPTION	DATE
1	ISSUE	JAN

PROJECT: 110115102
 DATE: 12.28.2016
 DRAWN BY: Author
 CHECKED BY: Clark

COMPARISON - SOUTH ELEVATION

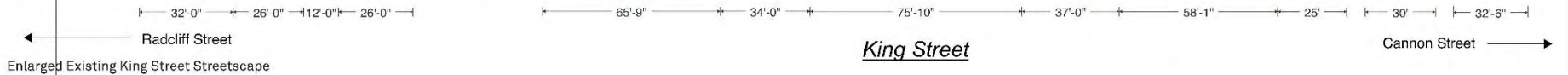
BAR-24

BAR-24 (REVISED) KING STREET ARCHITECTURE, 12/28/2016, 2:11 PM
 12/28/2016 12:52:37 PM

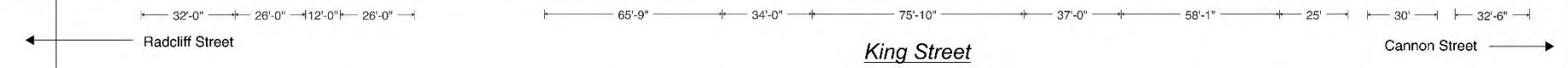


529 KING STREET

529 King Street OZ, LLC
METHOD



Enlarged Existing King Street Streetscape



Enlarged Proposed King Street Streetscape



295 1/2 KING STREET
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REVISIONS:

No.	DESCRIPTION	DATE
1	ISSUE FOR PERMIT	12/20/2018

PROJECT: 1183-11842B
DATE: 12/20/2018
DRAWN BY: Author
CHECKED BY: Checker

KING STREET
STREETSCAPE
ELEVATION

BAR-25

BAR-25-0122 King Streetscape Elevation_2018.rvt
12/20/2018 4:13:38 AM



529 KING STREET

529 King Street OZ, LLC
METHOD



PREVIOUS DESIGN - PRELIMINARY BAR



CURRENT DESIGN - FINAL BAR

PRELIMINARY BAR COMMENTS

Board comment:

A. Reduce the visibility of the penthouse from King Street. - **Response:** The penthouse roof has been reduced by 1'. The canopy now extends around the corner to minimize the perception of the penthouse mass.

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REVISIONS:

No.	DESCRIPTION	DATE
1	ISSUE	JPD

PROJECT: 116319428
DATE: 12.26.2018
DRAWN BY: Author
CHECKED BY: Chaska

COMPARISON -
SOUTHEAST
PERSPECTIVE

BAR-31

529 KING STREET PERSPECTIVE, 025 KING STREET, 2018.01
1/23/2019 15:52:38 PM



529 KING STREET

529 King Street OZ, LLC
METHOD



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REVISIONS:

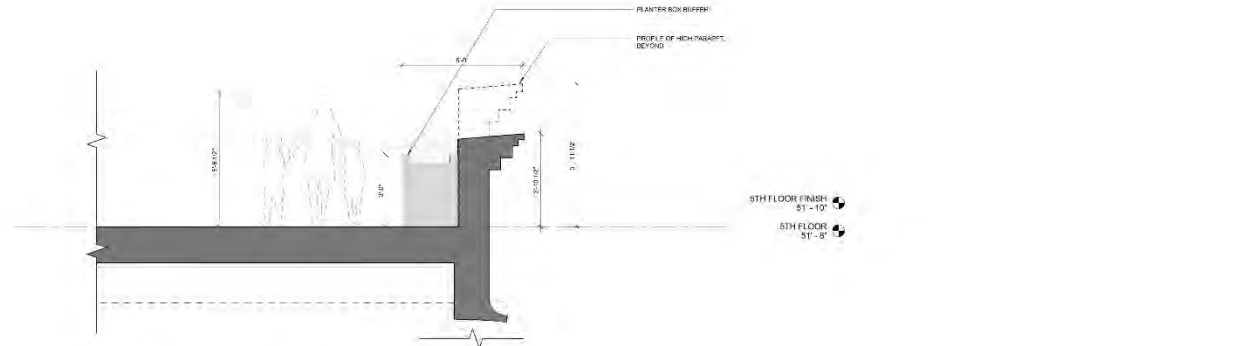
No.	Description	Date
1	ISSUED FOR PERMITS	12/20/18

PROJECT: 1183-19-019
DATE: 12/20/2018
DRAWN BY: JB
CHECKED BY: SB

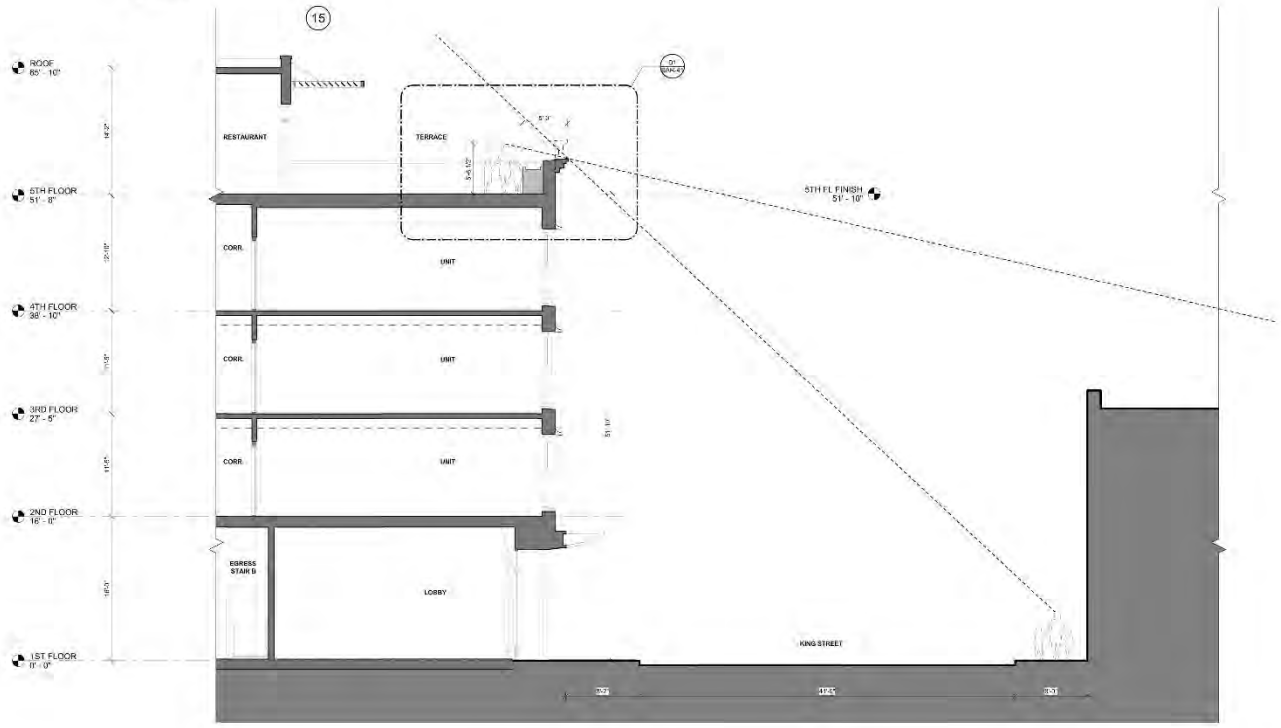
KING STREET LINE OF SIGHT DIAGRAM

BAR-41

FINAL BAR

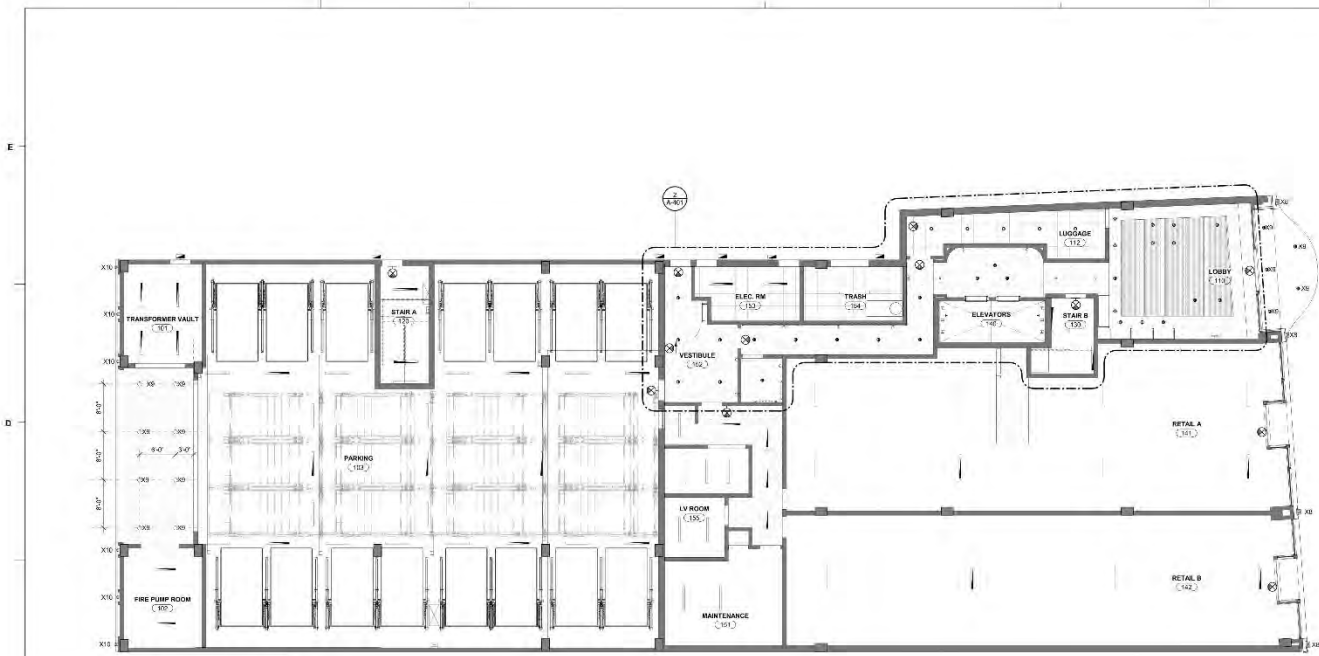


D1 5TH FLOOR CORNICE ENLARGED SECTION
12'-1 1/2'

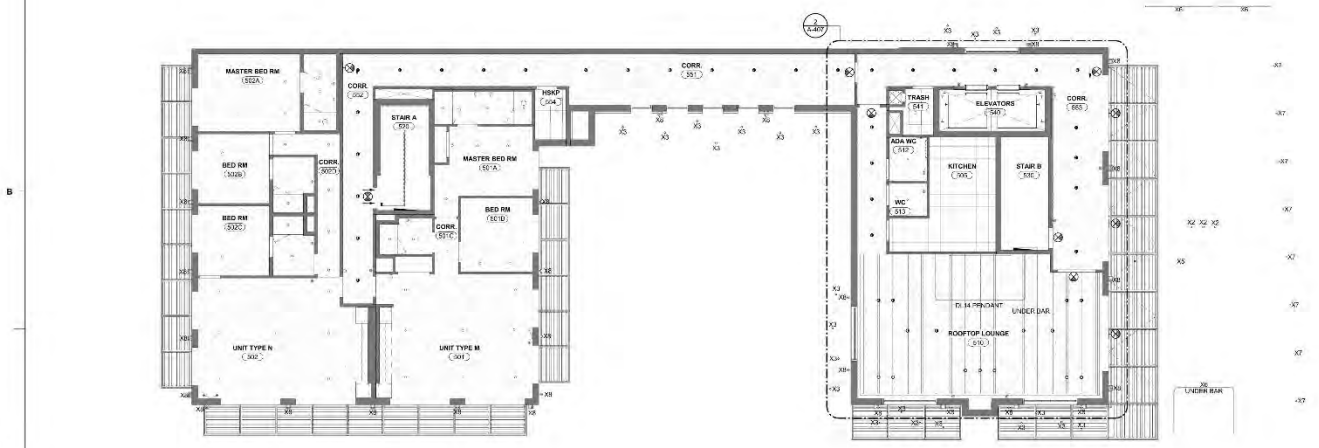


A1 KING STREET LINE OF SIGHT SECTION DIAGRAM
310'-1 1/2'

529 King Street OZ, LLC
12/20/2018 1:50:42 PM



1 1ST FLOOR REFLECTED CEILING PLAN
1/8" = 1'-0"



2 BAR_5TH FLOOR RCP
1/8" = 1'-0"

LIGHTING SCHEDULE

X02	ROOFTOP FOUNTAIN FIXTURE	
X03	ROOFTOP GREEN ROOF PATH LIGHT	
X05	ROOFTOP TRELIS FIXTURE	
X06	ROOFTOP BAR UNDERCOUNTER LIGHT	
X07	RECESSED WALL FIXTURE AT BACK OF ROOFTOP PARAPET	
X08	WALL SCOSCE AT KING ST FACADE AND ROOFTOP	
X09	RECESSED DOWNLIGHT AT ENTRY CANOPY & GARAGE ENTRANCE	
X10	WALL SCOSCE AT GARAGE ENTRY	



529 KING STREET
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METHOD

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REVISIONS:

No.	Description	Date
-----	-------------	------

PROJECT: 1182-118429
DATE: 12.20.2018
DRAWN BY: Author
CHECKED BY: Checker

1ST & 5TH FLOOR
RCP - EXTERIOR
LIGHTING
BAR-42

08/15/2018 12:57:44 PM
 13222018 12:57:44 PM
 08/15/2018 12:57:44 PM

4800 LED Base or Yoke Mount Fountain Fixture

DESCRIPTION
The 4800 Series Base or Yoke Mount Fountain Fixture is available in two finishes: chrome and brushed nickel. The fixture is designed for use in outdoor environments and is suitable for use in wet locations. It features a 4800 LED array and is available in two sizes: 12" and 18".

EXAMPLES: BASE OR YOKE MOUNT FOUNTAIN FIXTURE

CONTRACTOR TO VERIFY GROUNDING

LIGHTING WORKSHOP PROJECT: 529 KING ST HOTEL DATE: 08.20.2019 Type: X2
 20 JAV STREET SUITE 300 BROOKLYN NY 11201 ISSUE: IN PROGRESS LAMP:
 212.78.010

LIGHTING FIXTURE CUT SHEETS - REFER TO SPECIFICATIONS FOR RELATED INFORMATION

PERFORMANCE DATA

Model	Power (W)	Current (A)	Voltage (V)	Beam Angle (°)	Beam Diameter (ft)	Beam Diameter (m)	Beam Area (sq ft)	Beam Area (sq m)	Beam Area (sq ft) @ 100 ft	Beam Area (sq m) @ 100 ft
4800-12	4800	20.0	240	120	1.0	0.30	0.09	0.09	10.0	10.0
4800-18	4800	20.0	240	120	1.5	0.45	0.20	0.20	22.5	22.5

INSTALLATION

1. To the driver, ground the fixture to the ground plane.

2. To the driver, ground the fixture to the ground plane.

3. To the driver, ground the fixture to the ground plane.

LIGHTING WORKSHOP PROJECT: 529 KING ST HOTEL DATE: 08.20.2019 Type: X2
 20 JAV STREET SUITE 300 BROOKLYN NY 11201 ISSUE: IN PROGRESS LAMP:
 212.78.010

LIGHTING FIXTURE CUT SHEETS - REFER TO SPECIFICATIONS FOR RELATED INFORMATION

1130™ PATH LIGHT (1130)

CATALOG NUMBER LOGIC

DRIVER DATA

Model	Power (W)	Current (A)	Voltage (V)	Beam Angle (°)	Beam Diameter (ft)	Beam Diameter (m)	Beam Area (sq ft)	Beam Area (sq m)	Beam Area (sq ft) @ 100 ft	Beam Area (sq m) @ 100 ft
1130-12	1130	4.7	240	120	1.0	0.30	0.09	0.09	10.0	10.0
1130-18	1130	4.7	240	120	1.5	0.45	0.20	0.20	22.5	22.5

TEKA

LIGHTING WORKSHOP PROJECT: 529 KING ST HOTEL DATE: 08.20.2019 Type: X3
 20 JAV STREET SUITE 300 BROOKLYN NY 11201 ISSUE: IN PROGRESS LAMP:
 212.78.010

LIGHTING FIXTURE CUT SHEETS - REFER TO SPECIFICATIONS FOR RELATED INFORMATION

1130™ PATH LIGHT (1130)

SIDE VIEW

PIN LAMP ON BLADES (Optional)

SPECIFICATIONS

TEKA

LIGHTING WORKSHOP PROJECT: 529 KING ST HOTEL DATE: 08.20.2019 Type: X3
 20 JAV STREET SUITE 300 BROOKLYN NY 11201 ISSUE: IN PROGRESS LAMP:
 212.78.010

LIGHTING FIXTURE CUT SHEETS - REFER TO SPECIFICATIONS FOR RELATED INFORMATION

Ordering information

Model	Power (W)	Current (A)	Voltage (V)	Beam Angle (°)	Beam Diameter (ft)	Beam Diameter (m)	Beam Area (sq ft)	Beam Area (sq m)	Beam Area (sq ft) @ 100 ft	Beam Area (sq m) @ 100 ft
LSL	1130	4.7	240	120	1.0	0.30	0.09	0.09	10.0	10.0
LSL	1130	4.7	240	120	1.5	0.45	0.20	0.20	22.5	22.5

TEKA

LIGHTING WORKSHOP PROJECT: 529 KING ST HOTEL DATE: 08.20.2019 Type: X5
 20 JAV STREET SUITE 300 BROOKLYN NY 11201 ISSUE: IN PROGRESS LAMP:
 212.78.010

LIGHTING FIXTURE CUT SHEETS - REFER TO SPECIFICATIONS FOR RELATED INFORMATION

BOXA-SW FIXTURES - FLEXIBLE (G-CAP)

CONTRACTOR TO VERIFY NECESSARY TYPE AND CONNECTOR

TEKA

LIGHTING WORKSHOP PROJECT: 529 KING ST HOTEL DATE: 08.20.2019 Type: X6
 20 JAV STREET SUITE 300 BROOKLYN NY 11201 ISSUE: IN PROGRESS LAMP:
 212.78.010

LIGHTING FIXTURE CUT SHEETS - REFER TO SPECIFICATIONS FOR RELATED INFORMATION

11/23/2019 12:07:44 PM



529 KING STREET
 529 King Street OZ, LLC
 METHOD

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REVISIONS

No.	Description	Date
1	Issue for production	08/20/2019

PROJECT: 1102.119.019
 DATE: 12.20.2019
 DRAWN BY: Author
 CHECKED BY: Checka

LIGHT FIXTURE
 CUTSHEETS

BAR-43

DOUBLE IMPACT ISL2-LED RECESSED LUMINAIRE

DOUBLE IMPACT ISL2-LED is a recessed luminaire with a double impact lens and a 100-watt LED light source. It is designed for use in high-traffic areas where impact damage is a concern. The lens is made of polycarbonate and is shatter-resistant. The luminaire is available in two finishes: white and black.

Table with 4 columns: Description, Quantity, Unit, and Price. Includes items like ISL2-LED, ISL2-LED, and ISL2-LED.

Table with 4 columns: Description, Quantity, Unit, and Price. Includes items like ISL2-LED, ISL2-LED, and ISL2-LED.

Table with 4 columns: Description, Quantity, Unit, and Price. Includes items like ISL2-LED, ISL2-LED, and ISL2-LED.

LIGHTING FIXTURE CUT SHEETS - REFER TO SPECIFICATIONS FOR DETAILED INFORMATION

ALL LANTERNS TO BE GAS

Contempo

Table with 4 columns: Size, Finish, Price, and Availability. Lists various lantern models and their specifications.

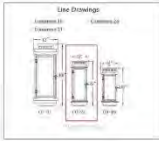


Table with 4 columns: Description, Quantity, Unit, and Price. Includes items like Contempo lanterns.

LIGHTING FIXTURE CUT SHEETS - REFER TO SPECIFICATIONS FOR DETAILED INFORMATION

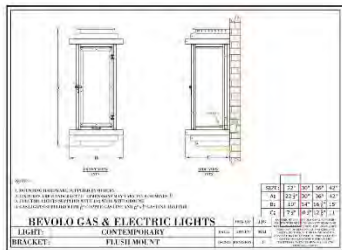


Table with 4 columns: Description, Quantity, Unit, and Price. Includes items like BevoLo Gas & Electric Lights.

LIGHTING FIXTURE CUT SHEETS - REFER TO SPECIFICATIONS FOR DETAILED INFORMATION

LIGHTOLIER Downlighting

Downlighting C2209 1.75" Downlight, 900lm

Table with 4 columns: Description, Quantity, Unit, and Price. Includes items like C2209 1.75" Downlight.

LIGHTING FIXTURE CUT SHEETS - REFER TO SPECIFICATIONS FOR DETAILED INFORMATION

C2209 Calculte LED 1.75" Downlight, 900lm

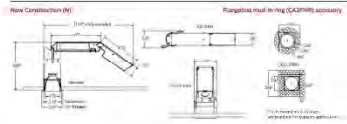


Table with 4 columns: Description, Quantity, Unit, and Price. Includes items like C2209 Calculte LED 1.75" Downlight.

LIGHTING FIXTURE CUT SHEETS - REFER TO SPECIFICATIONS FOR DETAILED INFORMATION

LIGHTING FIXTURE CUT SHEETS - REFER TO SPECIFICATIONS FOR DETAILED INFORMATION

LS3P WALL SCONCE - PRESSED

LS3P Wall Sconce, 1200lm

Table with 4 columns: Description, Quantity, Unit, and Price. Includes items like LS3P Wall Sconce.

LIGHTING FIXTURE CUT SHEETS - REFER TO SPECIFICATIONS FOR DETAILED INFORMATION

BAR-44 LIGHT FIXTURE CUT SHEETS - 12/20/2019 1:52:45 PM



529 KING STREET 529 King Street OZ, LLC METHOD



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Table with 3 columns: No., Description, and Date. Includes revision information.

PROJECT: 116219439 DATE: 12/20/2019 DRAWN BY: Author CHECKED BY: Checker

LIGHT FIXTURE CUT SHEETS BAR-44

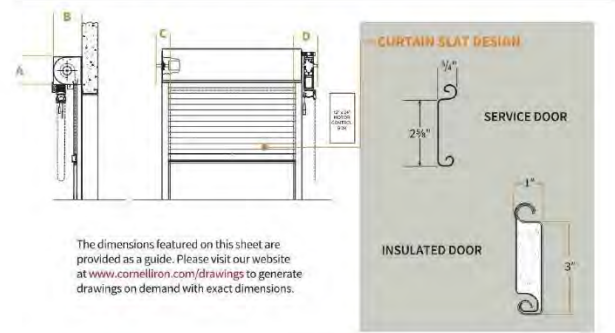


529 KING STREET
529 King Street OZ, LLC
METHOD

HIGH PERFORMANCE LINE TECHNICAL DETAILS
EXTREME® 300 SERIES PERFORMANCE DOOR
Models EPD 300 (Service door curtain) and EPI 300 (Insulated curtain)

MEASURE THE WIDTH AND HEIGHT OF THE DOOR OPENING

SERVICE DOOR					INSULATED DOOR				
HEIGHT	A	B	C	D	HEIGHT	A	B	C	D
6'	15"	16"			6'	16"	17"		
7'	15"	16"			7'	17"	18"		
8'	15"	16"			8'	18"	19"		
9'	15"	16"			9'	18"	19"		
10'	15"	16"			10'	19"	20"		
11'	16"	17"			11'	20"	21"		
12'	16"	17"	6 1/4"	13 1/4"	12'	20"	21"	6 1/4"	13 1/4"
13'	16"	17"	7 1/4"	14 1/4"	13'	21"	22"	7 1/4"	14 1/4"
14'	17"	18"			14'	21"	22"		
15'	17"	18"			15'	22"	23"		
16'	17"	18"			16'	23"	24"		
17'	18"	19"			17'	24"	25"		
18'	18"	19"			18'	24"	25"		
19'	18"	19"			19'	25"	26"		
20'	19"	20"			20'	25"	26"		



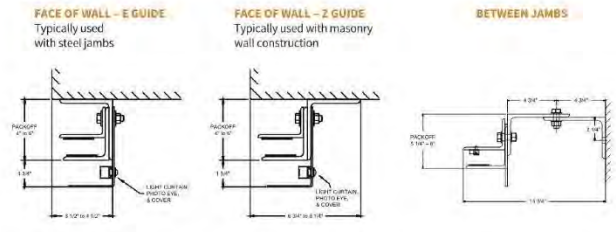
The dimensions featured on this sheet are provided as a guide. Please visit our website at www.cornelliron.com/drawings to generate drawings on demand with exact dimensions.

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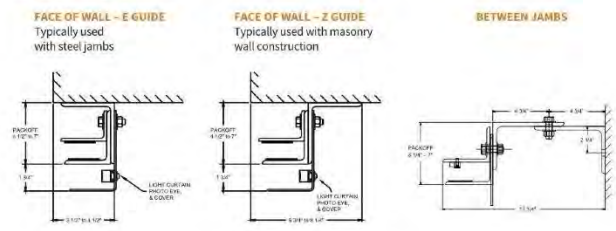


SERVICE AND INSULATED ROLLING DOORS 300 SERIES Models EPS300, EPI300

SERVICE DOOR



INSULATED DOOR



The dimensions featured on this sheet are provided as a guide. Please visit our website at www.cornelliron.com/drawings to generate drawings on demand with exact dimensions.

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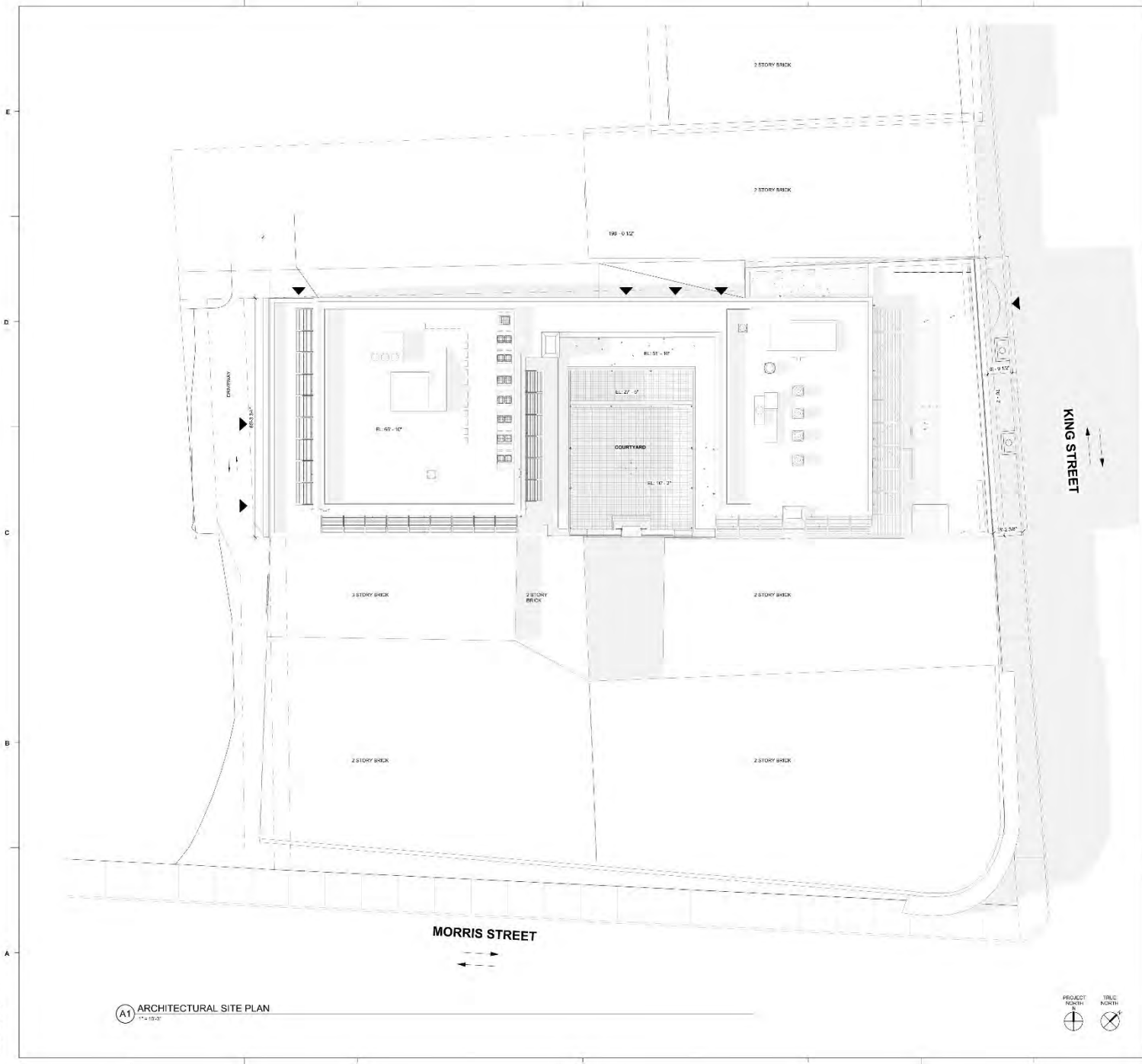
No.	Description	Date
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PROJECT: 1183.118418
DATE: 12.20.2018
DRAWN BY: Author
CHECKED BY: Checker

GARAGE DOOR CUTSHEET

BAR-45

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 1/22/2019 12:07:46 PM



529 KING STREET ARCHITECTURAL SITE PLAN, 2019.rvt
 12/20/2019 10:50:23 AM

A1 ARCHITECTURAL SITE PLAN
1" = 10'-0"



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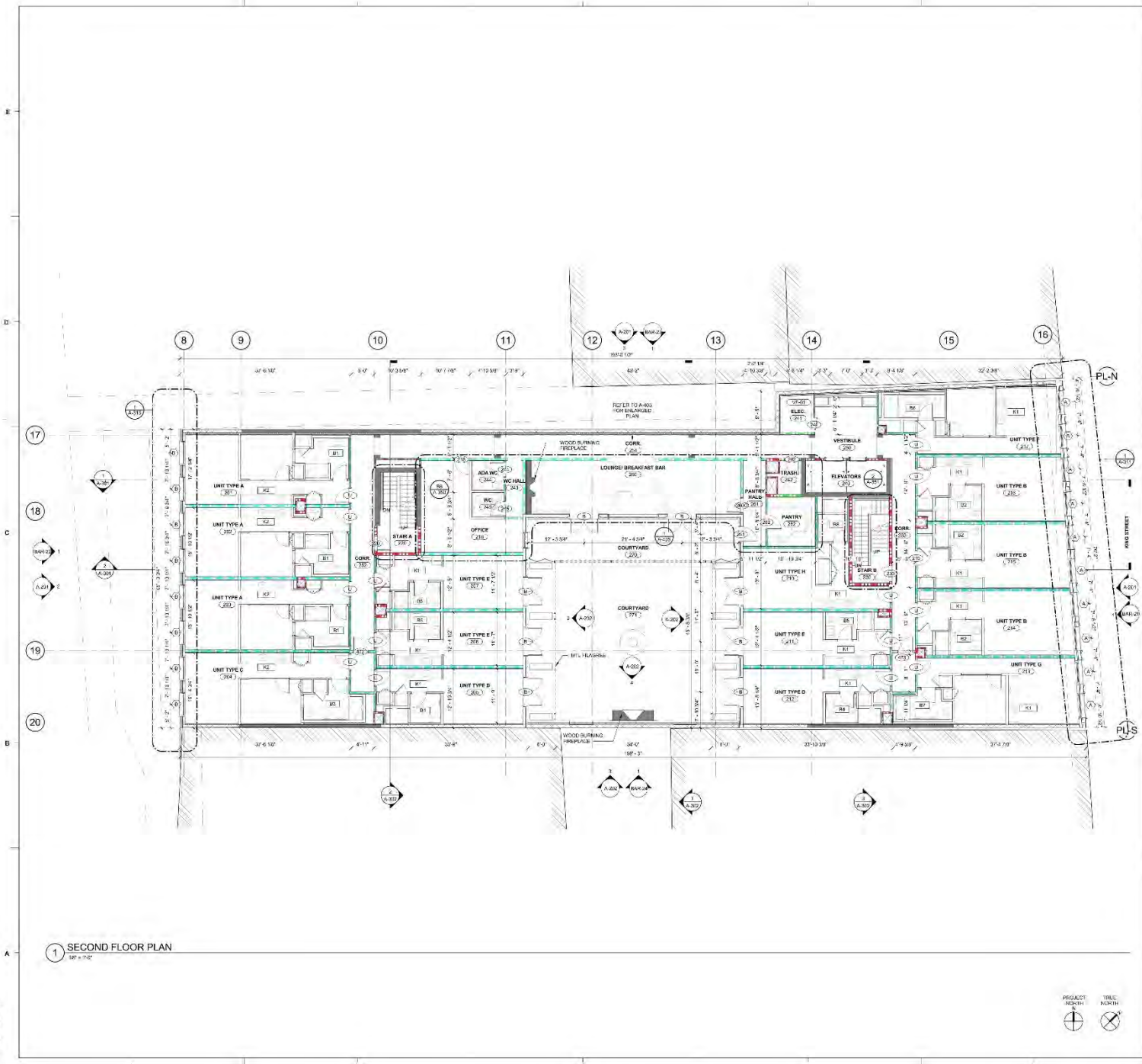
REVISIONS:

No.	Description	Date

PROJECT: 1182-118428
 DATE: 12.20.2019
 DRAWN BY: Author
 CHECKED BY: Checker

**ARCHITECTURAL
 SITE PLAN**
A-001

180300100 King Street Method, 02/18/2019
 12:00:00 PM 18.02.19 AM



1 SECOND FLOOR PLAN
1/8" = 1'-0"

FLOOR PLAN SHEET NOTES

1. EXTERIOR DIMENSIONS AT MASONRY CORNERS ARE TO FACE OF MASONRY. INTERIOR DIMENSIONS AT BRICKWORK CORNERS ARE TO FACE OF BRICKWORK.
2. INTERIOR DIMENSIONS AND CENTER LINE TO FACE OF FINISH FACE OF STUD.
3. INTERIOR DIMENSIONS AND CENTER LINE TO FACE OF FINISH FACE OF STUD.
4. INTERIOR DIMENSIONS AND CENTER LINE TO FACE OF FINISH FACE OF STUD.
5. LOCATE DOOR OPENINGS FROM CENTERLINE PERPENDICULAR WALL.
6. FLOOR AND CEILING SHALL BE CONSTRUCTED TO BE CONSTRUCTED TO FACE OF STRUCTURE, FINISH, DUCTWORK AND OTHER PENETRATIONS. ALL WORK IS TO BE BRIDGED TO STRUCTURE ABOVE.
7. WATER PARTITIONS OF DIFFERENT FLOOR PARTITIONS INTERSECT. THE HIGHEST RATED PARTITION SHALL CONTROL THE LOWER. MARK THE PROJECT FOR THE ONE HOUR RATED PARTITION. MARK THE PROJECT FOR THE ONE HOUR RATED PARTITION.
8. RELOCATE FIRE EXTINGUISHER CANNERS.
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11. RELOCATE FIRE EXTINGUISHER CANNERS.
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20. RELOCATE FIRE EXTINGUISHER CANNERS.

PARTITION NOTES

1. ALL PIPE AND CONDUIT PENETRATIONS THRU 2 HR RATED OR MORE PARTITIONS, FLOORS, ROOF, ETC. SHALL BE SEALED WITH A RESPECTIVELY RATED FIRE RESISTANT PENETRATION SYSTEM BY 3M OR APPROVED EQUAL.
2. THE BACKING BOARD SHALL BE USED IN ALL LOCATIONS TO INCLUDE TILE FINISHES. REFER TO THESE SPECIFICATIONS INTERIOR ELEVATIONS FOR SPECIFICATIONS FABRICATION OF PARTITION WALLS.
3. CONDUIT SHALL BE CONDUIT WITH THE PROPER GROMMET FOR PROPER FABRICATION OF PARTITION WALLS.
4. SPECIAL CONSTRUCTION WHERE A WALL IS UNABLE TO GO STRAIGHT UP TO STRUCTURE DUE TO FINISH, DUCTWORK, ETC. THE PARTITION IS TO BE BUILT ON TOP OF STRUCTURE AND FINISH SHALL BE TO FACE OF FINISH.
5. WHERE STUDS EXTEND TO STRUCTURE AND OVERHEAD WALLS LOADED AND SOUND ATTENTION SHALL BE MAINTAINED. REFER TO THESE SPECIFICATIONS FOR ATTENTION TO BE MAINTAINED.
6. ATTENTION TO BE MAINTAINED.
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PARTITION LEGEND

1. ALL EXTERIOR WALLS TO BE 1-HOUR UBC.
2. ALL INTERIOR MASONRY PARTITIONS TO BE 1-HOUR UBC.
3. ALL INTERIOR MASONRY PARTITIONS TO BE 1-HOUR UBC.
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20. ALL INTERIOR MASONRY PARTITIONS TO BE 1-HOUR UBC.

GENERAL NOTES

1. REFER TO A-100 SHEETS FOR ENLARGED PLANS, ROOMS AND ELEVATIONS.
2. SEE A-101 FOR ENLARGED TYPICAL DOOR, WINDOW, AND ELEVATION AND FINISHES.
3. REFER TO A-101 FOR ENLARGED TYPICAL DOOR, WINDOW, AND ELEVATION AND FINISHES.



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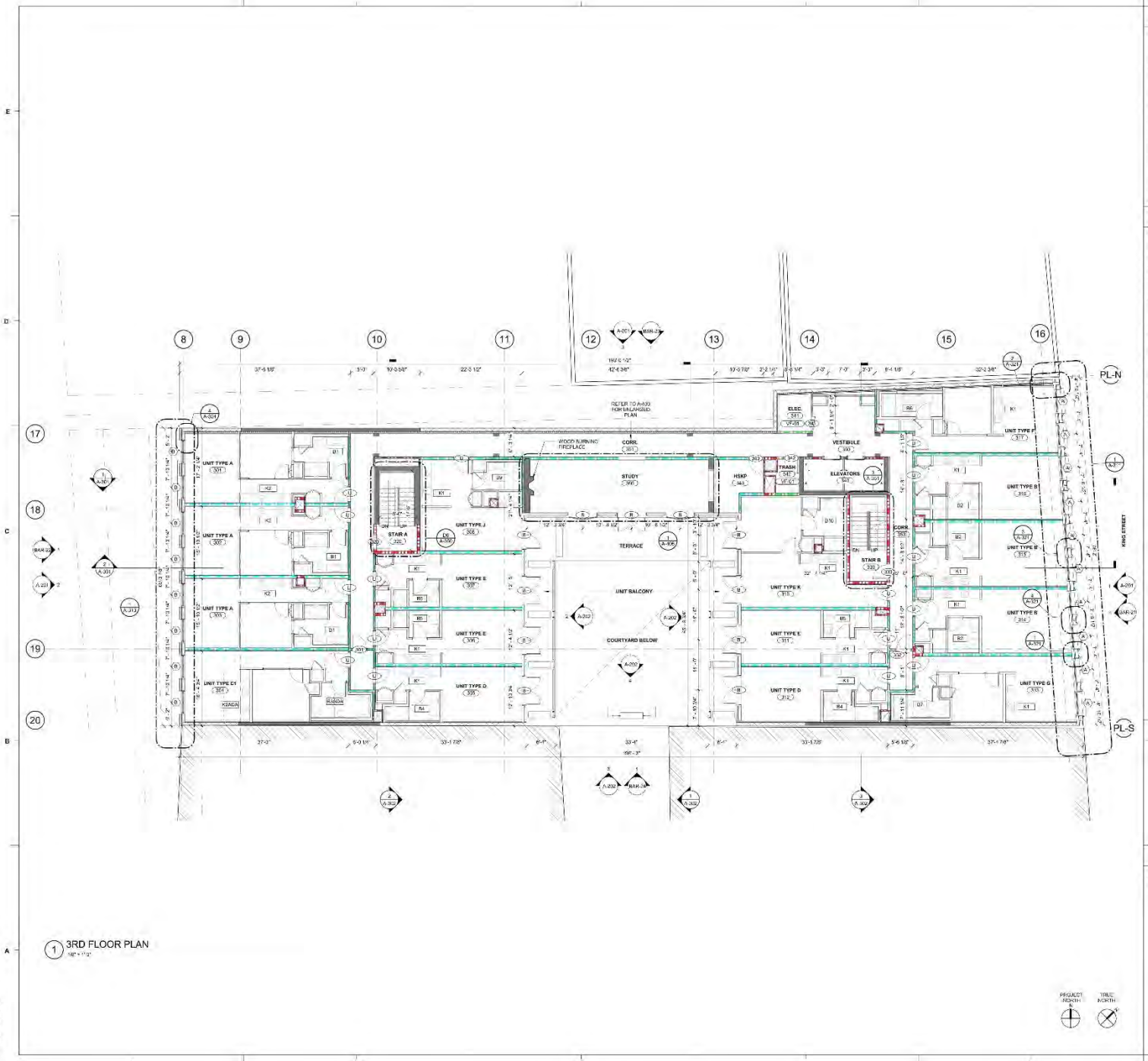
No.	Description	Date

PROJECT: 1182119420
 DATE: 12.20.2018
 DRAWN BY: Author
 CHECKED BY: Chisler

SECOND FLOOR PLAN

A-102

FINAL BAR



1 3RD FLOOR PLAN
1/8" = 1'-0"

FLOOR PLAN SHEET NOTES

1. EXTERIOR DIMENSIONS AT MASONRY CORNERS ARE TO FACE OF MASONRY UNLESS OTHERWISE NOTED. DIMENSIONS TO FACE OF WALL SHALL BE TO FACE OF FINISH FACE OF STUD.
2. INTERIOR DIMENSIONS AND CENTER LINE TO FACE OF FINISH FACE OF STUD.
3. INTERIOR DIMENSIONS AND CENTER LINE TO FACE OF FINISH FACE OF STUD.
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19. INTERIOR DIMENSIONS AND CENTER LINE TO FACE OF FINISH FACE OF STUD.
20. INTERIOR DIMENSIONS AND CENTER LINE TO FACE OF FINISH FACE OF STUD.

PARTITION NOTES

1. ALL PIPE AND CONDUIT PENETRATIONS THRU 2 HR RATED OR MORE PARTITIONS, FLOORS, ROOF, ETC. SHALL BE SEALED WITH A RESPECTIVELY RATED FIRE RESISTANT PENETRATION SYSTEM BY 318 M.P. APPROVED LOCAL REGISTERED FIRE EXTINGUISHING COMPANY.
2. THE BACKING BOARD SHALL BE JOINED IN ALL LOCATIONS TO INCLUDE TILE FINISHES TO FACE OF FINISH FACE INTERIOR ELEVATIONS FOR GASKETING FABRICATION OF PARTITION WALLS.
3. CORNER JOINTS SHALL BE FINISHED WITH THE SAME JOINT COMPOUND TO MAINTAIN THE INTEGRITY OF THE PARTITION WALL.
4. SPEC. POINTERS OR OTHER WALLS SHALL BE ABLE TO GO STRAIGHT UP TO STRUCTURE DUE TO FINISH, JOINTWORK, ETC. THE PARTITION SYSTEM BOARD AND FINISHING SHALL BE FINISHED WITH THE SAME TO HAVE THE PROPER RATED WALL INTEGRITY. SEE DETAIL.
5. WHERE STUDO EXTENDS TO STRUCTURE AND SYSTEM WALLS LOADED AND SOUND PARTITION WALLS WITH A NUMBER CHANNEL, WHEN CEMENT BUNDLING IS USED AS A DETECTED AT FLAM.
6. DETECTED AT FLAM SHALL BE DETECTED BY THE DETECTION OF THE DETECTION.
7. SEE LIFE SAFETY PLANS FOR THE LOCATIONS OF SMOKE BARRIERS, SMOKE PARTITIONS AND FIRE RATED PARTITIONS.
8. REFER TO UNDERFLOOR LAYOUTS FOR THE FIRE RESISTANT VOLLERS CURRENTLY IN FOR SPECIFIC CONSTRUCTION REQUIREMENTS OF ALL LISTED ASSEMBLIES.
9. REFER TO MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR TYPICAL ALL LISTED PENETRATIONS THROUGH FIRE RATED ASSEMBLY. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING APPROPRIATE PROJECT SPECIFIC LISTED ASSEMBLIES FOR PENETRATIONS.
10. REFER TO OPTICAL LAYOUT FOR TYPICAL WALL FINISHES FOR FIRE DAMPERS IN RATED PARTITIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING APPROPRIATE PROJECT SPECIFIC LISTED ASSEMBLIES FOR PENETRATIONS.
11. ALL FIRE AND CONDUIT PENETRATIONS THRU 2 HR RATED OR MORE PARTITIONS, FLOORS, ROOF, ETC. SHALL BE SEALED WITH A RESPECTIVELY RATED FIRE RESISTANT PENETRATION SYSTEM BY 318 M.P. APPROVED LOCAL REGISTERED FIRE EXTINGUISHING COMPANY.
12. ALL FIRE AND CONDUIT PENETRATIONS THRU 2 HR RATED OR MORE PARTITIONS, FLOORS, ROOF, ETC. SHALL BE SEALED WITH A RESPECTIVELY RATED FIRE RESISTANT PENETRATION SYSTEM BY 318 M.P. APPROVED LOCAL REGISTERED FIRE EXTINGUISHING COMPANY.
13. ALL FIRE AND CONDUIT PENETRATIONS THRU 2 HR RATED OR MORE PARTITIONS, FLOORS, ROOF, ETC. SHALL BE SEALED WITH A RESPECTIVELY RATED FIRE RESISTANT PENETRATION SYSTEM BY 318 M.P. APPROVED LOCAL REGISTERED FIRE EXTINGUISHING COMPANY.

PARTITION LEGEND

1. ALL EXTERIOR WALLS TO BE 1-HOUR U/LC.
2. ALL INTERIOR MASONRY PARTITIONS TO BE 1-HOUR U/LC.
3. ALL INTERIOR MASONRY PARTITIONS TO BE 1-HOUR U/LC.
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20. ALL INTERIOR MASONRY PARTITIONS TO BE 1-HOUR U/LC.

GENERAL NOTES

1. REFER TO A-101 SHEETS FOR ENLARGED PLANS, REFS AND REVISIONS.
2. REFER TO A-101 SHEETS FOR ENLARGED PLANS, REFS AND REVISIONS.
3. REFER TO A-101 SHEETS FOR ENLARGED PLANS, REFS AND REVISIONS.



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REVISIONS

No.	Description	Date

PROJECT: 1182191428
DATE: 12.20.2019
DRAWN BY: Author
CHECKED BY: C. S. S. S.

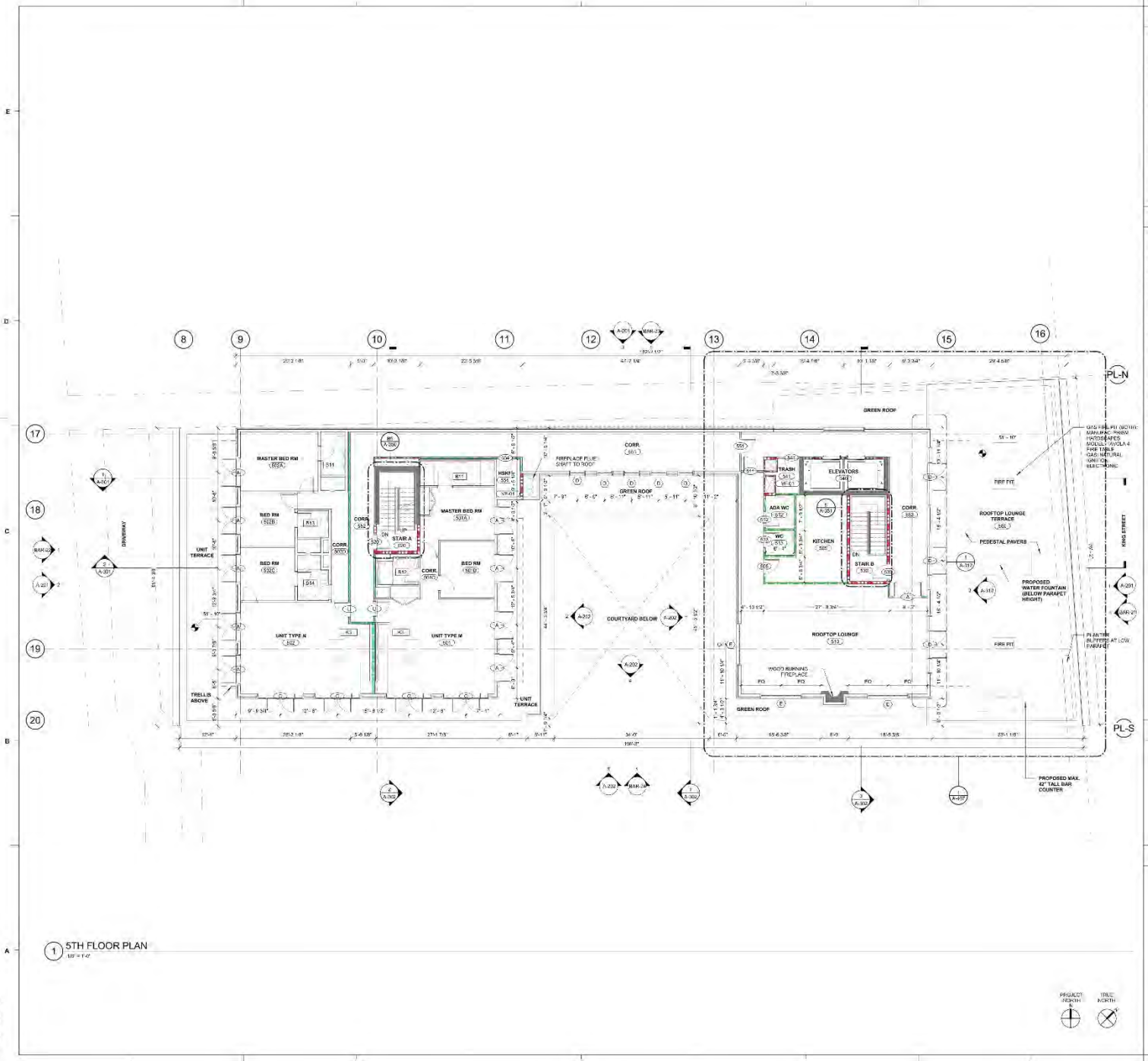
THIRD FLOOR PLAN

A-103

FINAL BAR

11/20/2019 10:18:00 AM
 11/20/2019 10:18:00 AM
 11/20/2019 10:18:00 AM

18M 04/20/2019 10:16 AM
 12/20/2019 10:16 AM



FLOOR PLAN SHEET NOTES

1. EXTERIOR DIMENSIONS AT MASONRY PARTITIONS ARE TO FACE OF MASONRY.
2. EXTERIOR DIMENSIONS AT BRICK VENEER TO FACE OF BRICK VENEER.
3. INTERIOR DIMENSIONS INDICATED ARE TO FACE OF FINISH FACE OF STUD.
4. FINISH FLOOR FINISH AND CEILING FINISH TO BE AS NOTED.
5. LOCATE DOOR OPENINGS FROM INTERIOR PERPENDICULAR WALL.
6. FINISH FLOOR FINISH WALL PARTITIONS TO BE CONSTRUCTED TO TOP OF STRUCTURAL FLOORING, DUCTWORK AND OTHER FLOOR FINISHES. ALL WORK IS TO BE BRIDGED TO STRUCTURE ABOVE.
7. WHERE PARTITIONS OF DIFFERENT FINISH SURFACES INTERSECT, THE HIGHER RATED PARTITION SHALL CONTINUE THROUGH THE LOWER RATED PARTITION TO THE NEXT RATED PARTITION OR TO THE FINISH FACE OF THE LOWER RATED PARTITION.
8. FINISH FLOOR FINISH PARTITIONS FROM CROWN MOULDING SHALL BE NOTED TO BE FINISHED TO THE FINISH FACE OF THE FINISH FLOOR.
9. FINISH FLOOR FINISH PARTITIONS FROM CROWN MOULDING SHALL BE NOTED TO BE FINISHED TO THE FINISH FACE OF THE FINISH FLOOR.
10. FINISH FLOOR FINISH PARTITIONS FROM CROWN MOULDING SHALL BE NOTED TO BE FINISHED TO THE FINISH FACE OF THE FINISH FLOOR.
11. SEE SHEET A-101 FOR LOUVER SCHEDULE.
12. SEE SHEET A-102 FOR CONSTRUCTION SUBMITTALS FOR PARTITION (SCHEDULE).
13. SEE SHEET A-103 FOR FINISH FLOORING, TRANSITIONS, PATTERNS AND WALL PROTECTION.
14. SEE SHEET A-104 FOR FINISH FLOORING, TRANSITIONS, PATTERNS AND WALL PROTECTION.
15. SEE SHEET A-105 FOR ENLARGED PLANS, ROOM AND ELEVATIONS.
16. SEE SHEET A-106 FOR ENLARGED PLANS, ROOM AND ELEVATIONS.
17. SEE SHEET A-107 FOR ENLARGED PLANS, ROOM AND ELEVATIONS.
18. SEE SHEET A-108 FOR ENLARGED PLANS, ROOM AND ELEVATIONS.
19. SEE SHEET A-109 FOR ENLARGED PLANS, ROOM AND ELEVATIONS.
20. SEE SHEET A-110 FOR ENLARGED PLANS, ROOM AND ELEVATIONS.

PARTITION NOTES

1. ALL PIPE AND CONDUIT PENETRATIONS THRU 2 HR RATED OR MORE PARTITIONS, FLOORS, ROOF, ETC. SHALL BE SEALED WITH A RESISTIVELY RATED FIRE STOPPING PENETRATION SYSTEM BY OTHER TRADES APPROVED LOCAL AGENCY.
2. THE BACKING SHALL BE MADE IN ALL LOCATIONS TO MAINTAIN THE FINISHES REFERRED TO THESE NOTES AND INTERFERED WITH FOR THE PROPER FABRICATION OF PARTITION WALLS.
3. CONDUIT OR PIPE SHALL BE COVERED WITH THE PROPER DUCTWORK PRIOR TO FABRICATION OF PARTITION WALLS.
4. SPECIAL CONSTRUCTION WHERE A WALL IS UNABLE TO GO STRAIGHT UP TO STRUCTURE DUE TO PIPING, DUCTWORK, ETC. THE PARTITION SYSTEM SHALL BE CONSTRUCTED TO THE STRUCTURE AND BE MAINTAINED TO THE FINISH FACE OF THE PARTITION.
5. WHERE STUDS EXTEND TO STRUCTURE AND SYSTEM IS ALLOWED AND SOUND ATTENUATION IS MAINTAINED, THE PARTITION SHALL BE MAINTAINED TO THE FINISH FACE OF THE PARTITION.
6. WHERE STUDS EXTEND TO STRUCTURE AND SYSTEM IS ALLOWED AND SOUND ATTENUATION IS MAINTAINED, THE PARTITION SHALL BE MAINTAINED TO THE FINISH FACE OF THE PARTITION.
7. WHERE STUDS EXTEND TO STRUCTURE AND SYSTEM IS ALLOWED AND SOUND ATTENUATION IS MAINTAINED, THE PARTITION SHALL BE MAINTAINED TO THE FINISH FACE OF THE PARTITION.
8. REFER TO UNDERWRITERS LABORATORIES, INC. FOR RESISTIVE VOLUMES CURRENTLY LISTED FOR SPECIFIC CONSTRUCTION REQUIREMENTS OF ALL LISTED ASSEMBLIES.
9. REFER TO UNDERWRITERS LABORATORIES, INC. FOR RESISTIVE VOLUMES CURRENTLY LISTED FOR SPECIFIC CONSTRUCTION REQUIREMENTS OF ALL LISTED ASSEMBLIES.
10. REFER TO UNDERWRITERS LABORATORIES, INC. FOR RESISTIVE VOLUMES CURRENTLY LISTED FOR SPECIFIC CONSTRUCTION REQUIREMENTS OF ALL LISTED ASSEMBLIES.
11. REFER TO UNDERWRITERS LABORATORIES, INC. FOR RESISTIVE VOLUMES CURRENTLY LISTED FOR SPECIFIC CONSTRUCTION REQUIREMENTS OF ALL LISTED ASSEMBLIES.
12. REFER TO UNDERWRITERS LABORATORIES, INC. FOR RESISTIVE VOLUMES CURRENTLY LISTED FOR SPECIFIC CONSTRUCTION REQUIREMENTS OF ALL LISTED ASSEMBLIES.
13. REFER TO UNDERWRITERS LABORATORIES, INC. FOR RESISTIVE VOLUMES CURRENTLY LISTED FOR SPECIFIC CONSTRUCTION REQUIREMENTS OF ALL LISTED ASSEMBLIES.
14. REFER TO UNDERWRITERS LABORATORIES, INC. FOR RESISTIVE VOLUMES CURRENTLY LISTED FOR SPECIFIC CONSTRUCTION REQUIREMENTS OF ALL LISTED ASSEMBLIES.
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16. REFER TO UNDERWRITERS LABORATORIES, INC. FOR RESISTIVE VOLUMES CURRENTLY LISTED FOR SPECIFIC CONSTRUCTION REQUIREMENTS OF ALL LISTED ASSEMBLIES.
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18. REFER TO UNDERWRITERS LABORATORIES, INC. FOR RESISTIVE VOLUMES CURRENTLY LISTED FOR SPECIFIC CONSTRUCTION REQUIREMENTS OF ALL LISTED ASSEMBLIES.
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PARTITION LEGEND

1. ALL EXTERIOR WALLS TO BE 1-HOUR RATED.
 2. ALL INTERIOR MASONRY PARTITIONS TO BE 1-HOUR RATED.
 3. ALL INTERIOR GIBBS PARTITIONS TO BE 1-HOUR RATED.
 4. NON-RATED PARTITION TO CEILING.
 5. NON-RATED PARTITION TO DECK.
 6. 1-HR. RATED PARTITION TO DECK.
 7. 1-HR. RATED PARTITION TO DECK.
 8. 2-HR. RATED PARTITION TO DECK.
 9. 2-HR. RATED PARTITION TO DECK.
- NOTE: SEE SHEET A-101 FOR CONSTRUCTION SUBMITTALS FOR PARTITION TYPES.

GENERAL NOTES

1. REFER TO A-101 SHEETS FOR ENLARGED PLANS, ROOM AND ELEVATIONS.
2. SEE PLAN A-111 FOR UNFINISHED TYPICAL GIBBS ROOM PLAN, WALL FINISH AND FINISHES.
3. REFER TO A-112 A-115 FOR QUESTION ROOM SCHEDULE AND NOTES.


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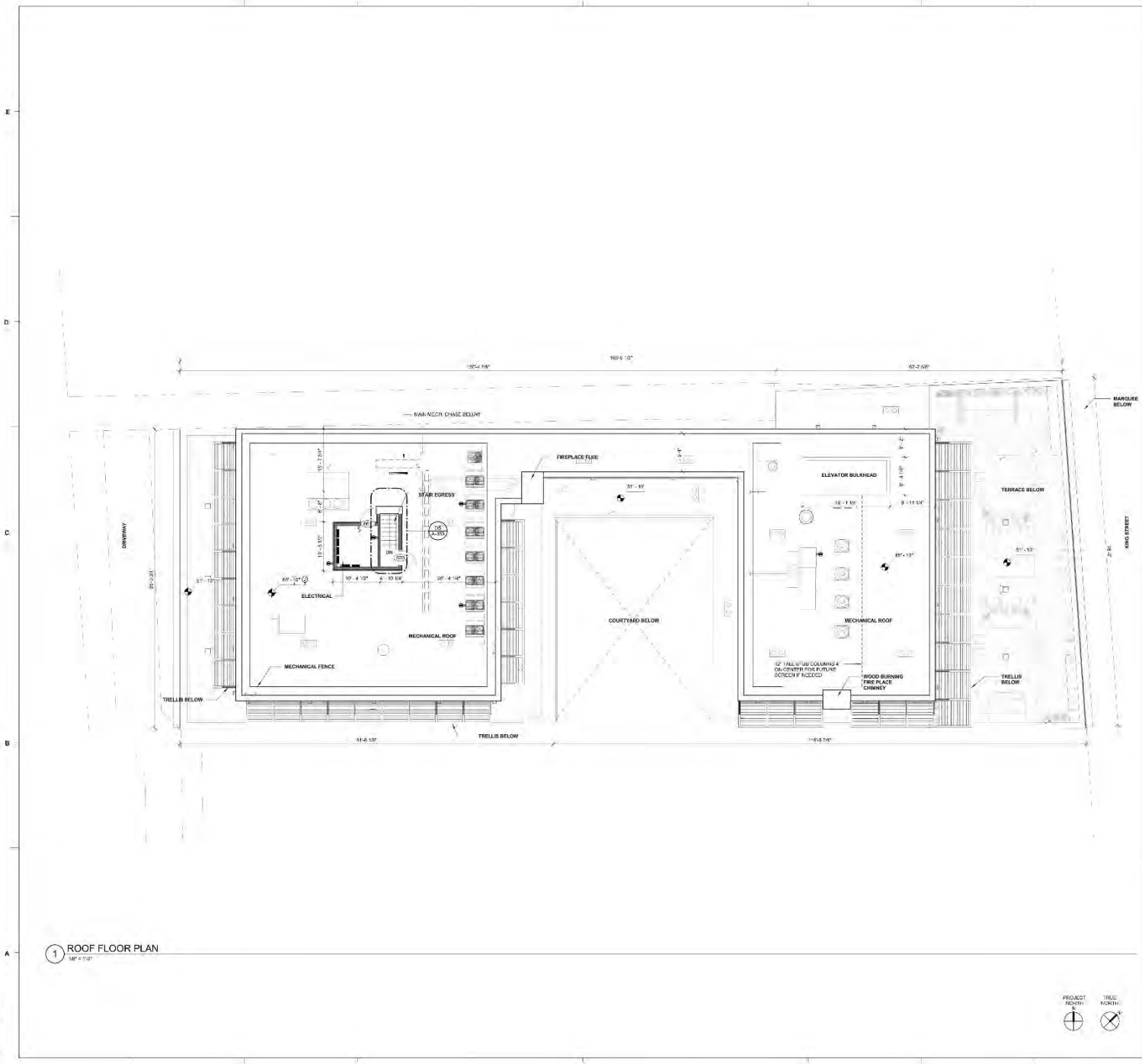
REVISIONS

No.	Description	Date

PROJECT: 180519103
 DATE: 12/20/2019
 DRAWN BY: Author
 CHECKED BY: Chris

FIFTH FLOOR PLAN

A-105



ROOF PLAN SHEET NOTES

1. ROOF MANUFACTURE TO BE BRASS/BRASS/BRASS.
2. LOCATIONS AND DEPTH OF MECHANICAL ROOMS/PLUMB AND APPROXIMATE 1/4\"/>



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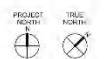
PROJECT: 1182119418
DATE: 12/20/2018
DRAWN BY: Author
CHECKED BY: Checker

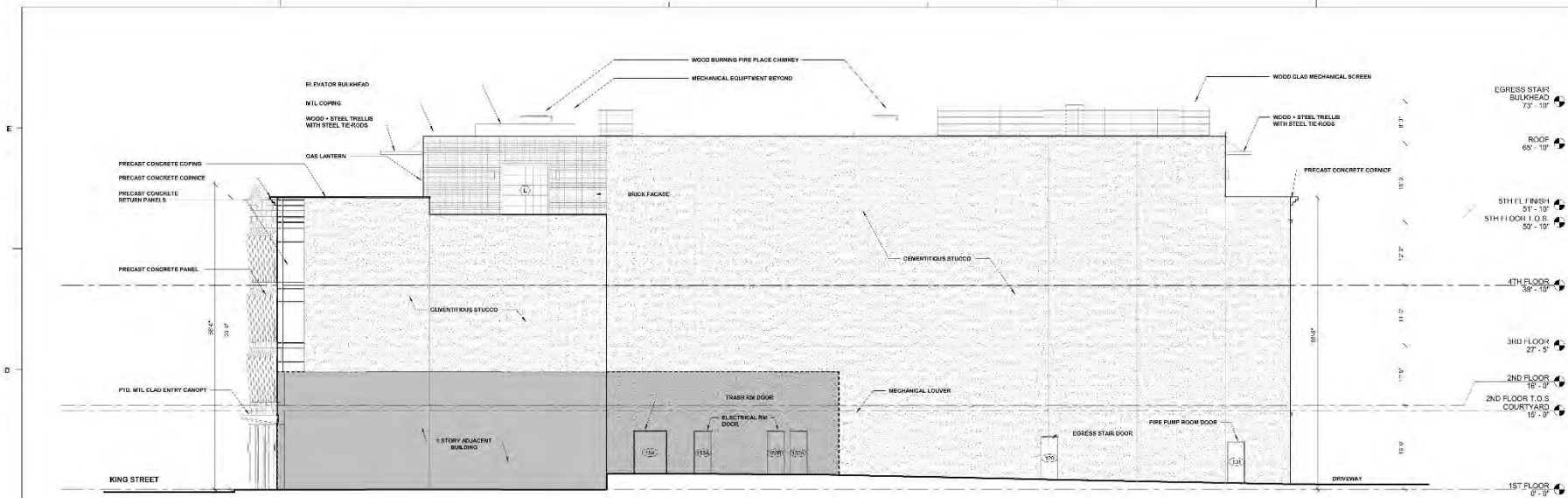
ROOF FLOOR PLAN

A-106

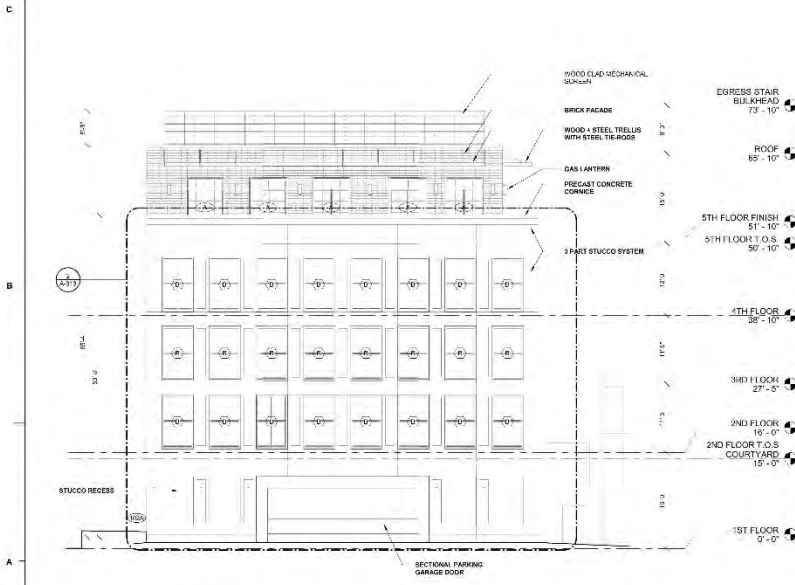
18/12/2018 12:27 PM
 18/12/2018 12:27 PM
 18/12/2018 12:27 PM

1 ROOF FLOOR PLAN
1/8" = 1/8"

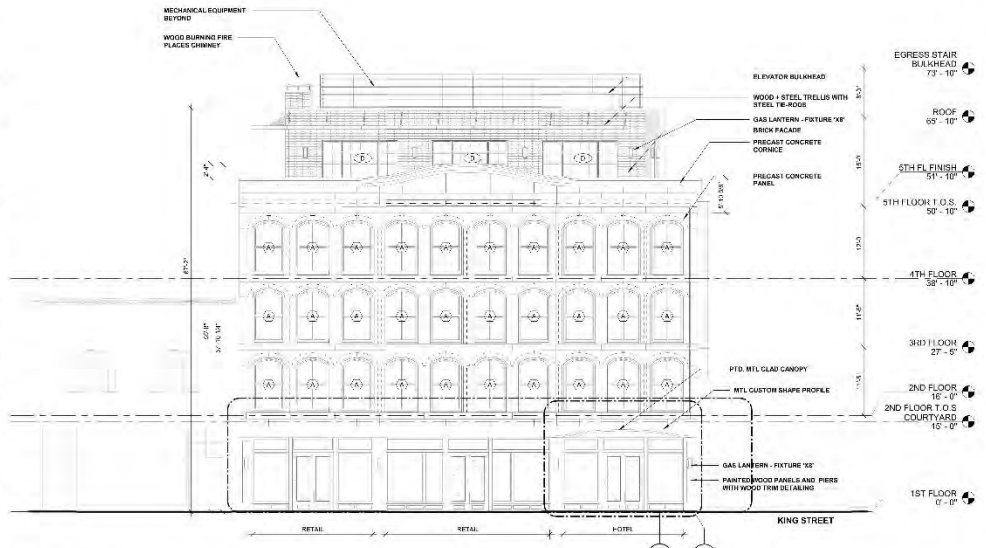




3 NORTH ELEVATION
19'-1'-0"



2 WEST ELEVATION
19'-1'-0"



1 EAST ELEVATION
19'-1'-0"



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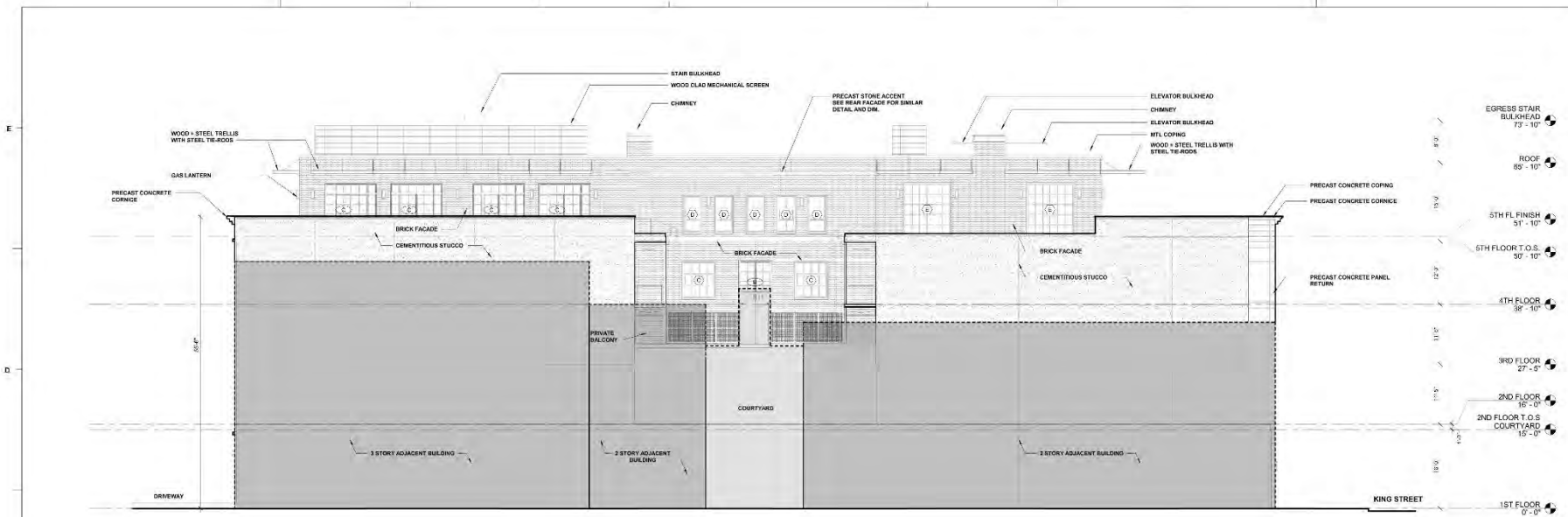
15	10/27/2018	JMB
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PROJECT: 118319418
DATE: 12/26/2018
DRAWN BY: Auber
CHECKED BY: Chaska

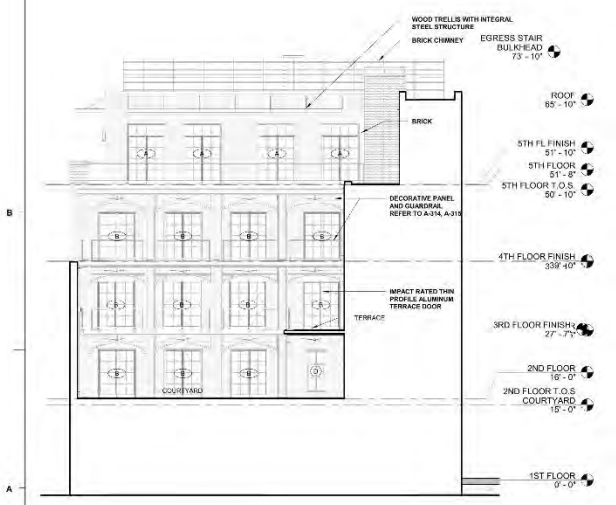
EXTERIOR ELEVATIONS

A-201

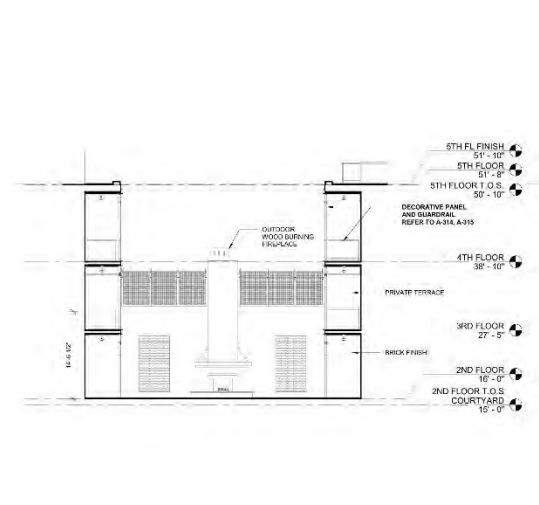
529 KING STREET ARCHITECTURAL 029 King Street_2018.rvt
 12/26/2018 1:58:53 PM



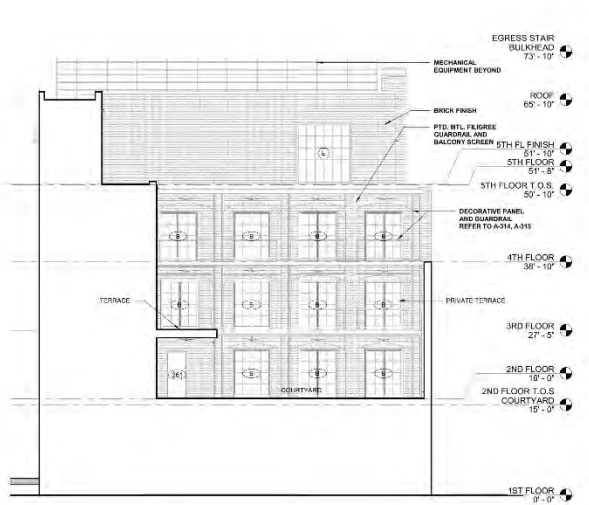
3 SOUTH ELEVATION
1/8" = 1'-0"



2 COURTYARD ELEVATION - EAST
1/8" = 1'-0"



4 COURTYARD ELEVATION - NORTH
1/8" = 1'-0"



1 COURTYARD ELEVATION - WEST
1/8" = 1'-0"



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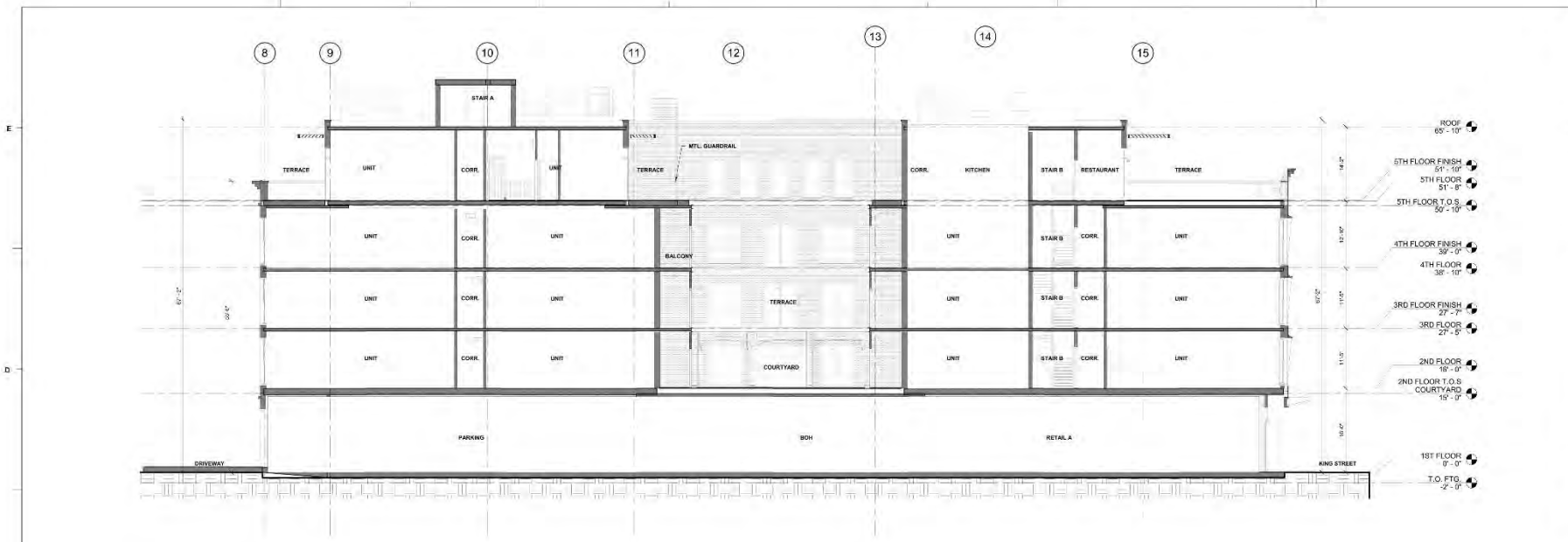
REVISIONS:

No.	Description	Date
1	Issue for Permit	08/20/18

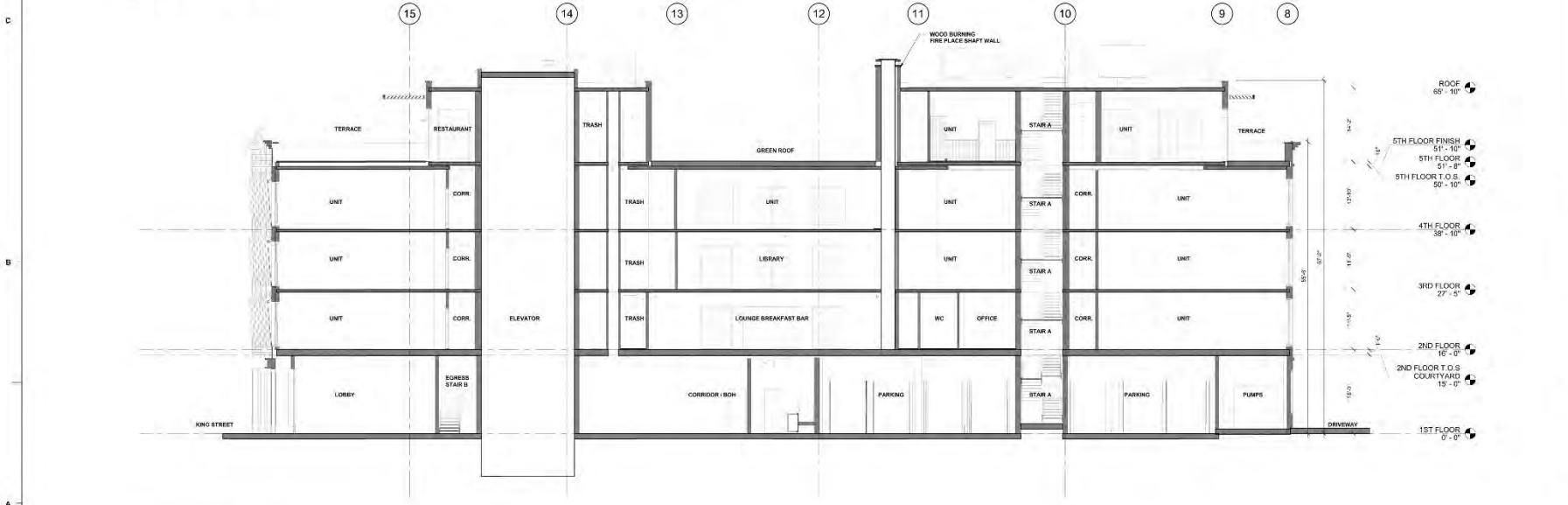
PROJECT: 1183-114-018
DATE: 12.20.2018
DRAWN BY: Author
CHECKED BY: Checker

EXTERIOR ELEVATIONS
A-202

529 King Street OZ, LLC
12/20/2018 11:27:03 AM



2 LONGITUDINAL SECTION B
1/8" = 1'-0"



1 LONGITUDINAL SECTION A
1/8" = 1'-0"



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No.	Description	Date
1	Issue for RFP	1/23/2018

PROJECT: 1183-114-03
DATE: 12.26.2018
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BUILDING SECTIONS

A-301

529 King Street Method, 2018.rvt
 12/26/2018 1:46:21 PM



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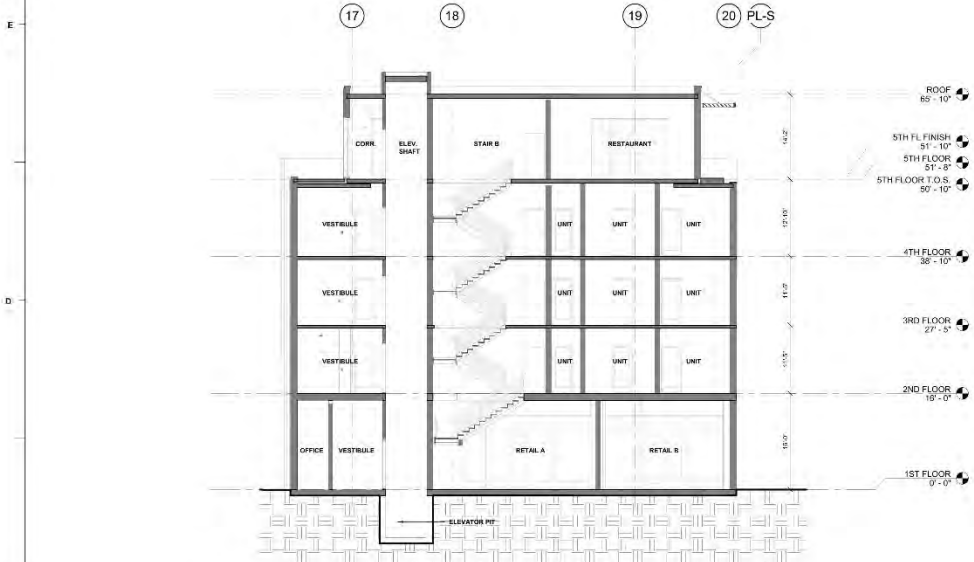
No.	Description	Date
1	Issue for RFP	04/18/18

PROJECT: 1183.114428
DATE: 12.20.2018
DRAWN BY: Author
CHECKED BY: Checker

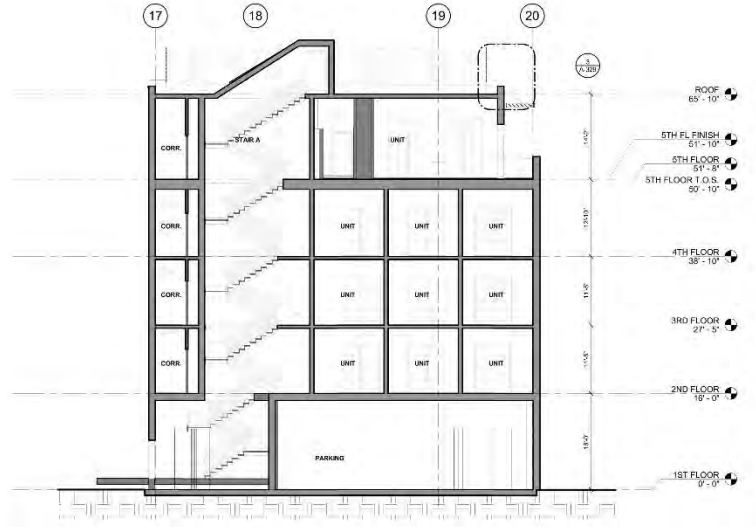
BUILDING SECTIONS

A-302

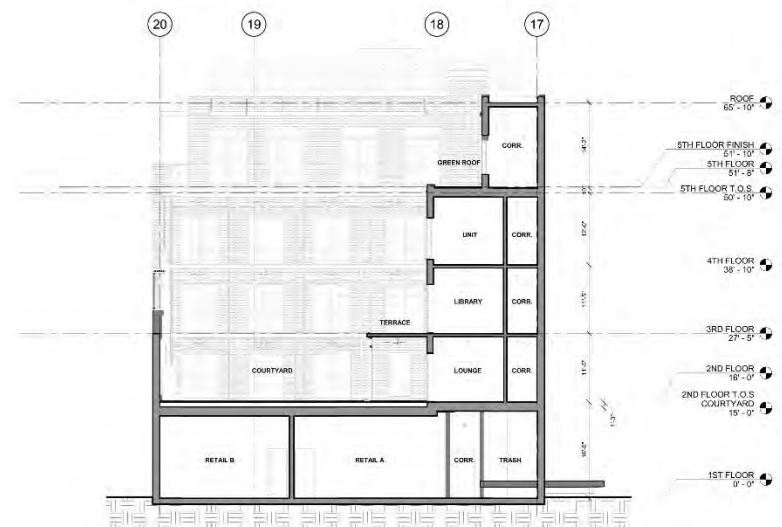
FINAL BAR



3 TRANSVERSE SECTION C
10'-0" = 1/8" = 1/8"

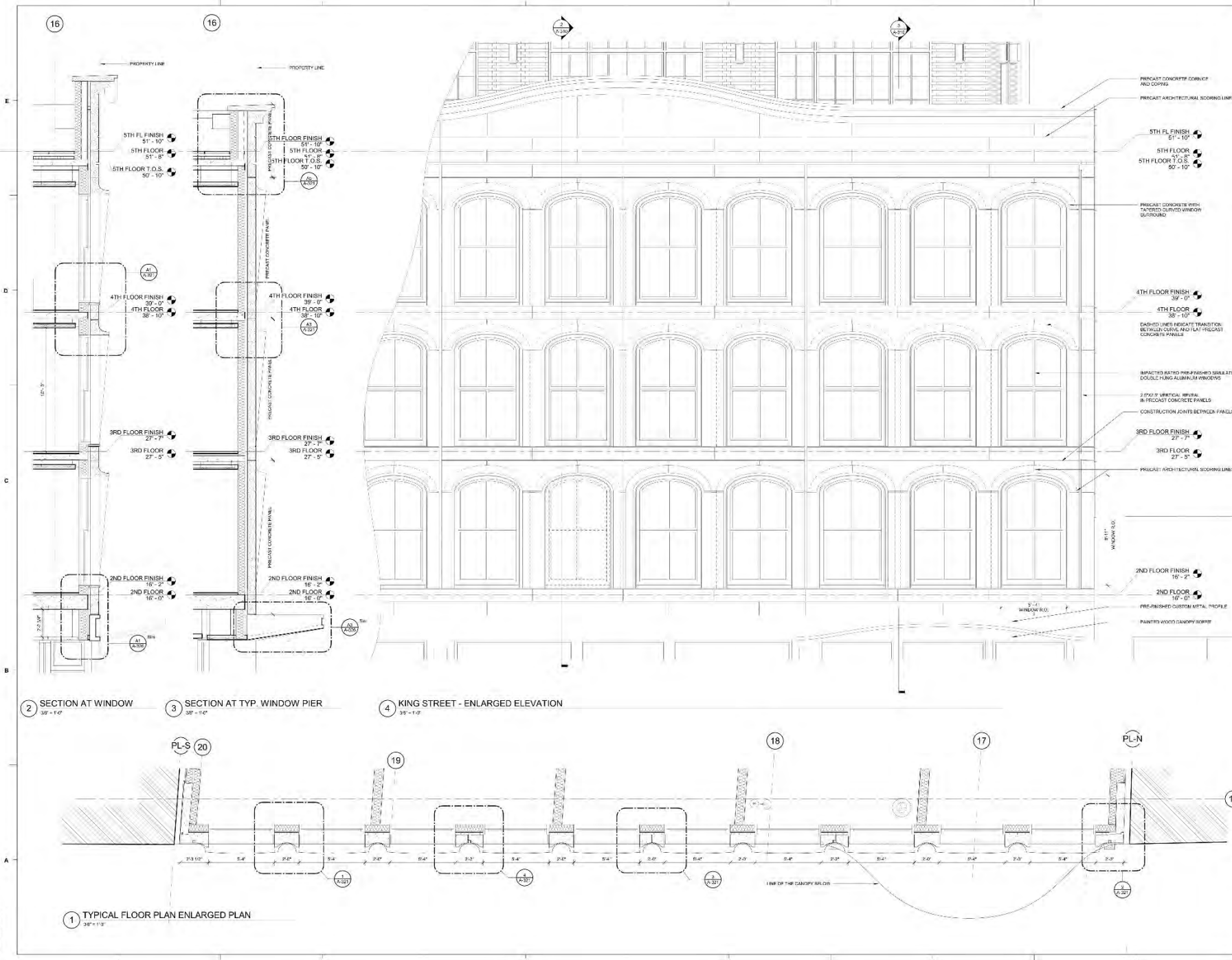


2 TRANSVERSE SECTION B
10'-0" = 1/8" = 1/8"



1 TRANSVERSE SECTION A
10'-0" = 1/8" = 1/8"

529 King Street Method Rev. 04/18/18.dwg
12/20/2018 14:11:14 PM



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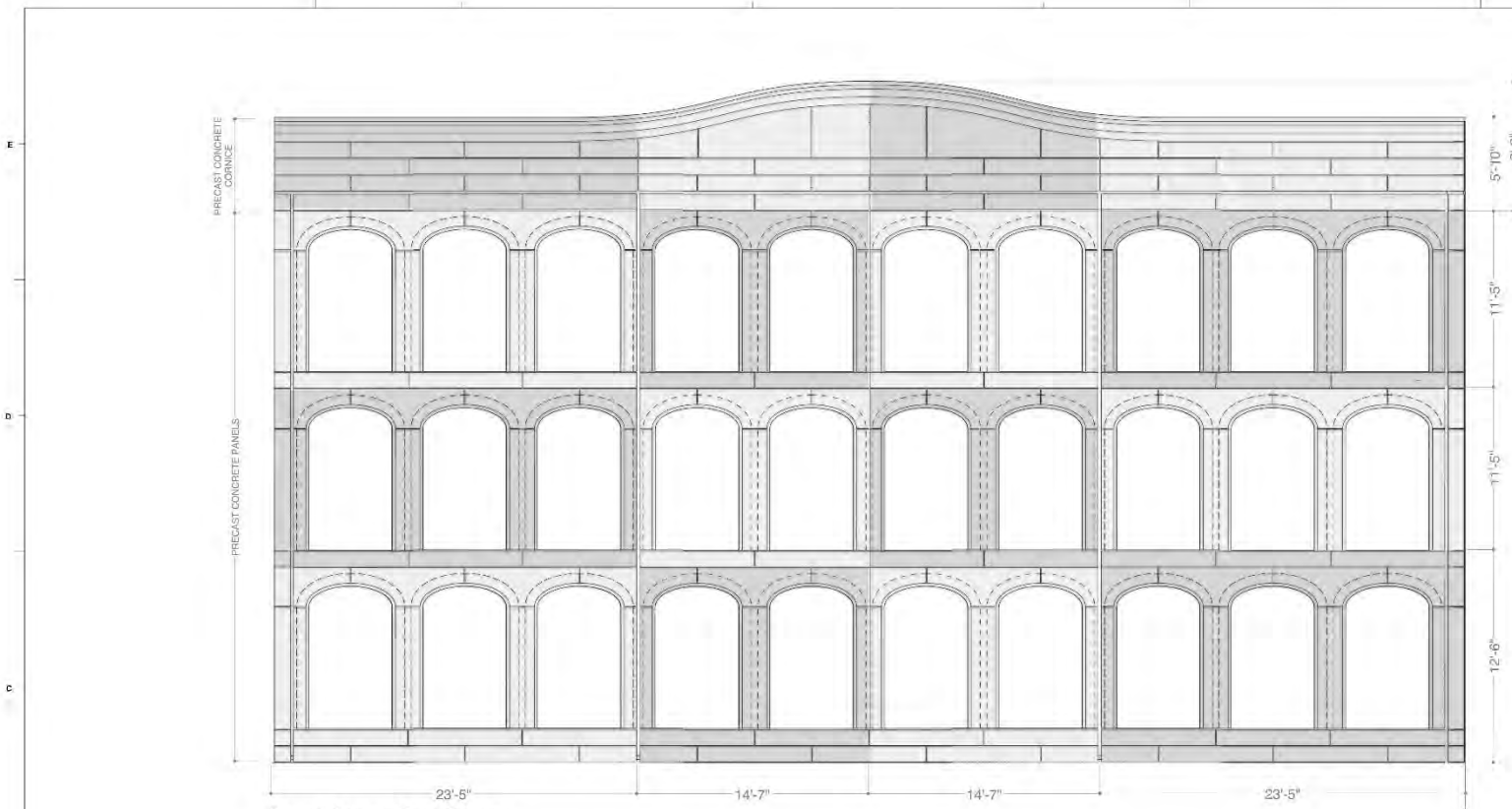
No.	Description	Date
1	Issue for RFI	08/14/18

PROJECT: 118319403
 DATE: 12.20.2018
 DRAWN BY: Author
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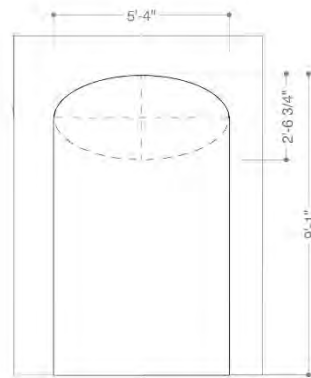
KING ST. ENLARGED ELEVATION

A-310

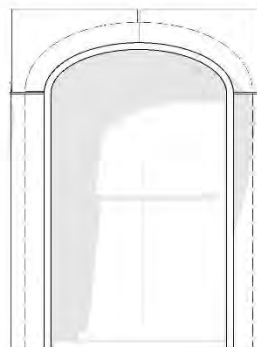
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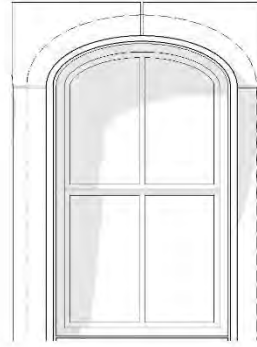
Precast Concrete Panel Diagram



Precast Surround arch Geometry



With Integral Compound Curve



With Window Fenestration



Curve profile

I:\2019\19-012 King Street\A310B_C1_075 King Panel_211.rvt
 12/20/2019 8:40:32 AM



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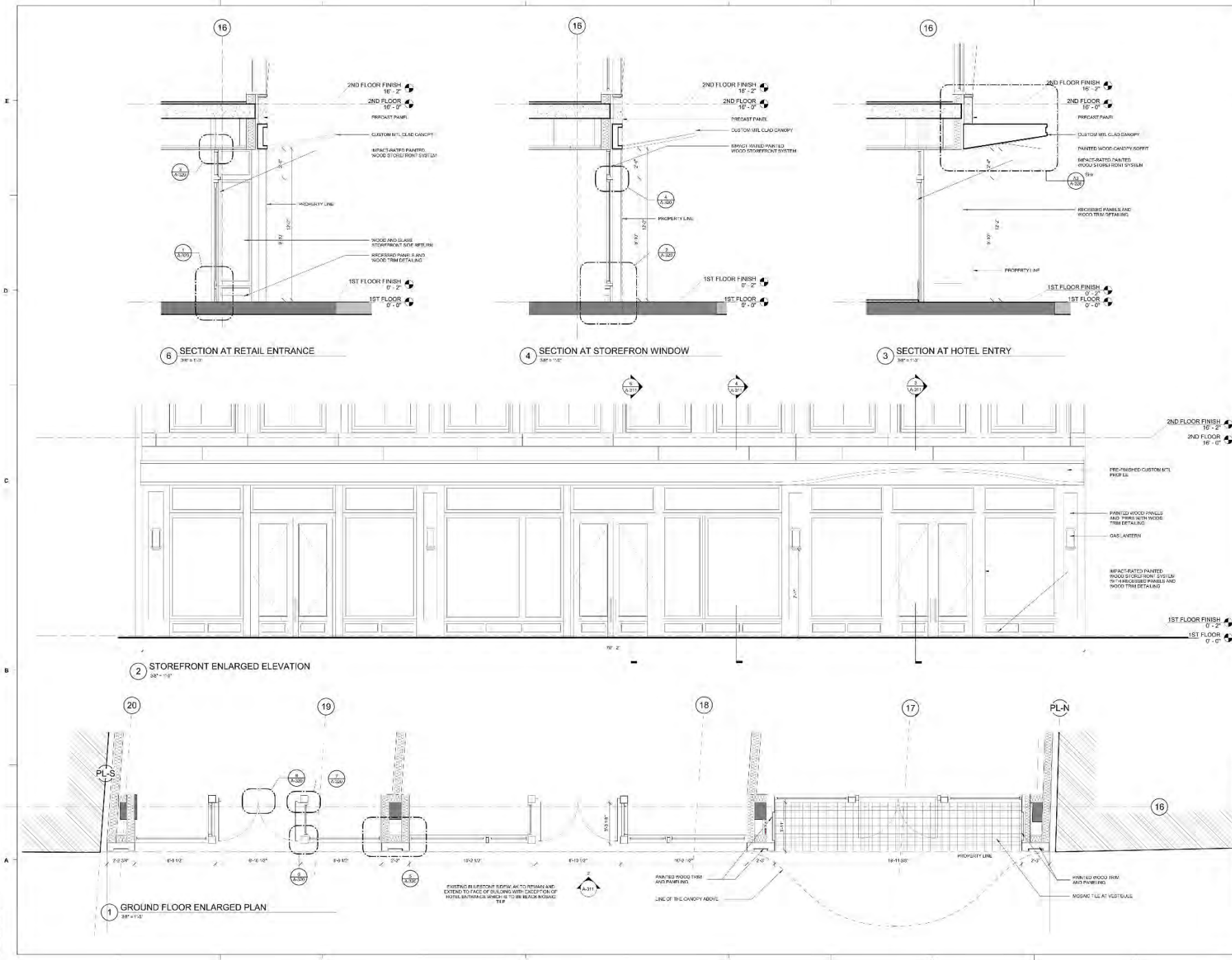
REVISIONS:

No.	Description	Job#

PROJECT: 190119409
 DATE: 12.20.2019
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**PRECAST PANEL
 DIAGRAMS**

A-310B



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1	Issue for construction	12/20/2018

PROJECT: 1183-119-010
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KING ST. -
 STOREFRONT
 ENLARGED
 ELEVATION

A-311

FINAL BAR

529 King Street OZ, LLC
 12/20/2018 2:10:28 PM



529 KING STREET

529 King Street OZ, LLC

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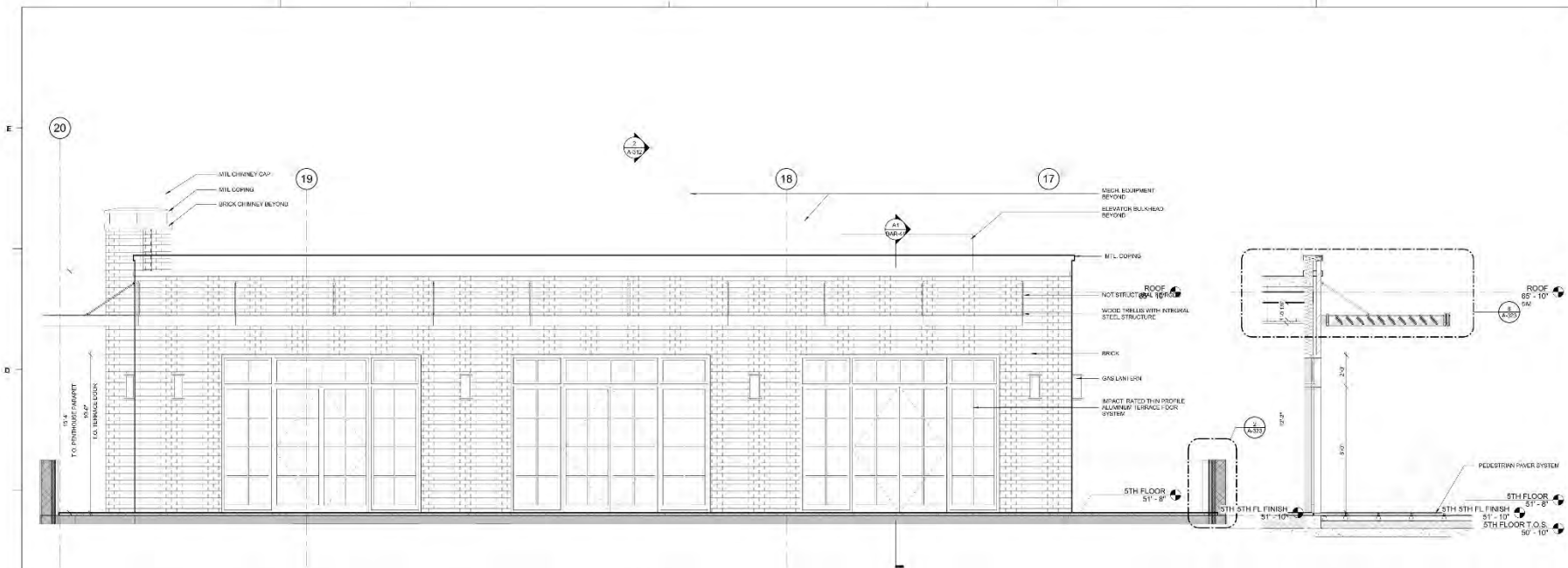
REVISIONS:

No.	Description	Date
1	Issue for RFI	09/27/18

PROJECT: 1183-194103
DATE: 12.20.2018
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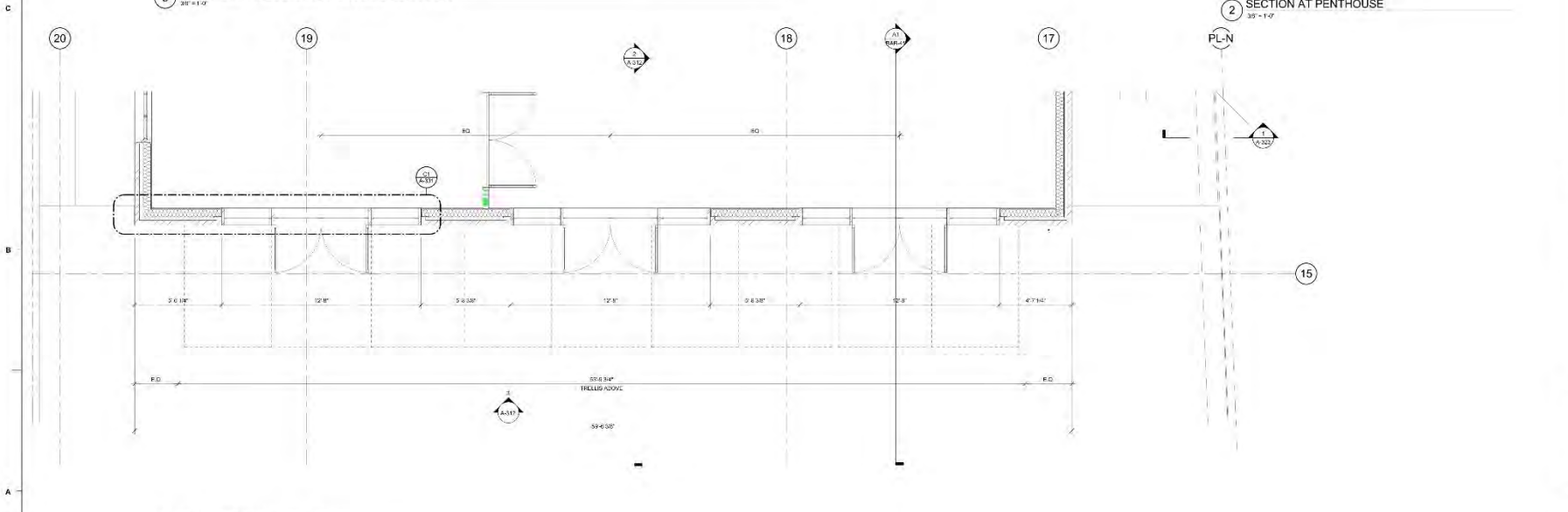
KING ST.
ENLARGED
ELEVATION -
PENTHOUSE

A-312



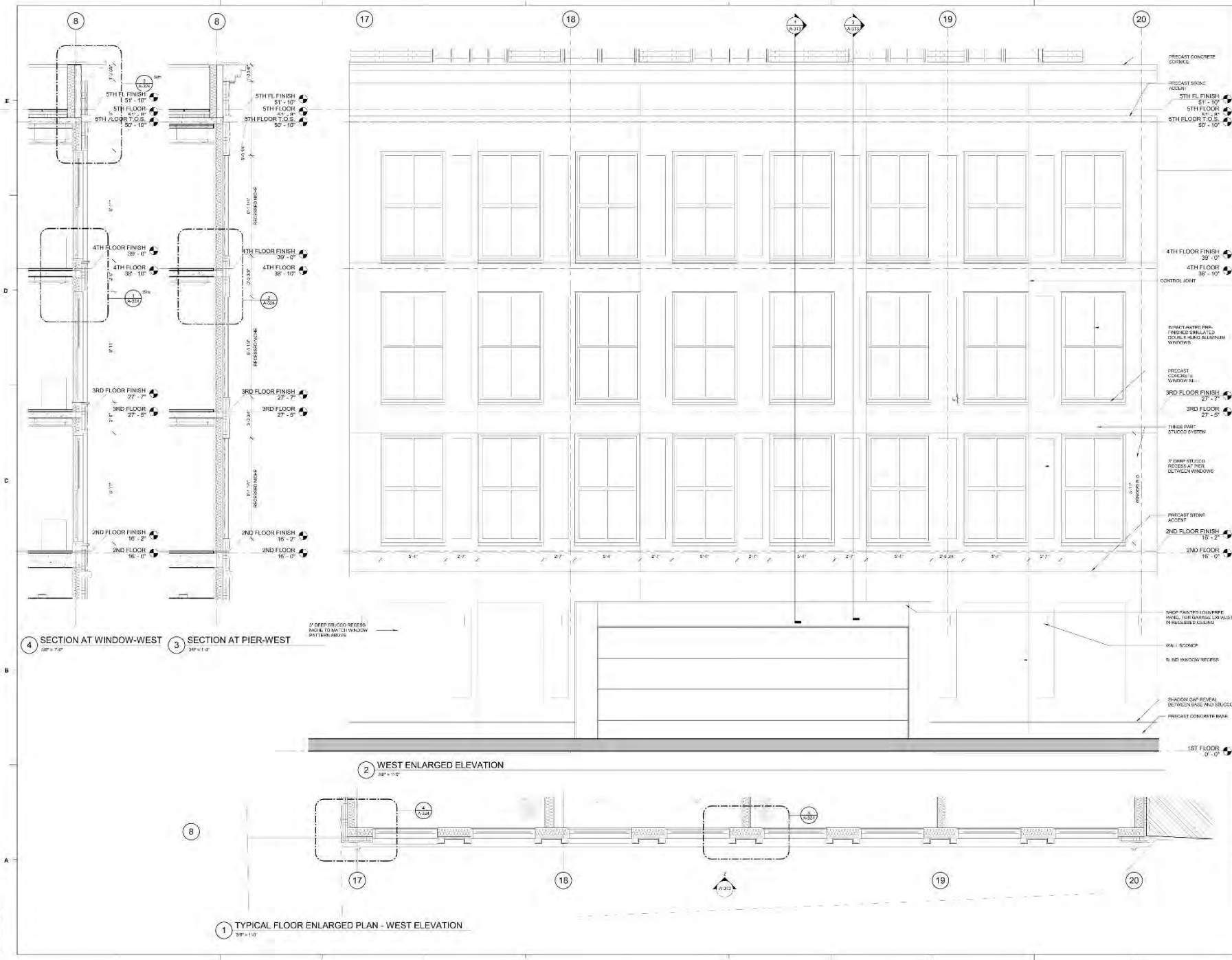
3 KING STREET PENTHOUSE ENLARGED ELEVATION
3/8" = 1'-0"

2 SECTION AT PENTHOUSE
3/8" = 1'-0"



1 ENLARGED PLAN - PENTHOUSE
3/8" = 1'-0"

529 King Street Penthouse Method, 2018.rvt
12/20/2018 2:16:38 PM



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No.	Description	Date
1	Issue for RFP	12/20/2018

PROJECT: 1163191403
 DATE: 12.20.2018
 DRAWN BY: Author
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WEST ENLARGED ELEVATION

A-313

529 King Street OZ, LLC
 12/20/2018 2:10:33 PM



529 KING STREET

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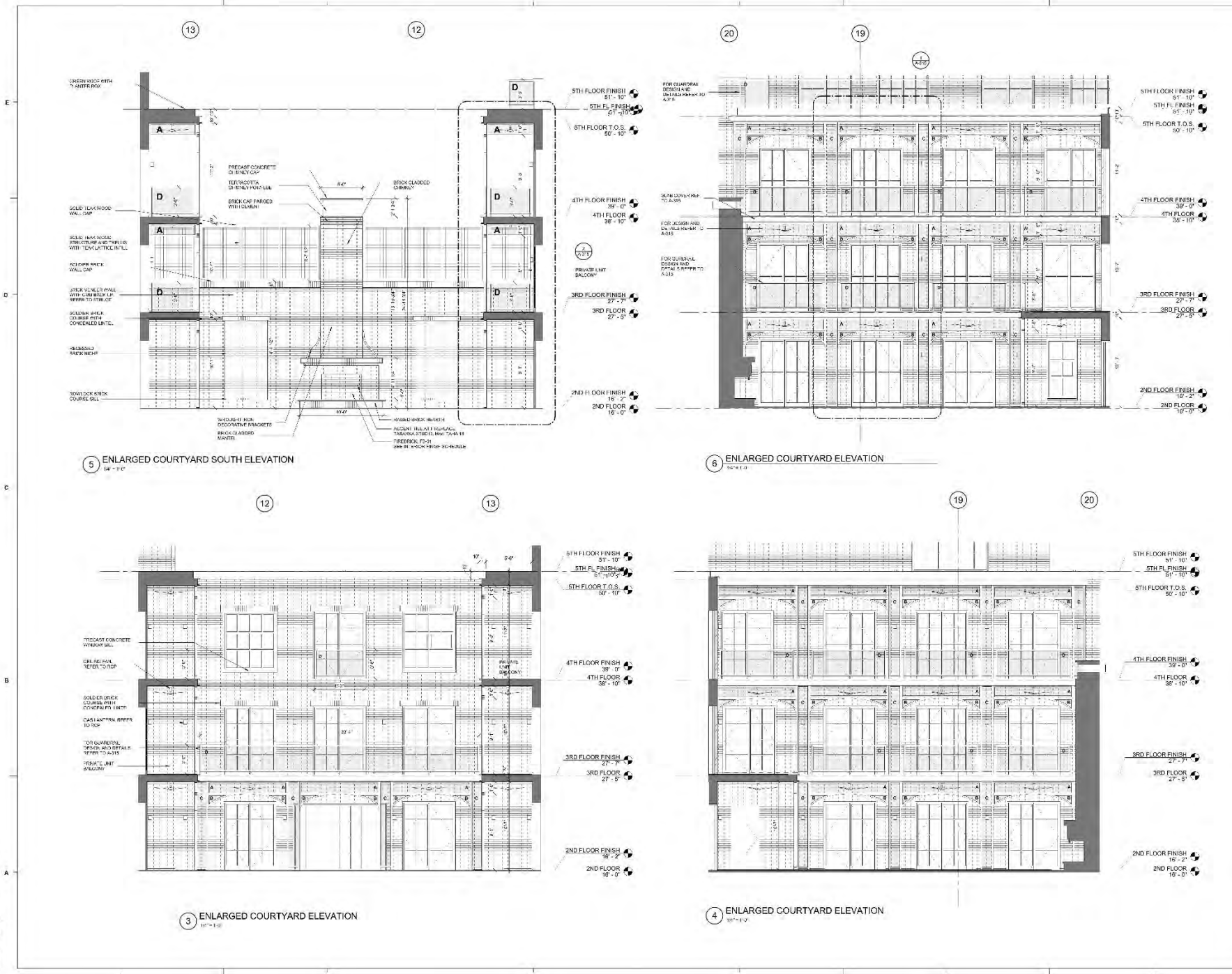
No.	Description	Date

PROJECT: 118319143
DATE: 12.20.2018
DRAWN BY: Aufer
CHECKED BY: Chacko

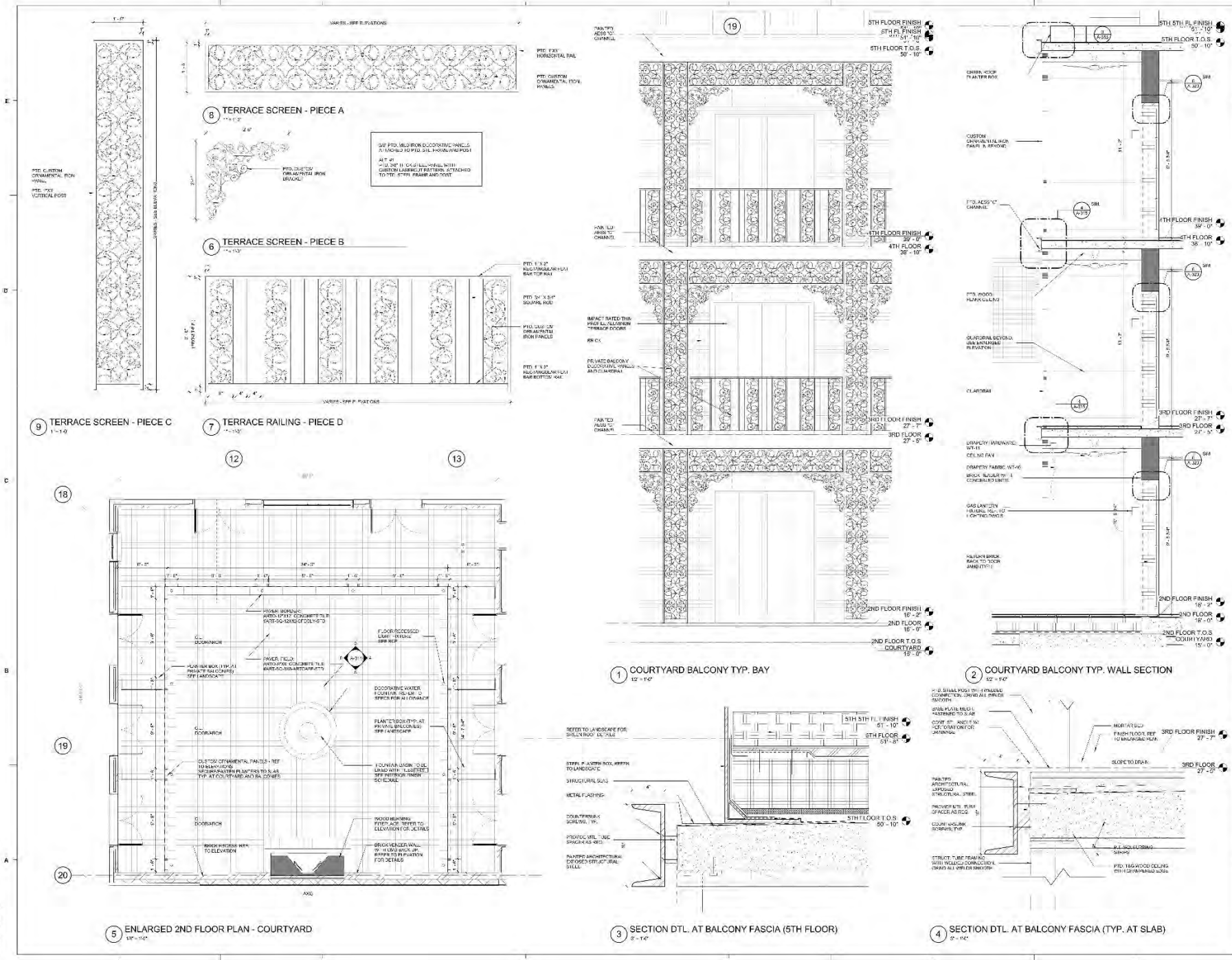
ENLARGED
COURTYARD
ELEVATIONS

A-314

FINAL BAR



18M 529KING STREET ARCHITECTURE 025 King Street, 2018.01
12/20/2018 10:52:37 AM



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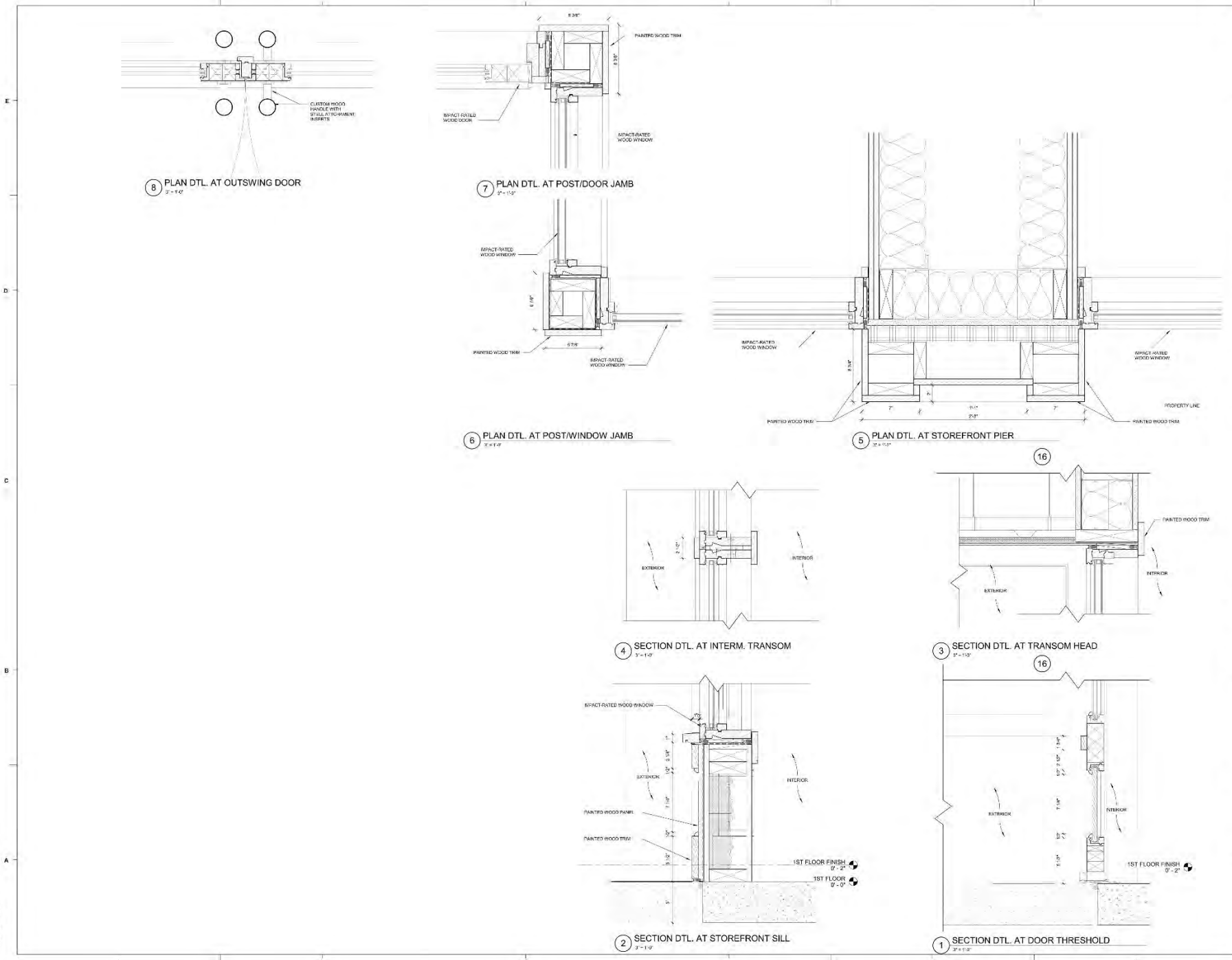
NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	JAN 2018

PROJECT: 1180119430
 DATE: 12/20/2018
 DRAWN BY: Author
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ENLARGED
 COURTYARD 2

A-315

FINAL BAR



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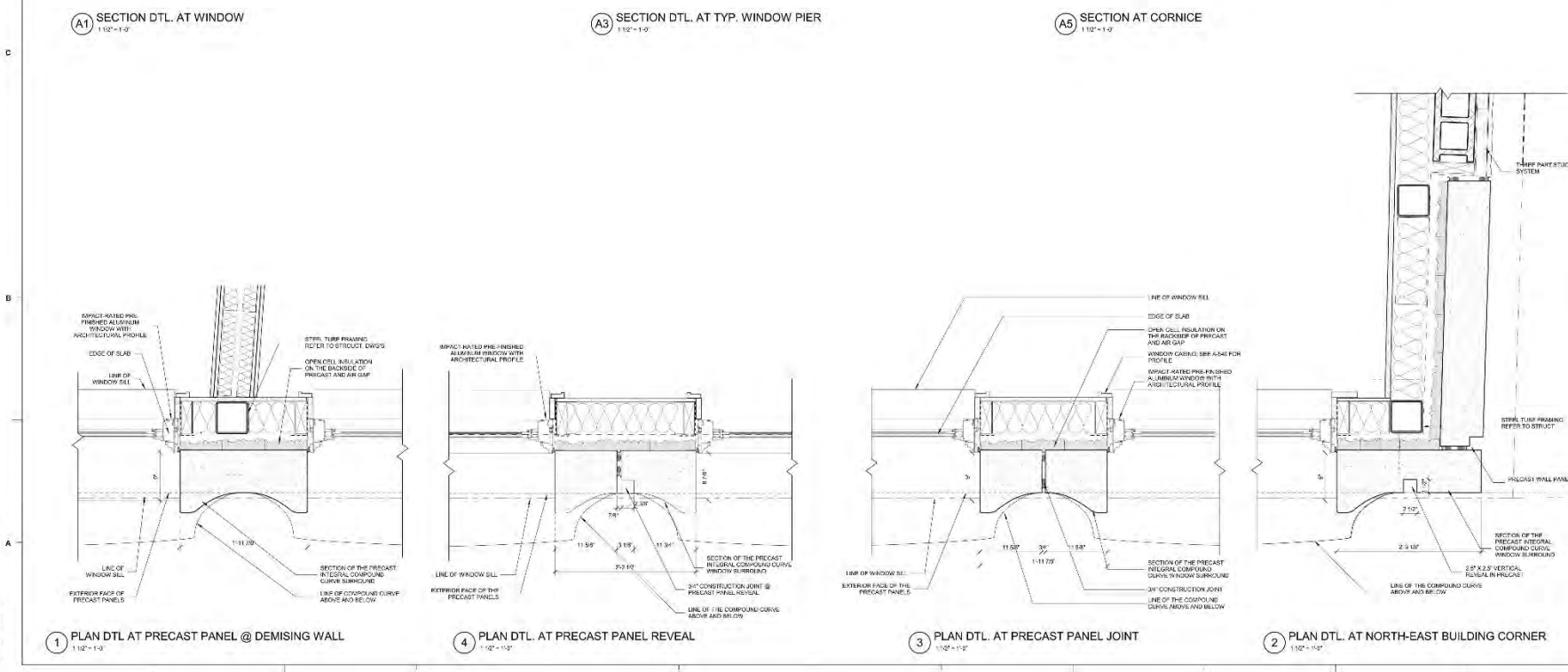
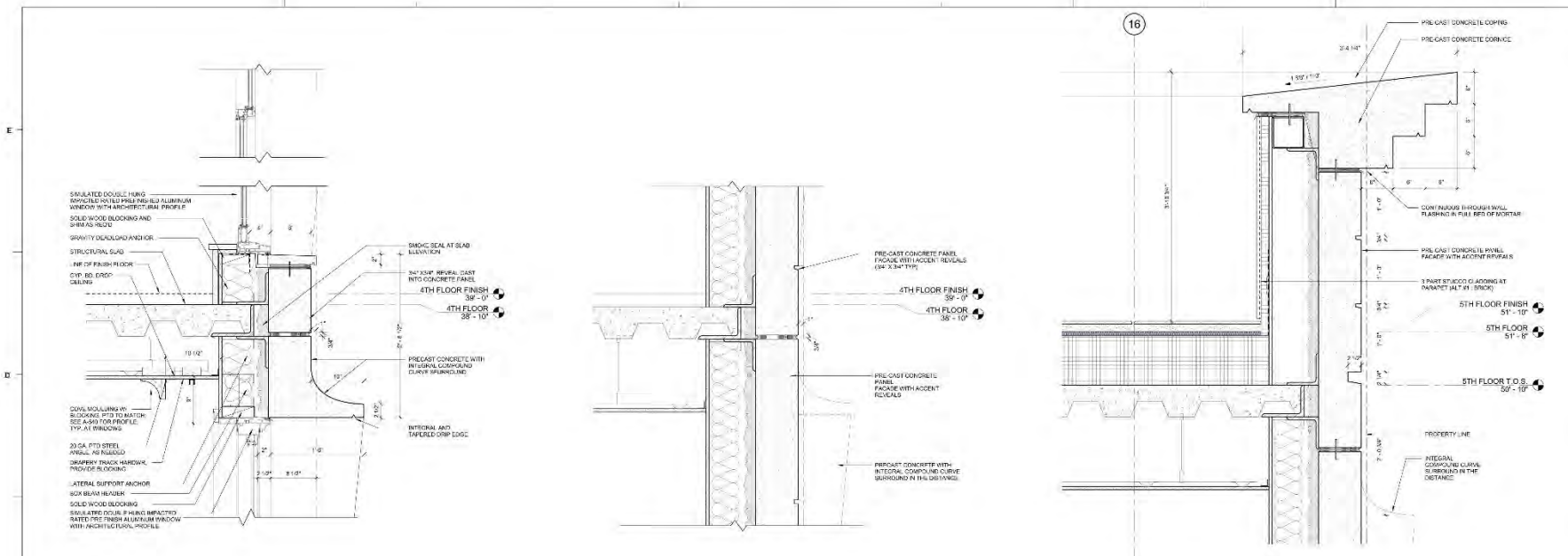
No.	Description	Date

PROJECT: 1183-118435
DATE: 12.20.2019
DRAWN BY: Author
CHECKED BY: Checker

STOREFRONT
DETAILS

A-320

529 King Street Method, 2019.rvt
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529 King Street OZ, LLC
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No.	Description	Date

PROJECT: 118319430
DATE: 12.20.2019
DRAWN BY: Author
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PLAN AND SECTION DETAILS - KING STREET FACADE

A-321



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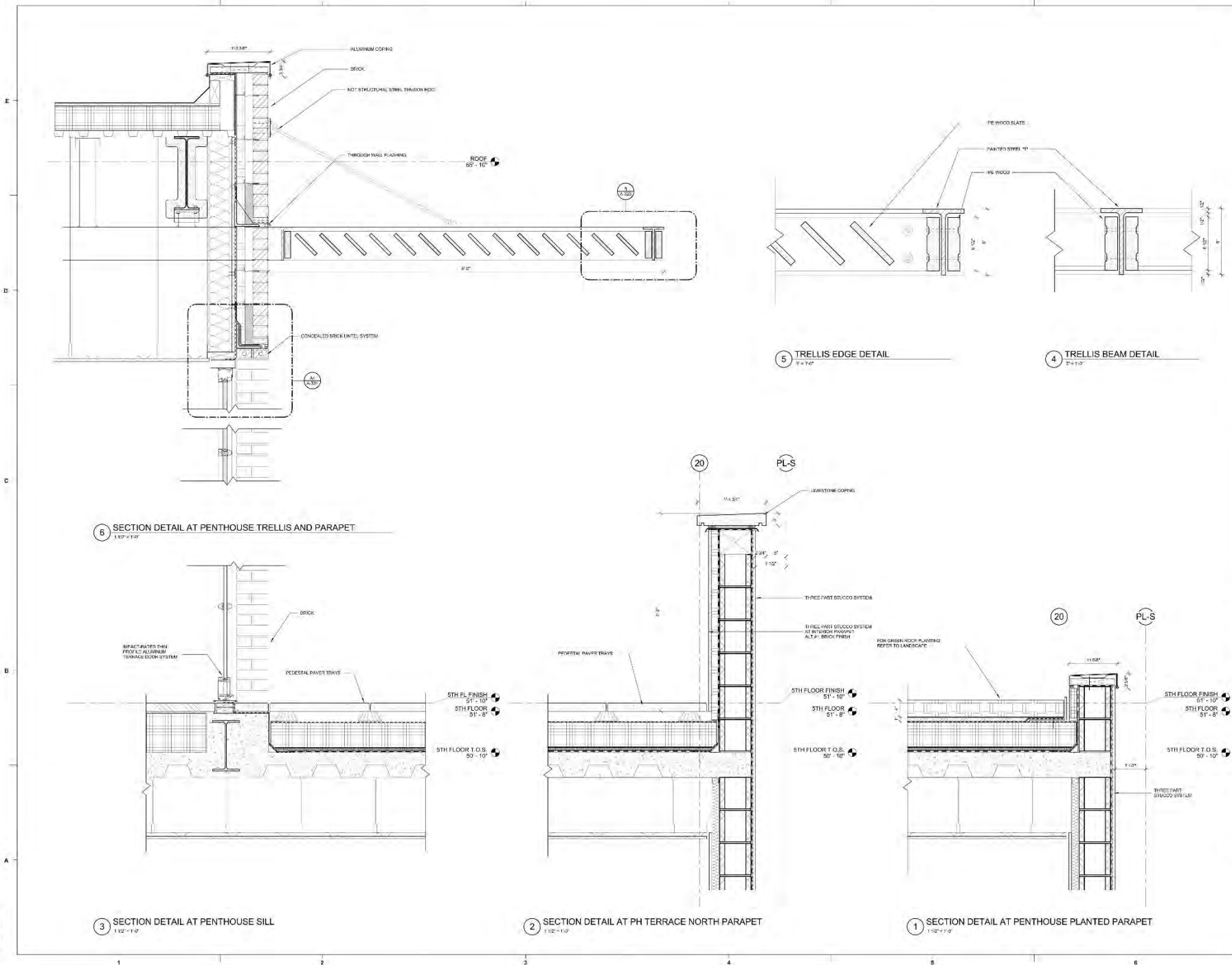
No.	Description	Date

PROJECT: 1183-119-03
DATE: 12.20.2019
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PENTHOUSE & TRELLIS DETAILS

A-323

FINAL BAR



11/20/2019 10:52:48 AM
11/20/2019 10:52:48 AM



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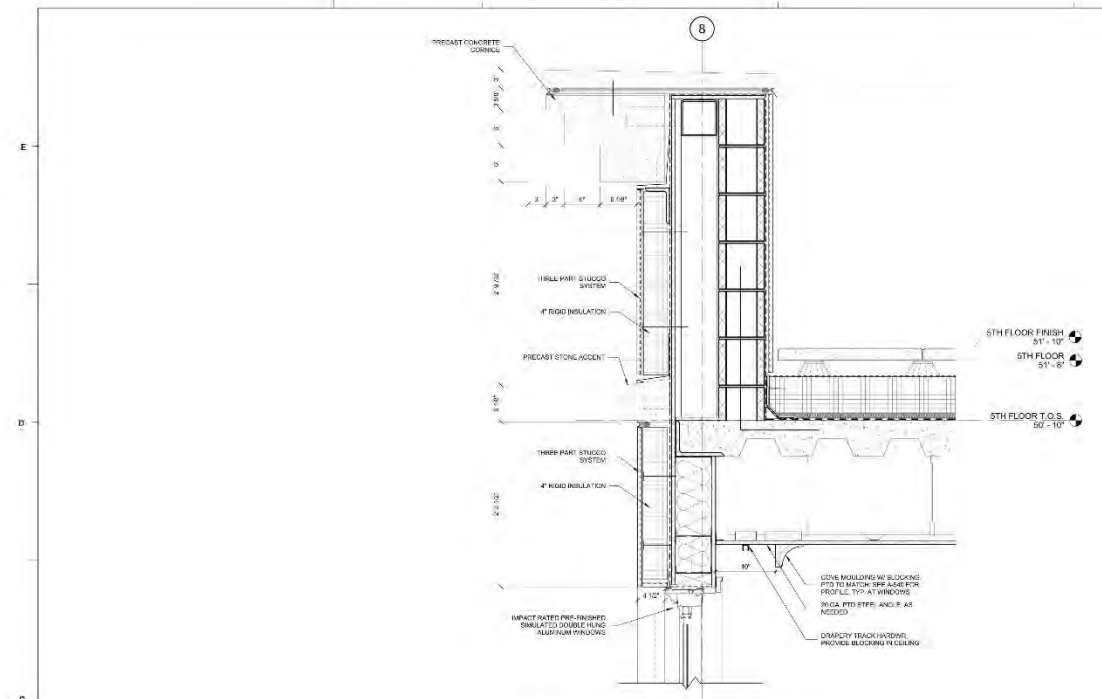
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REVISIONS

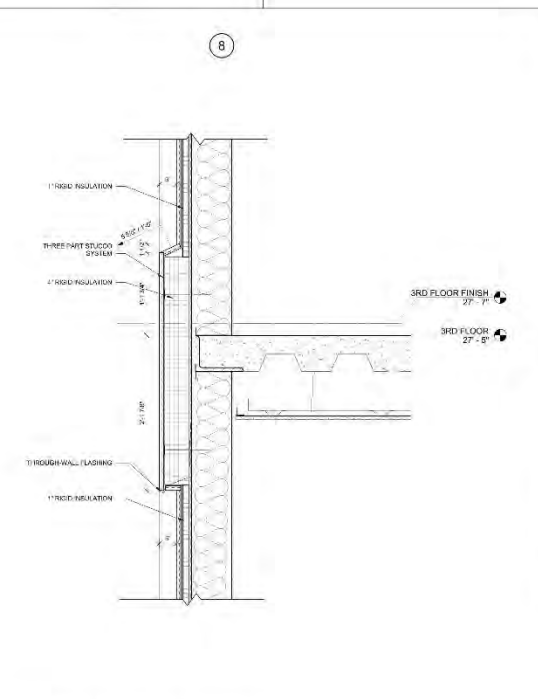
No.	Description	Date

PROJECT: 1183-119-03
DATE: 12.20.2019
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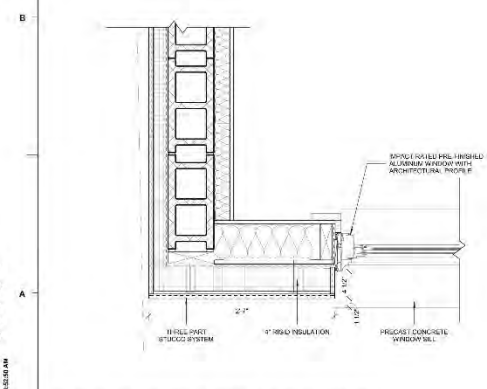
SECTION DETAILS
- WEST FACADE
A-324



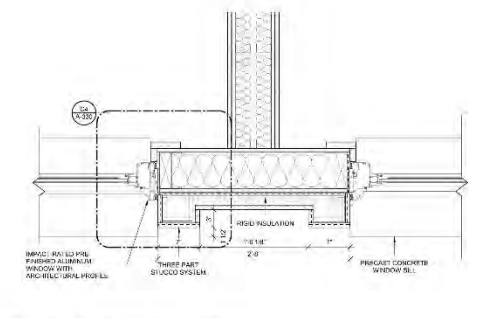
3 SECTION DTL. AT CORNICE WEST ELEVATION
1:12 = 1'-0"



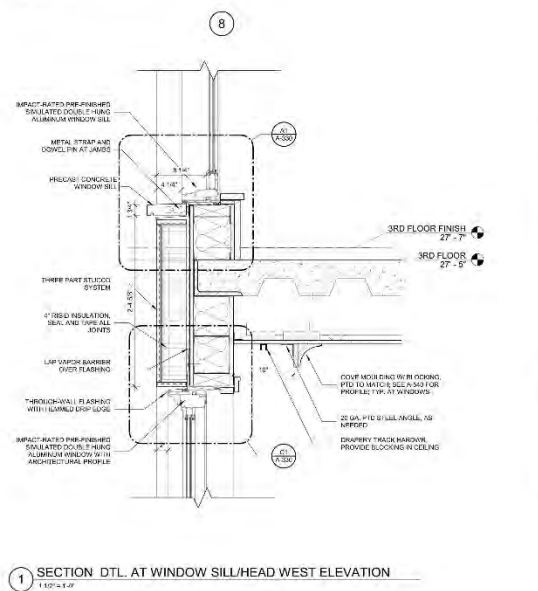
2 SECTION DTL AT PIER WEST ELEVATION
1:12 = 1'-0"



4 PLAN DTL. AT NORTH-WEST BUILDING CORNER
1:12 = 1'-0"



5 PLAN DTL. AT PIER WEST FACADE
1:12 = 1'-0"

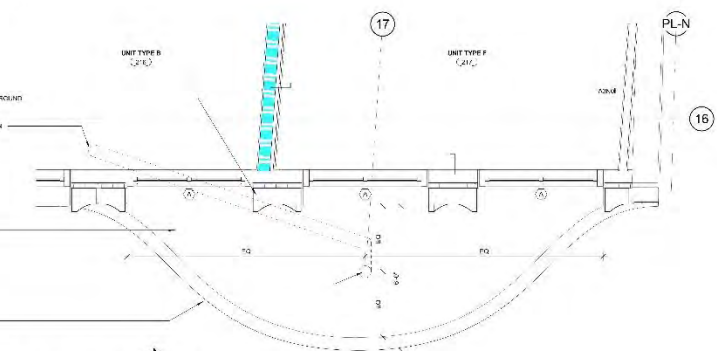


1 SECTION DTL. AT WINDOW SILL/HEAD WEST ELEVATION
1:12 = 1'-0"

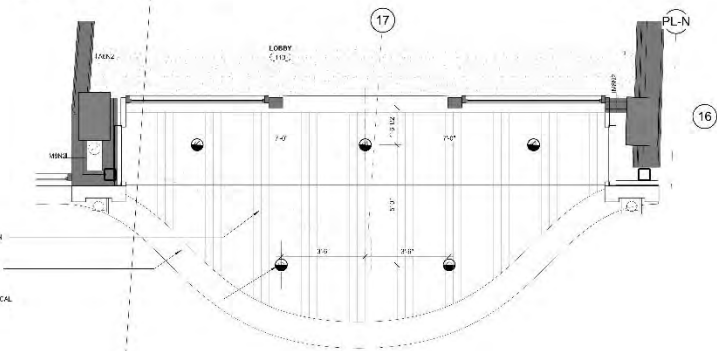
11/20/2019 10:18:52 AM
11/20/2019 10:18:52 AM



D1 ENTRY CANOPY ELEVATION
1/2" = 1'-0"



A1 ENTRY CANOPY ROOF PLAN
1/2" = 1'-0"



A ENTRY CANOPY REFLECTED CEILING PLAN
1/2" = 1'-0"



529 KING STREET

529 King Street OZ, LLC
METHOD



935 10 KING STREET
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NO.	DESCRIPTION	DATE
15	15022 (R) 31	JSD

PROJECT: 1183115418

DATE: 12.26.2018

DRAWN BY: Author

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ENTRY CANOPY
ENLARGED PLANS

A-325



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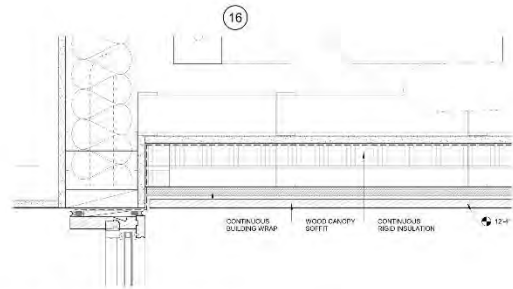
PROJECT: 118319428
DATE: 12.20.2018
DRAWN BY: Author
CHECKED BY: Checker

ENTRY CANOPY
SECTION DETAILS

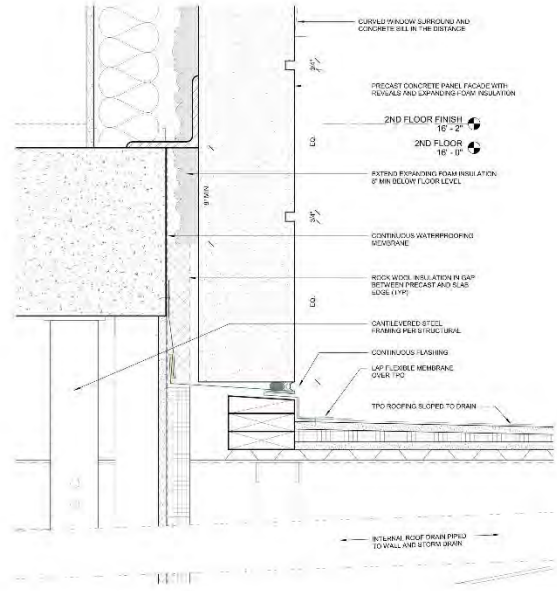
A-326

FINAL BAR

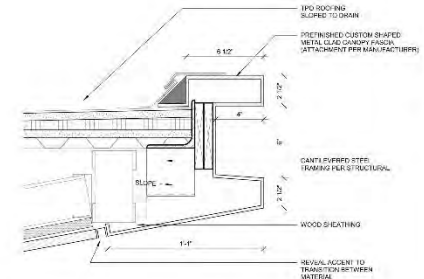
E
D
C
B
A



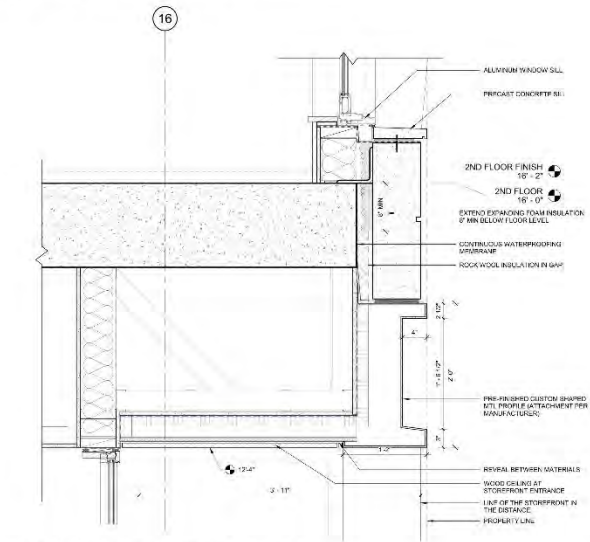
C1 DETAIL @ CURTAINWALL HEAD
2" = 1'-0"



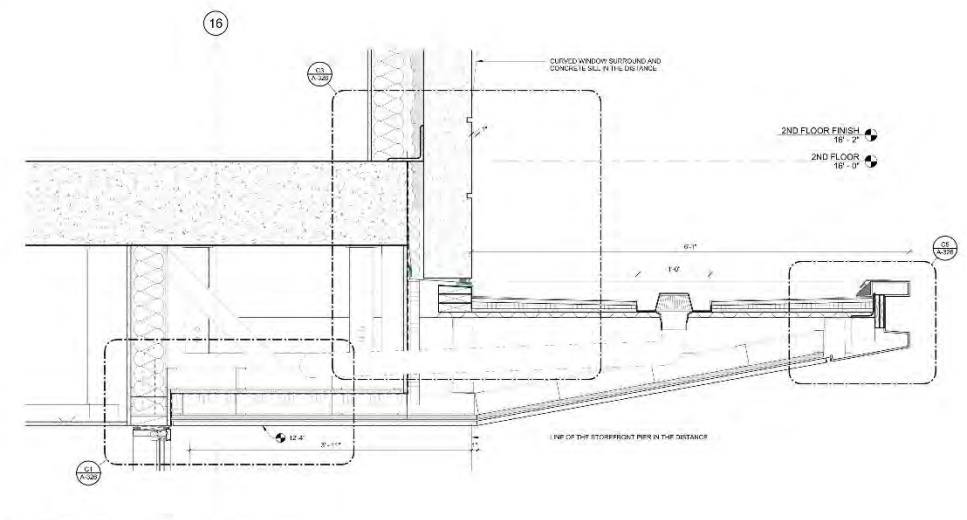
C3 DETAIL @ PRECAST CONNECTION
2" = 1'-0"



C5 DETAIL @ CANOPY
2" = 1'-0"



A1 SECTION DTL. AT STOREFRONT ENTRANCE
1/4" = 1'-0"



A3 SECTION DETAIL AT LOBBY CANOPY
1/4" = 1'-0"

11/20/2019 10:52:20 AM
11/20/2019 10:52:20 AM



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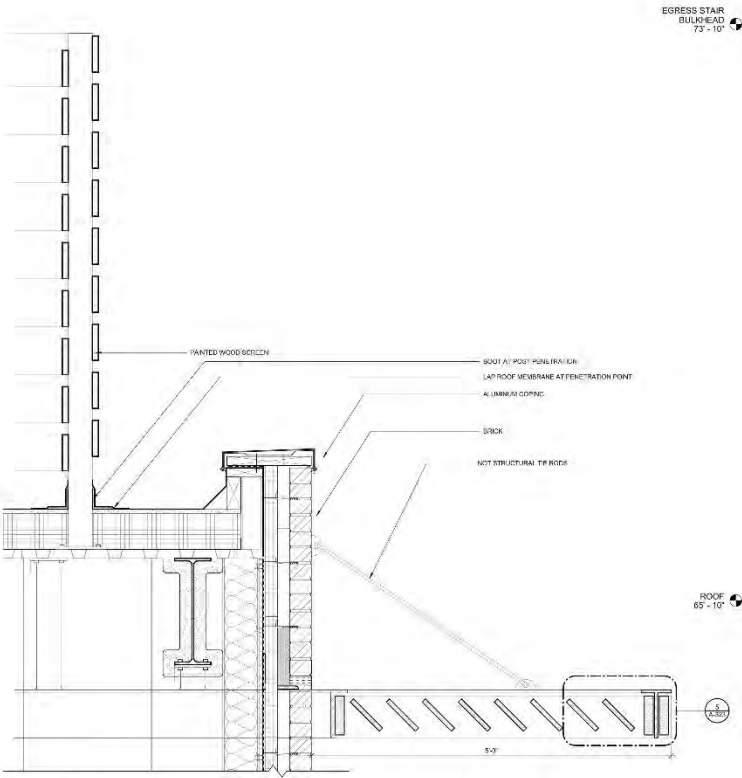
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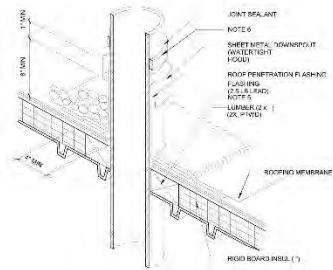
EXTERIOR
DETAILS - ROOF
DECK

A-329

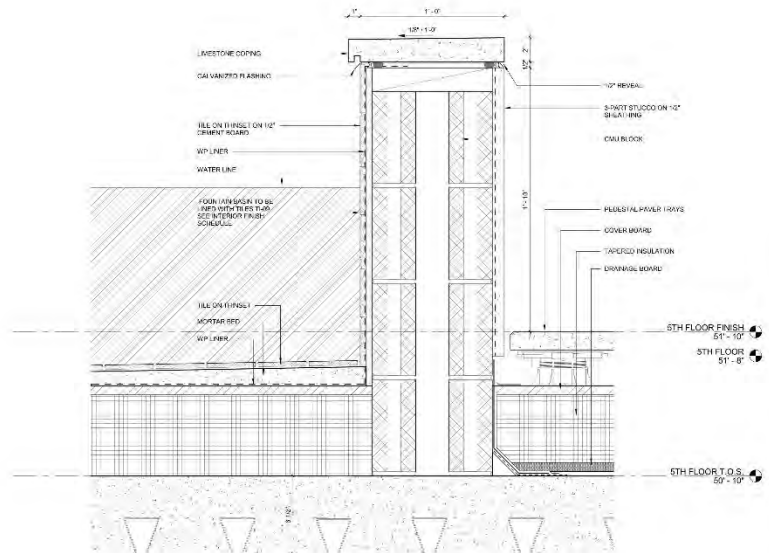
FINAL BAR



3 SECTION DETAIL AT PENTHOUSE HVAC SCREEN
1/8" = 1'-0"



2 PIPE PENETRATION
1/4" = 1'-0"



1 SECTION @ ROOFTOP FOUNTAIN
3/8" = 1'-0"

529 KING STREET ARCHITECTURE 028 King Street, 2019.01
12/20/2019 10:52:32 AM



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REVISIONS

No.	Description	Date

PROJECT: 1183-119428

DATE: 12.26.2019

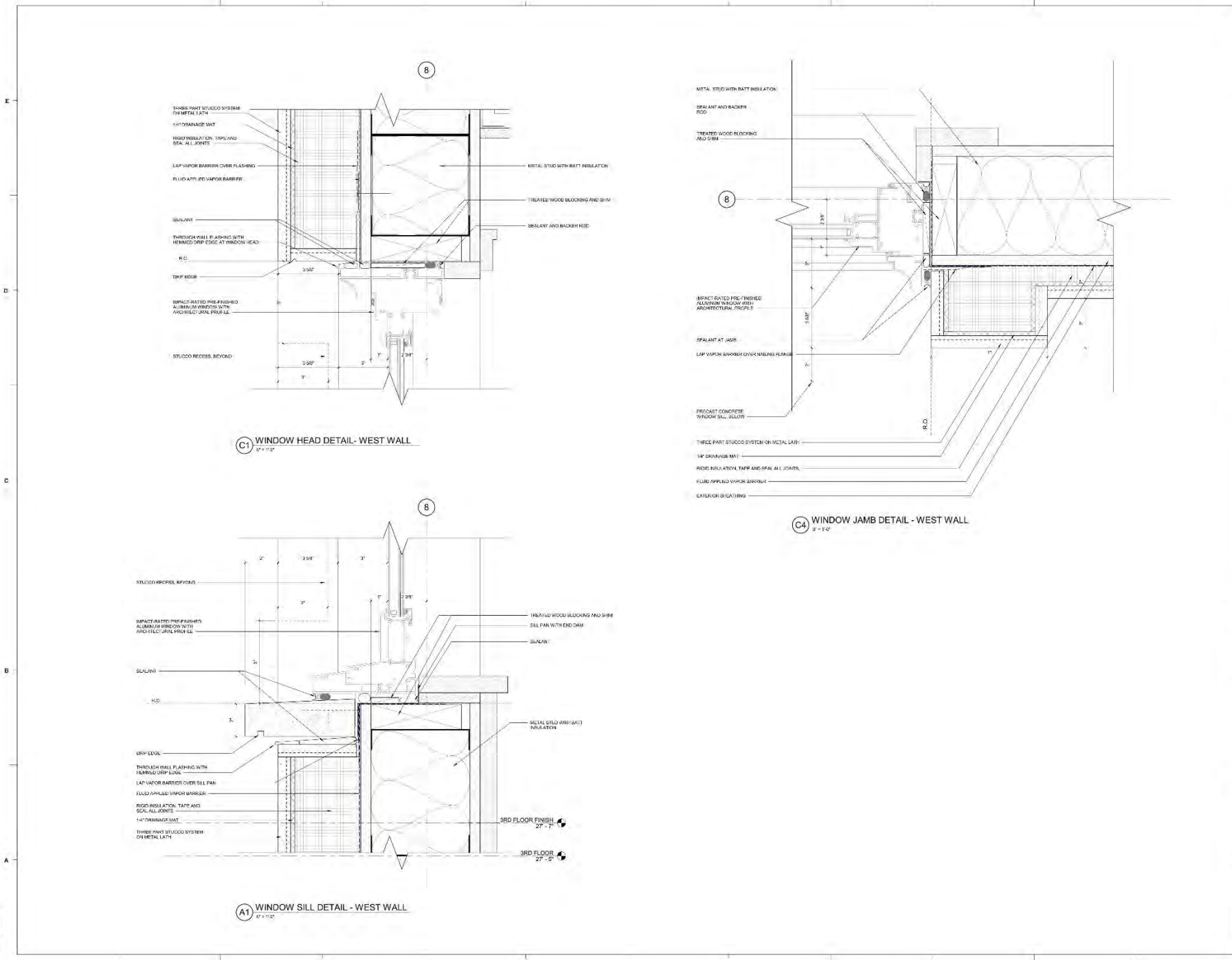
DRAWN BY: KB

CHECKED BY: SR

HEAD, JAMB, AND
SILL DETAILS -
WEST WALL

A-330

FINAL BAR



529 King Street Method.dwg
12/26/2019 10:52:24 AM



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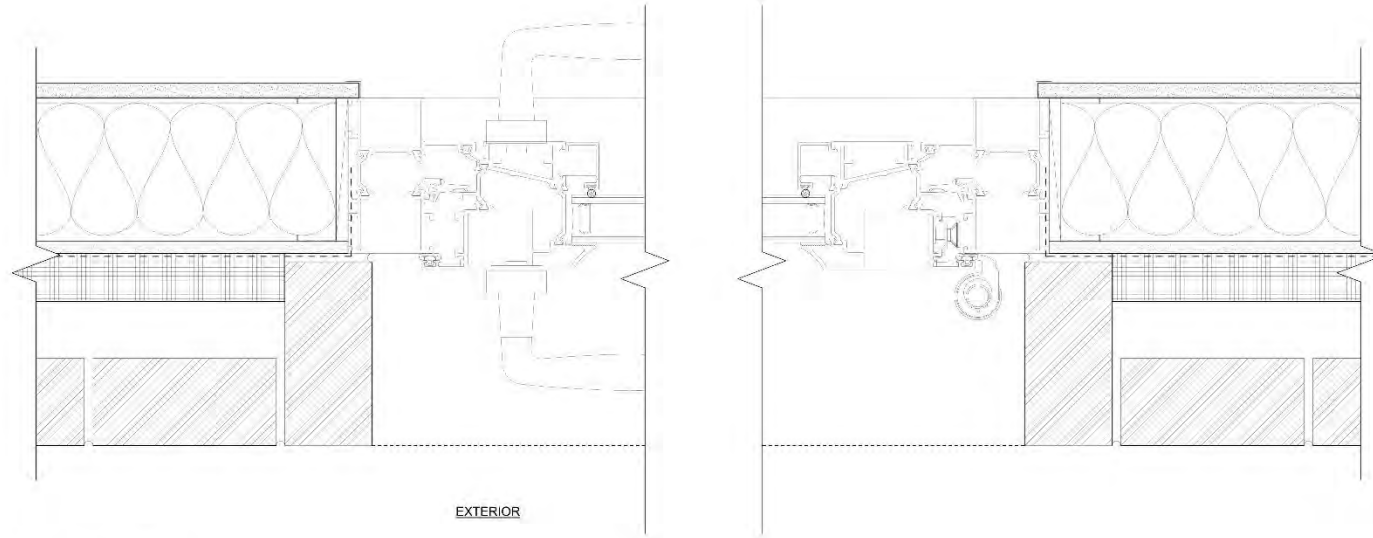
No.	Description	Date

PROJECT: 1183-118428
DATE: 12.20.2018
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HEAD, JAMB SILL
DETAILS

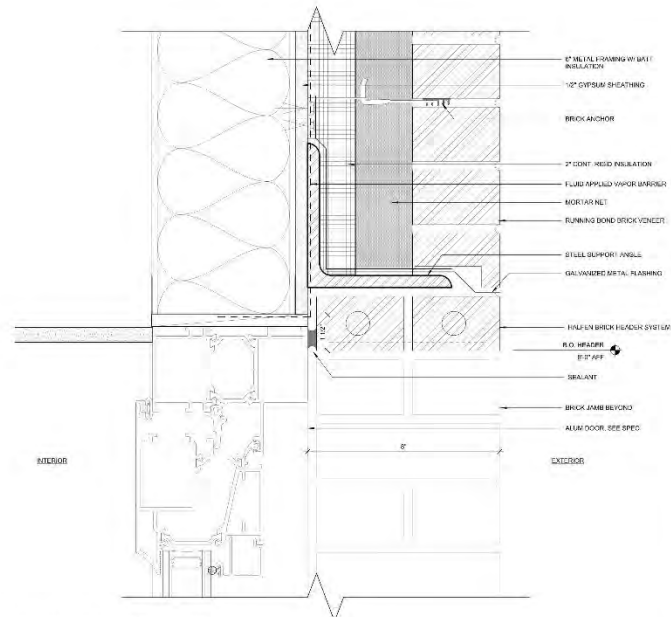
A-331

INTERIOR



EXTERIOR

C1 WINDOW JAMB DETAIL - BRICK
8'-1 1/2"



- 8" MIL EXTERIOR W/ BALK INSULATION
- 1/2" GYPSUM SHEATHING
- BRICK ANCHOR
- 3" CONT. RIGID INSULATOR
- 1/2" LIQUID APPLIED VAPOR BARRIER
- MORTAR NET
- RUNNING BOND BRICK VENEER
- STEEL SUPPORT ANGLE
- GALVANIZED METAL FLASHING
- HOLLOW BRICK HEADER SYSTEM
- R.O. HEADLINE
- 8" AFF
- SEALANT
- BRICK JAMB BEYOND
- ALUM. DOOR, SEE SPEC

A4 WINDOW HEAD DETAIL - BRICK
8'-1 1/2"

529 King Street Method, 2018.rvt
12/20/2018 10:52:35 AM

Agenda Item #4

651 MEETING STREET
TMS #463-16-02-061

Request preliminary approval of four story building multi-family building
utilizing masonry walls of existing structure.

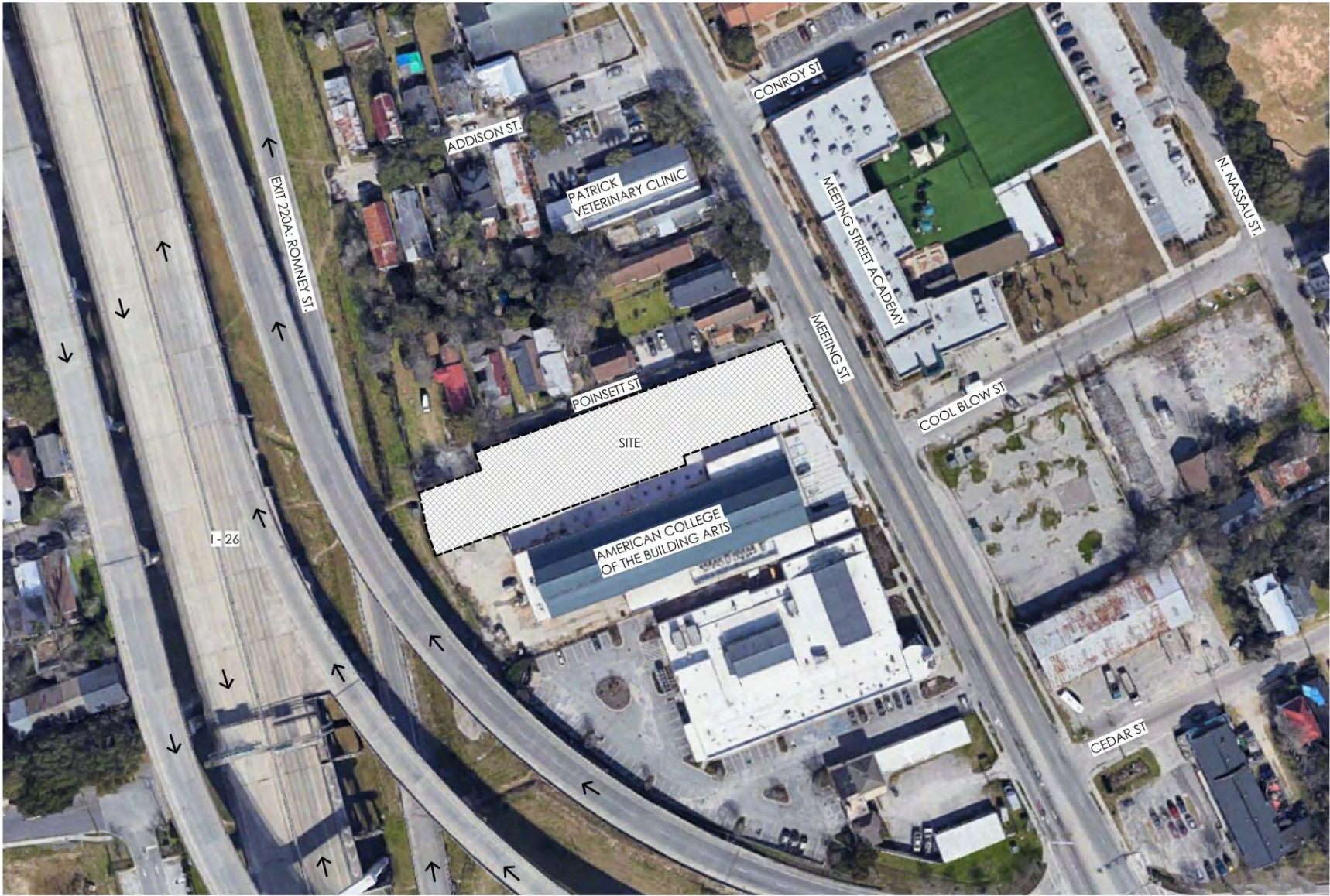
Not Rated / (East Central) / c. 1902 / Height District: 4 / Historic Corridor District

BAR - PRELIMINARY SUBMITTAL

DEFERRED - 09/12/2018
 DEFERRED - 01/09/2019
 DEFERRED - 07/24/2019
 CONCEPTUAL APPROVAL - 08/28/2019
 PRELIMINARY REVIEW - 01/08/2020



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AREA PLAN	01
AREA & CONTEXT	02
STREETSCAPE	03
EXISTING PHOTOS	04
SITE SURVEY	05
EXISTING SITE & FIRST FLOOR PLAN	06
EXISTING EAST & SOUTH ELEVATION	07
EXISTING NORTH & WEST ELEVATION	08
COMMENTS RESPONSES	09
HARDSCAPE PLAN	10
HARDSCAPE DETAILS	11
HARDSCAPE DETAILS	12
HARDSCAPE DETAILS	13
RENDERED LANDSCAPE PLAN	14
LANDSCAPE PLAN	15
ARCHITECTURAL SITE PLAN	16
FIRST FLOOR PLAN	17
SECOND FLOOR PLAN	18
THIRD & FOURTH FLOOR PLAN	19
ROOF PLAN	20
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PROPOSED PERSPECTIVE - 1	22
MATERIAL PALETTE	23
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SOUTH ELEVATION	25
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WALL SECTION 5	31
DETAIL	32
PROPOSED PERSPECTIVE - 3	33
PROPOSED PERSPECTIVE - NIGHT	34



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651 MEETING STREET
Charleston, SC

AREA PLAN
01
12-27-2019



AMERICAN COLLEGE OF THE BUILDING ARTS



PATRICK VETERINARY CLINIC / RESIDENTIAL NEIGHBORS



COOL BLOW



MEETING ST ACADEMY





WEST FACADE



INTERIOR WEST CORNER



POINSETT DRIVE - BRICK TRANSITION



INTERIOR OF NORTH FACADE



MEETING STREET FACADE



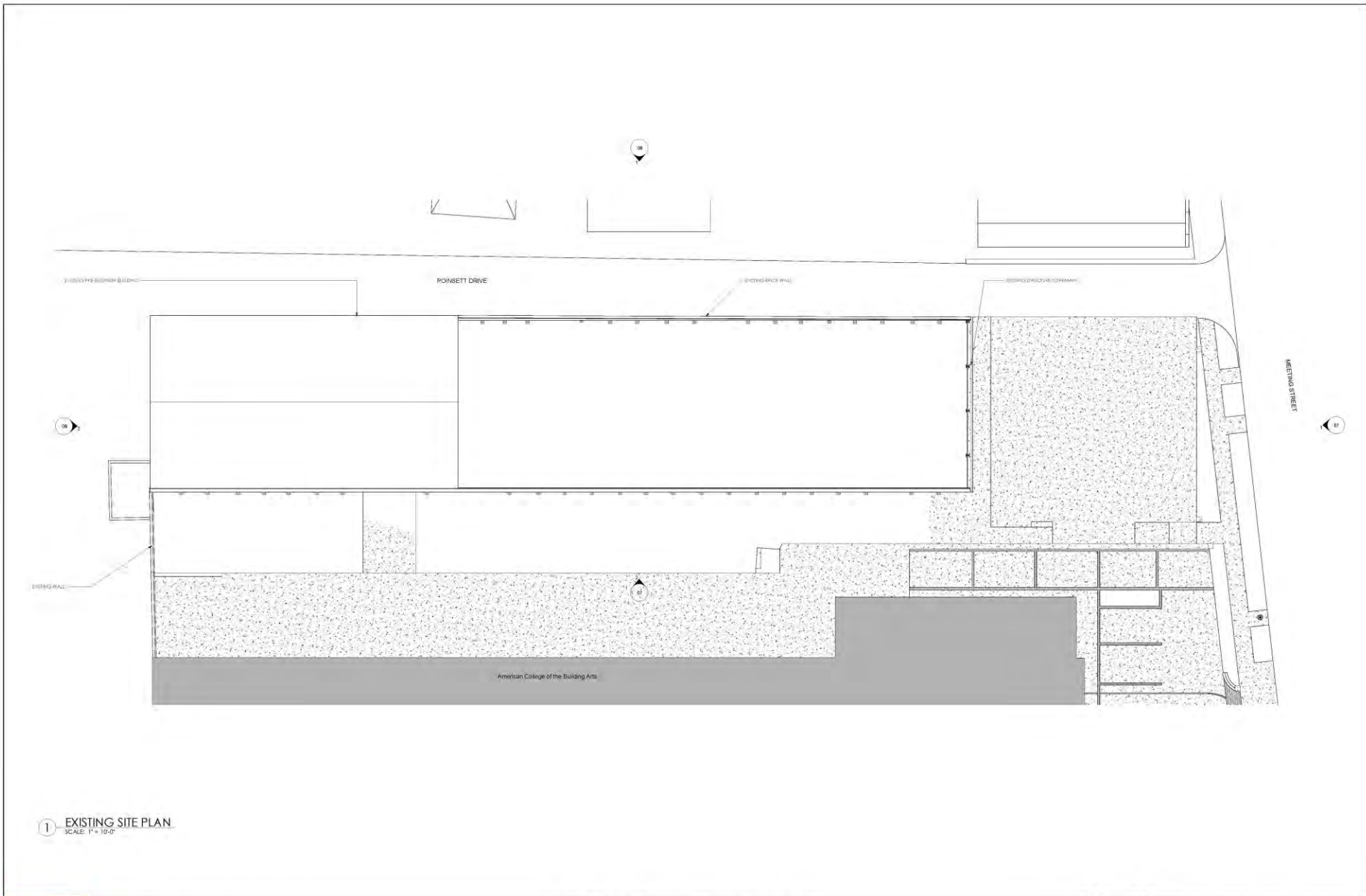
EAST FACADE - INTERIOR

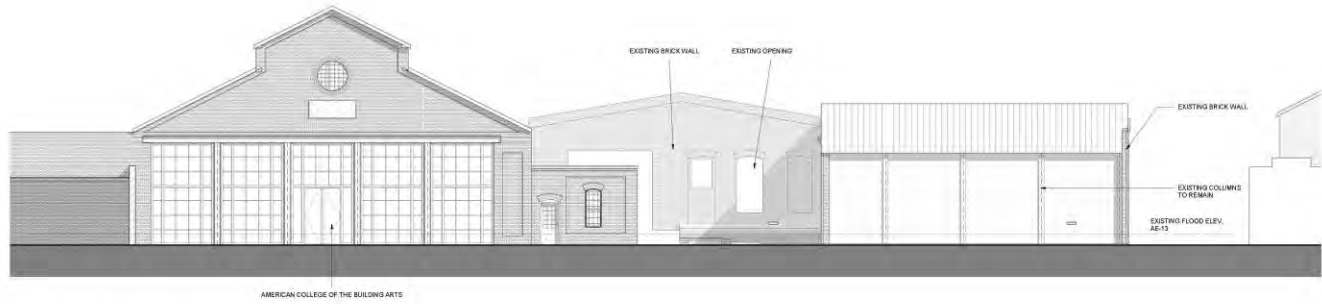


POINSETT DRIVE

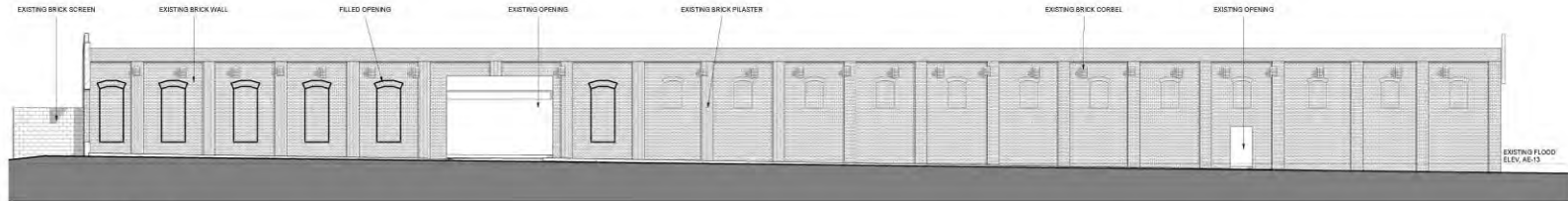


SOUTH FACADE

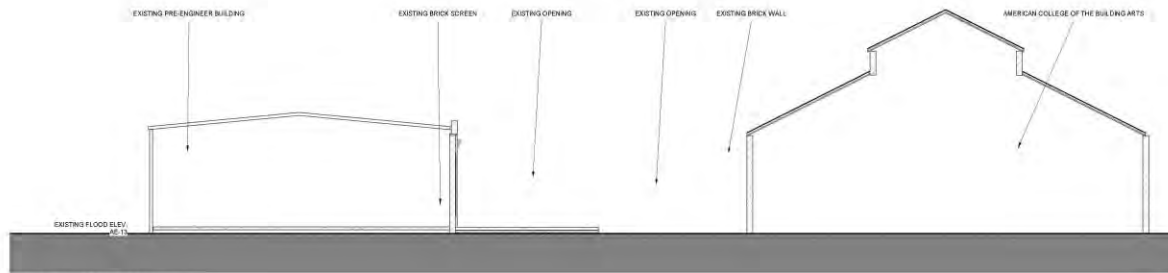




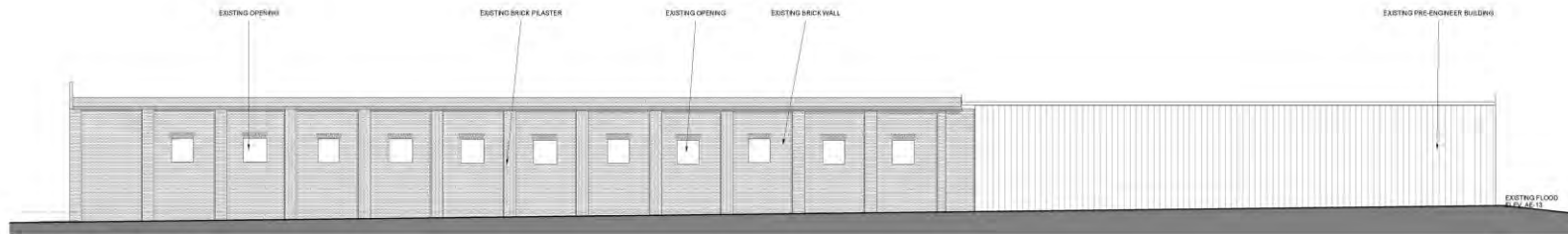
1 Existing East Elevation
SCALE: 1/8" = 1'-0"



2 Existing South Elevation
SCALE: 1/8" = 1'-0"



2 Existing West Elevation
SCALE: 1/8" = 1'-0"



1 Existing North Elevation
SCALE: 1/8" = 1'-0"

STAFF COMMENTS

1. As mentioned during the previous review, having tenant and educational spaces at the ground floor is a big improvement over parking under the building. It is beneficial to the preservation of, and respect for, the existing building. The Board will note that this adds about 9'-0" to the height of the proposed addition.
2. The courtyard design is attractive and well-conceived. It relates to the ACBA in a way the Board has asked for with the building.
3. Staff feels that the design expression is much improved and the applicants have responded to prior Board and staff comments. The mass has been moved back to the west and the issue of proximity to the Landmark Trolley Barn is no longer an issue.
4. All metal between pilasters should be the darker window color to emphasize the "column/beam with glass infill" nature of the design.
5. Going forward, windows would be best if metal with authentic mullions like the Cigar Factory windows.
6. The existing site wall in front of the Trolley Barn should be continued in front of this building including piers and caps.
7. Paving at the parking in front should match the Trolley Barn.
8. Research should be provided to justify the design of the gabled front of the existing building.
9. The roof of the existing building should be hand-crimped standing seam ferne metal.
10. The incomplete transition of metal and brick at the north wall (west end) needs to be resolved.



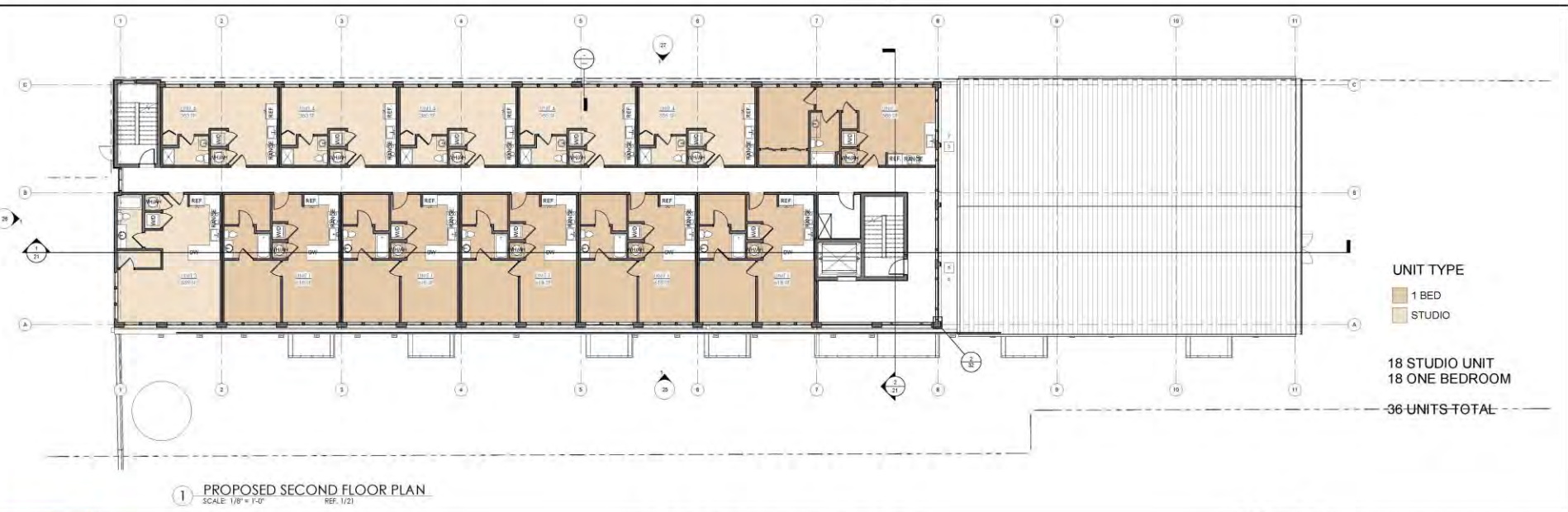
PREVIOUS PERSPECTIVE

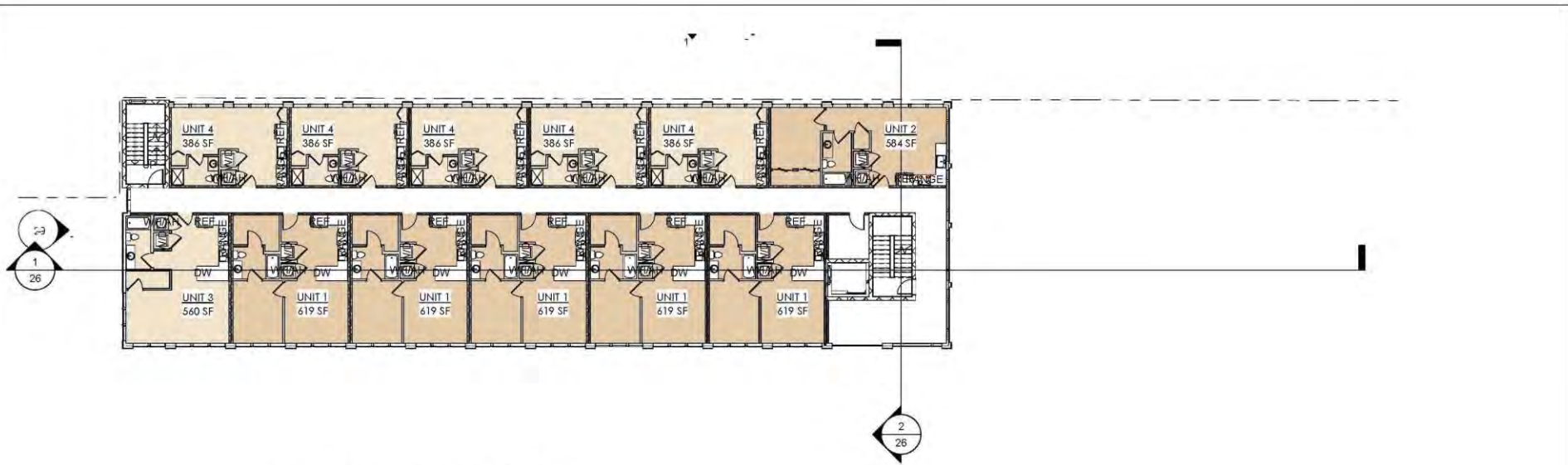
APPLICANT RESPONSES

1. We agree with comment 1
2. We agree with comment 2
3. We agree with comment 3
4. The proposed color of the metal panel between pilasters is the similar color with the darker window color to emphasize the "column/beam with glass infill" nature of the design.
5. The proposed window is Sierra Pacific alum clad single/double hung window with authentic mullions.
6. The landscape design now matches the Trolley Barn
7. The paving at the parking now shows the same design with trolley Barn.
8. The photo of inside of the existing wall being provided on Sheet 23.
9. We agree with comment 9.
10. The new plan detail shows the transition of the metal and brick on Sheet 31.

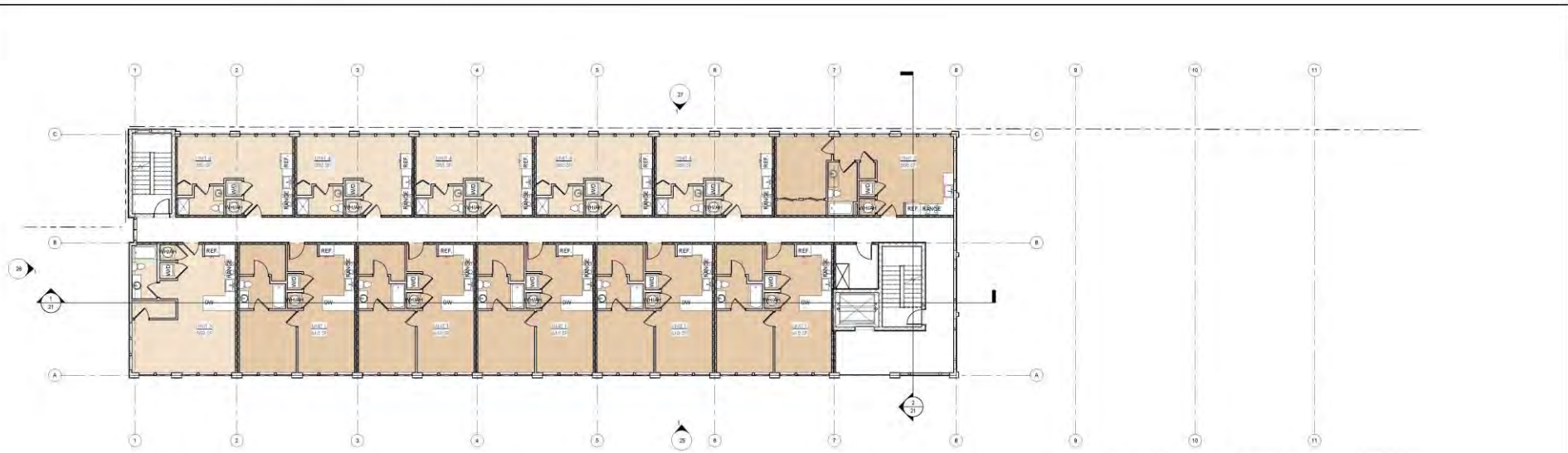


PROPOSED PERSPECTIVE

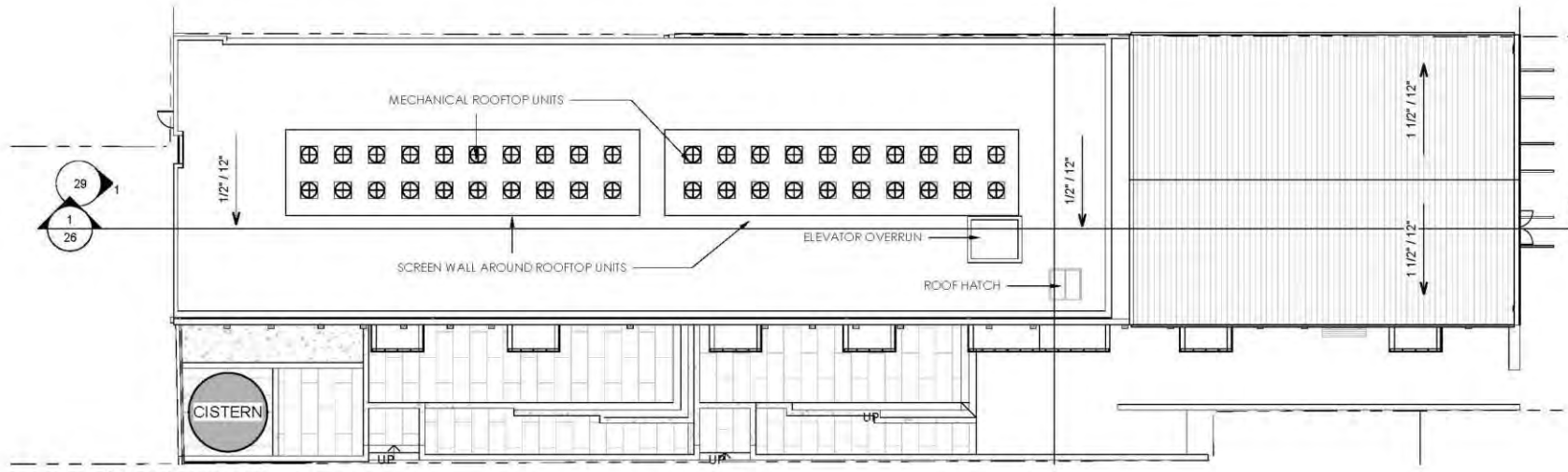




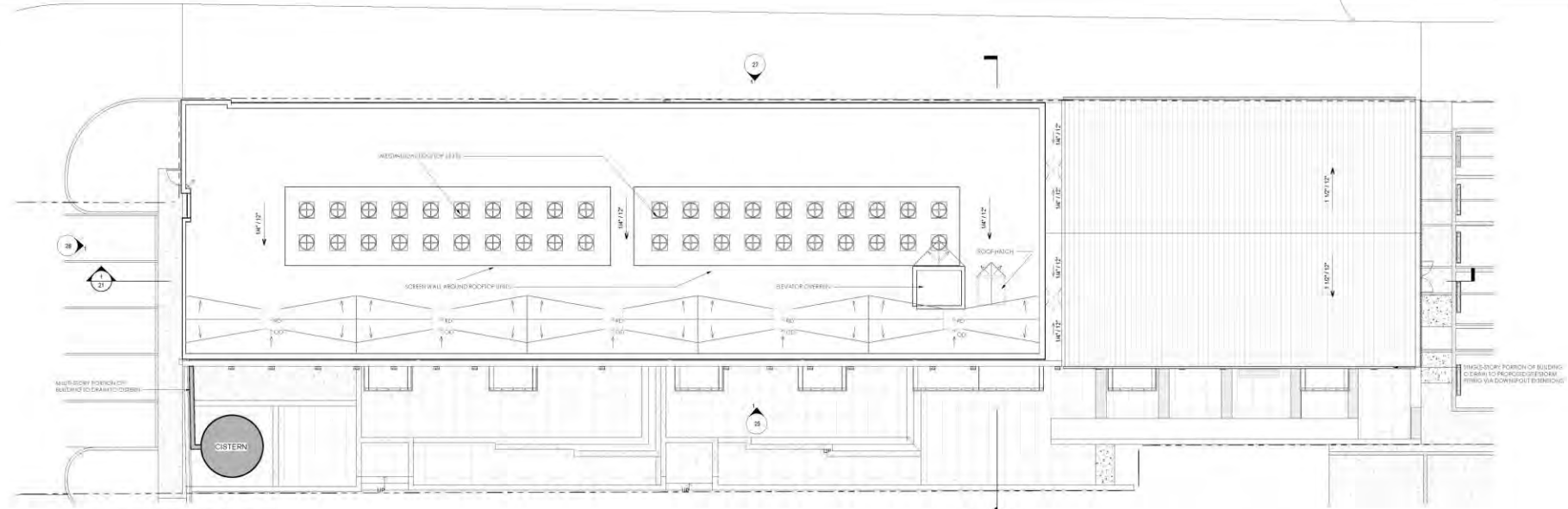
2 PREVIOUS THIRD & FOURTH FLOOR PLAN
SCALE: 1/8" = 1'-0"



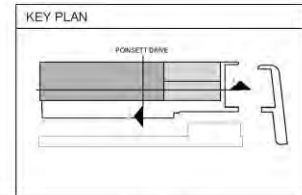
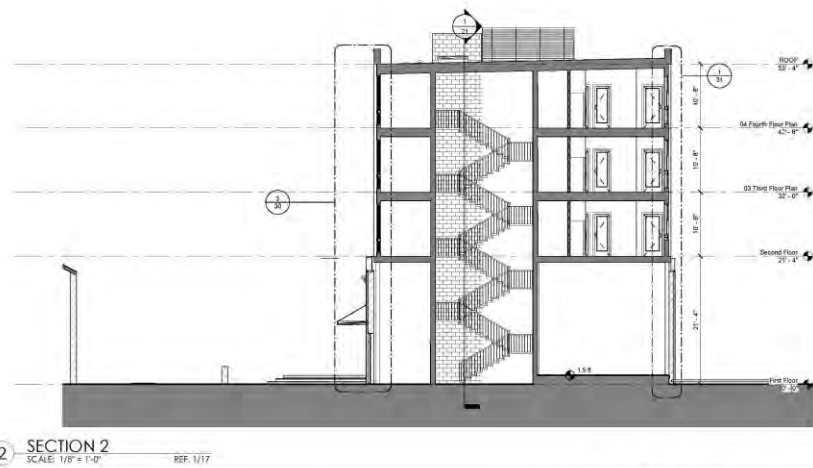
1 PROPOSED THIRD & FOURTH FLOOR PLAN
SCALE: 1/8" = 1'-0"
REF: 1/21



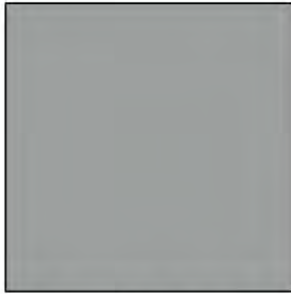
2 PREVIOUS ROOF PLAN
SCALE: 1/8" = 1'-0"



1 PROPOSED ROOF PLAN
SCALE: 1/8" = 1'-0"
SEE: 1/21







ATAS - STERRACORE MCM PANEL - SILVERSMITH

-USED AT "COLUMN/BEAM" FACADE SYSTEM



ATAS - STERRACORE MCM PANEL - CHARCOAL GREY

-USED AT PANEL IN BETWEEN "COLUMN/BEAM" FACADE SYSTEM



KAWNEER - IR 500/501 STOREFRONT - DOVE GREY

-USED AT HISTORICAL WINDOW ON GROUND FLOOR



SIERRA PACIFIC - ALUM CLAD WINDOW - BATTLESHIP GRAY

-USED AT WINDOW COMBINATION AT UPPER BUILDING



SHERWIN WILLIAMS PAINT - SW7674 - PEPPERCORN

-USED AT ENTRANCE ON GROUND FLOOR
-USED AT METAL AWNING AT GROUND FLOOR



ATAS - STERRACORE MCM PANEL - EXAMPLE



KAWNEER - IR 500/501 HISTORICAL LOOKING STOREFRONT SYSTEM - EXAMPLE



SIERRA PACIFIC - ALUM CLAD SINGLE HUNG WINDOW - EXAMPLE



WESTERN WINDOW SYSTEMS - SIMULATED STEEL STOREFRONT SYSTEM - EXAMPLE



② PREVIOUS EAST ELEVATION
SCALE: 1/8" = 1'-0"



THE STRUCTURE OF GABLE ROOF AT THE INSIDE FACE OF THE EXISTING EAST ELEVATION



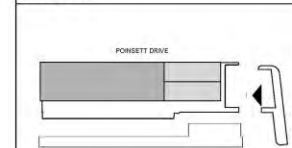
③ WALL DETAIL ISO
SCALE:



① PROPOSED EAST ELEVATION
SCALE: 1/8" = 1'-0"
REF. 2/1/10

MEETING STREET FACADE

KEY PLAN



EAST ELEVATION

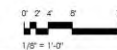
24

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Charleston, SC



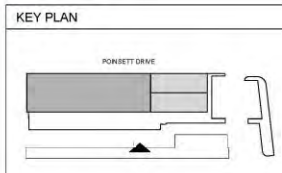


2 PREVIOUS SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



1 PROPOSED SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

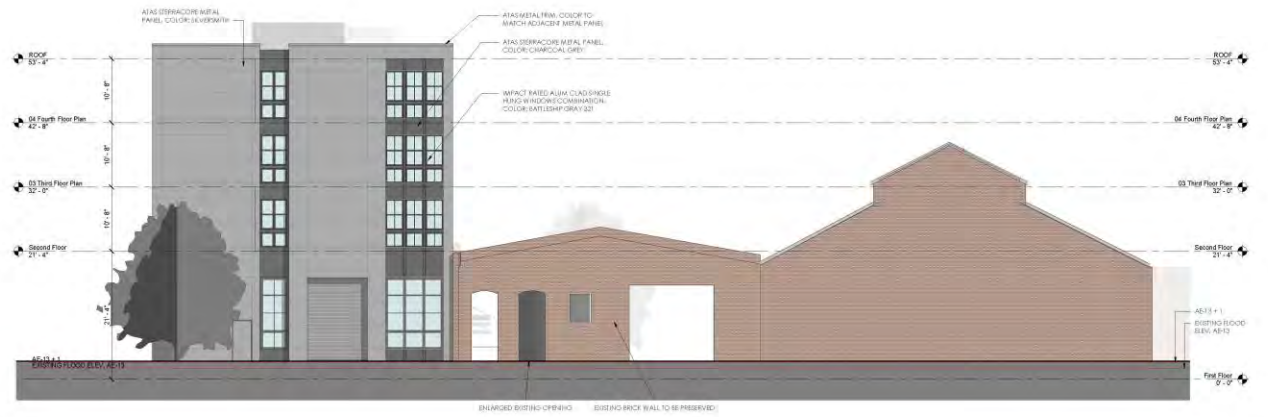
COURTYARD SIDE



SOUTH ELEVATION
25
12-27-2019

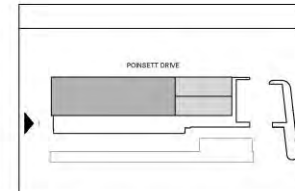


2 PREVIOUS WEST ELEVATION
SCALE: 1/8" = 1'-0"



1 PROPOSED WEST ELEVATION
SCALE: 1/8" = 1'-0"

126 FACADE



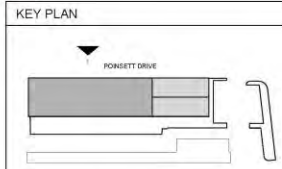


2 PREVIOUS NORTH ELEVATION
SCALE: 1/8" = 1'-0"



1 PROPOSED NORTH ELEVATION
SCALE: 1/8" = 1'-0" REF: 1/17

POINSETT STREET FACADE

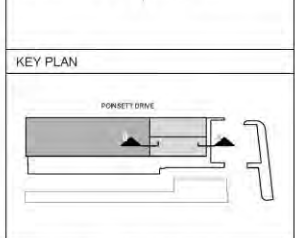
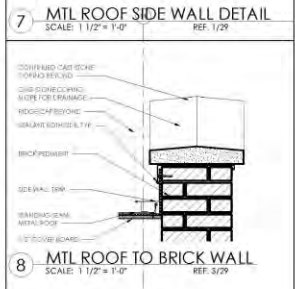
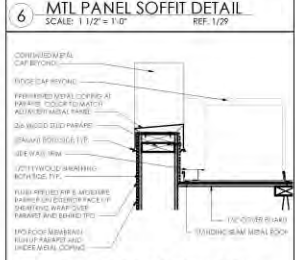
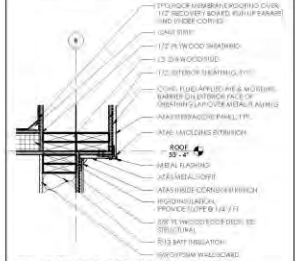
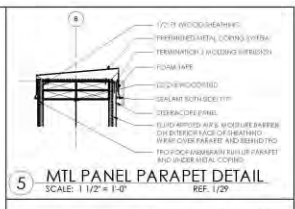
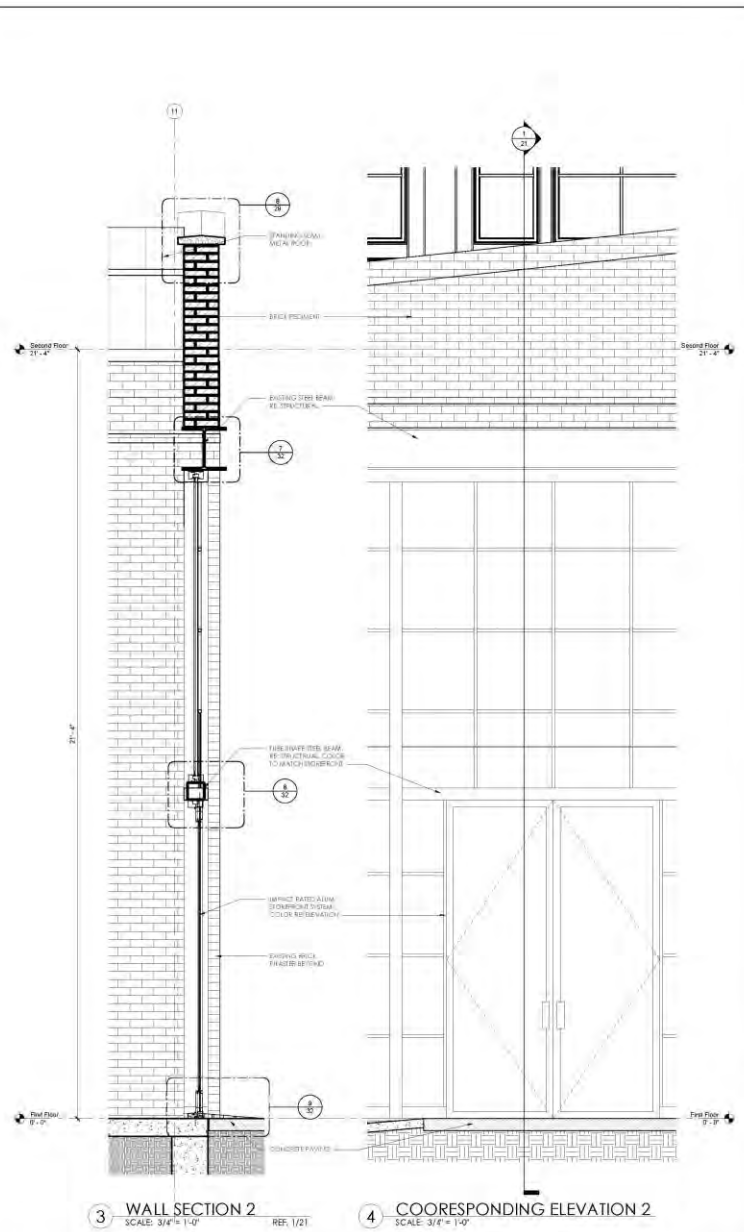
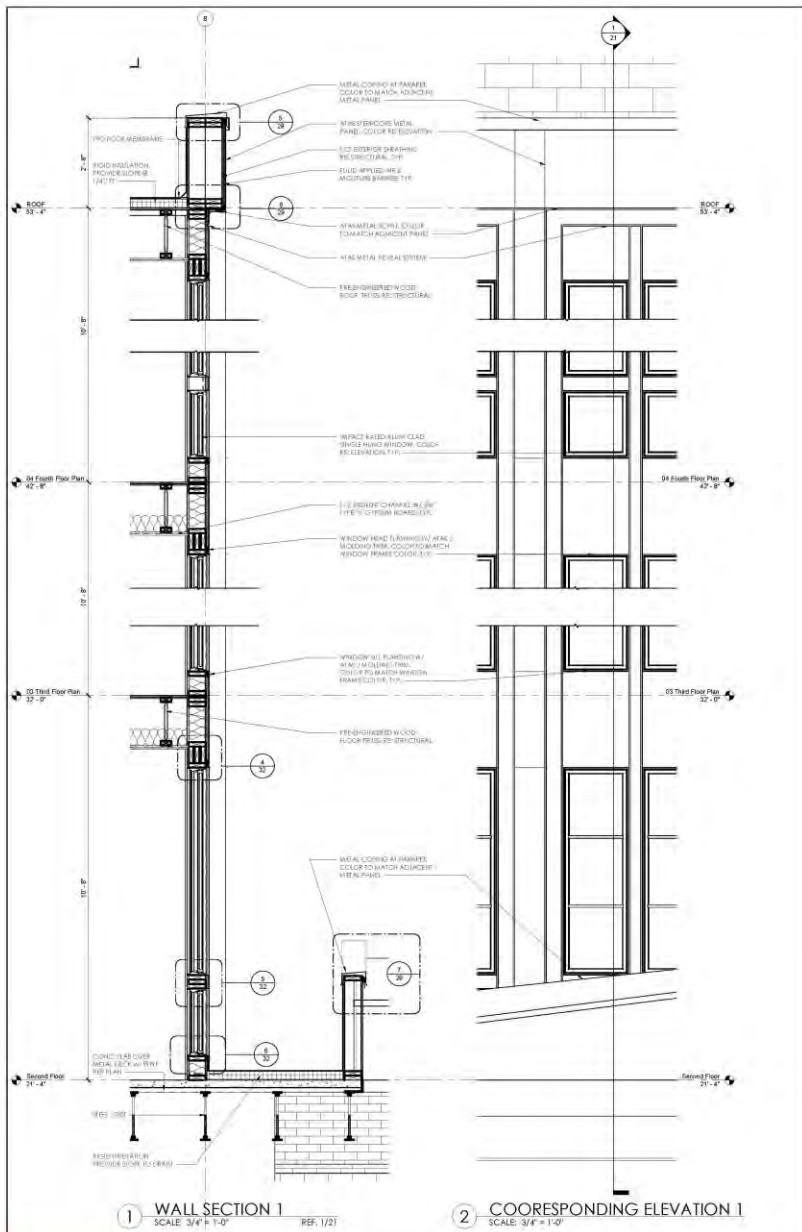


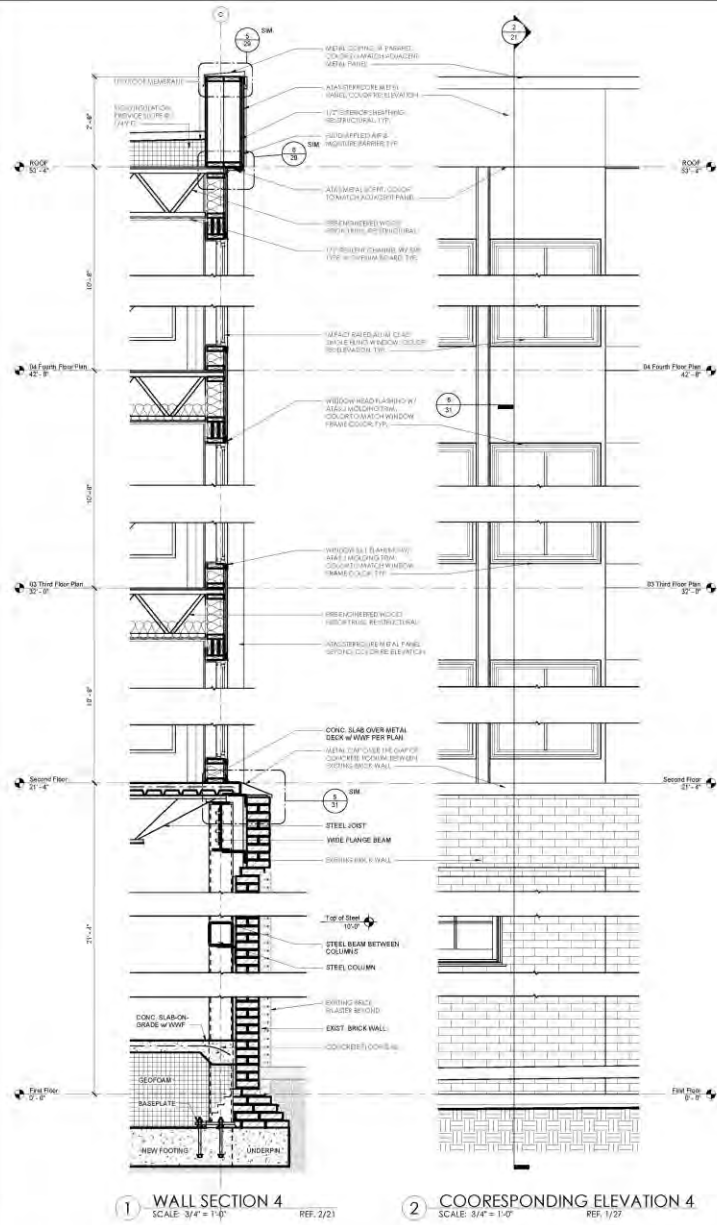
NORTH ELEVATION

27

12-27-2019

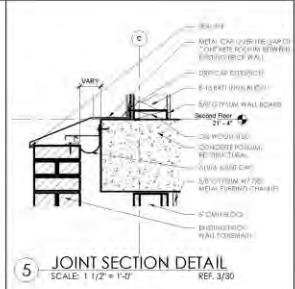




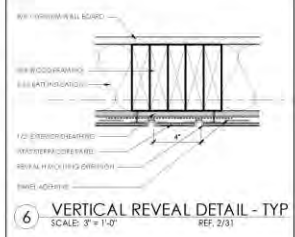


1 WALL SECTION 4
SCALE: 3/4" = 1'-0"
REF: 2/21

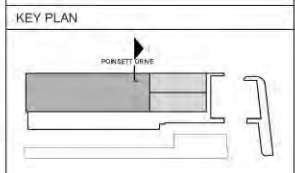
2 COORESPONDING ELEVATION 4
SCALE: 3/4" = 1'-0"
REF: 1/27



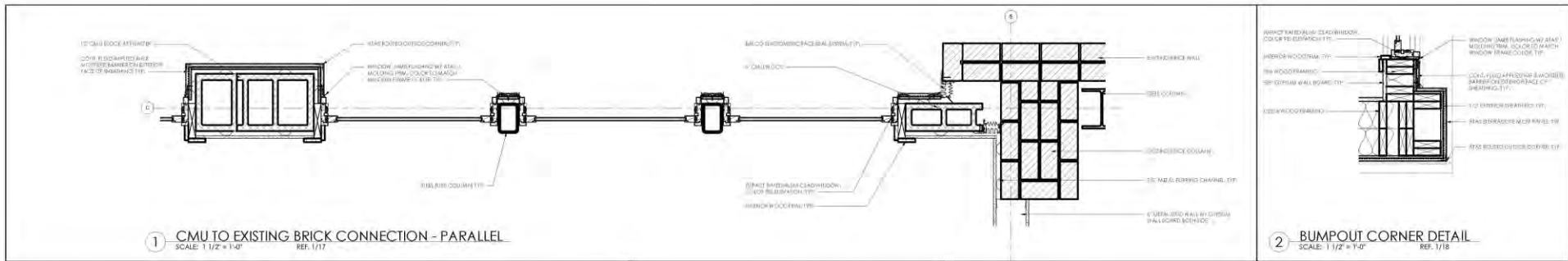
5 JOINT SECTION DETAIL
SCALE: 1 1/2" = 1'-0"
REF: 3/30



6 VERTICAL REVEAL DETAIL - TYP
SCALE: 3" = 1'-0"
REF: 2/31

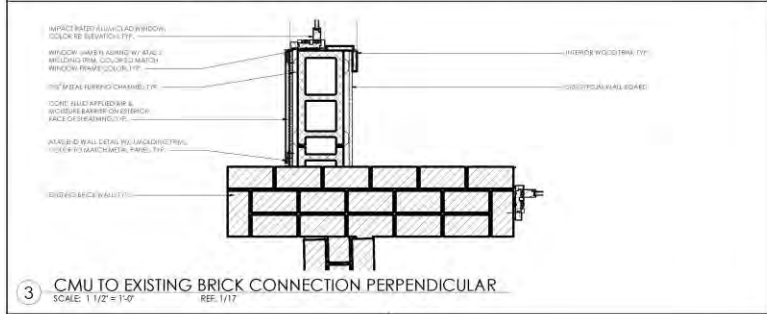


KEY PLAN

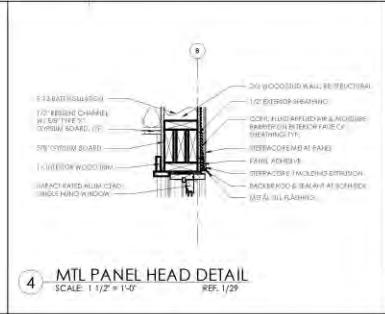


1 CMU TO EXISTING BRICK CONNECTION - PARALLEL
SCALE: 1 1/2" = 1'-0"
REF. 1/17

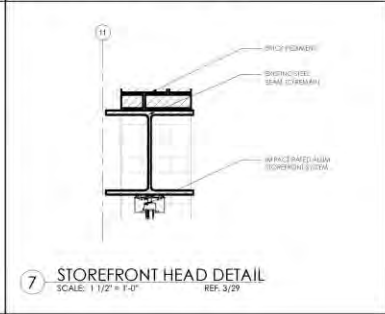
2 BUMPOUT CORNER DETAIL
SCALE: 1 1/2" = 1'-0"
REF. 1/18



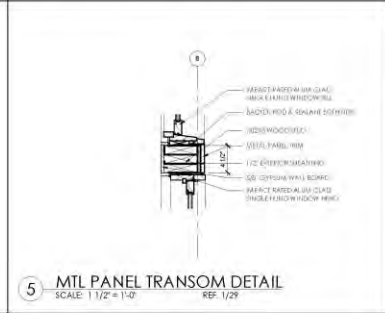
3 CMU TO EXISTING BRICK CONNECTION PERPENDICULAR
SCALE: 1 1/2" = 1'-0"
REF. 1/17



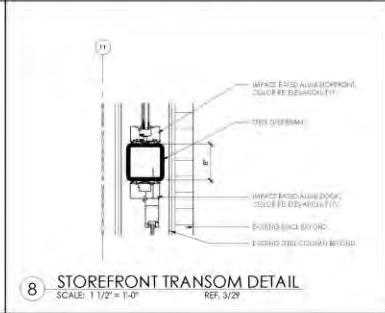
4 MTL PANEL HEAD DETAIL
SCALE: 1 1/2" = 1'-0"
REF. 1/29



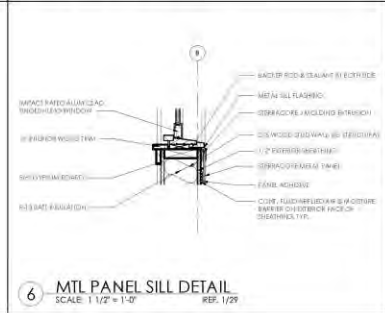
7 STOREFRONT HEAD DETAIL
SCALE: 1 1/2" = 1'-0"
REF. 3/29



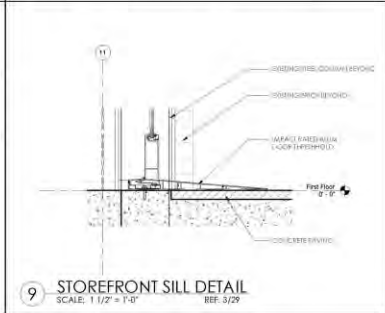
5 MTL PANEL TRANSOM DETAIL
SCALE: 1 1/2" = 1'-0"
REF. 1/29



8 STOREFRONT TRANSOM DETAIL
SCALE: 1 1/2" = 1'-0"
REF. 3/29



6 MTL PANEL SILL DETAIL
SCALE: 1 1/2" = 1'-0"
REF. 1/29



9 STOREFRONT SILL DETAIL
SCALE: 1 1/2" = 1'-0"
REF. 3/29



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PROPOSED PERSPECTIVE - 3

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